

SOUTH CREEK PARK - POOLHOUSE

EPF 247584 (THOMPSON-SOUTH CREEK POOL HOUSE PROJECT)

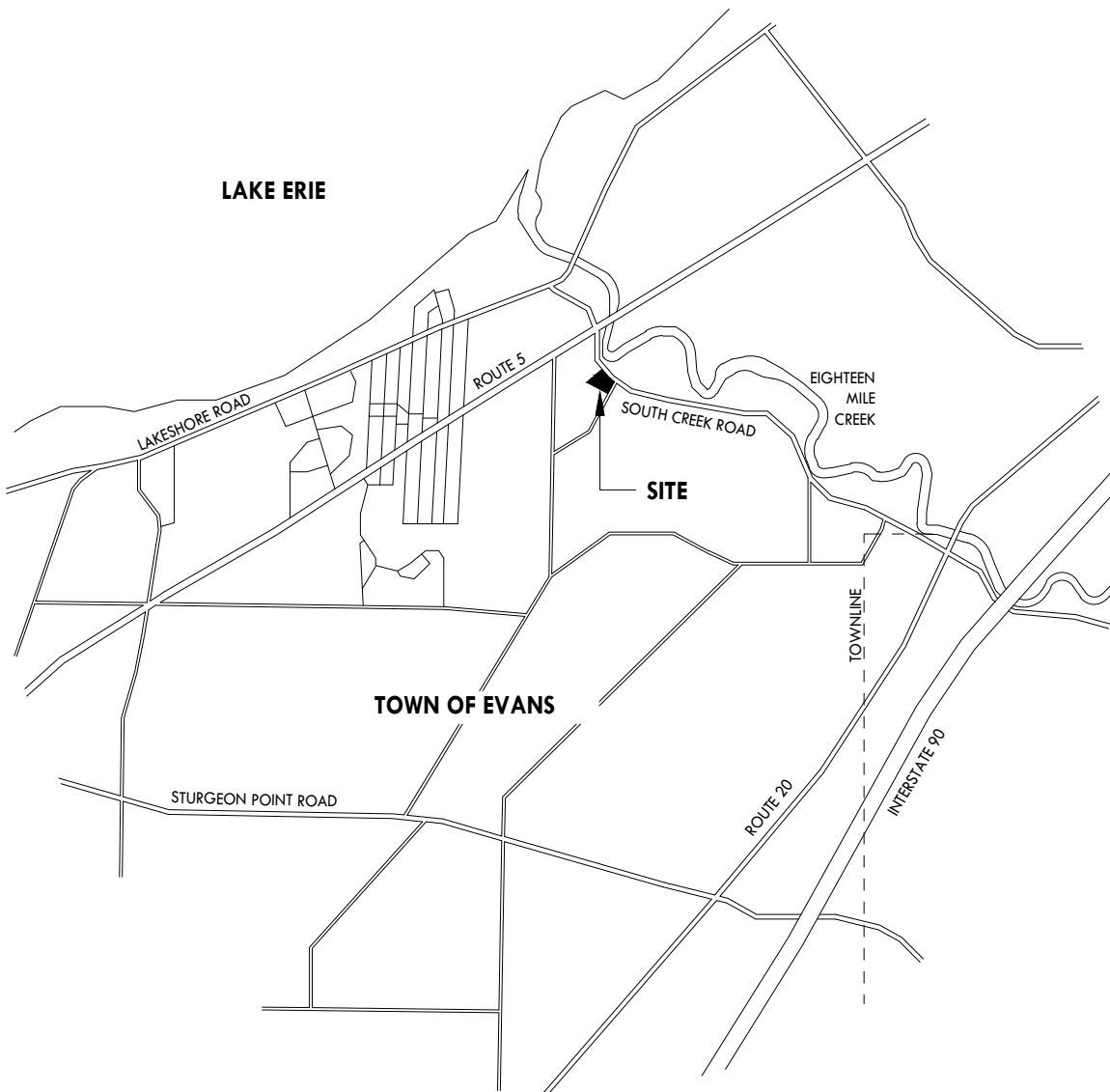
1525 SOUTH CREEK ROAD
DERBY, NY 14047

PROJECT NO. 220968-02

TOWN OF EVANS

ISSUE FOR BID

8/21/2026



LOCATION MAP
NOT TO SCALE

PROJECT TEAM:

MEP
TRI-R MECHANICAL
MIKE GRANT

STRUCTURAL
PRESTON ENGINEERING
RYAN PRESTON

LANDSCAPE ARCHITECTURE
FISHER ASSOCIATES
JAMES FRUECHTL

PREPARED BY:



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DRAWING INDEX		
SHEET NO.	SHEET NAME	ISSUE FOR BID 8/21/2026
ARCHITECTURE		
A-001	COVER SHEET	Yes
A-002	CODE & ZONING COMPLIANCE	Yes
A-003	STRUCTURAL DETAILS & SCHEDULES	Yes
A-004/A-004.1/A-004.2	ARCHITECTURAL NOTES & SPECIFICATIONS	Yes
A-005	ROOF TRUSS	Yes
A-006	PARTITION, ROOF, & FLOOR TYPES	Yes
A-007	DOOR & WINDOW SCHEDULES	Yes
A-101	FIRST FLOOR CONSTRUCTION PLAN	Yes
A-102	ROOF CONSTRUCTION PLAN	Yes
A-103	FIRST FLOOR REFLECTED CEILING PLAN	Yes
A-201	OVERALL BUILDING ELEVATIONS	Yes
A-301	OVERALL BUILDING SECTIONS	Yes
A-302	WALL SECTIONS	Yes
A-303	STRUCTURAL DETAILS & SCHEDULES	Yes
A-401	INTERIOR ELEVATIONS	Yes
A-402	INTERIOR ELEVATIONS	Yes
CIVIL		
C-100	UTILITY AND EROSION AND SEDIMENT CONTROL PLAN	Yes
C-101	UTILITY & EROSION AND SEDIMENT CONTROL DETAILS	Yes

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OCCUPANCY GROUP

SECTION BC 304. GROUP B UN CONCENTRATED

CONSTRUCTION TYPE

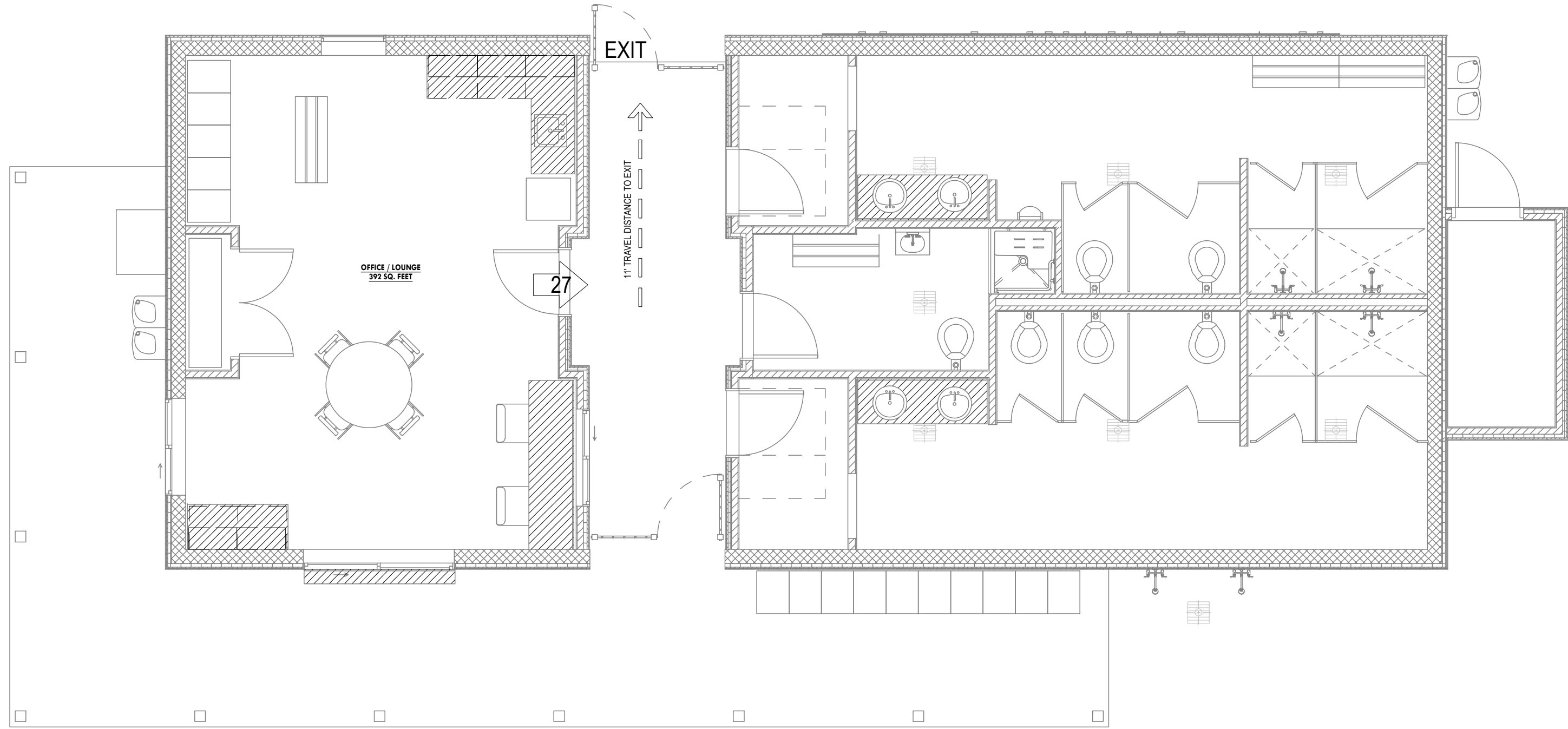
NON-COMBUSTIBLE TYPE IIIA

OCCUPANCY LOAD

UN-CONCENTRATED GROUP B - RECREATIONAL (LOUNGE / OFFICE)
FACTOR: 15 SQ. FEET NET PER PERSON
392 SQ. FEET / 15 = 26.13
TOTAL OCCUPANCY LOAD = 27

EGRESS ANALYSIS

SECTION 1006.2 SINGLE LOUNGE / OFFICE
TOTAL OCCUPANCY 27 LESS THAN 49
1 EXIT REQUIRED - 1 EXIT PROVIDED



PROJECT DESCRIPTION

ON THE SITE OF THE EXISTING TO BE DEMOLISHED POOL HOUSE AT SOUTH CREEK ROAD PARK, THIS PROJECT PROPOSES THE CONSTRUCTION OF A NEW POOL HOUSE TO SERVE THE COMMUNITY. THE NEW BUILDING IS 1,270 SF OF INTERIOR SPACE, SPLIT BY A BREEZE WAY ENTRANCE TO THE EXISTING POOL, UNDER ONE ROOF WITH DORMERS. THE BUILDING IS SETBACK APPROXIMATELY 65' FROM THE CENTERLINE OF SOUTH CREEK ROAD. THE BREEZEWAY ENTRANCE DIVIDES THE BUILDING'S TWO DISTINCT USES, STAFF AND RESTROOM. THE 460 SF STAFF SPACE HOLDS THE FRONT DESK, CONCESSIONS, STORAGE, STAFF LOCKERS, AND A KITCHENETTE. THE 800 SF SPACE INCLUDES MEN'S AND WOMEN'S BATHROOMS WITH SHOWERS, A FAMILY RESTROOM, AND A STORAGE CLOSET. BOTH RESTROOMS UTILIZE A VESTIBULE FOR PRIVACY.

BUILDING CONSTRUCTION:

- CMU EXTERIOR STRUCTURAL WALLS CLAD WITH WOOD EXTERIOR FINISH
- INTERIOR WOOD STUD WALLS
- WOOD SCISSOR TRUSS ROOF AND DORMERS

PROJECT CODE INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2025 BUILDING CODE OF NEW YORK STATE
(2024 IBC AMENDED)
2025 FIRE CODE OF NEW YORK STATE
(2024 IFC AMENDED)
2025 PLUMBING CODE OF NEW YORK STATE
(2024 IPC AMENDED)
2025 MECHANICAL CODE OF NEW YORK STATE
(2024 IMC AMENDED)
2025 FUEL GAS CODE OF NEW YORK STATE
(2024 IFGC AMENDED)
2025 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
(2024 IECC AMENDED)
2023 NATIONAL ELECTRICAL CODE (NFPA 70) WITH NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AMENDMENTS (OR NYC ELECTRICAL CODE WHERE APPLICABLE)
PUBLIC/COMMERCIAL POOL DESIGN, OPERATION, AND MAINTENANCE COMPLY WITH 10 NYCRR Subpart 6-1 of the New York State Sanitary Code.
POOL BARRIER, GATES, AND SELF-LATCHING MECHANISMS COM

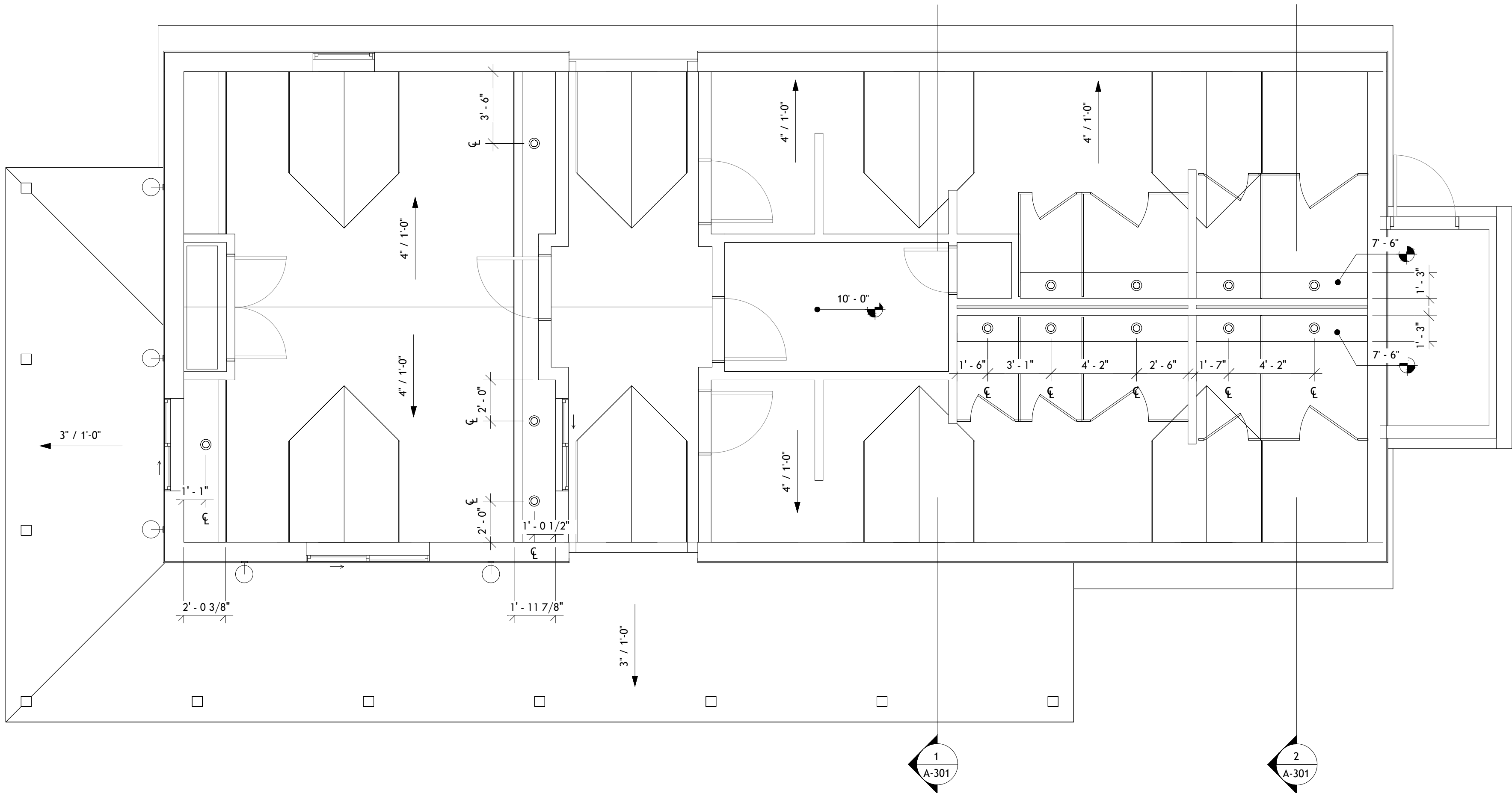
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D

C

B

A



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN NOTES

ALL RECESSED LIGHT FIXTURES AND LUMINARIES LOCATED IN FIRE-RATED CEILING ASSEMBLIES SHALL BE PROVIDED WITH CODE-APPROVED, FIRE-RATED ENCLOSURE COVERS (OR LIGHT CAPS) MAINTAINING THE IDENTICAL HOURLY FIRE-RESISTANCE RATING OF THE CEILING/FLOOR OR CEILING/ROOF ASSEMBLY.



ISSUE FOR BID

NOTICE:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LANDSCAPE ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND A SPECIFIC DESCRIPTION OF ALTERATIONS.

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REVISIONS

REV#	DATE	DESC
1	2/04/2026	CONSTRUCTION DOCUMENT
2	8/21/2026	ISSUE FOR BID
3		
4		
5	</	

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1	2/04/2026	CONSTRUCTION DOCUMENT
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3		
4		
5		

TOWN OF EVENS
SOUTH CREEK PARK - POOL HOUSE

DATE: 08/21/2026
PROJECT#: 220968-02
DRAWN BY: AB
CHECKED: TF

OVERALL BUILDING ELEVATIONS

A-201

