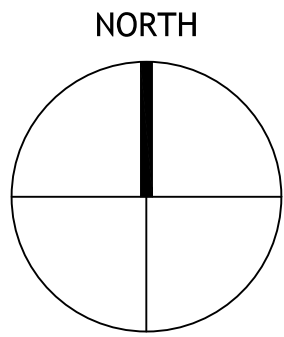
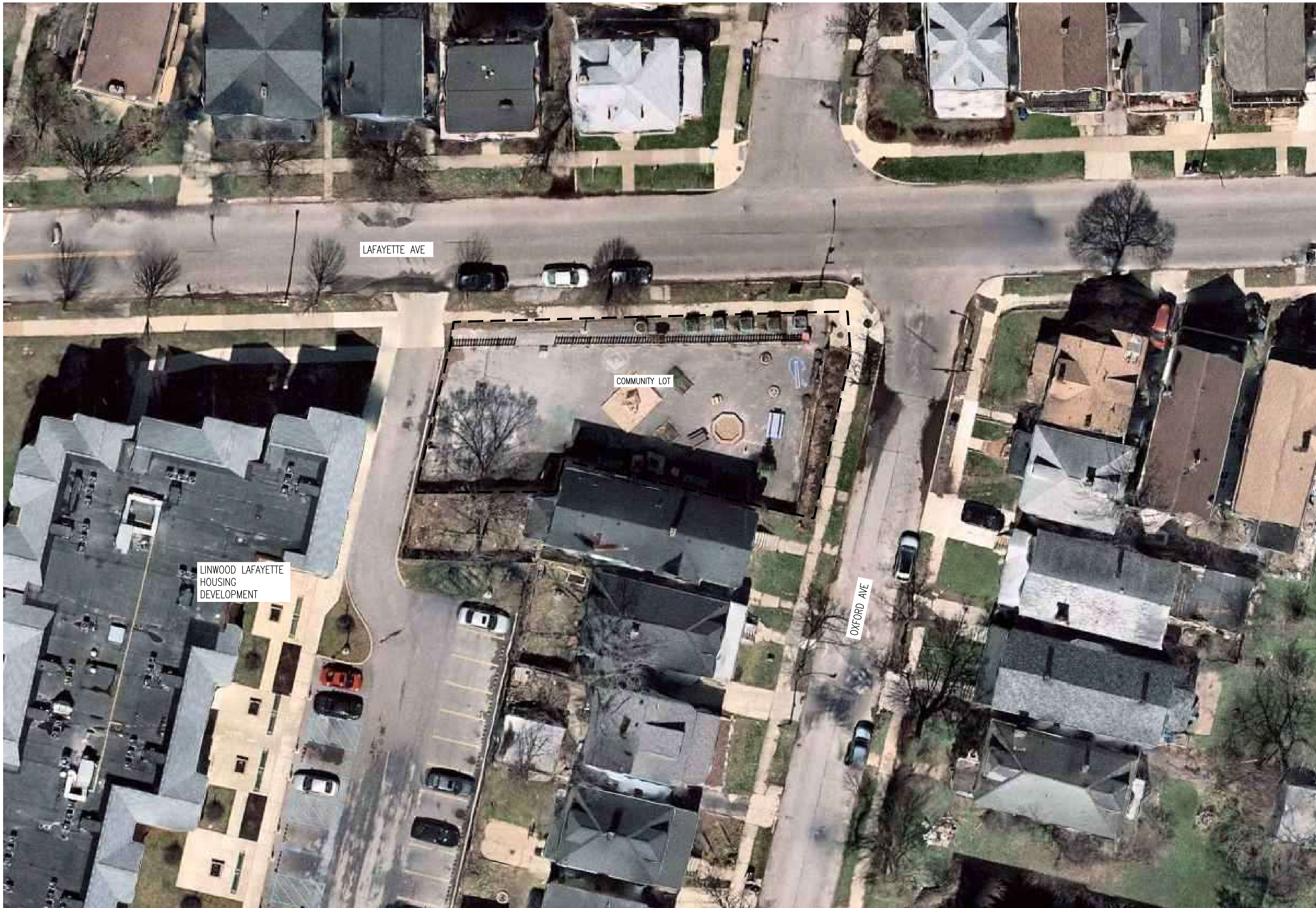
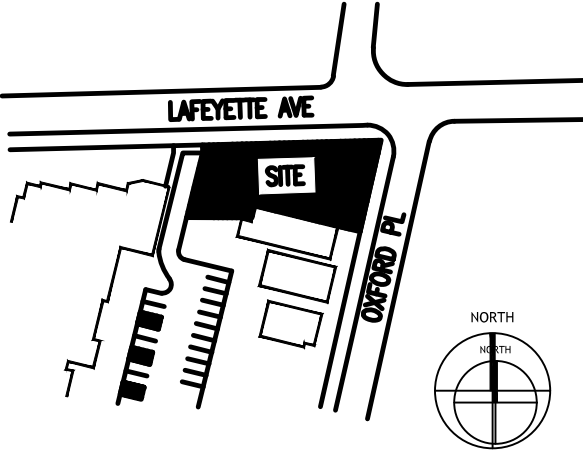


OXFORD COMMUNITY LOT

PLAYGROUND AND LANDSCAPE



Project:	
OXFORD COMMUNITY LOT	
BUFFALO NEW YORK	
Client:	
911 Lafayette Ave, Buffalo, NY 14209	
Prepared by:	
MNLA Mathews Nielsen Landscape Architects, P.C. 120 Broadway, F1040 New York, NY 10021 (212) 431-5008 mnlandscape.com	
	
Seat:	
Submissions:	
Date:	Type:
Project Phase:	
100% CONSTRUCTION DOCUMENTATION FOR BID	
Drawing Title:	
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AS NOTED	JULY 8, 2026
Drawn By:	Sheet No:
MNLA	01 OF 15
Checked By:	Drawing No:
MNLA	
MNLA Project No:	L-000
23-121	

GENERAL NOTES

- ALL WORK PERMITS, AND ASSOCIATED FEES, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. WORK PERMITS WILL BE REQUIRED FROM THE CITY OF BUFFALO FOR ALL CONSTRUCTION ACTIVITIES CONDUCTED WITHIN THE RIGHT OF WAY FOR EAST AMHERST STREET. NO WORK MAY COMMENCE WITHIN A PUBLIC RIGHT OF WAY WITHOUT AN AUTHORIZED WORK PERMIT AND ANY ADDITIONAL REQUIREMENTS ACCOMPANIED WITH THE WORK PERMIT.
- OTHER WORK PERMITS/REVIEWS FROM THE CITY OF BUFFALO MAY APPLY AND WILL BE THE RESPONSIBILITY OF THE CONTRACTOR ALONG WITH ANY ASSOCIATED FEES, INCLUDING BUT NOT LIMITED TO: PROJECT REGISTRATION WITH THE CITY OF BUFFALO PERMITS AND INSPECTIONS DEPARTMENT (P/PERMIT) AND UTILITY TAPPING PERMIT FROM THE BUFFALO SEWER AUTHORITY. PROJECT ENGINEER HAS COORDINATED PRELIMINARY REVIEWS WITH THE CITY OF BUFFALO DURING DESIGN TO ENSURE PROJECT COMPLIANCE AND ACCEPTANCE FOR THE STORM/SEWER CONNECTION ON EAST AMHERST ST. AND ALL OTHER PROPOSED PRIVATE SITE WORK. THESE REVIEWS WERE FOR PRELIMINARY COORDINATION ONLY AND NOT TO BE CONSTRUED AS FORMALLY COMPLETED/FILED.
- IF SIGNS OF CONTAMINATION ARE ENCOUNTERED DURING EXCAVATION, IMMEDIATELY STOP WORK AND NOTIFY THE OWNER'S REPRESENTATIVE. SIGNS OF CONTAMINATION INCLUDE, BUT ARE NOT LIMITED TO: ODOR, OILY SHEEN, SLUDGE, SOIL STAINING, AND UNUSUAL FILL MATERIAL. THE NYSDEC MUST BE CONTACTED BY THE OWNER'S REPRESENTATIVE IF PETROLEUM CONTAMINATED SOIL IS ENCOUNTERED ONSITE DURING CONSTRUCTION.

REMOVALS NOTES

- CLEAR AND GRUB EXISTING VEGETATION NECESSARY TO INSTALL THE WORK OF THIS CONTRACT. REMOVE ALL PORTIONS OF THE PLANTS TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE IN THE LAWN AREAS. COMPLETELY REMOVE ALL ABOVE AND BELOW GROUND PORTIONS OF PLANTS IN AREAS TO BE COVERED WITH BUILDINGS AND OTHER STRUCTURES. PAVEMENTS, AND PLANTING BEDS. REMOVE TREES INDICATED FOR REMOVAL IN THE ENTIRETY.
- PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ROOT, TRUNK, AND LIMB DAMAGE. RESTRICT VEHICULAR TRAFFIC TO AREAS OUTSIDE THE CRITICAL ROOT ZONE OF TREES. PREVENT COMPACTION OF SOIL WITHIN CRITICAL ROOT ZONE OF TREES AND SURROUNDING SHRUBS.
- SAWCUTTING IS REQUIRED FOR TRENCHES, SIDEWALK, AND PAVEMENT REMOVALS OR OTHER EXCAVATION WORK WITHIN PAVED AREAS. SAWCUT NEAT, STRAIGHT, EDGE PRIOR TO INSTALLING NEW PAVING. AT CONCRETE SIDEWALKS, SAWCUT AND REMOVE AT NEAREST SCORE JOINT.
- ALL SITE ELEMENTS DESIGNATED FOR REMOVAL MUST BE REMOVED AND DISPOSED OFF SITE, UNLESS OTHERWISE NOTED IN THE CONTRACT PLANS OR SPECIFICATIONS. ALL SITE ELEMENTS NOT DESIGNATED FOR REMOVAL, SHALL BE PROTECTED AT ALL TIMES. ANY SITE, UTILITY, OR STRUCTURAL DAMAGES DURING THE COURSE OF CONSTRUCTION, SHALL BE FURNISHED AND REPLACED IN KIND, AT THE EXPENSE OF THE CONTRACTOR.
- WHEN ADJACENT ASPHALT, CONCRETE, OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, REPLACE THE DAMAGED OR EXCAVATED AREA. SAWCUT THE PERIMETER OF THE DISTURBED AREA FULL DEPTH SO THAT LINES ARE STRAIGHT AND TRUE.

STAGING AND WORK ZONE CONTROL NOTES

- ENSURE THAT CONDITIONS SURROUNDING THE WORK AREA ARE ADEQUATE FOR PUBLIC SAFETY AT ALL TIMES. IMMEDIATELY REPORT THE PRESENCE OF ANY UNSAFE CONDITIONS TO THE OWNER'S REPRESENTATIVE .
- NOTIFY LOCAL LAW ENFORCEMENT AND EMERGENCY SERVICES OF CHANGES TO THE TRAFFIC (VEHICULAR AND/OR PEDESTRIAN) PATTERNS AND ANY OTHER COORDINATION THEY REQUIRE.
- MAINTAIN A SAFE TRAVEL WAY FOR PEDESTRIANS AROUND ALL WORK AREAS. KEEP ALL WORK AREAS, EITHER ACTIVE OR INACTIVE, INACCESSIBLE TO THE PUBLIC AT ALL TIMES BY MEANS ACCEPTABLE TO THE OWNER'S REPRESENTATIVE .
- COORDINATE TRAFFIC CONTROL MEASURES AND WORK SCHEDULE FOR ANY WORK WITHIN A PUBLIC RIGHT-OF-WAY WITH CITY OF BUFFALO DPW.
- MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE FEDERAL AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, SECTION 619 OF THE CURRENT NYS DOT STANDARD SPECIFICATIONS, THESE PLANS, AND AS ORDERED BY THE CITY OF BUFFALO DPW.
- VEHICLES AND/OR EQUIPMENT BELONGING TO THE CONTRACTOR OR THEIR WORKERS MAY NOT BE PARKED ON THE PAVEMENT OR SHOULDER ALONG A ROADWAY BEING USED BY THE GENERAL PUBLIC. NO MATERIAL MAY BE PLACED ON THE SHOULDER OR WITHIN THE CLEAR ROADSIDE AREA. CONSTRUCTION EQUIPMENT, MATERIALS, AND/OR VEHICLES STORED DURING NON-WORKING HOURS OR OVERNIGHT MUST BE LEFT IN A SECURED LOCATION.

EARTHWORK & SITE RESTORATION NOTES

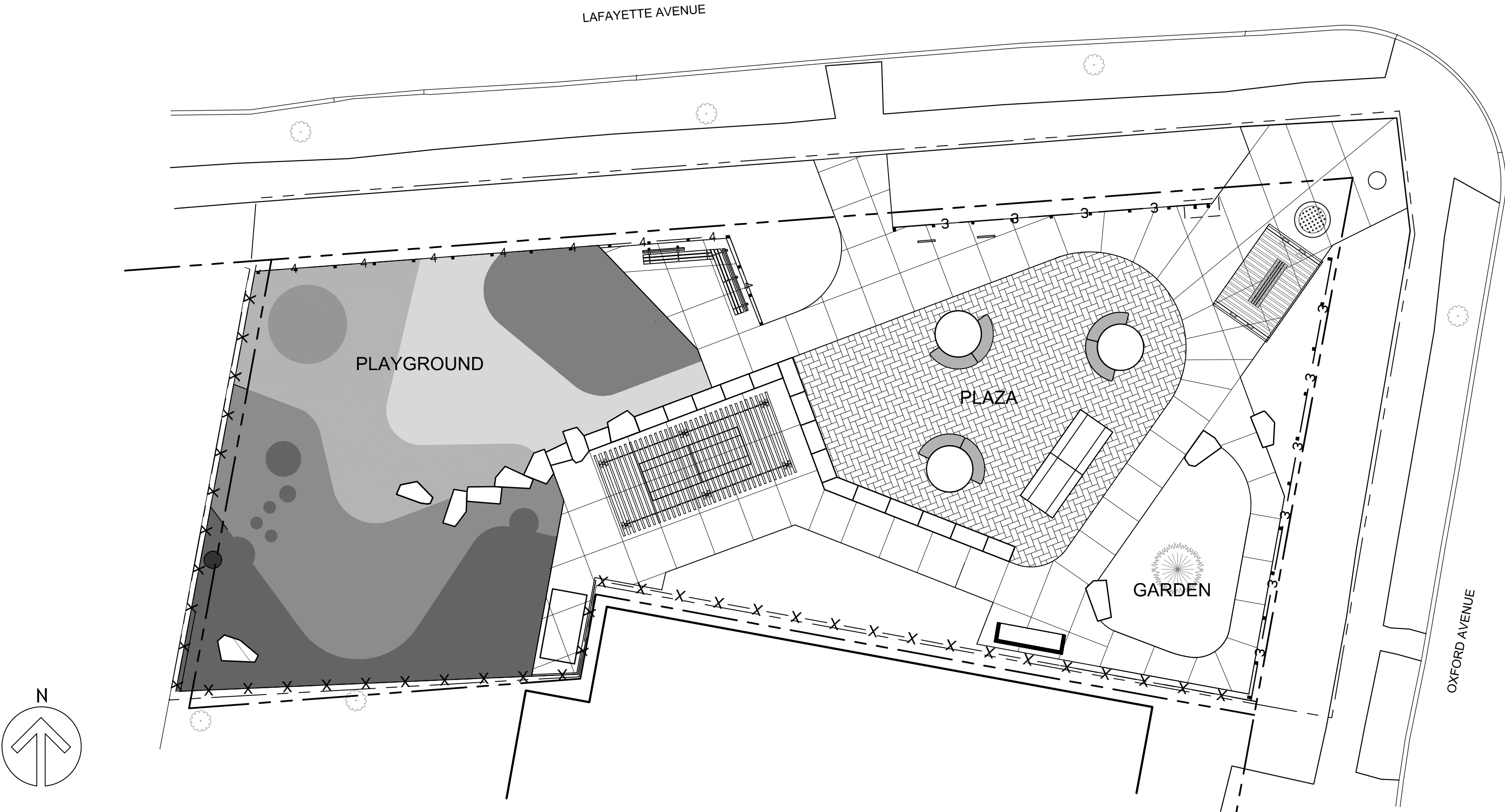
- IF GROUNDWATER IS ENCOUNTERED, DEWATERING MUST BE MAINTAINED IN EXCAVATED AREAS UNTIL ALL EXCAVATIONS ARE BACKFILLED AND HAVE POSITIVE SURFACE DRAINAGE.
- SOIL SUBBASES SHOULD NOT BE ALLOWED TO POOL STANDING WATER OR BECOME SATURATED, FROZEN, OR DISTURBED.
- PERFORM WORK IN COMPLIANCE WITH TITLE 29, CODE OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (O.S.H.A.). IN TRENCH EXCAVATIONS, LAY THE SIDES SLOPES BACK TO A PERMITTED SLOPE (IF ADEQUATE SPACE IS AVAILABLE), USE A TRENCH SHIELD, OR PROVIDE SHEETING, SHORING, AND BRACING. INCLUDE COSTS FOR TRENCH AND STRUCTURE EXCAVATION PROTECTION IN THE BID.
- RESTORE DISTURBED AREAS WITH TOPSOIL (4" MINIMUM), HYDROSEEDING, MULCHING, AND WATERING UNLESS OTHERWISE STATED ON THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LAWN SURFACES WITHIN THE CONTRACT LIMITS FOR THE DURATION OF THE CONSTRUCTION. MAINTAIN GRASS AT HEIGHTS BETWEEN 3 AND 3-1/2 INCHES ON A WEEKLY BASIS UNTIL THE FINAL ACCEPTANCE OF THE WORK.
- DESIGNATE AN AREA AS APPROVED BY THE OWNER'S REPRESENTATIVE FOR TEMPORARY TOPSOIL STOCKPIILING. KEEP SEPARATE FROM OTHER MATERIAL STOCKPILES. REMOVE FROM THE SITE AND DISPOSE OF STOCKPILED TOPSOIL THAT WILL NOT BE REUSED. REMOVE AND DISPOSE OF ANY UNSUITABLE SOIL MATERIAL.
- RESTORE EXCAVATIONS AND DISTURBED AREAS TO THE PROPOSED CONDITIONS SHOWN ON THE DRAWINGS AND PROJECT SPECIFICATIONS. THIS INCLUDES CONSTRUCTION ACCESS ROUTES, STAGING AREAS, AND DESIGNATED CONTRACT WORK AREAS.
- PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
- ALL AREA WITHIN GRADING CONTRACT LIMITS IS TO BE TOPSOILED AND SEEDED PER SPECIFICATIONS.

UTILITY NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED UTILITY PERMITS FROM THE UTILITY PROVIDER FOR CONNECTION TO PUBLIC UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UFPO) AT LEAST (7) FULL WORKING DAYS BEFORE ANY EXCAVATION (800) 962-7962. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES THAT ARE NOT A MEMBER OF THE "DIG SAFELY NEW YORK" PROGRAM.
- VERIFY UTILITY LOCATIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO COMMENCING WORK AND NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- TAKE PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE BY EQUIPMENT PASSING OVER THEM. SUPPORT AND PROTECT EXISTING UTILITIES TO REMAIN IN EXCAVATIONS. USE SUITABLE VIBRATORY EQUIPMENT AND CONSTRUCTION PROCEDURES TO AVOID DISTURBANCE OR BREAKAGE OF THE EXISTING UTILITIES. CONTRACTOR TO REPAIR UTILITIES DAMAGED BY CONTRACTOR AT CONTRACTOR'S OWN COST.
- NOTIFY THE OWNER'S REPRESENTATIVE 72 HOURS PRIOR TO PROPOSED UTILITY SHUTDOWN TO ALLOW TIME TO COORDINATE.
- ADJUST OR REPLACE EXISTING WATER VALVES, GAS VALVES, STEAM, ELECTRIC, TELECOMMUNICATIONS, SANITARY SEWER, AND STORM MANHOLES AND/OR COVERS LOCATED WITHIN THE LIMIT OF CONTRACT AS REQUIRED TO MEET THE PROPOSED FINISH GRADE. FURNISH ALL MATERIALS AND LABOR TO ACCOMPLISH, AT NO ADDITIONAL COST TO THE CONTRACTOR

LAYOUT NOTES

- UNLESS OTHERWISE NOTED ALL DIMENSIONS SHOWN ARE FROM FACE OF CURB.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION OR RESOLUTION PRIOR TO THE START OF SITE CONSTRUCTION.
- THE LAYOUT OF CURVILINEAR OR RADIAL CURBS, WALKWAY EDGES, PAVING JOINTS AND PAINTED LINES SHALL BE SMOOTH AND WITH EVEN TRANSITIONS TO STRAIGHT EDGES WITHOUT KINKS OR JOGS.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE LAID OUT PARALLEL OR PERPENDICULAR TO THE EXISTING OR PROPOSED CURBS. CONCRETE PAVEMENT AREAS SHALL NOT EXCEED 400 SQUARE FEET WITHOUT EXPANSION JOINTS. CONTROL JOINTS SHALL BE LAID OUT IN AN EVEN GRID PATTERN NOT EXCEEDING 5 FEET ON CENTER.
- ALL PROPOSED SIDEWALK AND ROADWAY PAVING WORK SHALL MEET THE EXISTING LINE AND GRADE OF ADJACENT PAVEMENT AREAS TO REMAIN WITHOUT TRIP HAZARDS OR PONDING OF WATER.
- STAKE OR FLAG ALL SITE ELEMENTS TO BE CONSTRUCTED IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ANY ALTERATIONS TO THIS DESIGN THAT ARE MADE IN THE FIELD DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- EXISTING DRAINS/MANHOLE GRATES/VALVE COVERS, ETC. SHALL BE ADJUSTED AS NECESSARY IN AREAS WHERE NEW/RESURFACED PAVEMENTS ARE TO BE INSTALLED. SQUARE AND RECTANGULAR GRATES SHALL BE ALIGNED WITH ADJACENT CURBS, WALLS, BUILDINGS, ETC.
- CONCRETE SYMBOLS ARE ONLY GRAPHIC REPRESENTATIONS. SCORE LINES SHALL BE PARALLEL AND PERPENDICULAR TO ADJACENT EXISTING SCORE LINES, CURBS OR WALLS.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. ALL DIMENSIONS ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWING AND SPECIFICATIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.



Project:

OXFORD COMMUNITY LOT

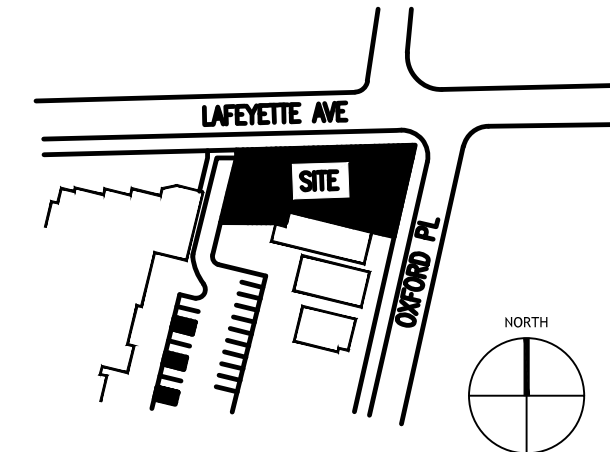
BUFFALO NEW YORK

Client:

911 Lafayette Ave,
Buffalo, NY 14209

Prepared by:

MNLA
Mathews Nielsen
Landscape Architects, P.C.
120 Broadway, F1040
New York, NY 10021
(212) 431-9009
mnlandscape.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

KEY PLAN AND GENERAL NOTES

Scale:

AS NOTED

Date:

JULY 8, 2026

Drawn By:

MNLA

Sheet No:

02 OF 16

Checked By:

MNLA

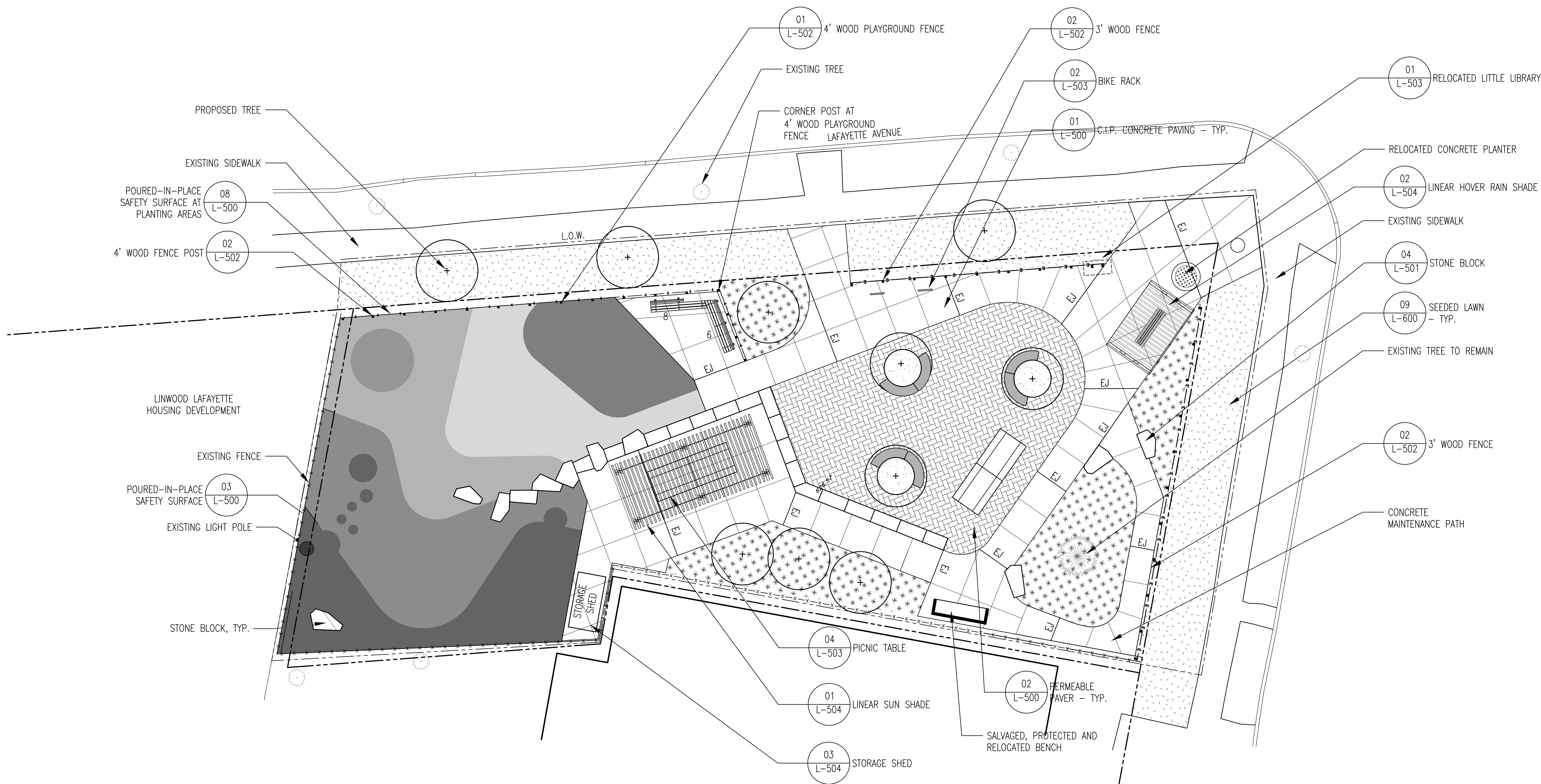
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MNLA Project No:

23-121

L-001

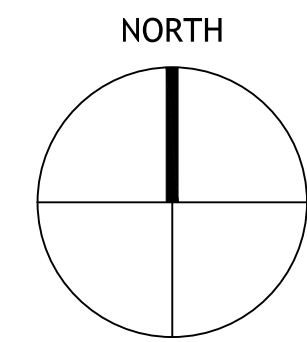
Jul 08, 2026 - 11:59pm M-103-101 Oxford Community Lot (09-000000) L-100 MATERIALS PLAN.dwg



LEGEND

L.O.W.	EXISTING FENCE TO REMAIN	EXISTING TREES	KOMPAN LOOP ARC BENCH
x-x-x-x	EXISTING FENCE TO REMAIN	BIKE RACK	SEEDED LAWN
4' HIGH CEDAR PLAYGROUND FENCE	PICNIC TABLE	SHRUB AND PERENNIAL PLANTING	PLAYGROUND SURFACE
3' HIGH CEDAR PERIMETER FENCE	SALVAGED AND RELOCATED BACKED BENCH	PERMEABLE HERRINGBONE PAVERS	
EJ	EXPANSION JOINT	MODIFIED BENCH	
PROPOSED TREE, TYP.	BACKLESS BENCH		

0 2' 4' 6' 8' 16' 24'
1/8" = 1'-0"



Project:

OXFORD COMMUNITY LOT

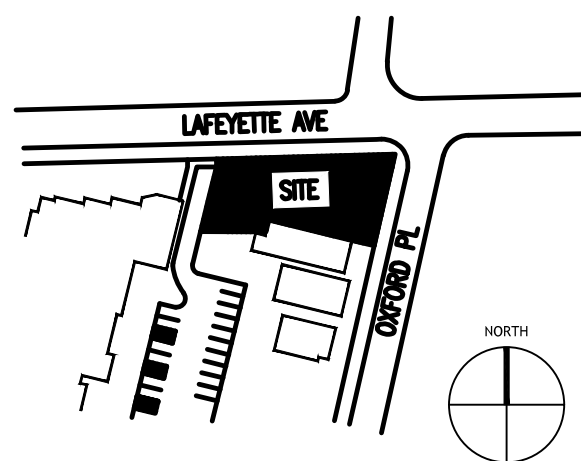
BUFFALO NEW YORK

Client:

911 Lafayette Ave,
Buffalo, NY 14209

Prepared by:

MNLA
Mathew Nielsen
Landscape Architects, P.C.
120 Broadway, F1040
New York, NY 10021
(212) 451-9009
mnlandscape.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

MATERIALS PLAN

Scale:

1/8"=1'-0"

Date:

JULY 8, 2026

Drawn By:

MNLA

Sheet No.:

05 OF 16

Checked By:

MNLA

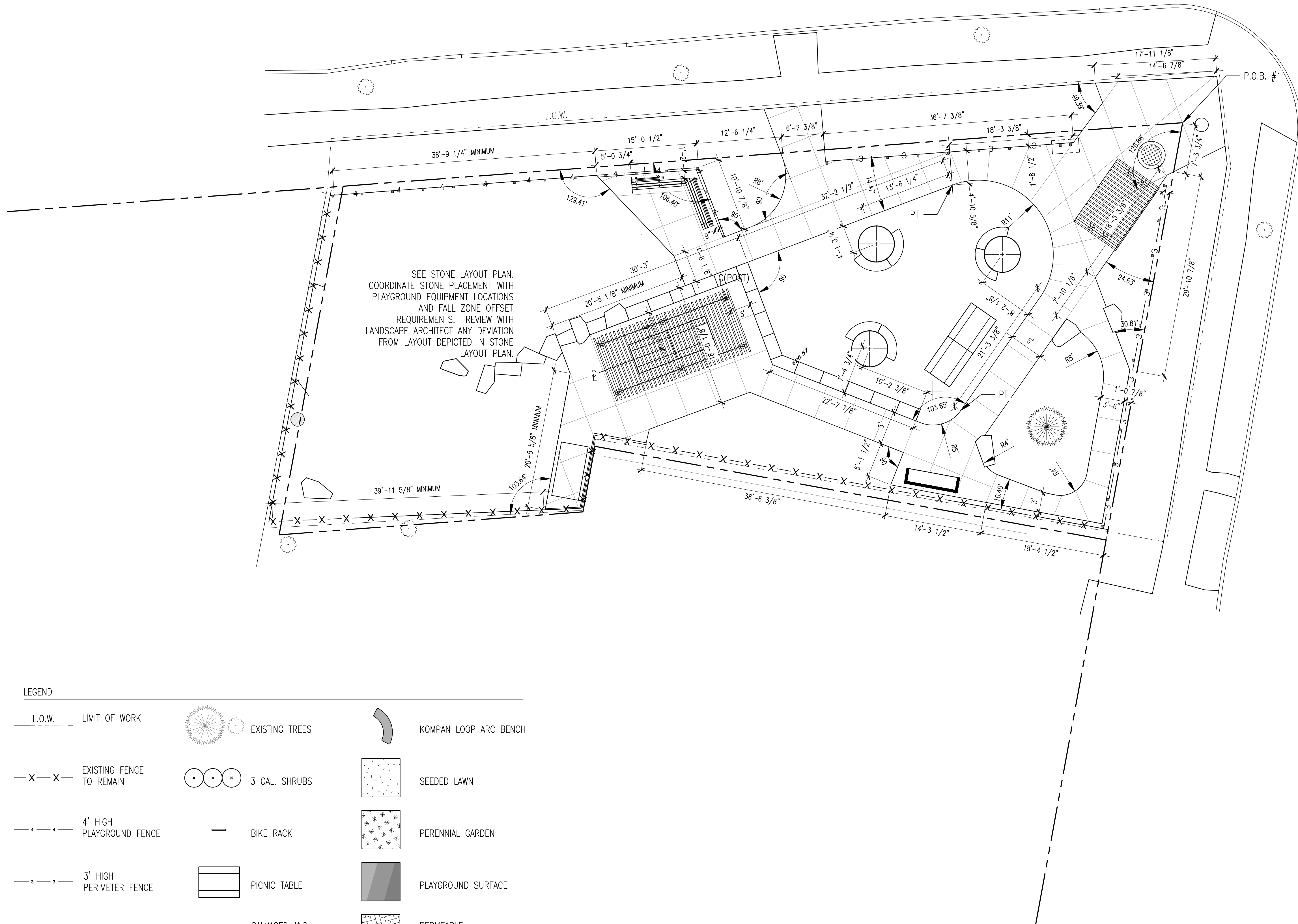
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MNLA Project No.:

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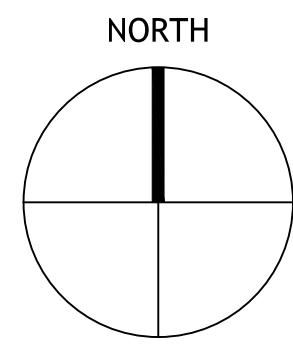
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Jul 08, 2026 - 11:55pm MA 103-121 Oxford Community Lot (09-mech) \L-200 LAYOUT PLAN.dwg



LEGEND

L.O.W.	LIMIT OF WORK		EXISTING TREES		KOMPAN LOOP ARC BENCH
X-X	EXISTING FENCE TO REMAIN		3 GAL. SHRUBS		SEEDED LAWN
4-4	4' HIGH PLAYGROUND FENCE		BIKE RACK		PERENNIAL GARDEN
3-3	3' HIGH PERIMETER FENCE		PICNIC TABLE		PLAYGROUND SURFACE
EJ	EXPANSION JOINT		SALVAGED AND RELOCATED BACKED BENCH		PERMEABLE HERRINGBONE PAVERS
	PROPOSED TREE, TYP.		BACKED BENCH		MULCH
			BACKLESS BENCH		



Project:

OXFORD
COMMUNITY LOT

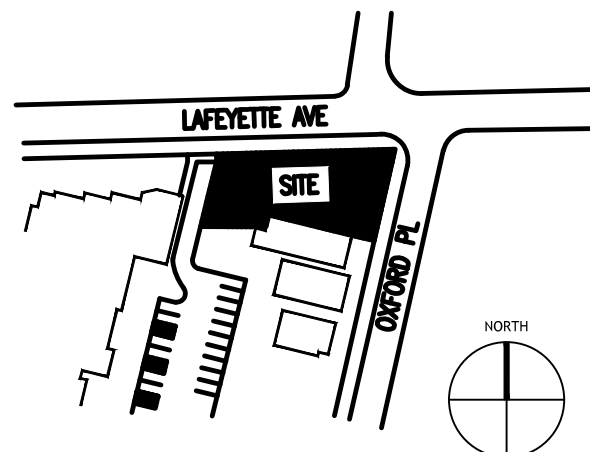
BUFFALO NEW YORK

Client:

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Prepared by:

MNLA
Mathews Nielsen
Landscape Architects, P.C.
120 Broadway, F1040
New York, NY 10021
(212) 431-3009
mnielsen@mnla.com



Seat:

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Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

LAYOUT PLAN

Scale:

1/8"=1'-0"

Date:

JULY 8, 2026

Drawn By:

MNLA

Sheet No:

7 OF 16

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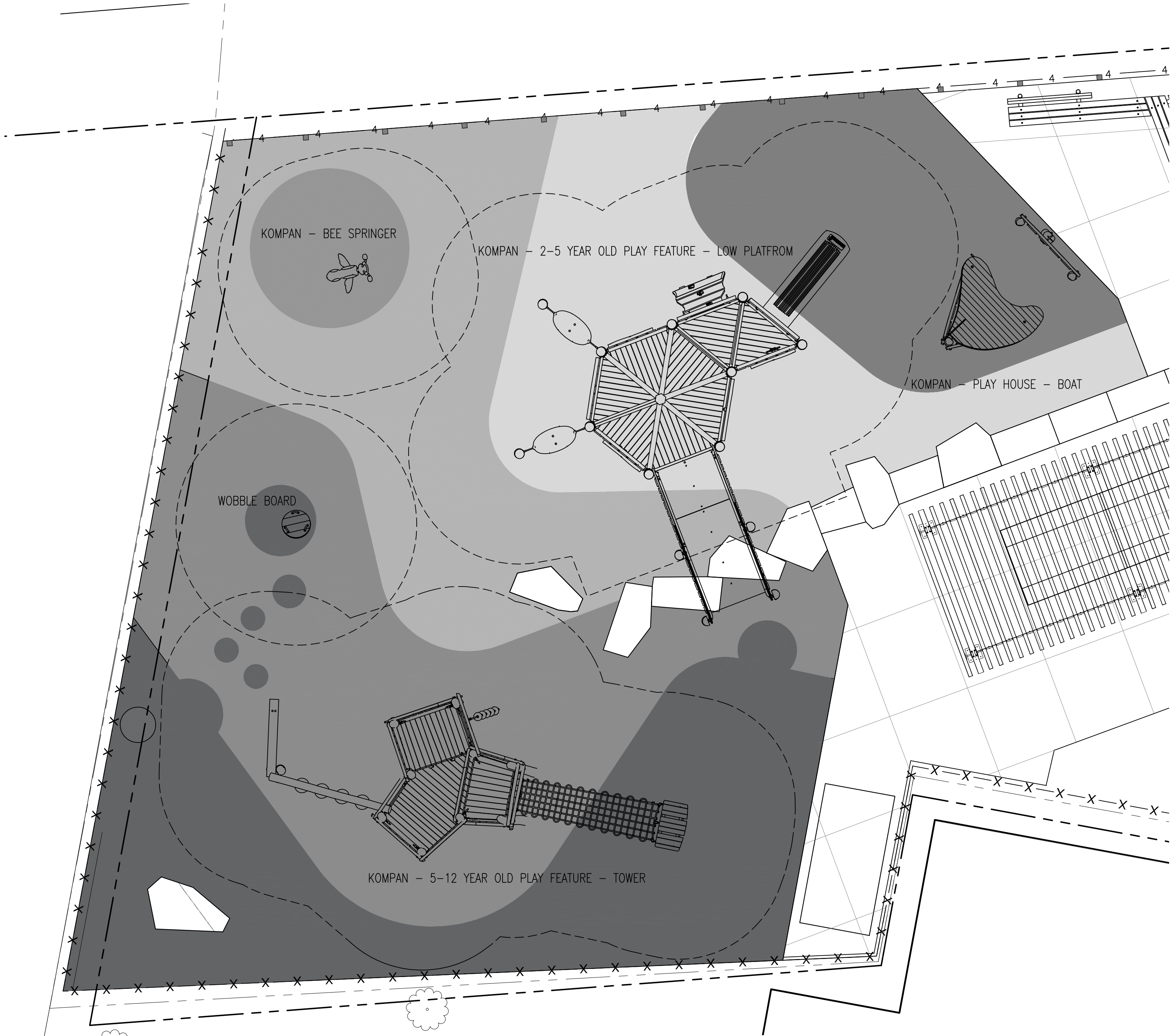
MNLA

Drawing No:

MNLA Project No:

23-121

L-200



1
L-210
PLAYGROUND PLAN VIEW
SCALE: 1/4" = 1'



KOMPAN - 5-12 YEAR OLD PLAY FEATURE - TOWER



KOMPAN - 2-5 YEAR OLD PLAY FEATURE - LOW PLATFORM



KOMPAN - PLAY HOUSE - BOAT

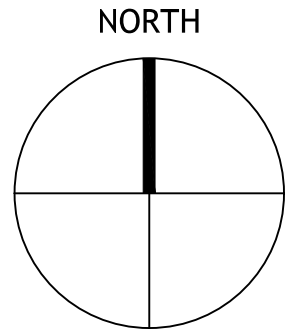


KOMPAN - BEE SPRINGER

KOMPAN - SPINNER PLATE

PLAYGROUND NOTE:

PLAYGROUND EQUIPMENT AND INSTALLATION TO BE COMPLETED BY OTHERS. COORDINATE EQUIPMENT LOCATIONS AND FALL ZONES WITH PLAYGROUND SURFACING DEPTHS, SITE STONE AND ADJACENT SITE ELEMENTS WITH MANUFACTURER AND INSTALLER. REVIEW SHOP DRAWINGS FROM INSTALLER WITH SITE CONDITIONS AND COORDINATE INSTALLATION.



Project:

OXFORD
COMMUNITY LOT

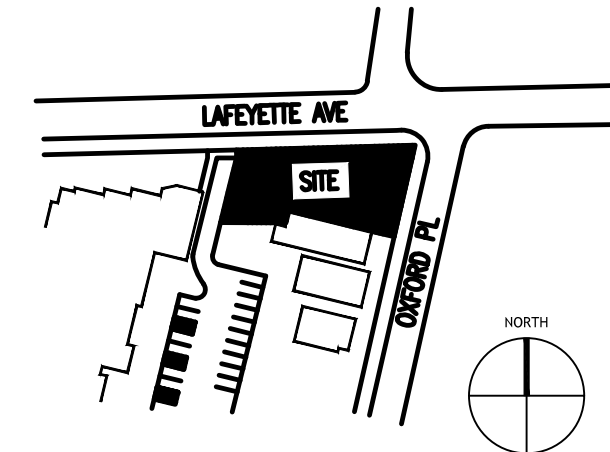
BUFFALO NEW YORK

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mnlandscape.com



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Drawing Title:

PLAYGROUND PLAN

Scale:
1/4" = 1'-0"

Date: JULY 8, 2026

Drawn By:

MNLA

Sheet No:
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Checked By:

MNLA

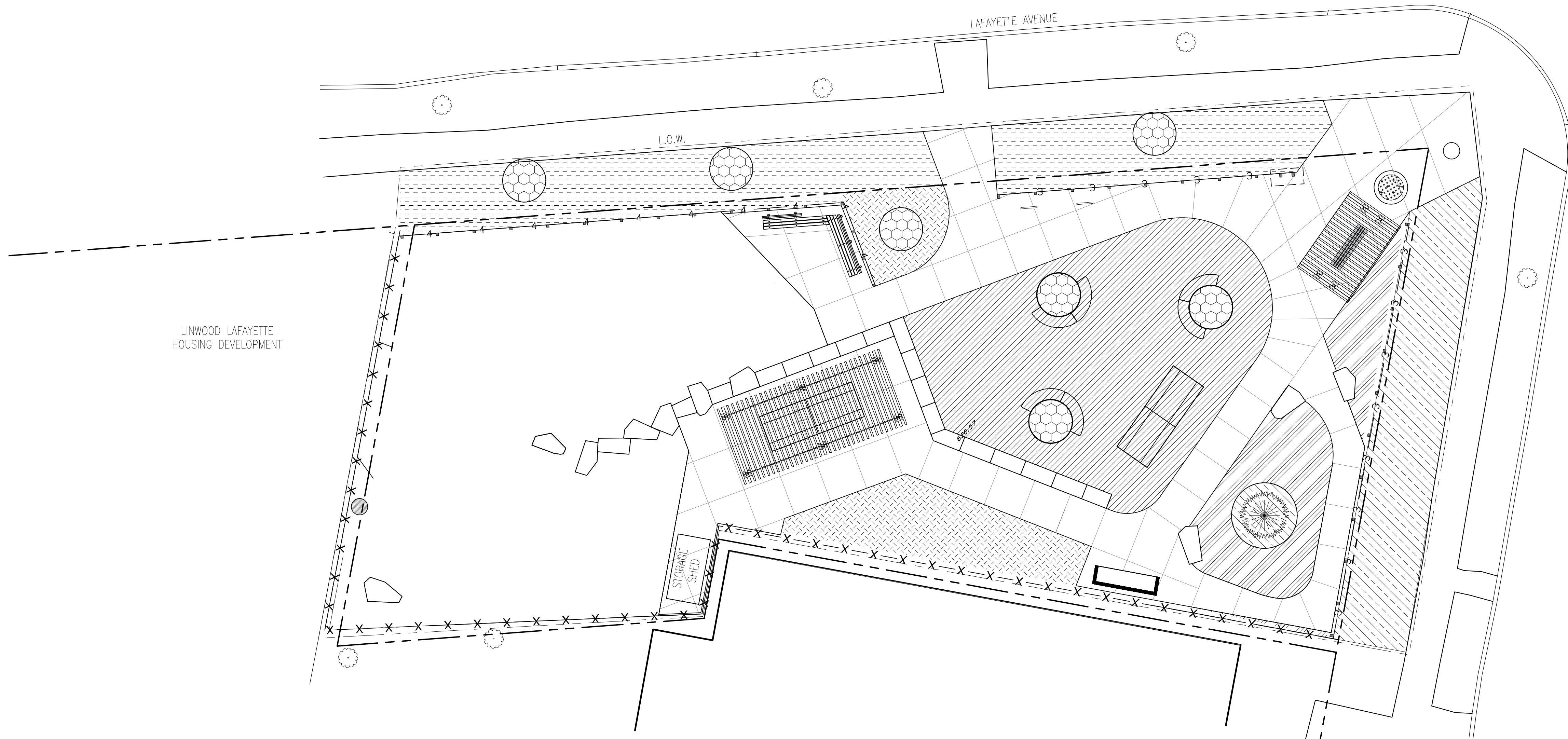
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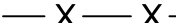
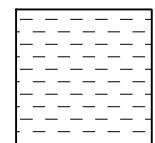
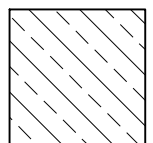
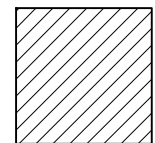
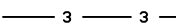
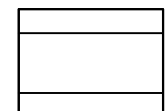
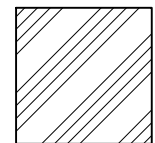
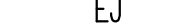
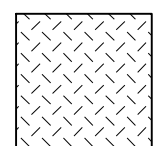
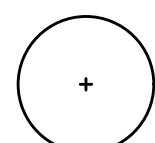
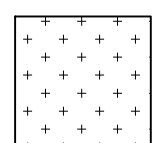
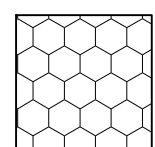
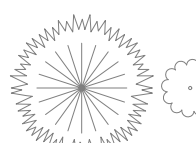
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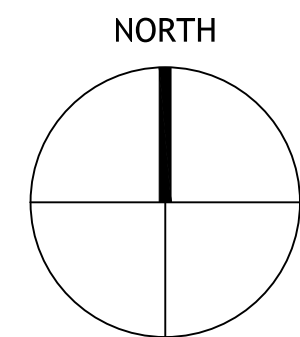
23-121

L-210

Jul 08, 2026 - 11:53pm MA-03-121 Oxford Community Lot (03-area) L-300 SOILS AND TREE PLAN.dwg



LEGEND							
	EXISTING FENCE TO REMAIN		3 GAL. SHRUBS		9" TOPSOIL		DE-COMPACTED SOIL, ADD NEW TOPSOIL AS NECESSARY TO MEET GRADE, DO NOT DISTURB EXISTING ROOTS
	4' HIGH CEDAR PLAYGROUND FENCE		BIKE RACK		30" DEPTH STRUCTURAL SOIL		
	3' HIGH CEDAR PERIMETER FENCE		PICNIC TABLE		18" TOPSOIL		
	EXPANSION JOINT		SALVAGED AND RELOCATED BACKED BENCH		30" TOPSOIL		
	PROPOSED TREE, TYP.		BACKED BENCH		PLANTER SOIL		36" TOPSOIL AT TREE, MIN. 5'-5" DIAMETER AREA
	EXISTING TREES		BACKLESS BENCH				
			KOMPAN LOOP ARC BENCH				



Project:

OXFORD COMMUNITY LOT

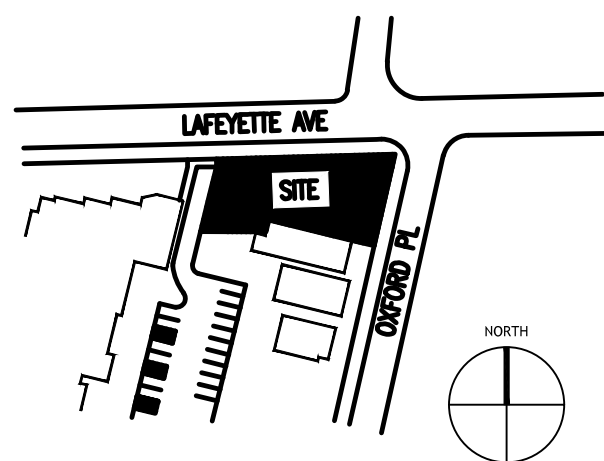
BUFFALO NEW YORK

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Submissions:

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Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

SOILS AND TREE PLAN

Scale:
1/8"=1'-0"

Date:
JULY 8, 2026

Drawn By:
MNLA

Sheet No.:
9 OF 16

Checked By:
MNLA

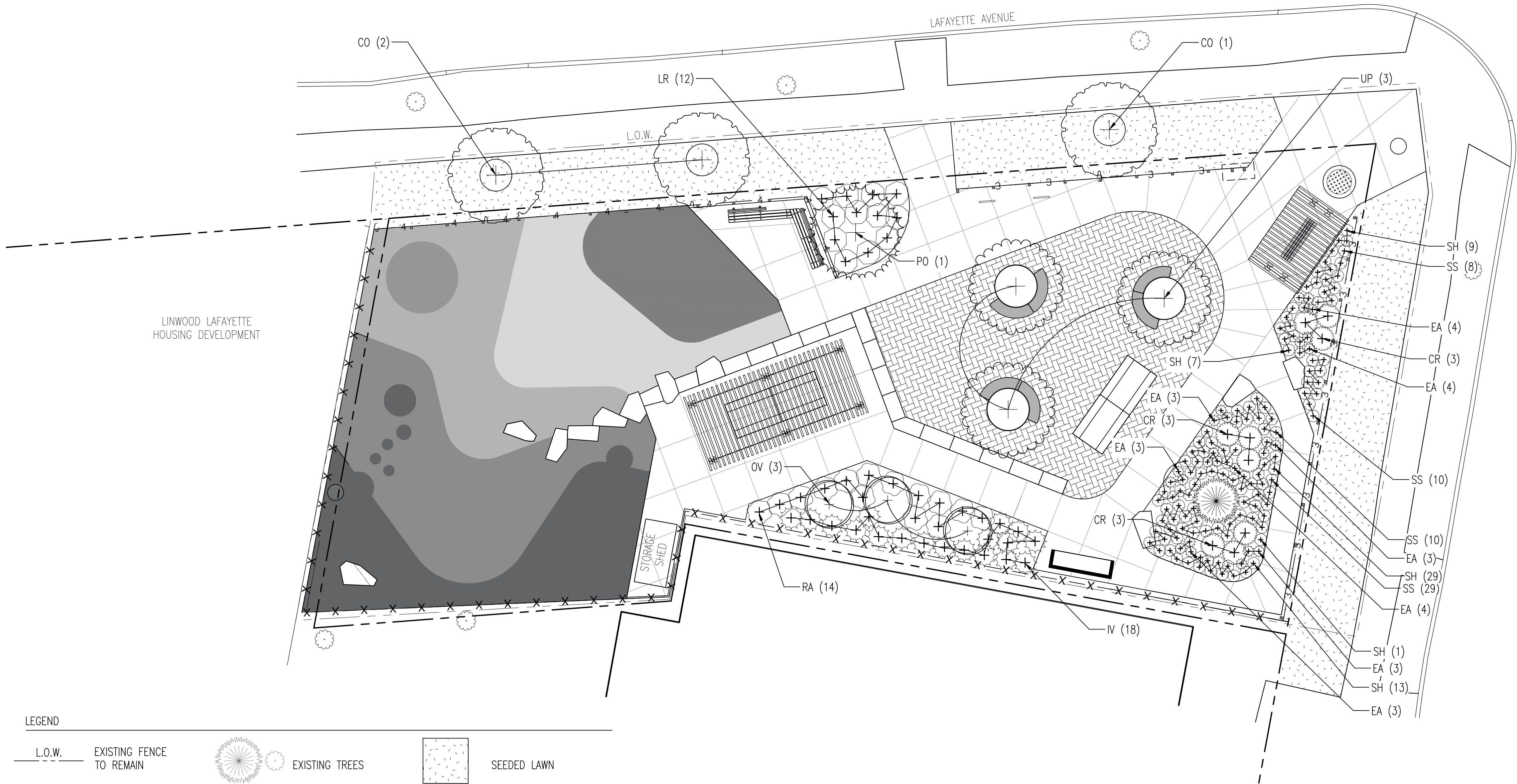
Drawing No:

MNLA Project No:

23-121

L-300

Jul 08, 2026 - 11:52pm WA-03-121 Oxford Community Lot (09-meters) - L-310 PLANTING PLAN.dwg

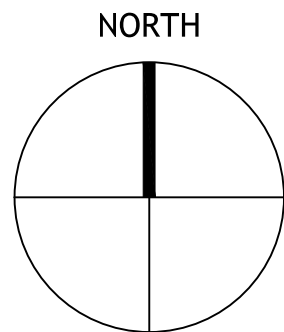


LEGEND

L.O.W.	EXISTING FENCE TO REMAIN		EXISTING TREES		SEEDDED LAWN
X-X	EXISTING FENCE TO REMAIN		3 GAL. SHRUBS		
4-4	4' HIGH CEDAR PLAYGROUND FENCE		PERENNIAL GARDEN		
3-3	3' HIGH CEDAR PERIMETER FENCE		PLAYGROUND SURFACE		
EJ	EXPANSION JOINT		PERMEABLE HERRINGBONE PAVERS		
+	PROPOSED TREE, TYP.		MULCH		

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
TREES						
OV	3	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	2"-2.5" CAL.	B & B	
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3" - 3.5" CAL.	B & B	
UP	3	ULMUS 'PIONEER'	PIONEER ELM	3" - 3.5" CAL.	B & B	
PO	1	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3" - 3.5" CAL.	B & B	
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
SHRUBS						
CR	9	CORNUS STOLONIFERA	ARTIC FIRE RED -OSIER DOGWOOD	#3	CONT.	36" O.C.
LR	12	DIERVILLA X 'G2X88544'	KODIAK® ORANGE DIERVILLA	#3	CONT.	36" O.C.
IV	18	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	#3	CONT.	30" O.C.
RA	14	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#3	CONT.	36" O.C.
PERENNIALS						
SS	57	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#2	CONT.	18" O.C.
SH	59	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#2	CONT.	18" O.C.
EA	25	ECHINACEA X 'ALL THAT JAZZ'	CONEFLOWER	#2	CONT.	18" O.C.



Project:

OXFORD
COMMUNITY LOT

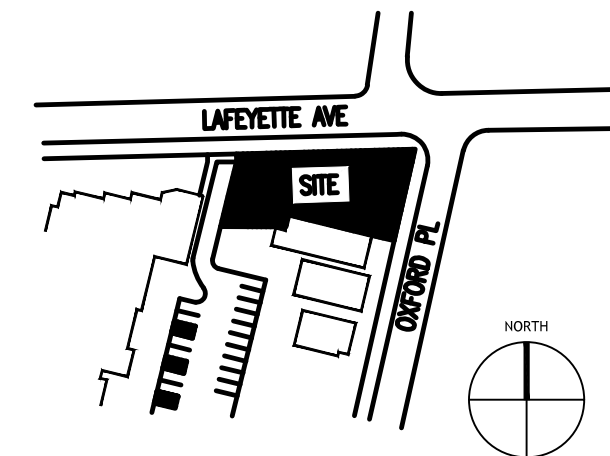
BUFFALO NEW YORK

Client:

911 Lafayette Ave,
Buffalo, NY 14209

Prepared by:

MNLA
Mathews Nielsen
Landscape Architects, P.C.
120 Broadway, FID40
New York, NY 10021
(212) 431-5009
mnielsen@mnla.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

PLANTING PLAN

Scale:

1/8"=1'-0"

Date:

JULY 8, 2026

Drawn By:

MNLA

Sheet No.:

10 OF 15

Checked By:

MNLA

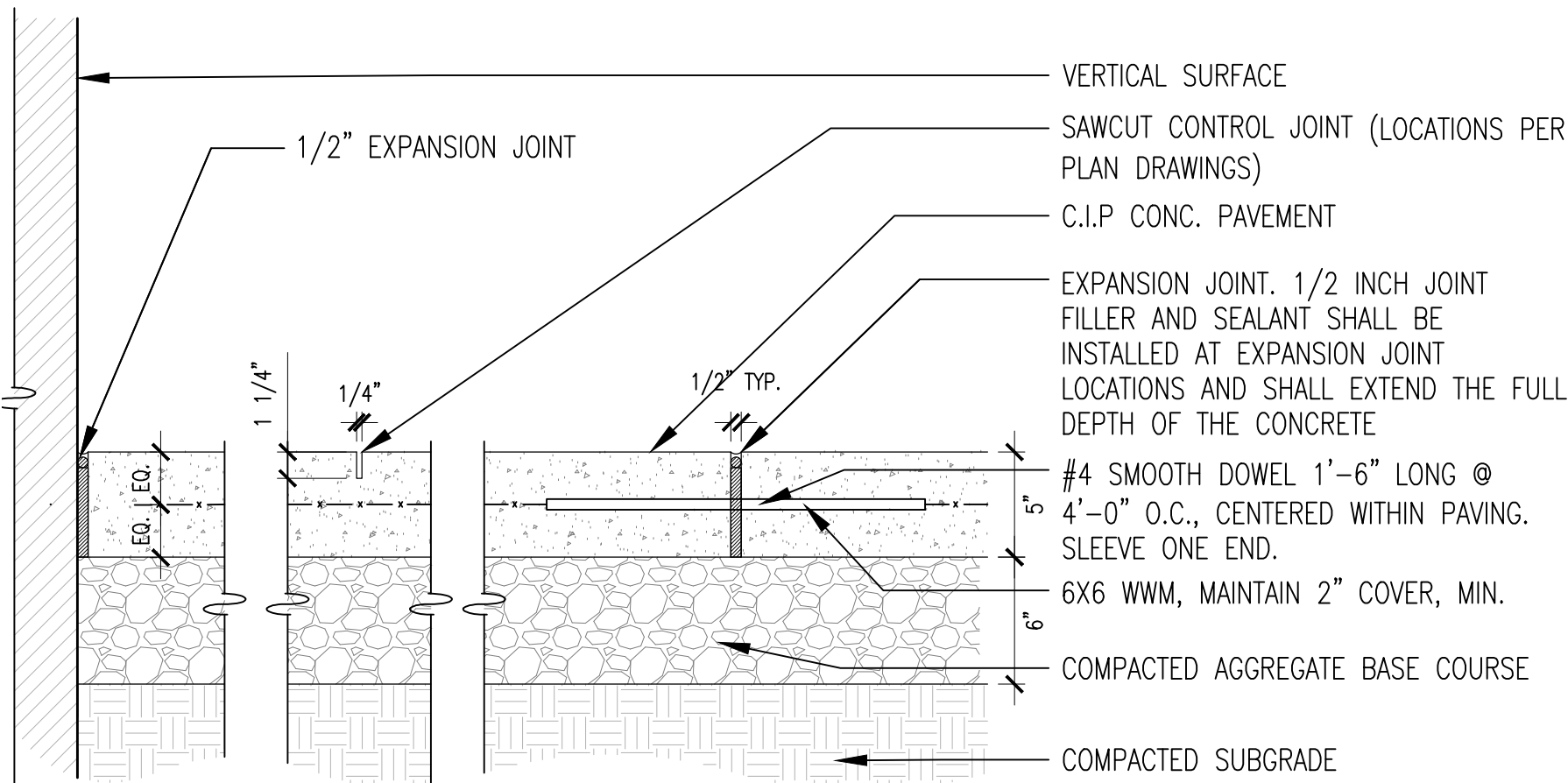
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L-310

MNLA Project No.:

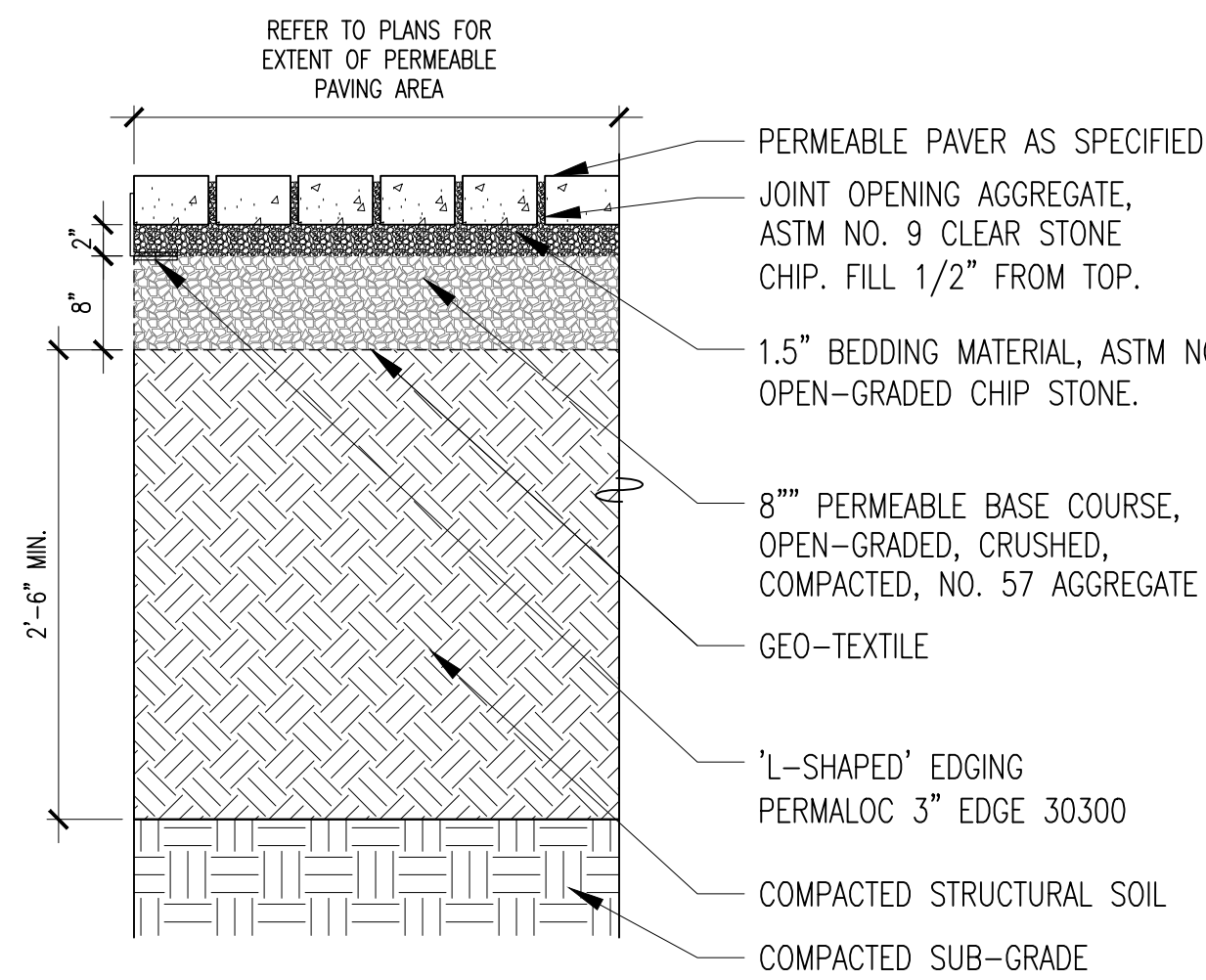
23-121

- NOTES:
1. EXPANSION JOINTS SHALL BE LOCATED AS SHOWN ON PLAN. FOR EXPANSION JOINT WHERE PAVING ABUTS CONCRETE WALLS, CURBS OR OTHER ADJACENT STRUCTURES REFER TO DETAILS.
 2. 1/2 INCH JOINT FILLER SHALL BE INSTALLED AT EXPANSION JOINT LOCATIONS AND SHALL EXTEND THE FULL DEPTH OF THE CONCRETE
 3. SAWCUT CONTROL JOINTS SHALL BE 1 1/4" DEEP AND PLACED AT THE SPACING AS INDICATED ON PLAN.
 4. REFER TO SPECIFICATIONS FOR CONCRETE PAVING INFORMATION.
 5. REFER TO SPECIFICATIONS FOR JOINT SEALANT INFORMATION.
 6. SEE MATERIAL PLANS FOR LOCATION OF BROOM FINISH AND INTEGRAL EXPOSED AGGREGATE FINISH



01 C.I.P. CONCRETE PAVING

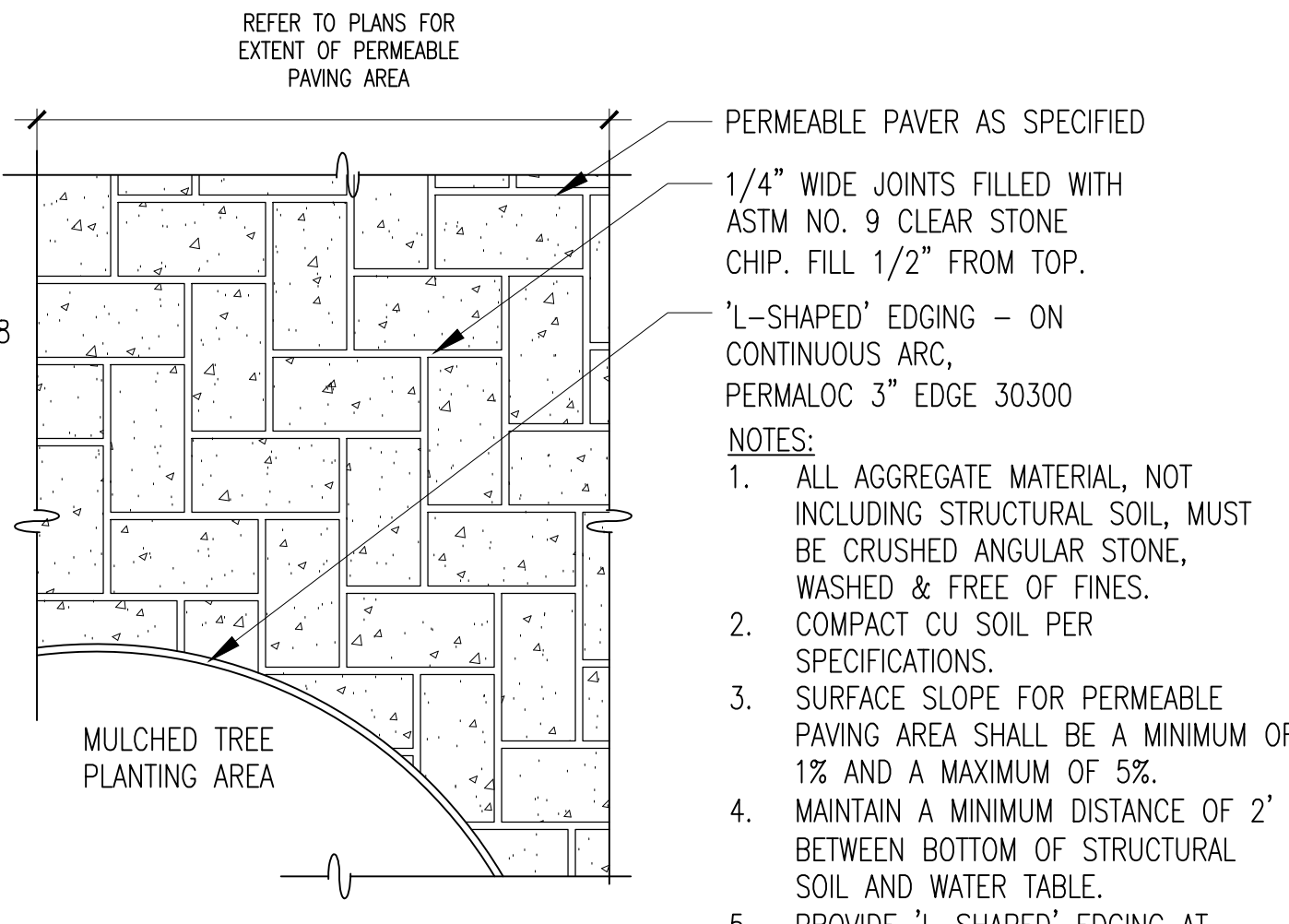
L-500 SCALE: 1 1/2" = 1'-0"



SECTION - PAVERS OVER STRUCTURAL SOIL

02 PERMEABLE PAVER

L-500 SCALE: 1" = 1'-0"



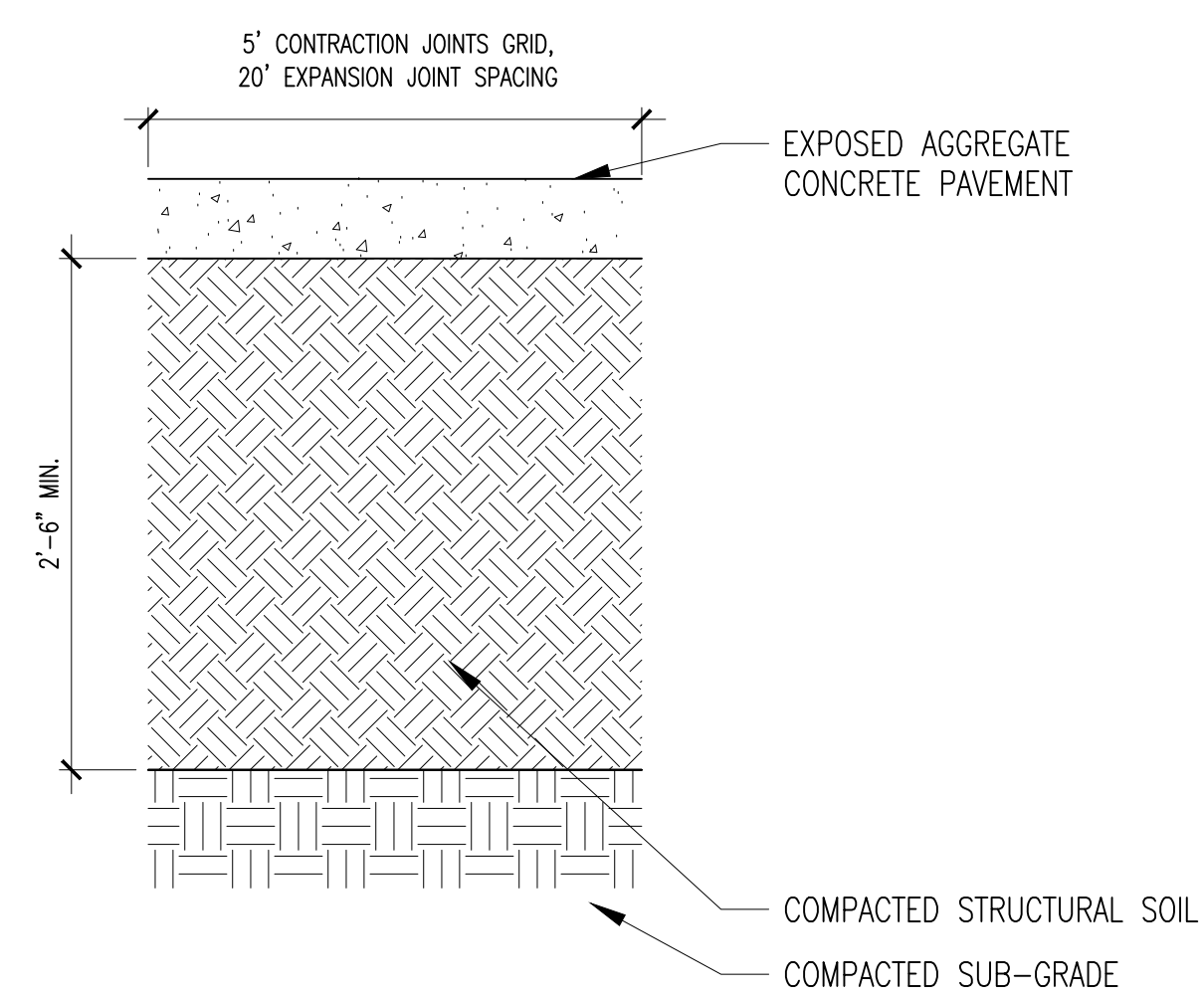
PLAN VIEW

PERMEABLE PAVER AS SPECIFIED
1/4" WIDE JOINTS FILLED WITH
ASTM NO. 9 CLEAR STONE
CHIP, FILL 1/2" FROM TOP.

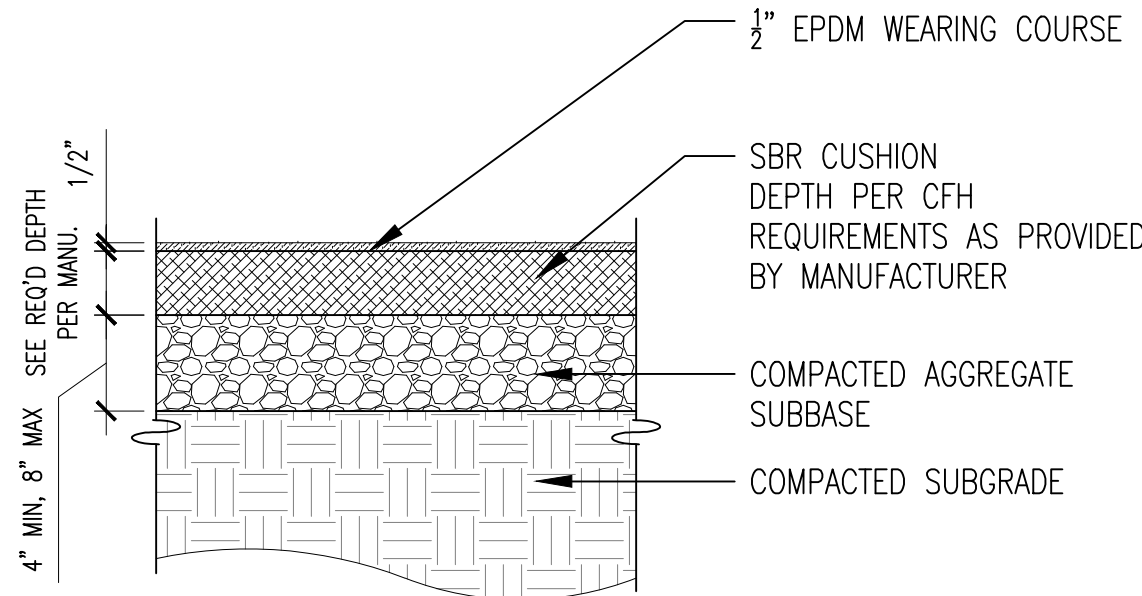
'L-SHAPED' EDGING - ON
CONTINUOUS ARC,
PERMALOC 3" EDGE 30300

NOTES:

1. ALL AGGREGATE MATERIAL, NOT INCLUDING STRUCTURAL SOIL, MUST BE CRUSHED ANGULAR STONE, WASHED & FREE OF FINES.
2. COMPACT CU SOIL PER SPECIFICATIONS.
3. SURFACE SLOPE FOR PERMEABLE PAVING AREA SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%.
4. MAINTAIN A MINIMUM DISTANCE OF 2' BETWEEN BOTTOM OF STRUCTURAL SOIL AND WATER TABLE.
5. PROVIDE 'L-SHAPED' EDGING AT PERIMETER OF PERMEABLE PAVING AREA WHEN ABUTTING A NON-RIGID CONDITION SUCH AS A TREE PIT - REFER TO STANDARD DETAILS.

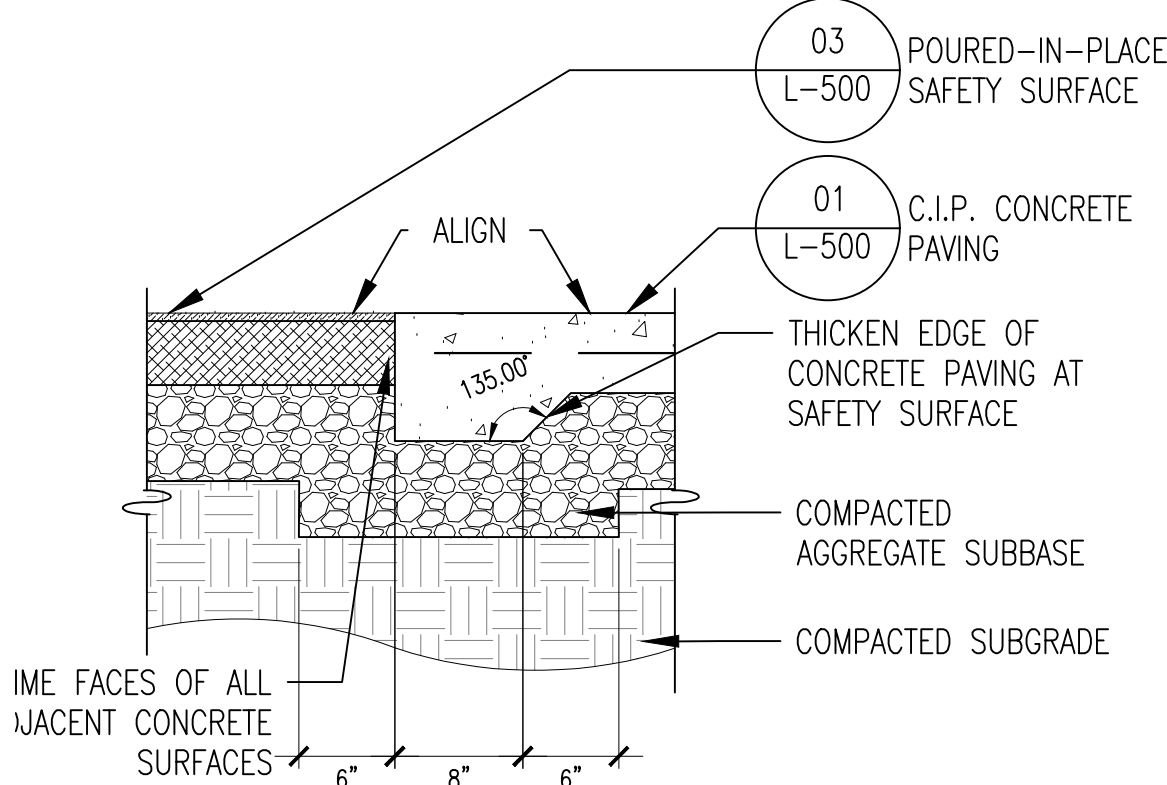


ALTERNATE: EXPOSED CONCRETE AGGREGATE
OVER STRUCTURAL SOIL



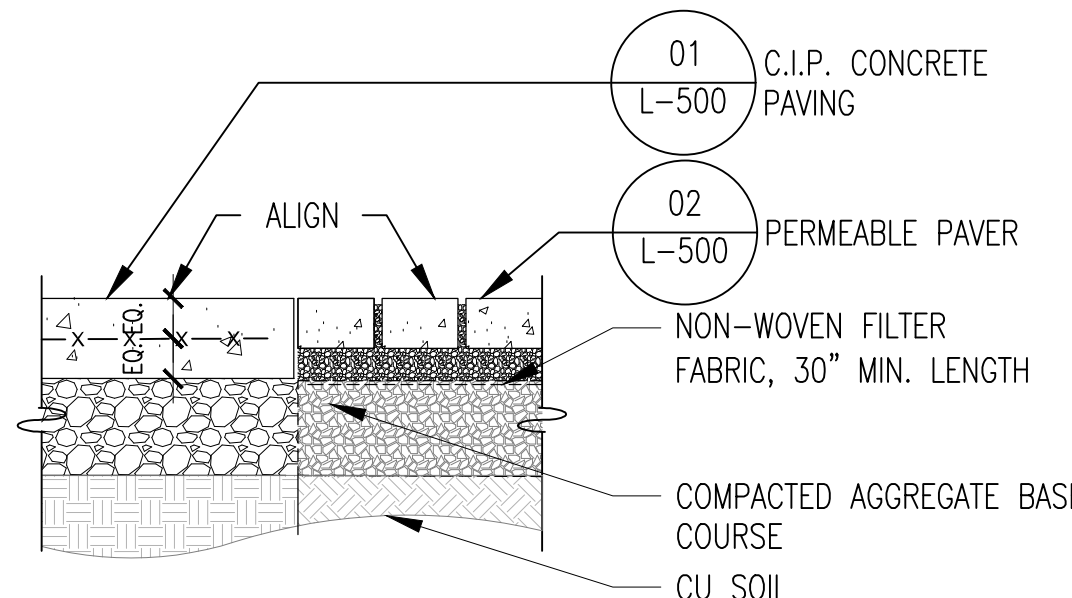
03 POURED-IN-PLACE SAFETY SURFACE

L-500 SCALE: 1" = 1'-0"



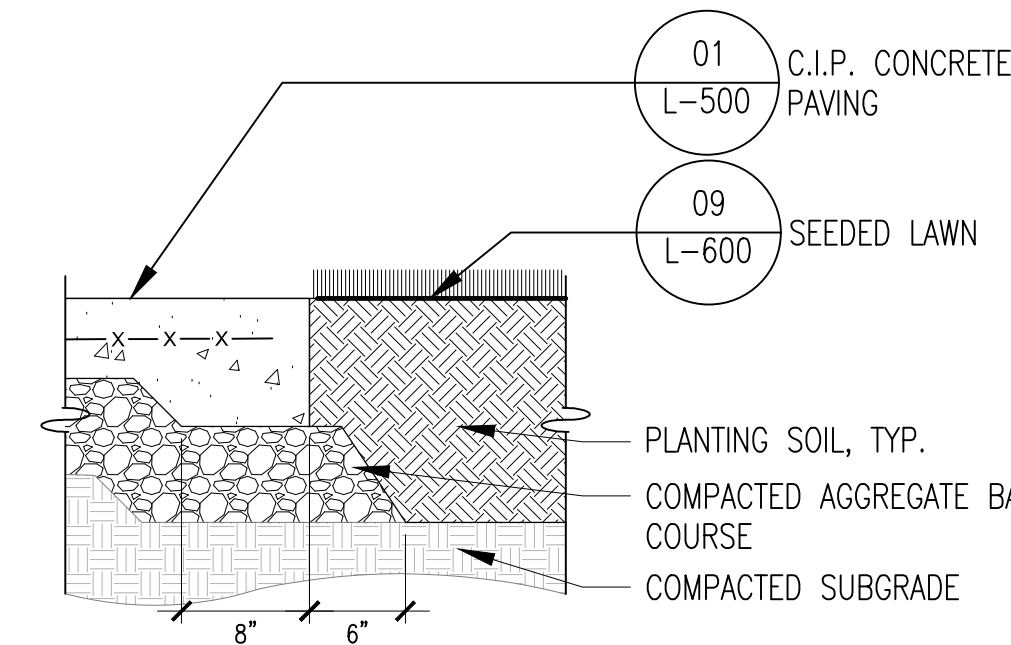
04 CONCRETE PAVING AT POURED IN PLACE
SAFETY SURFACE - TYP.

L-500 SCALE: 1" = 1'-0"



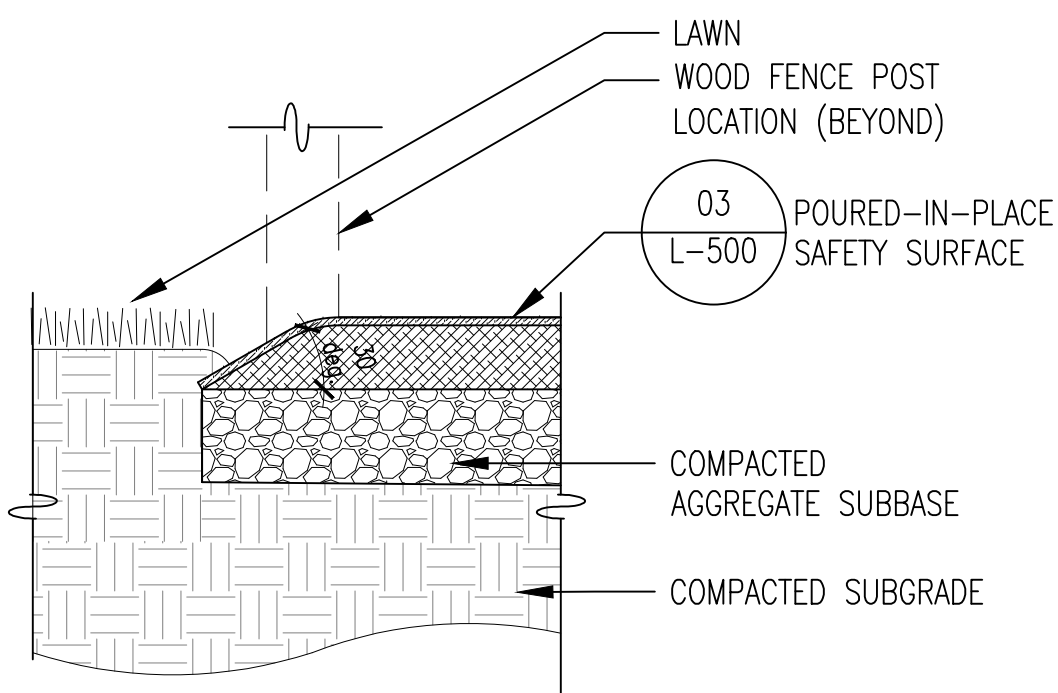
05 C.I.P. CONCRETE AT PERMEABLE PAVING - TYP.

L-500 SCALE: 1" = 1'-0"



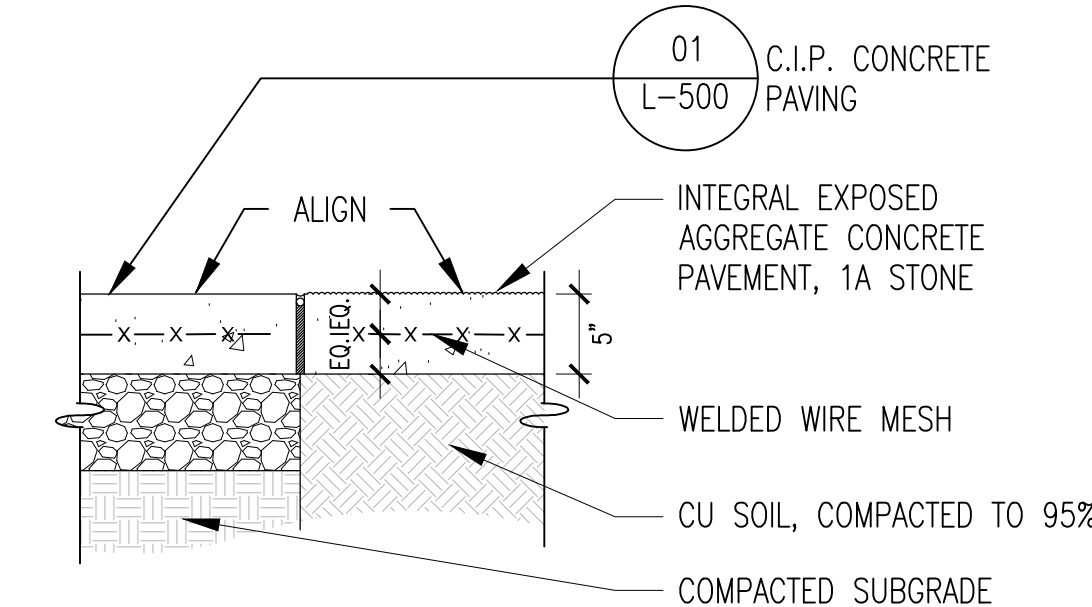
06 C.I.P. CONCRETE AT LAWN

L-500 SCALE: 1" = 1'-0"



07 POURED-IN-PLACE SAFETY SURFACE AT
PLANTING AREAS

L-500 SCALE: 1" = 1'-0"



08 EXPOSED AGGREGATE CONCRETE PAVEMENT (ALT)

L-500 SCALE: 1" = 1'-0"

Project:

OXFORD COMMUNITY LOT

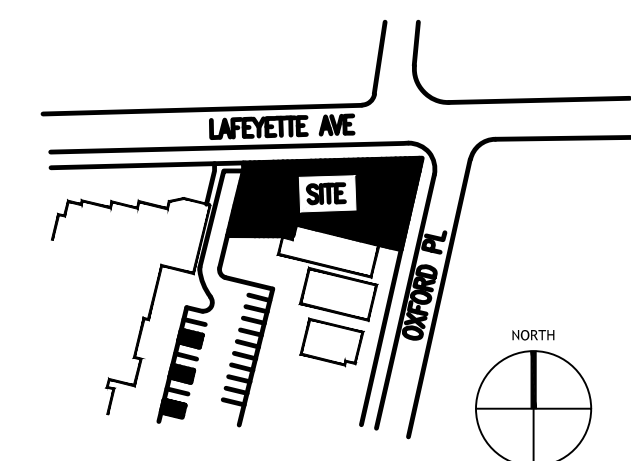
BUFFALO NEW YORK

Client:

911 Lafayette Ave,
Buffalo, NY 14209

Prepared by:

MNLA
Mathews Nielsen
Landscape Architects, P.C.
120 Broadway, F1040
New York, NY 10021
(212) 451-9009
mnlandscape.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

HARDSCAPE DETAILS

Scale:

AS NOTED

Date:

JULY 8, 2026

Drawn By:

MNLA

Sheet No:

11 OF 16

Checked By:

MNLA

Drawing No:

MNLA Project No:

23-121

L-500

Project:

OXFORD
COMMUNITY LOT

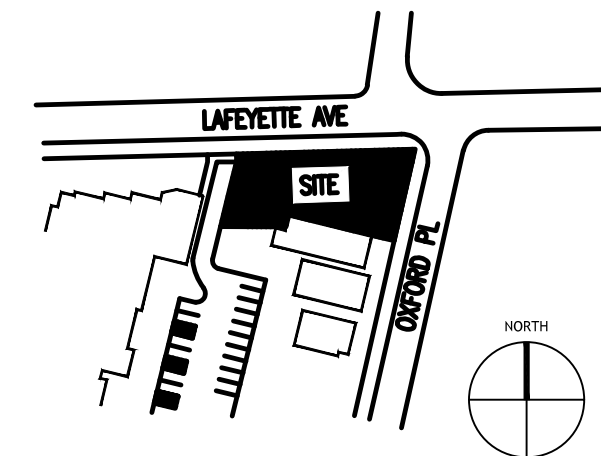
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Drawing Title:

STONE DETAILS

Scale: AS NOTED Date: JULY 8, 2026

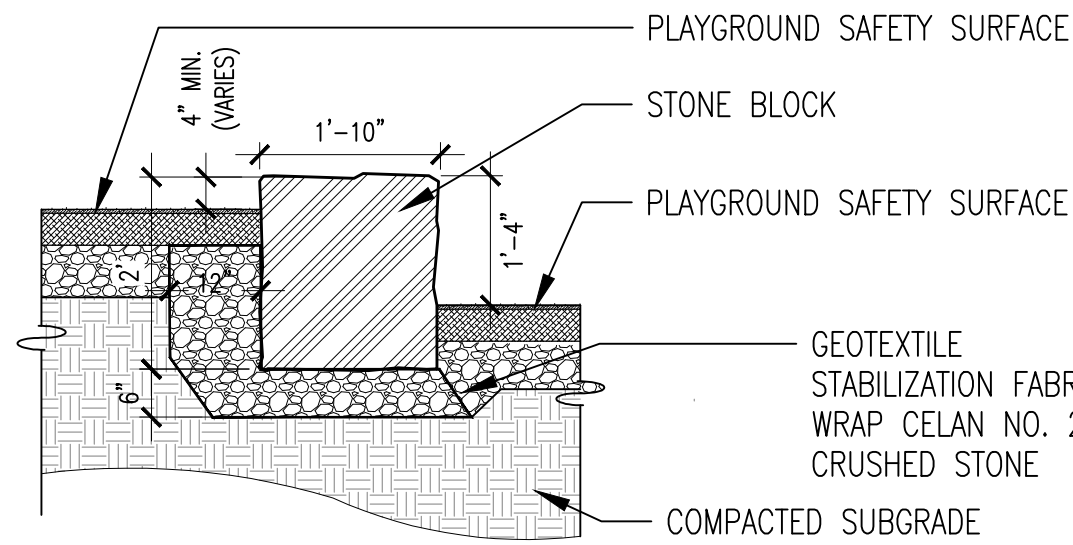
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Checked By: MNLA Drawing No:

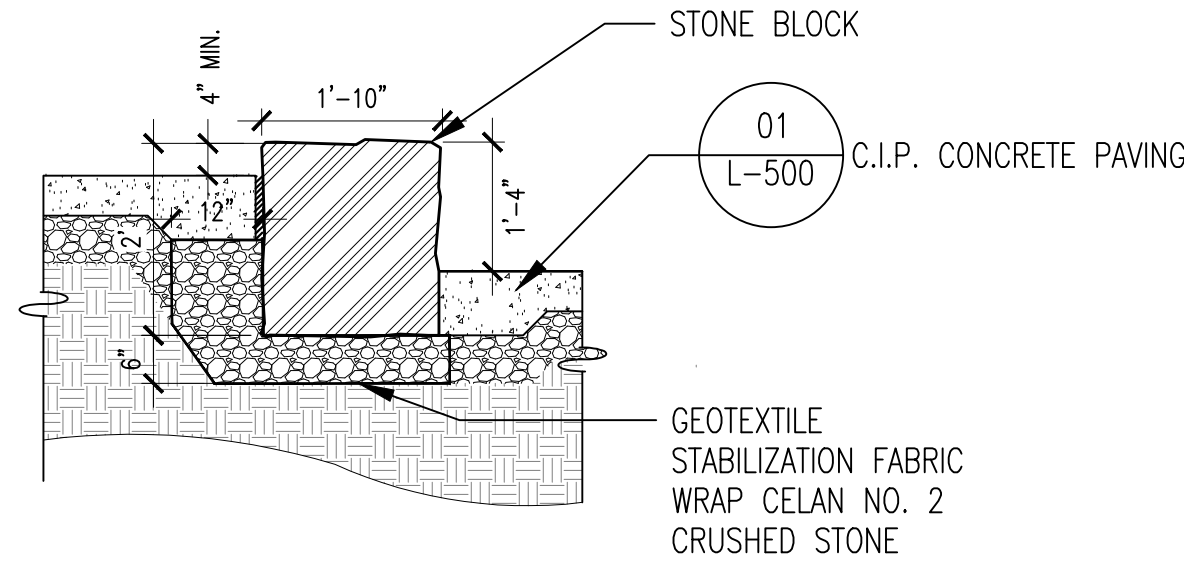
MNLA Project No:

23-121

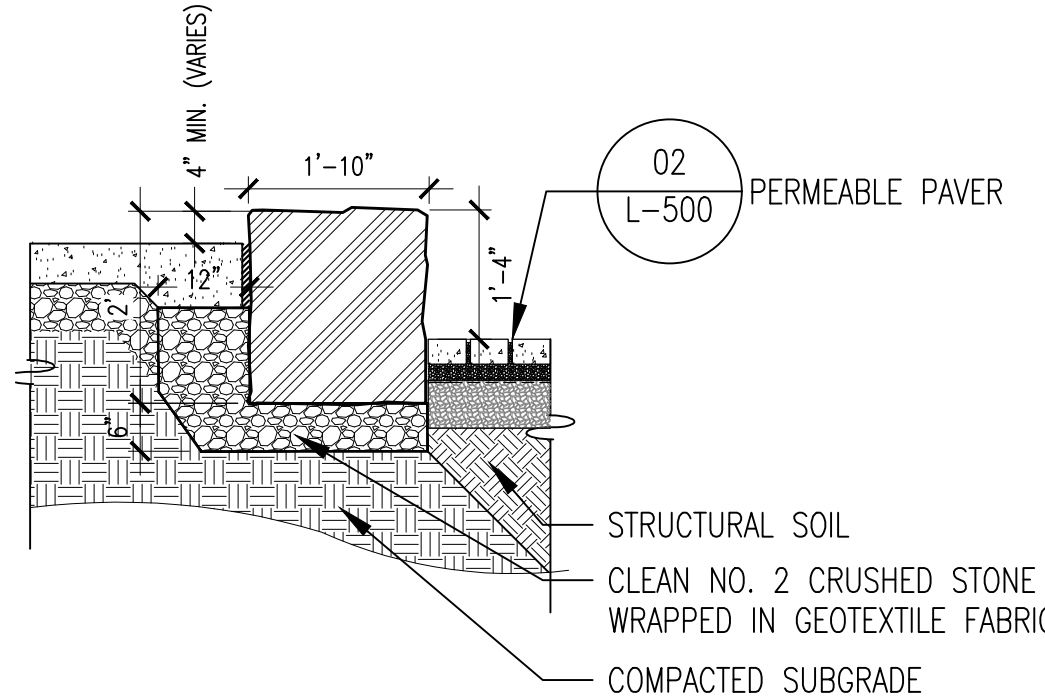
L-501



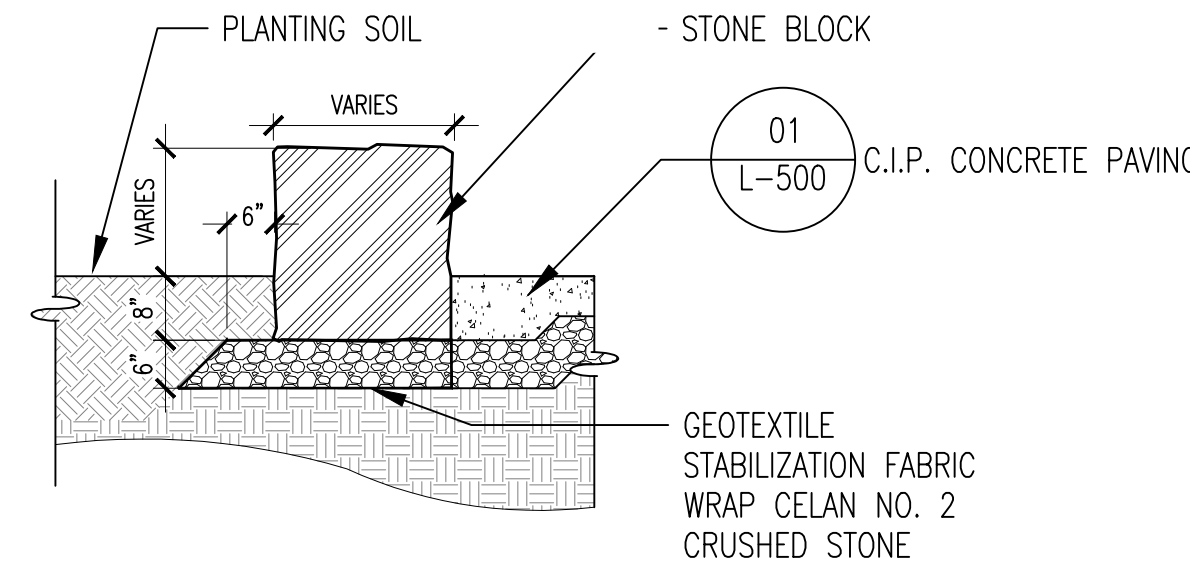
01 STONE RETAINING WALL - SAFETY SURFACE
L-501 SCALE: 1/2" = 1'-0"



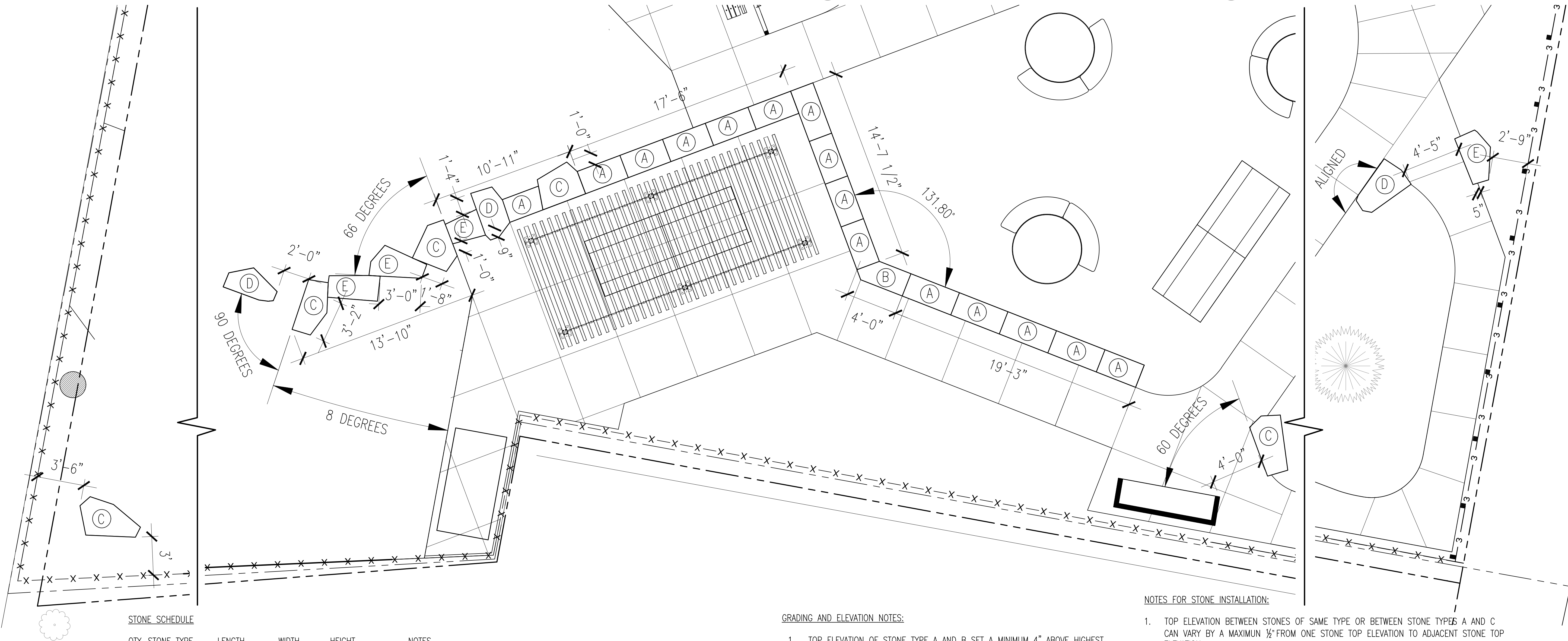
02 STONE RETAINING WALL - C.I.P. CONCRETE PAVING
L-501 SCALE: 1/2" = 1'-0"



03 STONE RETAINING WALL - C.I.P. CONCRETE PAVING
AND UNIT PAVERS
L-501 SCALE: 1/2" = 1'-0"



04 STONE BLOCK ON GRADE
L-501 SCALE: 1/2" = 1'-0"



STONE SCHEDULE

QTY	STONE TYPE	LENGTH	WIDTH	HEIGHT	NOTES
15	A	3-4.5'	22"-24"	22"	STONE SENT IN LINEAR ROW
1	B	SEE PLAN	22"-24"	22"	STONE SHAPED TO FIT CORNER CONDITION
5	C	4' +/- 4"	MIN. 30"	22"	IRREGULAR STONE WIDTH TO VARY ALONG LENGTH BY MIN. 6"
2	D	MIN. 4'	MIN. 15"	30"	IRREGULAR TALL STONE, WIDTH TO VARY ALONG LENGTH BY MIN. 9"
4	E	MIN. 4'	MIN. 15"	22"	IRREGULAR LOW STONE, WIDTH TO VARY ALONG LENGTH BY MIN. 9"

WALL LENGTH SUPERCEEDS TOTAL STONE QUANTITY FOR STONE TYPE A. NUMBER OF STONES DETERMINED BASED ON MEETING THE TOTAL WALL LENGTH.

GRADING AND ELEVATION NOTES:

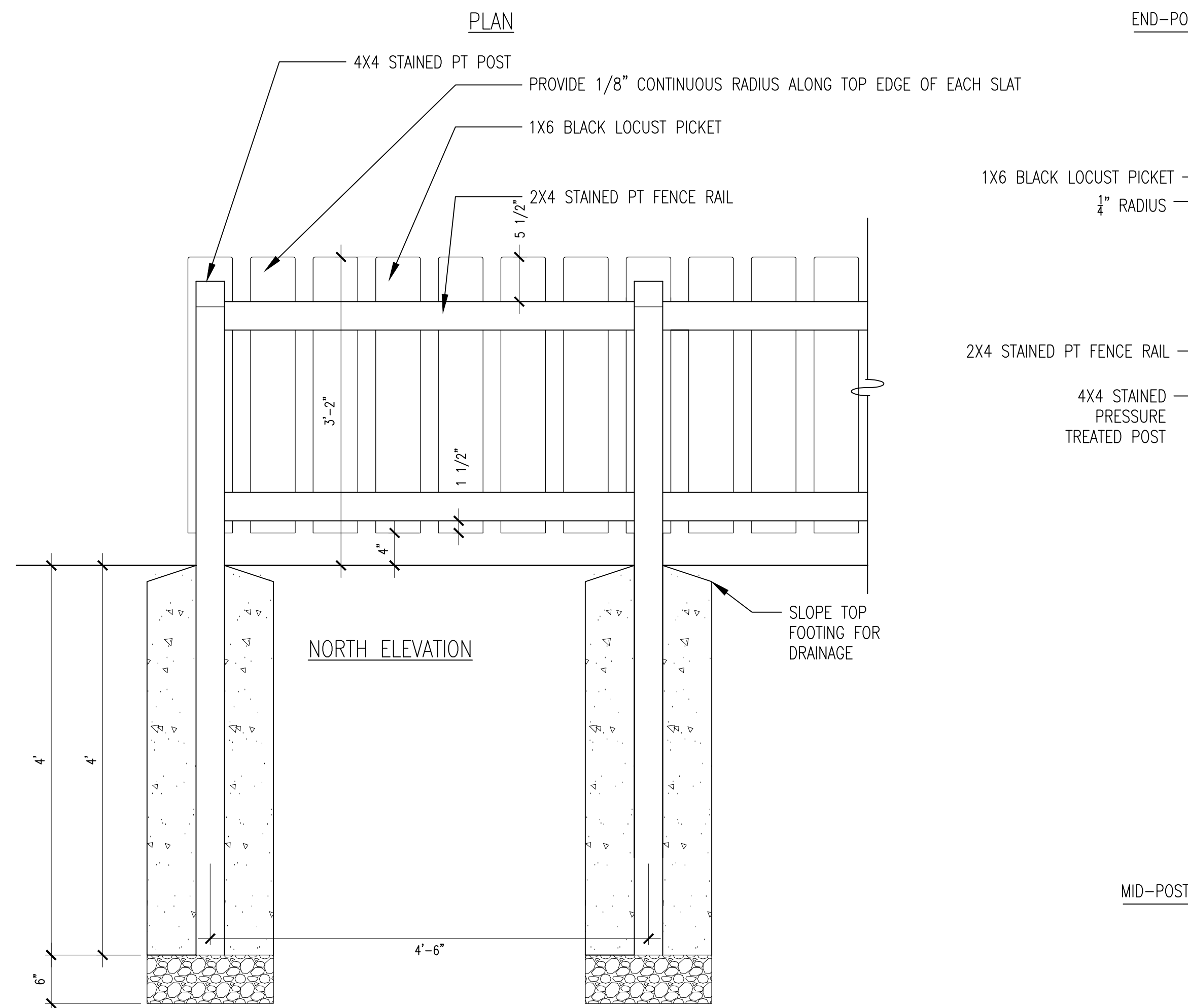
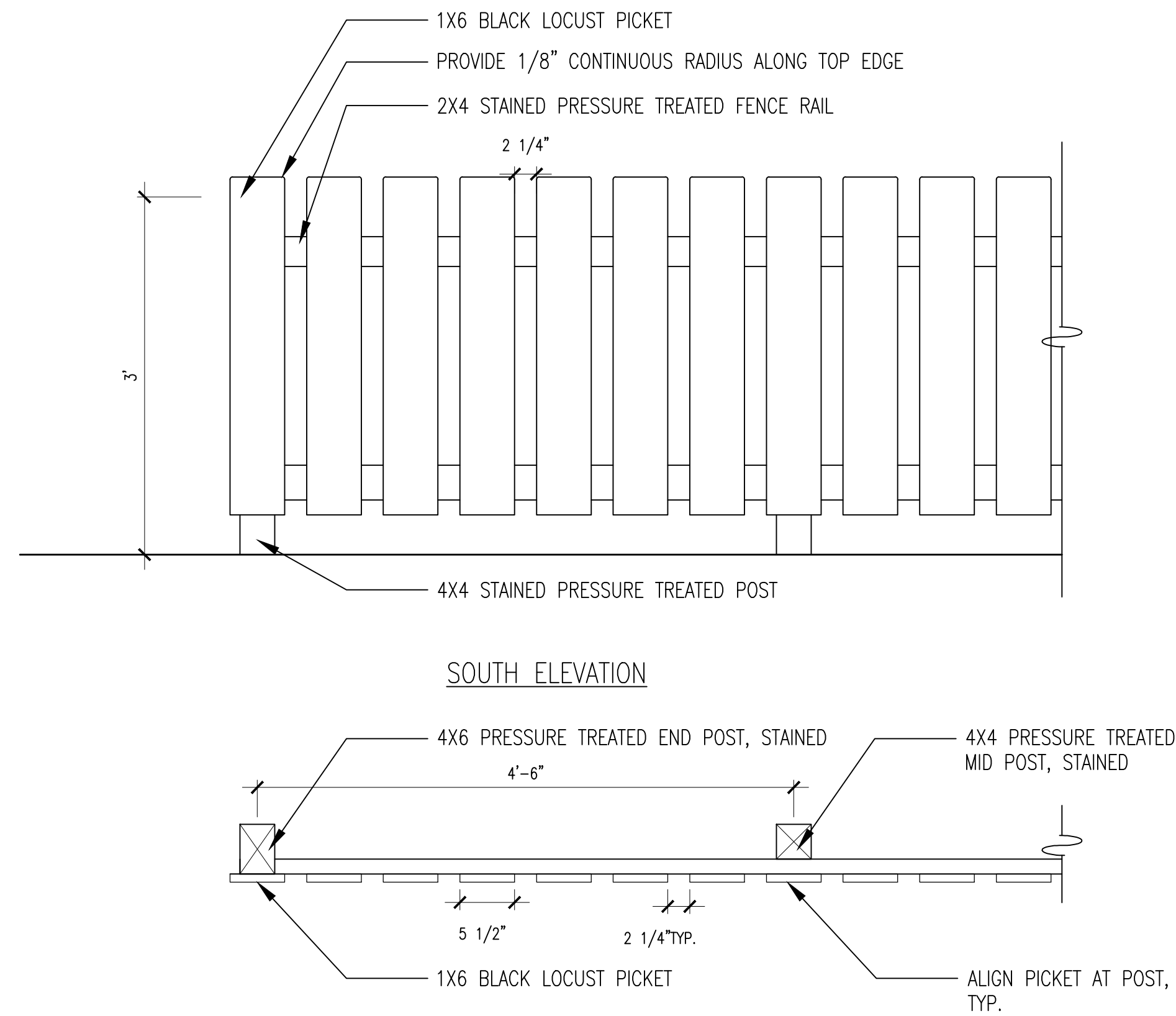
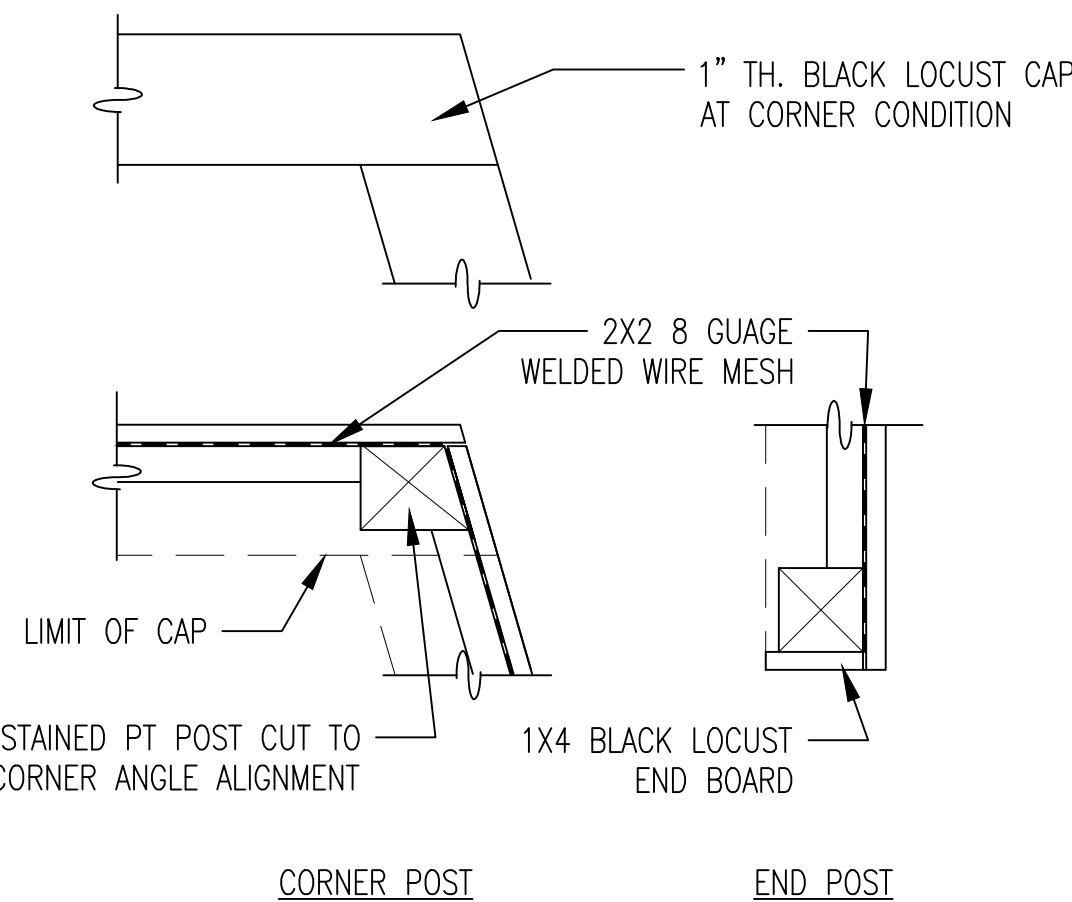
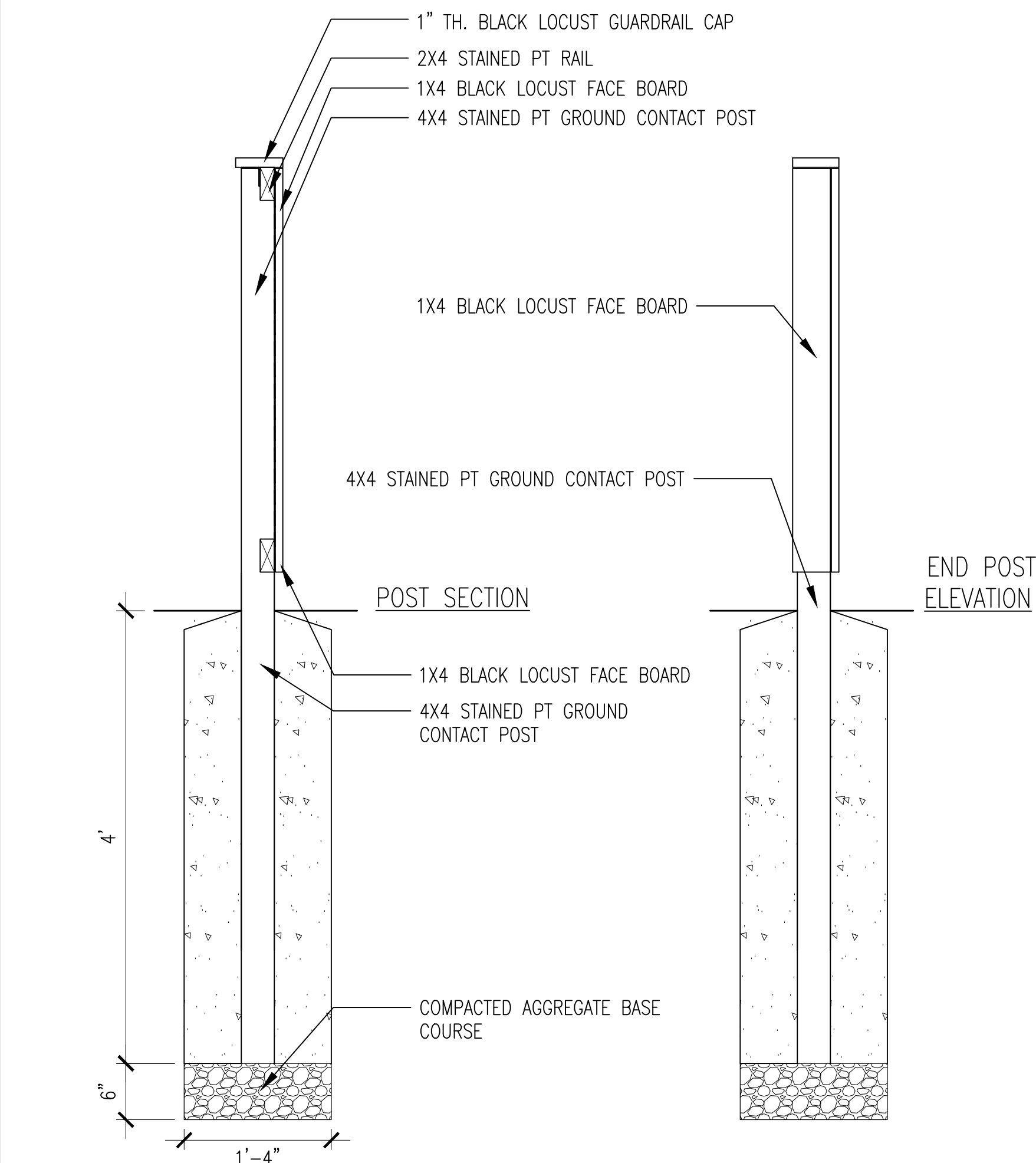
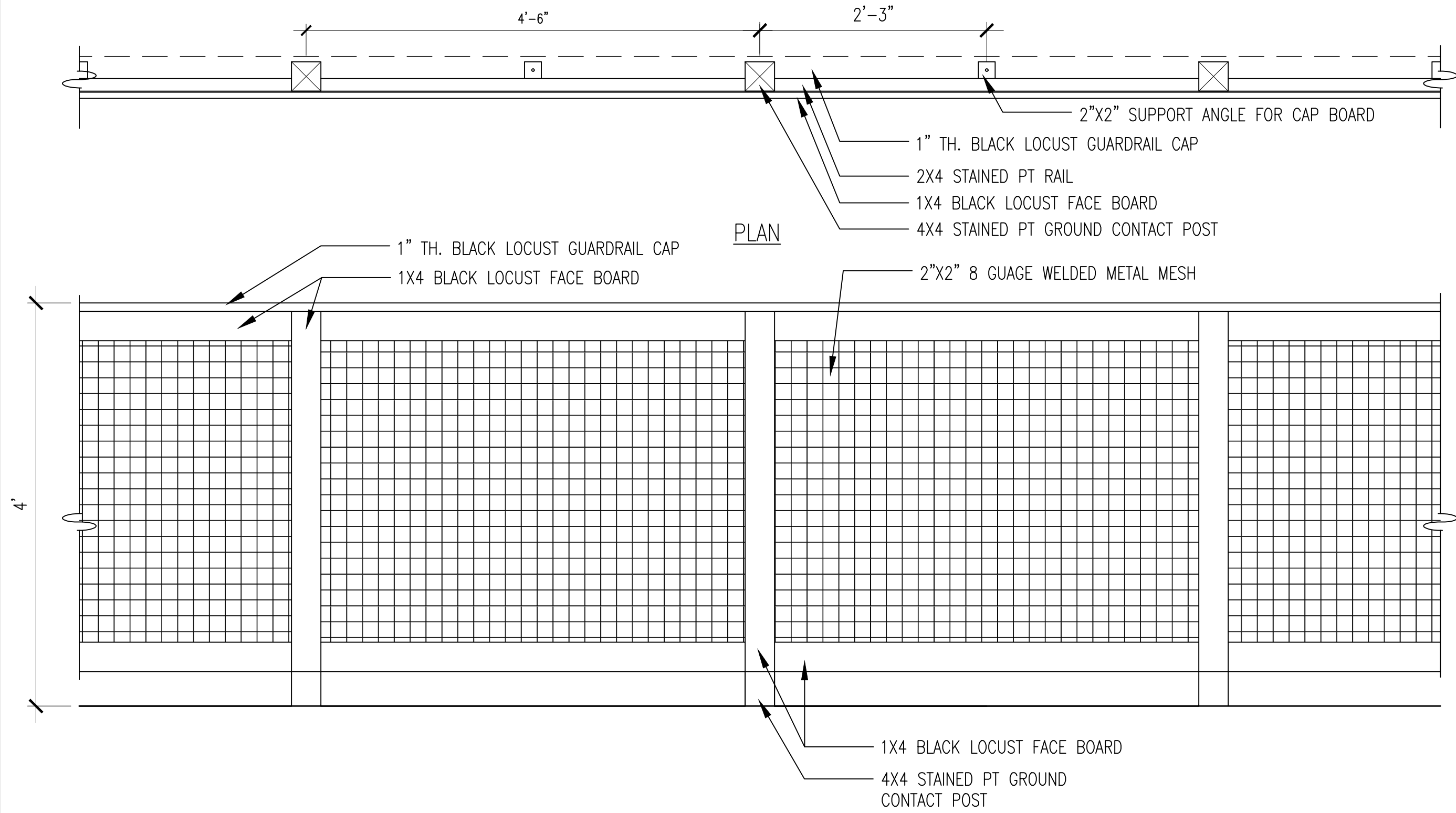
- TOP ELEVATION OF STONE TYPE A AND B SET A MINIMUM 4" ABOVE HIGHEST ADJACENT FINISHED GRADE OF PAVEMENT.
- BOTTOM OF STONE TO BE SET A MINIMUM 6" BELOW LOWEST ADJACENT FINISHED GRADE.
- ALL STONE TYPE A, B AND C TOP ELEVATIONS TO MATCH (WITH 1/2" VERTICAL TOLERANCE). SEE DETAILS 01 / 02 / 03 L-501.
- STONE TYPE D TOP ELEVATION TO SIT 6" ABOVE ADJACENT STONES.

NOTES FOR STONE INSTALLATION:

- TOP ELEVATION BETWEEN STONES OF SAME TYPE OR BETWEEN STONES TYPES A AND C CAN VARY BY A MAXIMUM 1/2" FROM ONE STONE TOP ELEVATION TO ADJACENT STONE TOP ELEVATION.
- MAXIMUM GAP ON THE VERTICAL JOINT BETWEEN STONES IS 1.5"
- MAXIMUM GAP ON THE HORIZONTAL TOP SURFACE OF STONES IS 1.5"
- STONE MATERIAL: SENECA BOULDERS GUILLOTINED AT DIMENSIONS INDICATED IN THE SCHEDULE
- ALL EXPOSED SURFACES TO APPEAR SPLIT FACE OR GUILLOTINED. ANY SAWN FACES SHALL NOT BE EXPOSED.
- LAYOUT AND PLACEMENT OF BOULDERS IN THE PLAYGROUND AREA TO BE COORDINATED WITH PLAY FEATURE FALL ZONES AND PLAYGROUND INSTALLER.
- LANDSCAPE ARCHITECT TO APPROVE STONE AS SUPPLIED TO SITE PRIOR TO INSTALLATION. STONE MARKED BY STONE TYPE.
- STONE SET A MINIMUM OF 6" BELOW FINISHED GRADE (RELATIVE TO LOWEST ADJACENT ELEVATION).
- PROVIDE FILTER FABRIC PLACEMENT AT BACK OF STONE TO PREVENT MIGRATION OF SOIL AND SMALL STONES THROUGH LANDSCAPE STONE GAPS.

04 STONE PLAN
L-501 SCALE: 1/4" = 1'-0"

Jul 08, 2026 - 11:09pm WA103-121 Oxford Community Lot (09-memo)\L-502 FENCE AND STRUCTURES.dwg



01 4' WOOD PLAYGROUND FENCE
L-502 SCALE: 1"=1'-0"

02 3'-6" WOOD PICKET FENCE
L-502 SCALE: 1"=1'-0"

Project:

OXFORD COMMUNITY LOT

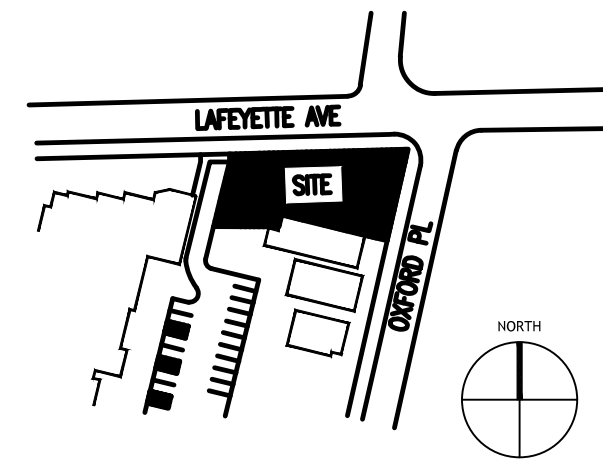
BUFFALO NEW YORK

Client:

911 Lafayette Ave,
Buffalo, NY 14209

Prepared by:

MNLA Mathews Nielsen
Landscape Architects, P.C.
120 Broadway, F1040
New York, NY 10021
(212) 431-5009
mnlandscape.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
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Drawing Title:

SITE FENCES

Scale:

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Date:

JULY 8, 2026

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MNLA

Sheet No:

13 OF 15

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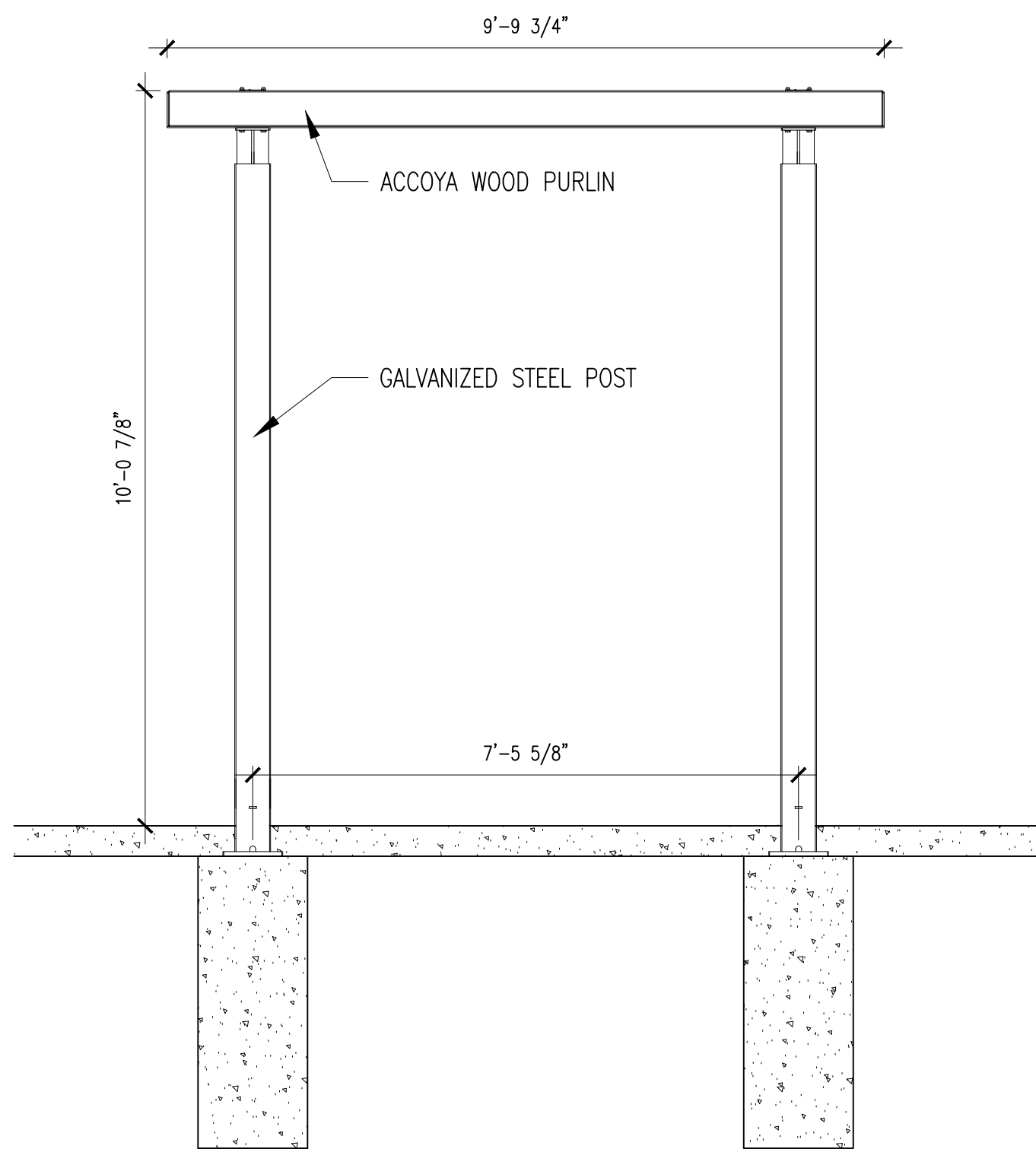
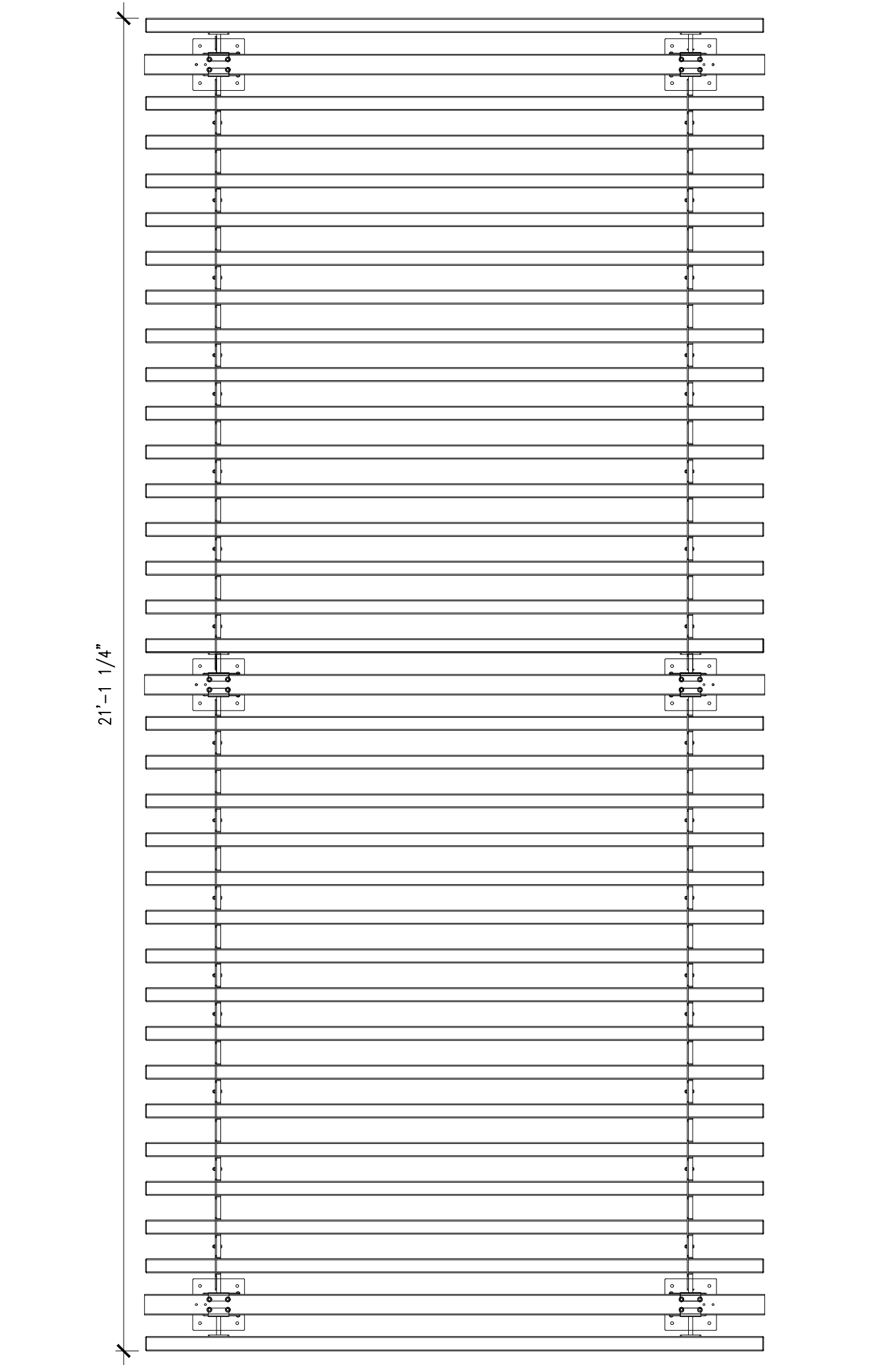
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Drawing No:

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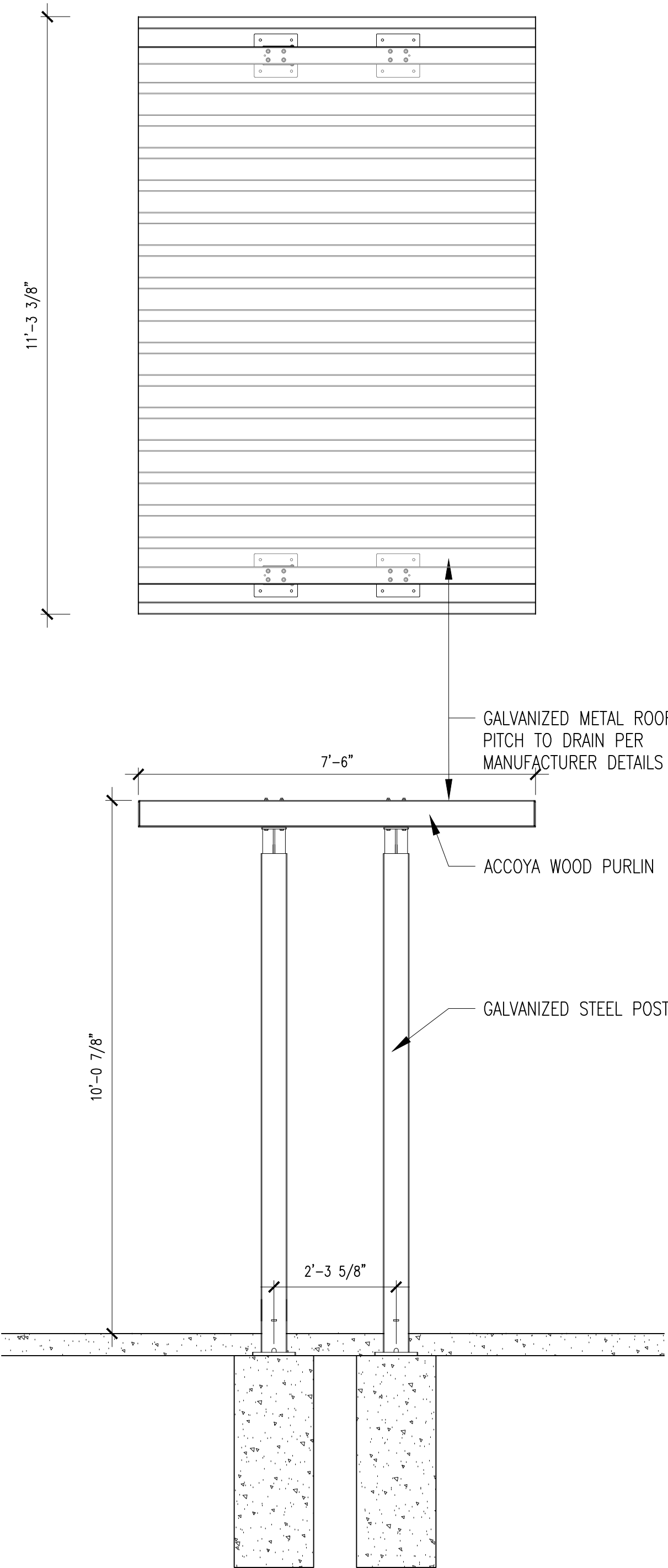
23-121

L-502



STREETLIFE ROUGH&READY LINEAR SHADE
R&R-SHA-CW-600-300-AC
STAND ALONE GALVANIZED STEEL SHADE STRUCTURE WITH CROSSWISE ACCOYA BEAMS

01 LINEAR SUN SHADE
L-504 SCALE: 1/2" = 1'-0"



STREETLIFE ROUGH&READY LINEAR HOVER SHADE WITH CUSTOM SOLID METAL ROOF
STAND ALONE GALVANIZED STEEL SHADE STRUCTURE WITH CROSSWISE ACCOYA BEAMS
DIMENSIONS OF ROOF SUBJECT TO STRUCTURAL REVIEW

02 LINEAR HOVER RAIN SHADE
L-504 SCALE: 1/2" = 1'-0"



ARROW ELITE 8X4X6 ANTHRACITE STEEL
STORAGE SHED WITH CONCRETE ANCHORS
MODEL #EP84AN

03 STORAGE SHED
L-504 SCALE: NTS

Project:

OXFORD
COMMUNITY LOT

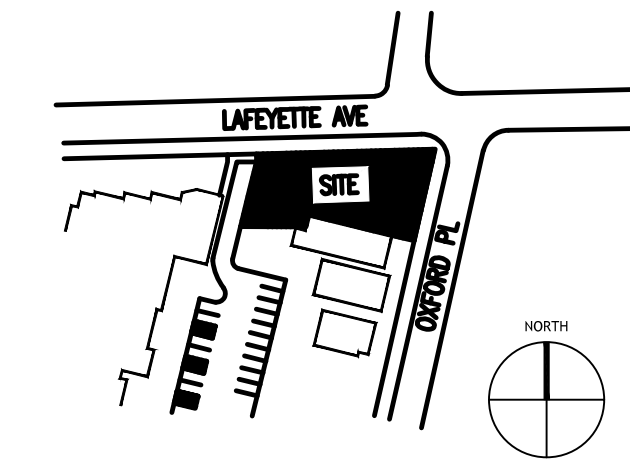
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mnlandscape.com



Seat:

Submissions:

Date: Type:

Project Phase:

100% CONSTRUCTION DOCUMENTATION
FOR BID

Drawing Title:

SITE STRUCTURES

Scale:

AS NOTED

Date:

JULY 8, 2026

Drawn By:

MNLA

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15 OF 16

Checked By:

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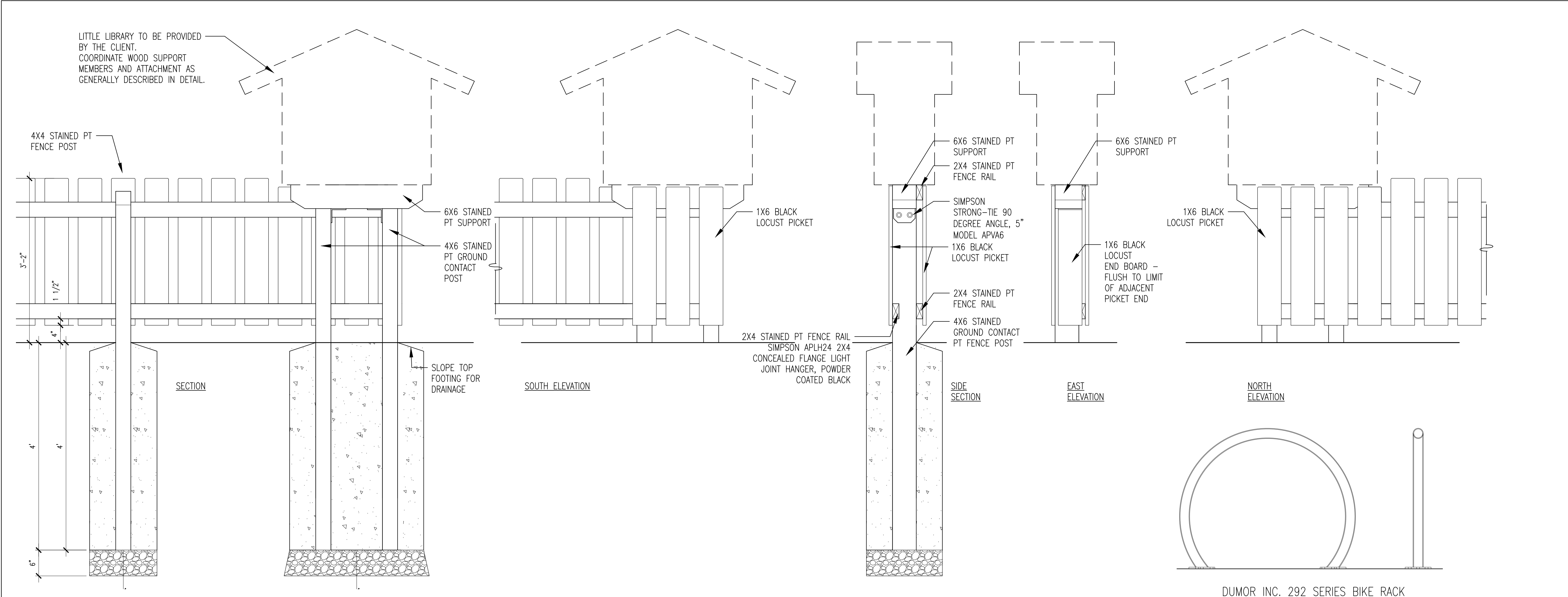
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23-121

L-504

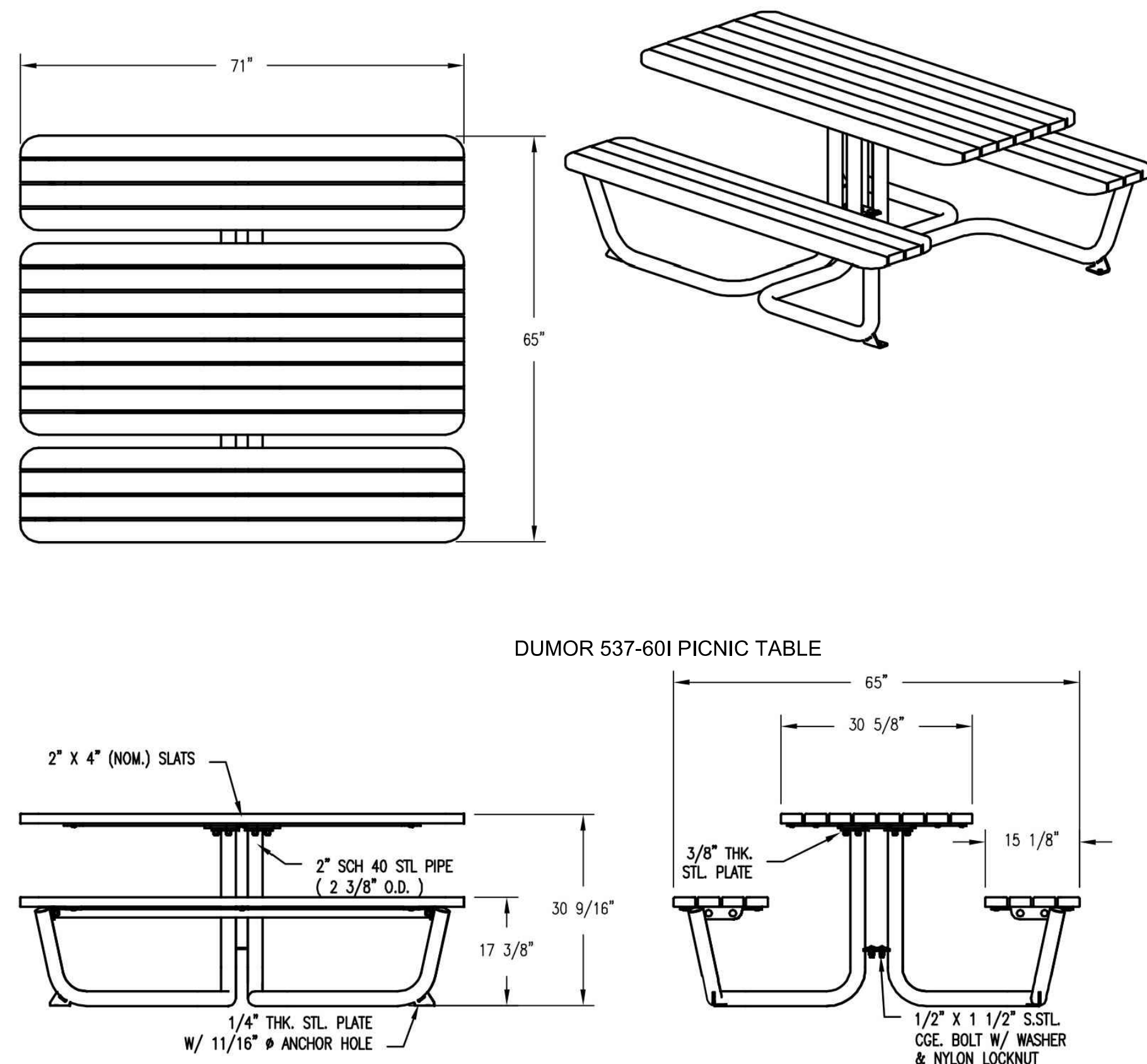
Jul 09, 2026 - 12:00pm WA 103-121 Oxford Community Lot (09-amenities)-L-503 SITE AMENITIES DETAILS.dwg



01 RELOCATED LITTLE LIBRARY
L-503 SCALE: NTS

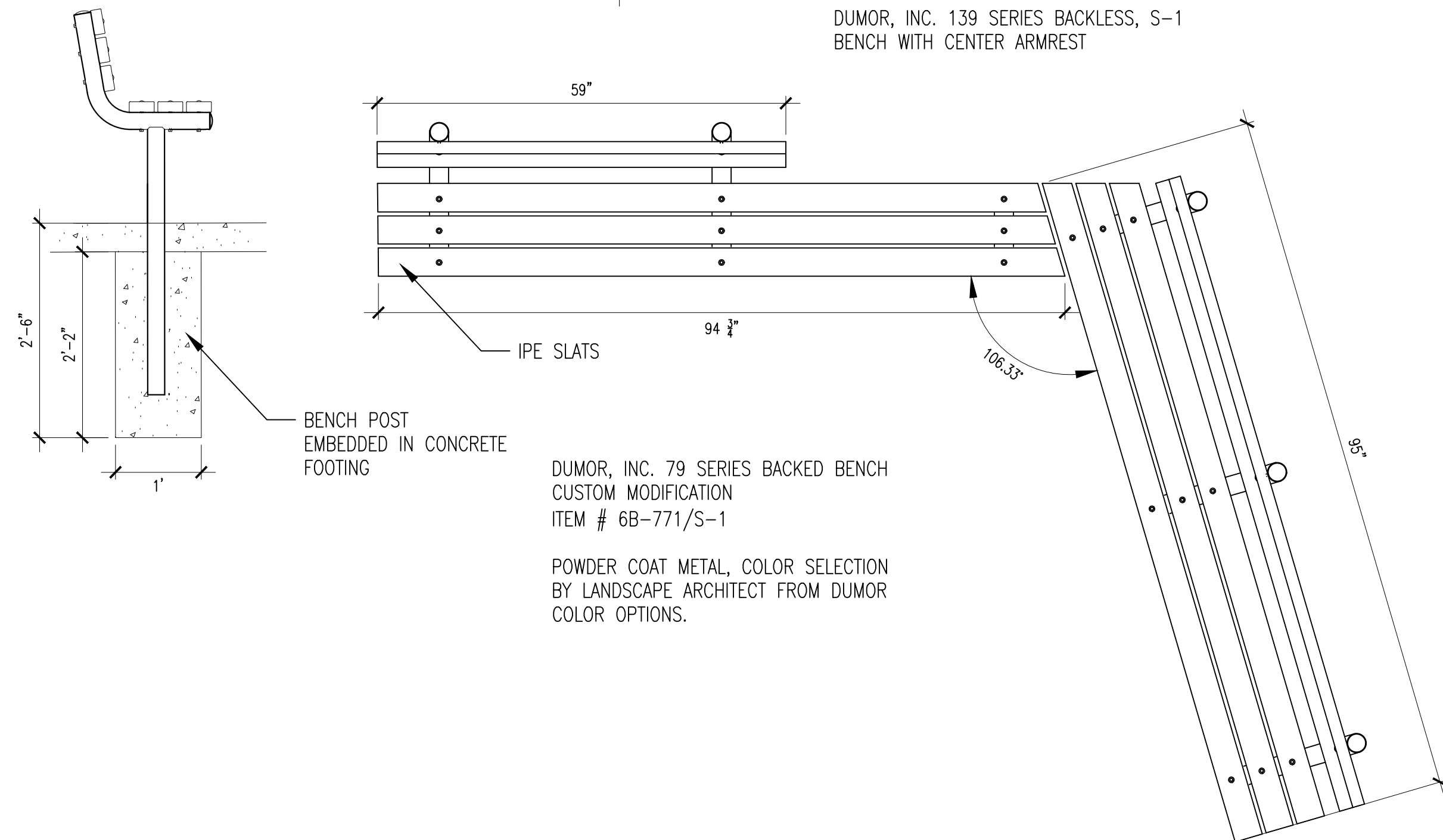
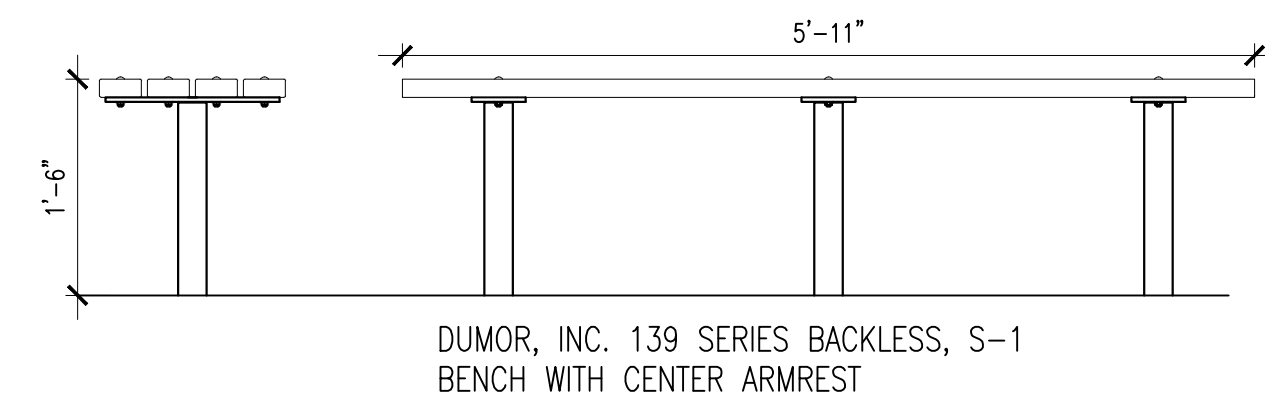


03 LOOP ARC
L-503 SCALE: 29/64" = 1'-0"

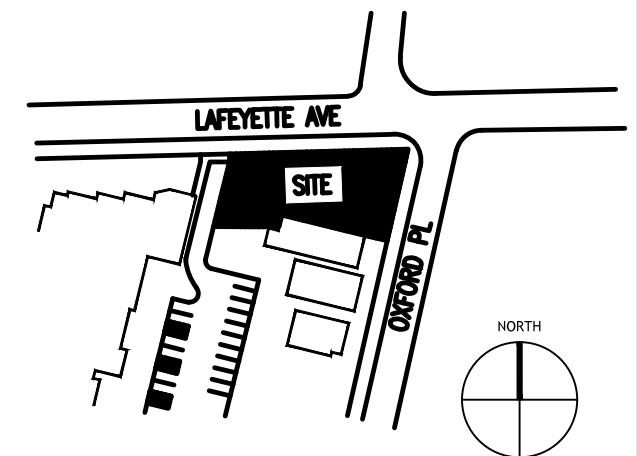


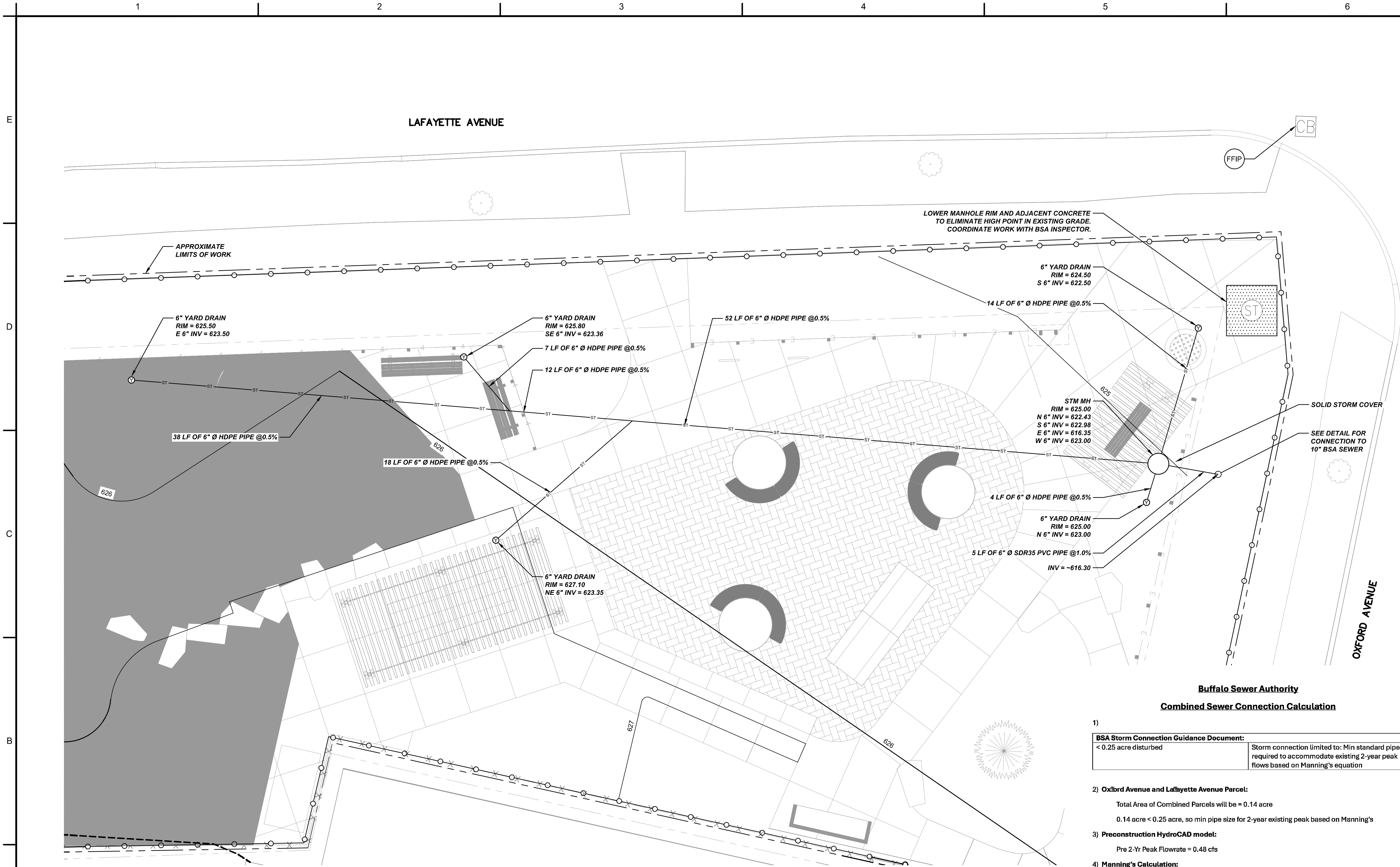
04 PICNIC TABLE
L-503 SCALE: 3/4" = 1'-0"

02 BIKE RACK
L-503 SCALE: 1" = 1'-0"



05 WOOD BENCHES
L-503 SCALE: 3/4" = 1'-0"





EROSION CONTROL LEGEND:

FILTER FABRIC INLET PROTECTION

6" Ø FILTER SOCK

PLAN

SCALE: 1" = 5'

0

2.5

5

10 ft

Buffalo Sewer Authority

Combined Sewer Connection Calculation

1) **BSA Storm Connection Guidance Document:**
< 0.25 acre disturbed

2) **Oxford Avenue and Lafayette Avenue Parcel:**
Total Area of Combined Parcels will be = 0.14 acre
0.14 acre < 0.25 acre, so min pipe size for 2-year existing peak based on Manning's

3) **Preconstruction HydroCAD model:**
Pre 2-Yr Peak Flowrate = 0.48 cfs

4) **Manning's Calculation:**
Diameter = 6 inch, Slope = 1.0%, Manning's n = 0.013
Manning's Equation: $Q = C \times \sqrt{R} \times S \times A$
Where: Q is flowrate (cfs)
C is Manning coefficient = $\left(\frac{1}{n}\right) \times R^{\frac{1}{2}}$
R is hydraulic radius = A/P
A is area of the pipe
P is wetted perimeter
Q = 0.56 cfs ✓
For Proposed 6-inch HDPE pipe connection at 1.0% slope
Note: 4-inch at 1.0% slope = 0.19 cfs

**OXFORD COMMUNITY LOT
DEVELOPMENT - PEOPLE, INC.**
BUFFALO, NEW YORK

DRAINAGE PLAN

ISSUED		
No.	DESCRIPTION	DATE
0	AS ADVERTISED FOR BIDS	07/08/26

NUSSBAUMER & CLARKE, INC.
A CORPORATION REGISTERED TO PRACTICE
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CERTIFICATE NO. 027

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PROJECT NUMBER	24J1-0056
DATE	APRIL 2026
DRAWN BY	AIS
DESIGNED BY	JTW
CHECKED BY	DMB
APPROVED BY	MTM
SCALE:	1" = 5'
SHEET No.	1 OF 3

C-101

NUSSBAUMER & CLARKE, INC.
ENGINEERS AND SURVEYORS
EST. 1933

3556 Lake Shore Road, Suite 500 | Buffalo, NY 14219
(716) 827-8000 | (716) 826-7958 fax
www.nussclarke.com

**OXFORD COMMUNITY LOT
DEVELOPMENT - PEOPLE, INC.**
BUFFALO, NEW YORK

DRAINAGE PLAN

ISSUED		
No.	DESCRIPTION	DATE
0	AS ADVERTISED FOR BIDS	07/08/26

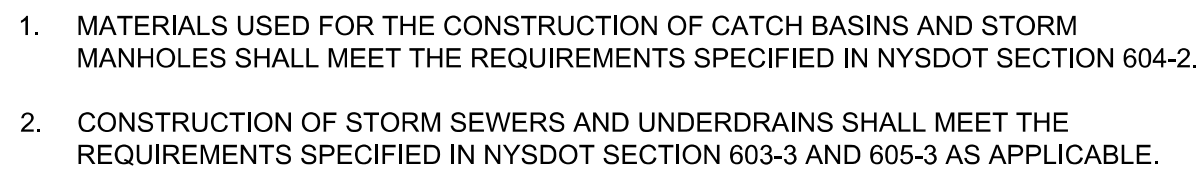
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SECTION 7209, PROVISION 2 OF THE NEW YORK STATE
EDUCATION LAW.

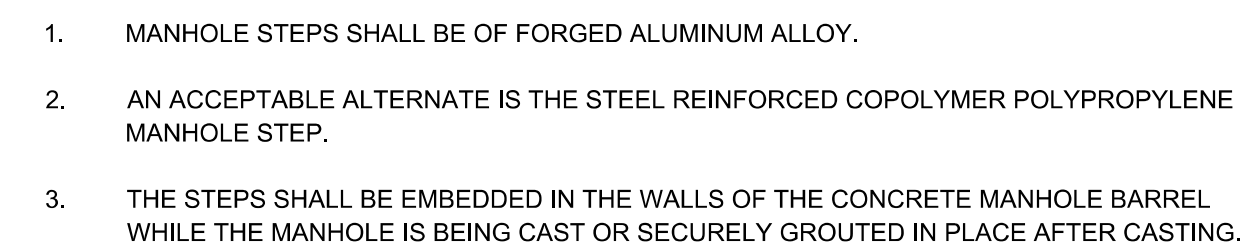
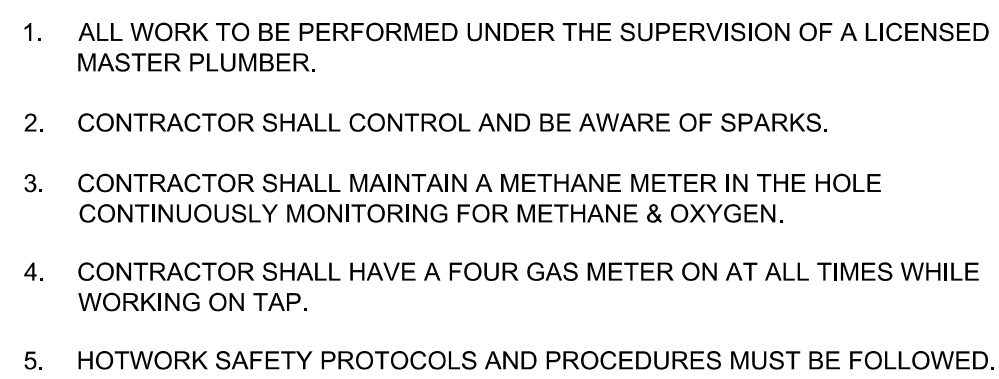
PROJECT NUMBER	24J1-0056
DATE	APRIL 2026
DRAWN BY	AIS
DESIGNED BY	JTW
CHECKED BY	DMB
APPROVED BY	MTM
SCALE:	1" = 5'
SHEET No.	1 OF 3

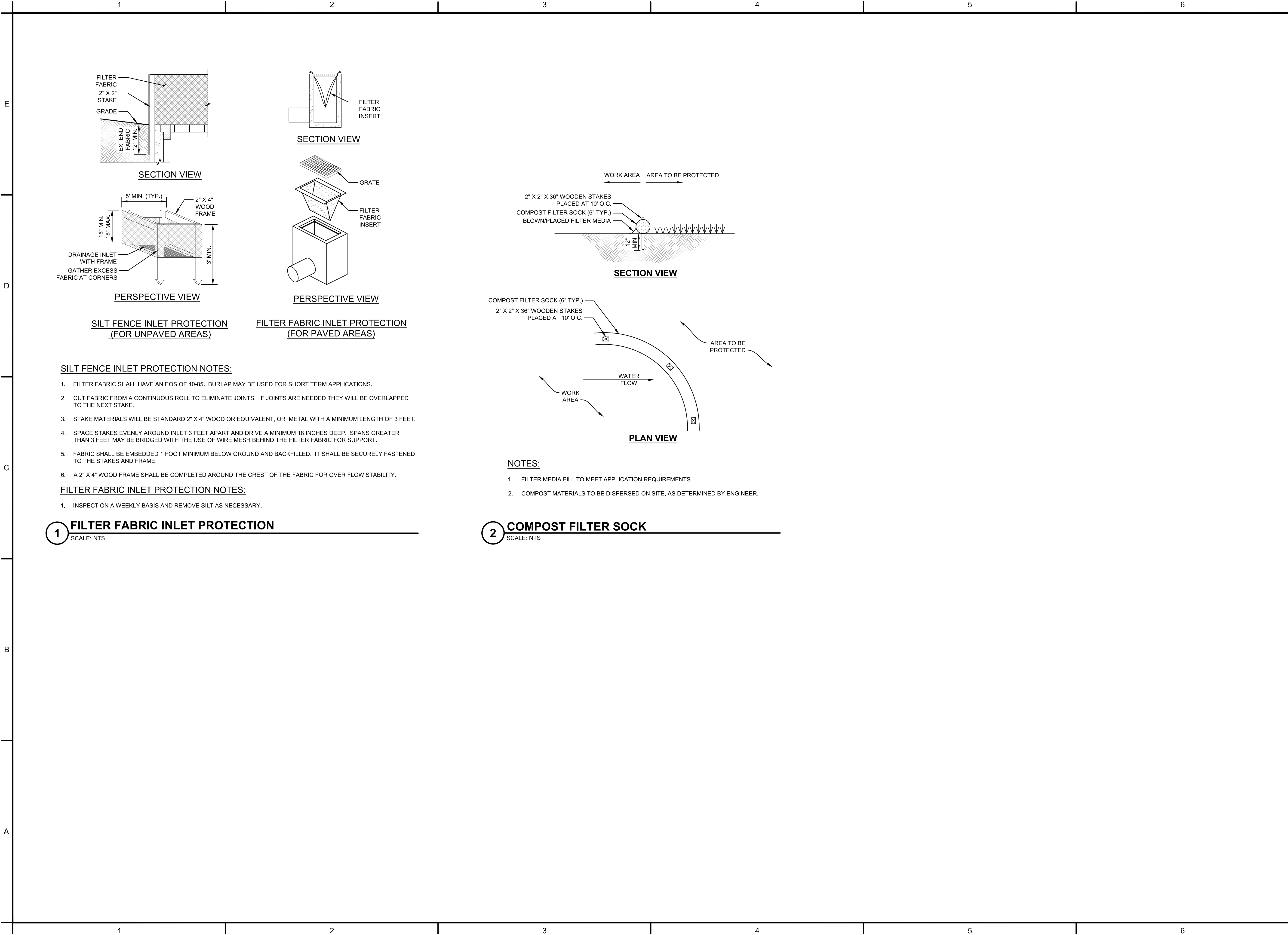
C-101

1:02020056 people inc. - oxford eng. support086 working dwg/AutoCAD/Disipline C-101C-101 DRAINAGE PLAN.dwg 7/9/2026 EMELLENTINE



1. MATERIAL: ASTM A48 CLASS 30B CAST IRON CONFORMING TO AASHTO DESIGNATION M105-06.
2. UNIT MUST WITHSTAND HS-20 WHEEL LOADING, AND CONFORM TO AASHTO DESIGNATION M306-10.
3. ALL DIMENSIONS ARE TO BE CONSIDERED MINIMUM WITH THE EXCEPTION OF THE COVER, WHICH MUST CONFORM EXACTLY TO MAINTAIN INTERCHANGEABILITY WITHIN THE COUNTY.
4. COATING NOT REQUIRED.
5. FRAMES AND COVERS SHALL HAVE MACHINED BEARING SURFACES.
6. LOCKING DEVICE MUST BE SITUATED TO ALLOW EASY REMOVAL OF COVER.
7. NO LETTERING OTHER THAN ECSD SANITARY WILL BE ALLOWED ON THE EXPOSED SURFACE OF THE COVER.
8. *1/2" FLANGE THICKNESS AND 7" HEIGHT ACCEPTABLE IF CLASS 35 CAST IRON MATERIAL PROVIDED.





NUSSBAUMER & CLARKE, INC.

EST. 1933

ENGINEERS AND SURVEYORS

3556 Lake Shore Road, Suite 500 | Buffalo, NY 14219
(716) 827-8000 | (716) 826-7958 fax
www.nussclarke.com

OXFORD COMMUNITY LOT
DEVELOPMENT - PEOPLE, INC.
BUFFALO, NEW YORK

DETAILS

ISSUED		
No.	DESCRIPTION	DATE
0	AS ADVERTISED FOR BIDS	07/08/26

NUSSBAUMER & CLARKE, INC.

A CORPORATION REGISTERED TO PRACTICE
PROFESSIONAL ENGINEERING & LAND SURVEYING IN
THE STATE OF NEW YORK
CERTIFICATE NO. 027

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PROJECT NUMBER	24J1-0056
DATE	APRIL 2026
DRAWN BY	AIS
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SCALE:	NTS
≈ 1 INCH	
SHEET No.	3 OF 3
C-502	

1:20240056 people inc. - oxford eng. support086 working dwgs/AutoCAD/Discipline/C-502 DETAILS.dwg 7/9/2026 EMELENTINE