



S.A. PROJECT # 24101.01
DATE: 10-27-2025

Humboldt Pkwy Apartments

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Buffalo, NY 14214



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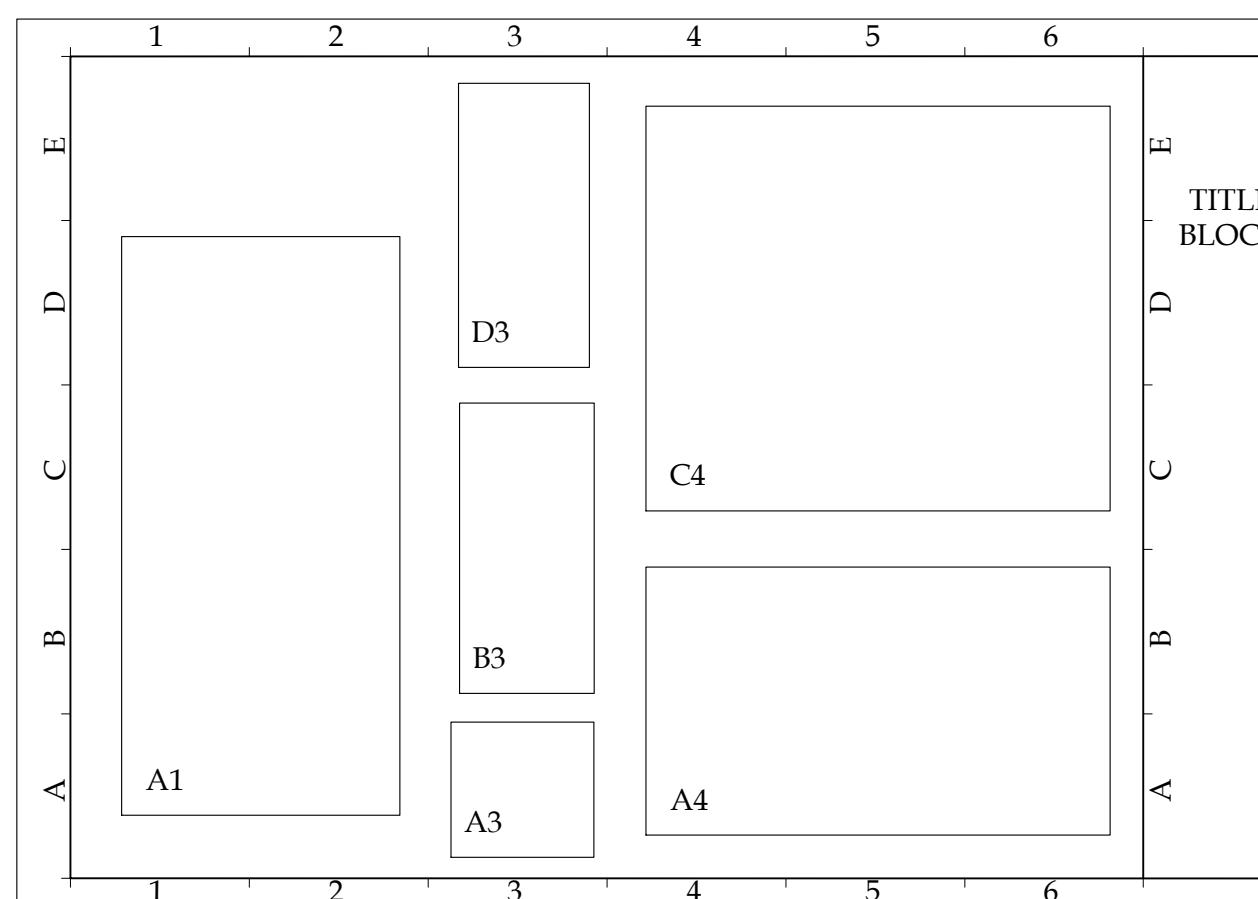
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DRAWING AREA LOGIC



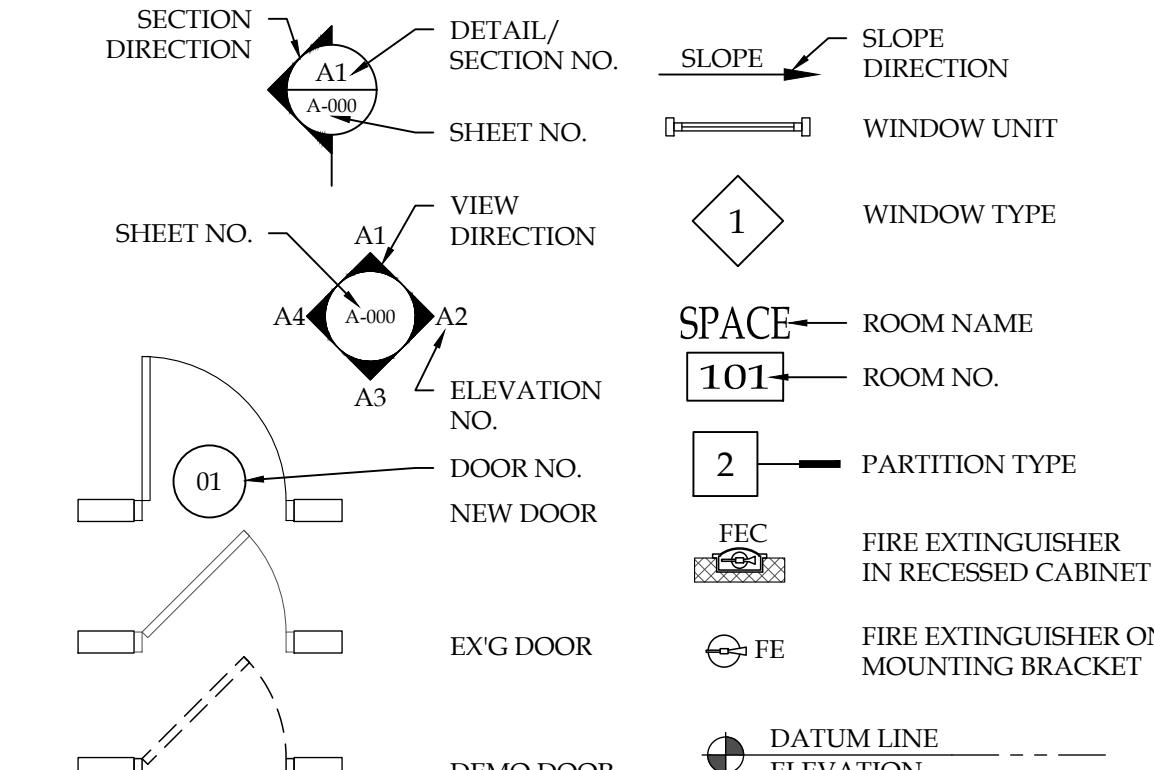
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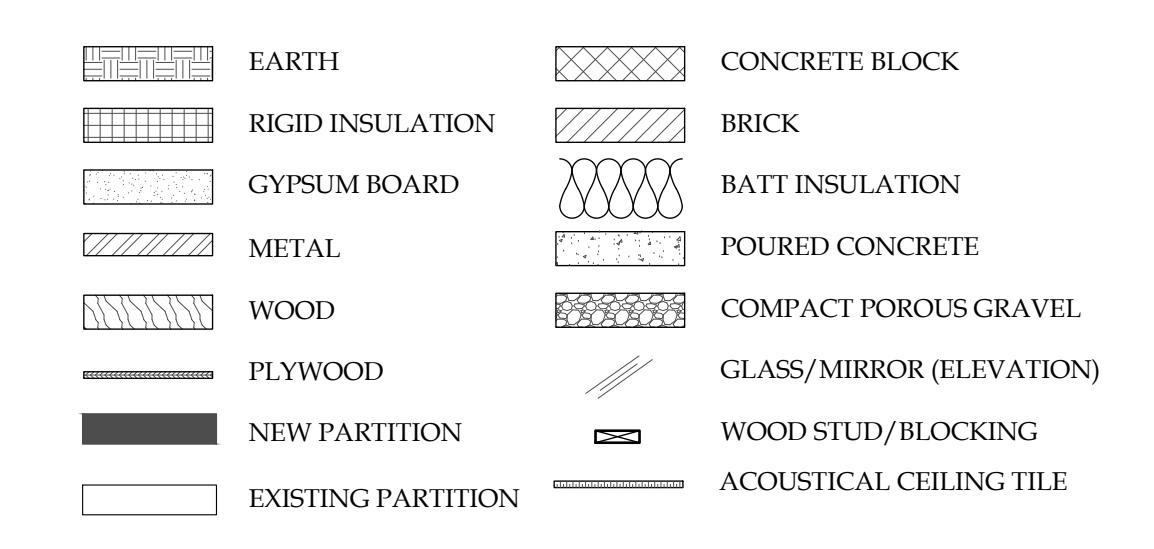
ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
AC	AIR CONDITION (ING)	MO	MASONRY OPENING
ALT	ALTERNATE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AUTO	AUTOMATIC	MEL	METAL
BM	BEAM	MTP	METAL TOILET PARTITION
BRG	BEARING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	MULL	MULLION
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOMS	NOM	NOMINAL
BRK	BRICK	NO	NUMBER
BEJ	BRICK EXPANSION JOINT	OC	ON CENTER
BC	BRICK COURSE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BUR	BUILT-UP ROOFING	OPPH	OPPOSITE HAND
CLG	CEILING	OH	OVERHEAD
CAB	CABINET	PMBC	PREENGINEERED METAL
CPT	CARPET	BUILDING CONTRACTOR	
CW	CASEWORK	PNT	PAINT (ED)
CB	CATCH BASIN	PNL	PANEL
CEM	CEMENT	PTD	PAPER TOWEL DISPENSER
CT	CERAMIC TILE	PTR	PAPER TOWEL RECEPTACLE
CHBD	CHALK BOARD	PVMT	PAVEMENT
CLR	CLEAR	PGBD	PEG BOARD
COL	COL/	PLAS	PLASTIC LAMINATE
CONC	CONCRETE	PLAT	PLATE
CMU	CONCRETE MASONRY UNIT	POL	POLISHED
CONT	CONTINUOUS	PWD	PLYWOOD
CONTR	CONTRACTOR	PT	POINT
CJ	CONTROL JOINT	PSI	POUNDS PER SQ. INCH
CG	CORNER GUARD	PSF	POUNDS PER SQ. FOOT
CRS	COURSE	PREFAB	PREFABRICATED
DEI	DETAIL	PREFINISHED	
DIA	DIA	PROJ	PROJECTION
DIM	DIMENSION	PL	PROPERTY LINE
DISP	DISPENSER	QT	QUARRY TILE
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	RWL	RAIN WATER LEADER
DWG	DRAWING	RECPT	RECEPTACLE, ELECTRIC
DF	DRINKING FOUNTAIN	REC	RECESS
DIFF	DIFFUSER	REC'D	RECESS (ED)
EA	EA	RCP	RECESSED CEILING PLAN
EIPS	EXTERIOR INSULATION &	RET	RETURN
FINISH SYSTEM		RA	RETURN AIR
ELEC	ELECTRICAL	RVS	REVERSE
EL	ELEVATOR	REV	REVISION
ELEV	ELEVATION	RH	RIGHT HAND
EQ	EQUAL	ROW	RIGHT OF WAY
EF	EXHAUST FAN	RISER	
EXIST	EXISTING	RD	ROOF DRAIN
EXG	EXG	ROOFING	
EL	EXPANSION JOINT	RM	ROOM
FB	FACE BRICK	RND	ROUND
FINISH	FINISH (ED)	SDL	SADDLE
FA	FIRE ALARM	STG	SEATING
FEC	FIRE EXTINGUISHER CABINET	SHTH	SHEATHING
FHC	FIRE HOSE CABINET	SHT	SHEET
FP	FIRE PROOFING	SHR	SHOWER
FL	FLOOR	SIM	SIMILAR
FD	FLOOR DRAIN	SPKR	SPEAKER
FT	FOOT	SPEC	SPECIFICATIONS
FWC	FACE WALL COVERING	SQ	SQUARE
FIG	FOOTING	SST	STAINLESS STEEL
FDTN	FOUNDATION	SP	STANDPIPE
FUR	FURRING	STD	STANDARD
GAL	GALLON	SD	STORM DRAIN
GA	GAGE	SGT	STRUCTURAL GLAZED TILE
GC	GENERAL CONTRACTOR	STRUCT	STRUCTURAL
GL	GLASS	SUSP	SUSPENDED
GB	GRAB BAR	SW	SWITCH
GWB	GYPSUM WALL BOARD	SV	SHEET VINYL
GYP	GYPSUM	TB	TACKBOARD
HDW	HARDWARE	TEL	TELEPHONE
WD	HARDWOOD	TEMP	TEMPERATURE
HVAC	HEATING, VENTILATING, &	TEX	TEXTURE
	AIR CONDITIONING	THK	THICK (NESS)
HT	HEIGHT	THR	THRESHOLD
HC	HOLLOW CORE	TP	TOILET PAPER HOLDER
HM	HOLLOW METAL	T/O	TOP OF
HORIZ	HORIZONTAL	TB	TOWEL BAR
HB	HOSE BIB	TP	TYPICAL
HW	HOT WATER	UCL	UNDER CABINET LIGHT
INSUL	INSULATE (D) (ION)	UC	UNDERCUT
INS GL	INSULATED GLASS	UR	URINAL
INV	INVERT	VTR	VENT THRU ROOF
JAN	JANITOR	VENT	VENTILATOR
JT	JOINT	VERT	VERTICAL
KIT	KITCHEN	VEST	VESTIBULE
KO	KNOCK OUT	VCT	VINYL COMPOSITE TILE
LAM	LAMINATED	VIF	VERIFY IN FIELD
LAV	LAVATORY	VWC	VINYL WALL COVERING
LH	LAUNDRY	WS	WEATHER STRIP
LGT	HAND	WT	WEIGHT
LIT	LENGTH	WFC	WELDED WIRE FABRIC
LF	LIGHT	WFOUN	WHEELCHAIR DRINKING
LTL	LINEAR FEET	W/	WITH
LL	LINTEL	W/O	WITHOUT
LLH	LIVE LOAD	WD	WOOD
LLV	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
LMF	LIGHT GAUGE METAL		
FRAMING			
LVR	LOUVER		
LP	LOW POINT		
LVT	LUXURY VINYL TILE		
MACH	MACHINE		
MH	MANHOLE		

DRAFTING SYMBOLS



MATERIAL SYMBOLS



BUILDING DATA:

CONSTRUCTION TYPE: VB
OCCUPANCY: R3
SPRINKLERED: NO
STORIES: 3
GROSS FLOOR AREA: 4,466 SQ. FT.

ISSUE

2025-11-19: ISSUED FOR PERMIT

SHEET IDENTIFICATION LOGIC

A-101	

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E	1	2	3	4	5	6
<p>GENERAL NOTES:</p> <p>1. DO NOT SCALE DRAWINGS.</p> <p>2. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.</p> <p>3. CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.</p> <p>4. THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.</p> <p>6. THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS.</p> <p>7. THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.</p> <p>8. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.</p> <p>9. ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.</p> <p>10. THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/OWNER OF THE BUILDING.</p> <p>12. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.</p> <p>13. THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.</p> <p>14. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.</p> <p>15. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.</p>	<p>16. CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.</p> <p>17. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.</p> <p>18. ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.</p> <p>19. PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.</p> <p>20. ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.</p> <p>21. CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.</p> <p>22. PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.</p> <p>23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.</p> <p>24. WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.</p> <p>25. ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.</p> <p>26. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJEKT MORE THAN 4" BEYOND THE FACE OF THE WALL. RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL.</p> <p>27. DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.</p> <p>28. BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.</p> <p>29. CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.</p> <p>30. ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.</p> <p>31. DO NOT SCALE DRAWINGS. THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.</p> <p>32. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.</p> <p>33. THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.</p> <p>34. DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.</p> <p>35. MECHANICAL, ELECTRICAL, AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.</p> <p>36. CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.</p> <p>37. ALL GYPSUM WALL BOARD TO BE TAPE AND SANDED AT INTERSECTION OF CONSTRUCTION (NO. "J" MOLD)</p> <p>38. PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.</p> <p>39. DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.</p> <p>40. CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.</p> <p>41. THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.</p> <p>42. CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.</p> <p>43. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.</p>	<p>44. SAFE WORKING CONDITIONS ARE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND/OR THE OWNER SHALL BE OBSERVED. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE MUST BE EXERCISED TO AVOID ENDANGERING PERSONNEL ON THE STRUCTURE.</p> <p>45. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS FROM SITE AND LEAVE THE WORK AREA BROOM CLEAN ON A DAILY BASIS AND PROVIDE DUMPSTER SERVICE. PLACE DUMPSTERS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.</p> <p>46. CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.</p> <p>47. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.</p> <p>48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS AND APPROVALS NECESSARY FOR THE COMPLETION OF THE PROJECT.</p> <p>49. ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS AND SPECIFICATIONS.</p> <p>50. THE CONTRACTOR SHALL COORDINATE ALL FINISHES AND COLOR SELECTIONS WITH THE OWNER.</p> <p>51. ALL FASTENERS INTO PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS RECOMMENDED BY MANUFACTURER.</p>				
	<p>ISSUE: 11-19-25: ISSUED FOR PERMIT</p> <p>SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. _____ DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle</p> <p>SEAL: </p> <p>TITLE: GENERAL NOTES</p> <p>SILVESTRI ARCHITECTS • PC 1321 MILLERSPORT HWY PH. 716.691.0800 AMHERST, NY 14221 FAX 716.691.4773</p> <p>SA JOB #: 24101.01 DATE: 10-27-25 DRAWING #: A-001</p>	<p>NOTICE This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.</p> <p>This document is the exclusive property of the architect, no rights to ownership are transferable, and shall not be lost or damaged. This document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.</p> <p>HAYES CONSTRUCTION SERVICES New York Certified Woman-Owned Business</p> <p>DOFI PROPERTIES Humboldt Pkwy Apartments 73 Humboldt Parkway Buffalo, NY 14214</p>				

GENERAL WALL NOTES

- SEE SPECIFICATIONS FOR APPLICATIONS OF GYPSUM PRODUCTS, UNLESS NOTED ON DRAWINGS. REFER TO SPECIFICATIONS FOR SPECIAL APPLICATIONS, THICKNESS, AND TYPES, (I.E. MOLD & MOISTURE RESISTANCE, TILE BACKER BOARDS, ETC.)
- REFER TO THE LATEST EDITION OF UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE DIRECTORY FOR ADDITIONAL REQUIREMENTS ON UL RATED ASSEMBLIES AS NOTED IN THE WALL SCHEDULE.
- USE ONLY PARTITIONS IDENTIFIED ON THE PLANS.
- STC = SOUND TRANSMISSION CLASS - REFER TO THE WALL SCHEDULE IN PLAN FOR WALLS THAT ARE SOUND RATED.
- ALL SEALANTS IN RATED WALL LOCATIONS REFERENCED IN THE WALL TYPE DETAILS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE UNDERWRITERS LABORATORIES INC FIRE RESISTANCE DIRECTORY. IN ADDITION TO FIRE RESISTANCE, WALL LOCATIONS CALLED OUT WITH REQUIRED ACOUSTICAL VALUE, AS NOTED IN WALL SCHEDULE, SHALL HAVE SEALANTS THAT MAINTAIN THE MINIMUM SOUNDS VALUE OF THE WALL PARTITION.
- FIRE CAULK ALL PENETRATIONS IN RATED WALL ASSEMBLIES.
- ASSEMBLIES SHOULD BE AIRTIGHT. HAIRLINE CRACKS AND HOLES ARE NOT ALLOWED.
- RECESSED WALL FIXTURES SUCH AS CABINETS, OUTLETS, AND OTHER ITEMS WHICH PENETRATE THE GYPSUM BOARD SURFACE SHOULD NOT BE LOCATED BACK TO BACK IN THE SAME STUD CAVITY.
- ANY OPENINGS CUT FOR ANY FIXTURES SHALL BE CAREFULLY CUT TO SIZE, PROPERLY FASTENED, INSULATED PER WALL ASSEMBLY AND PROPERLY CAULKED.
- THE ENTIRE PERIMETER OF A SOUND INSULATING ASSEMBLY MUST BE MADE AIRTIGHT TO PREVENT SOUND FROM "FLANKING".
- AN ACOUSTICAL SEALANT SHOULD BE USED TO SEAL BETWEEN THE SOUND INSULATING ASSEMBLY AND ALL DISSIMILAR ASSEMBLIES AND BETWEEN THE ASSEMBLY AND SIMILAR SURFACES WHERE PERIMETER RELIEF IS REQUIRED. TAPING AND CAULKING OF GYPSUM BOARD WALL AND WALL-CEILING INTERSECTIONS PROVIDES AN ADEQUATE AIR SEAL AT THESE LOCATIONS.
- ASTM RECOMMENDED PRACTICES E-497 SHOULD BE FOLLOWED FOR GOOD SOUND CONTROL. ALSO CONSULT THE MANUFACTURER OF THE GYPSUM BOARD FOR ANY SPECIAL RECOMMENDATIONS RELATING TO THEIR SYSTEM.

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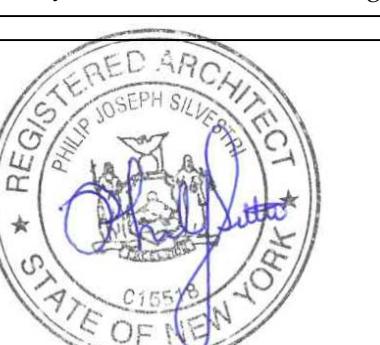


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ISSUE:
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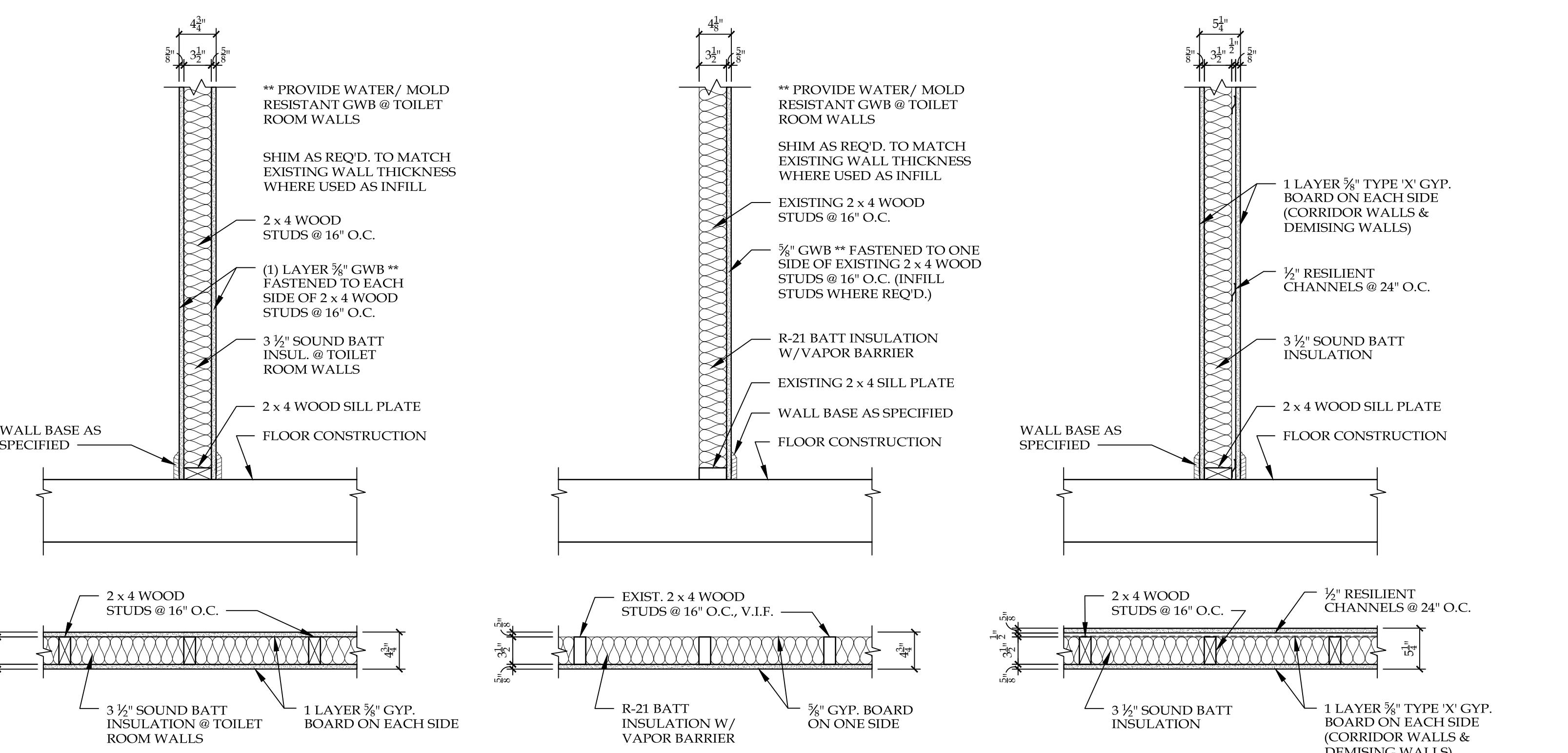


TITLE: PARTITION TYPES & DETAILS



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SA JOB #: 24101.01 DATE: 10-27-25
DRAWING #: A-101



1 STANDARD ACOUSTICAL 2x4 PARTITION
NEW STUD WALL OR INFILL

USE MOISTURE & MOLD RESISTANT
GYP. BD. AT ALL WET LOCATIONS

1A STANDARD 2x4 PARTITION
NO SOUND BATT INSULATION REQ'D.

1B STANDARD 2x6 PARTITION
NEW STUD WALL OR INFILL - NON-ACOUSTICAL

USE MOISTURE & MOLD RESISTANT
GYP. BD. AT ALL WET LOCATIONS

2 ONE-SIDED 2x4 PARTITION

USE MOISTURE & MOLD RESISTANT
GYP. BD. AT ALL WET LOCATIONS

3 ONE-HOUR RATED DEMISING WALL

UL Design No. U305

- BEARING WALL RATING - 1 HR.
- INSTALL ACOUSTICAL SEALANT @ TOP & BOTTOM OF ALL DEMISING WALLS.
- STC 50 MIN.

3A ONE-HOUR RATED DEMISING WALL

- EXISTING 2x4 STUDS

1	2	3	4	5	6
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GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE; ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSITES & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

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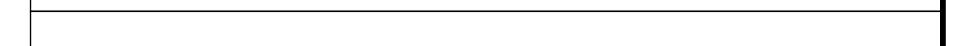
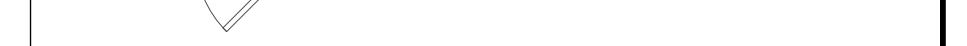
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TITLE:
BASEMENT DEMOLITION PLAN

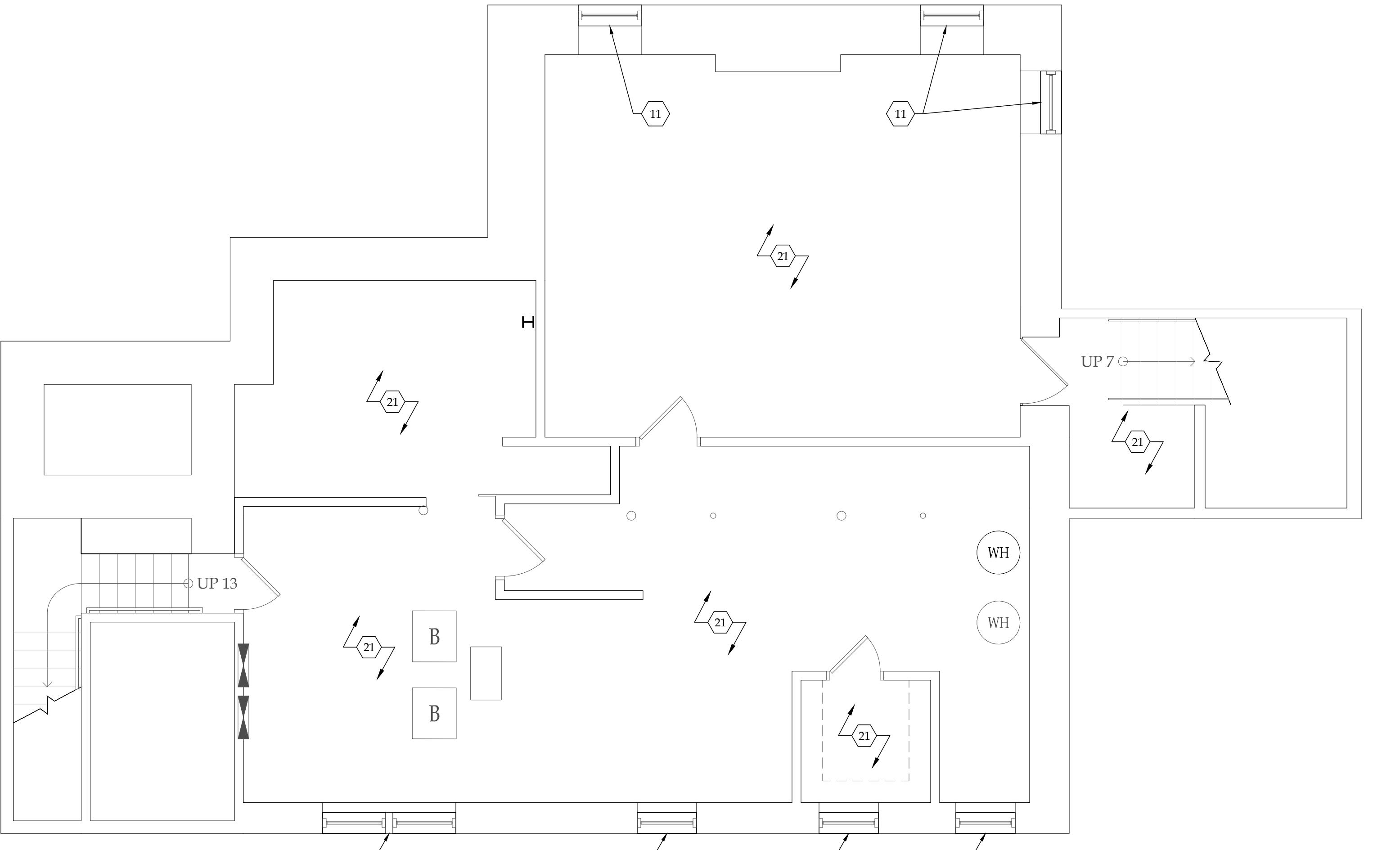
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DEMO PLAN SYMBOL LEGEND:

-  = EXISTING WALL TO BE REMOVED
-  = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
-  = EXISTING DOOR TO BE REMOVED
-  = EXISTING DOOR TO REMAIN
-  = EXISTING WINDOW TO BE REMOVED

FIRST FLOOR DEMOLITION PLAN
A1
SCALE: 1/4" = 1'-0"



NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

1	2	3	4	5	6
E				E	
D				D	
C				C	
B				B	
A				A	

DEMO PLAN NOTES:

1. REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE BASE OR SHOE MOLDING THROUGHOUT - FLOORS & STEPS - INCLUDING ANY TACK STRIPS AND ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TROWEL INFLIL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

2. CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISHES. COORDINATE REMOVAL TO REMAIN AS RIGID TO MAINTAIN STRUCTURAL INTEGRITY. (SEE STRUCTURAL DWGS). DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ M/E/P DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

3. DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK & SOAP DISPENSER COUNTERTOPS & CASEWORK IN THEIR ENTIRETY (SEE M/E/P DEMOLITION DWGS). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER. TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. DWGS)

4. CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

5. REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE &/OR DISPOSAL WITH OWNER.

6. DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH M/E/P CONTRACTOR & ELECTRICAL DRAWINGS.

7. REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.

8. DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS)

9. REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.

10. DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.

11. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

12. REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.

13. REMOVE PEELING MORTAR & EFFLOROSCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN STONE VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING STONE CHIMNEYS.

14. REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS.

15. DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SYSTEMS, CONDUIT, OUTLETS, ETC. (SEE ELECTRICAL DWGS). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER. TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. DWGS)

16. EXISTING CEILING MOUNTED MECHANICAL, SUPPLY & RETURN AIR DIFFUSERS ARE TO REMAIN & BE REFINISHED/REPAINED, PROTECT & TEMPORARILY SECURE TO ALLOW FOR NEW CEILING PANEL INSTALLATION. COORDINATE EXTENT OF DEMOLITION, SALVAGE, REUSE OR REPLACEMENT OF ALL ITEMS WITH OWNER.

17. DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, STROBES, WATER SUPPLY, VENT & DRAIN LINES, CONDUIT PANELS & ALL ASSOCIATED DEVICES. WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH M/E/P CONTRACTOR & ELECTRICAL DRAWINGS.

18. CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC. PREPARE OPENING AS PER PLAN. COORDINATE SALVAGE & DISPOSAL.

19. CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY. EXISTING WOOD TRIM (CASINGS, SILLS, APRONS, ETC. SHALL BE PROTECTED & SALVAGED. PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT. COORDINATE SALVAGE & DISPOSAL. COORDINATE PROTECTION OF THE EXISTING ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW WINDOWS CAN OCCUR. DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.

20. REPAIR/REPLACE SOFFIT IN AREAS WHERE DAMAGED OR MISSING; COORDINATE FULL SCOPE OF SOFFIT WORK WITH OWNER. REMOVE BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

21. ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
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TITLE:

FIRST FLOOR DEMOLITION PLAN

SILVESTRI ARCHITECTS • PC

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SA JOB #: **24101.01**

DATE: **10-27-25**

DRAWING #: **AD-101**

FIRST FLOOR DEMOLITION PLAN

10-27-25

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A1 FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMO PLAN SYMBOL LEGEND:

-  = EXISTING WALL TO BE REMOVED
-  = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
-  = EXISTING DOOR TO BE REMOVED
-  = EXISTING DOOR TO REMAIN
-  = EXISTING WINDOW TO BE REMOVED

1	2	3	4	5	6
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DEMO PLAN NOTES:

1. REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE BASE OR SHOE MOLDING THROUGHOUT - FLOORS & STEPS - INCLUDING ANY TACK STRIPS AND ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TROWEL INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

2. CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISHES. COORDINATE REMOVAL TO REMAIN AS RIGID TO MAINTAIN STRUCTURAL INTEGRITY. (SEE STRUCTURAL DWGS.) DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

3. DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK & SOAP DISPENSER COUNTERTOPS & CASEWORK IN THEIR ENTIRETY (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER. TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. DWGS.)

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5. REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE &/OR DISPOSAL WITH OWNER.

6. DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

7. REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.

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13. REMOVE PEELING MORTAR & EFFLOROSCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN STONE VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING STONE CHIMNEYS.

14. REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.

15. DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SYSTEMS, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH THE ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS, COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

16. EXISTING CEILING MOUNTED MECHANICAL, SUPPLY & RETURN AIR DIFFUSERS ARE TO REMAIN & BE REFINISHED/REPAINED, PROTECT & TEMPORARILY SECURE TO ALLOW FOR NEW CEILING PANEL INSTALLATION. COORDINATE EXTENT OF DEMOLITION, SALVAGE, REUSE OR REPLACEMENT OF ALL ITEMS WITH OWNER.

17. DISCONNECT & REMOVE EXISTING ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, FIRE ALARMS, PULL STATIONS, CONTROL PANELS & ALL ASSOCIATED DEVICES. WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

18. CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC. PREPARE OPENING AS REQUISITE FOR NEW FINISHES.

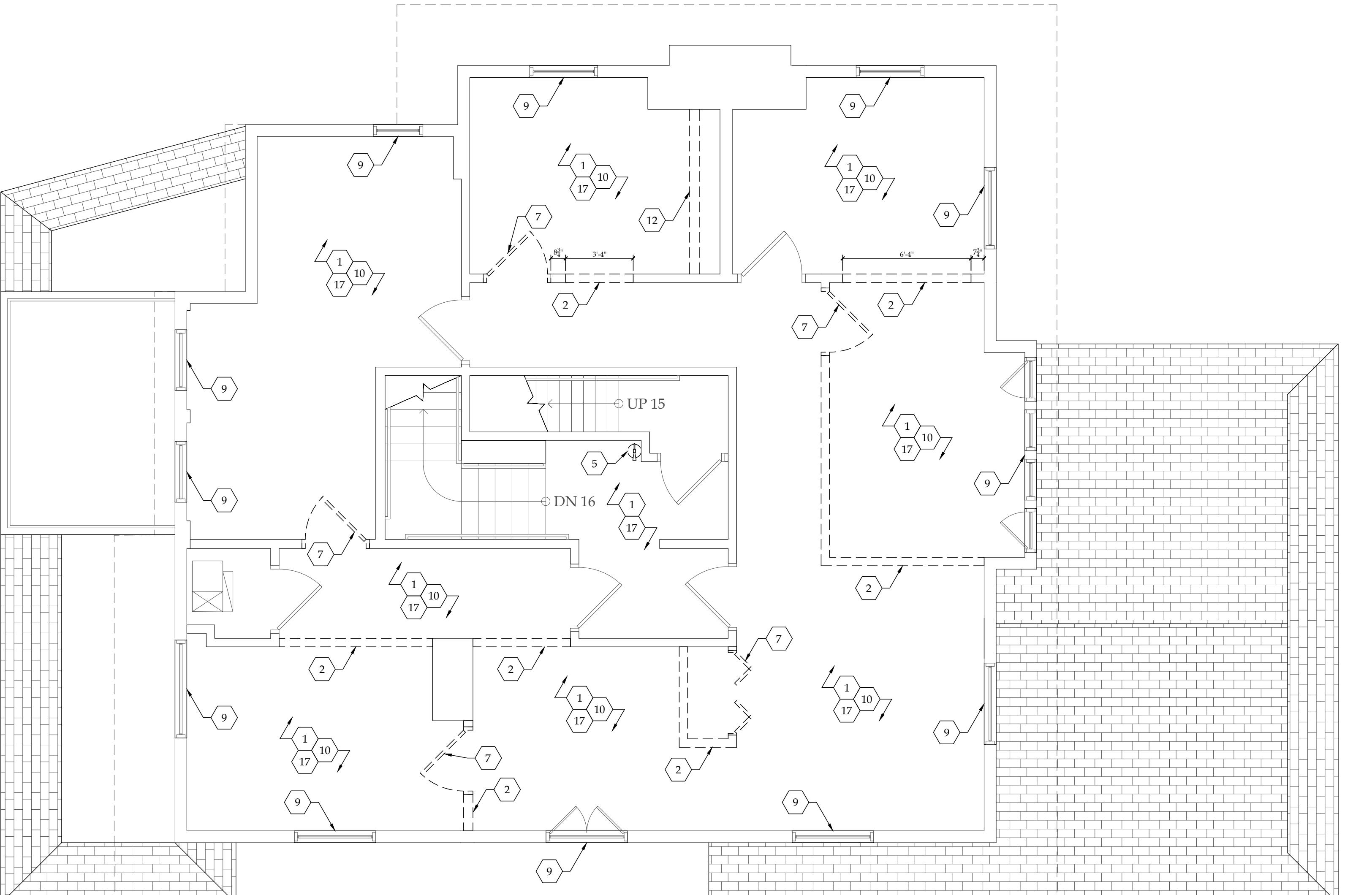
19. CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY. EXISTING WOOD TRIM (CASINGS, SILLS, APRONS, ETC.) SHALL BE PROTECTED & SALVAGED. PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT. COORDINATE ALL EXISTING WOOD TRIM TO BE REMOVED. TEMPORARILY OPENING PROTECTION FROM THE ELEMENTS UNTIL WOOD TRIM RE-PAINTING & INSTALLATION OF NEW WINDOWS CAN OCCUR. DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.

20. REPAIR/REPLACE SOFFIT IN AREAS WHERE DAMAGED OR MISSING. COORDINATE FULL SCOPE OF SOFFIT WORK WITH OWNER. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

21. ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND AGREES THAT THIS DOCUMENT WILL NOT BE COPIED OR REPRODUCED IN PART OR WHOLE, AND NO SPECIAL FEATURES OR DESIGN TO THIS DOCUMENT SHALL NOT BE INCORPORATED IN ANY OTHER PROJECT, UNLESS PRIOR AGREEMENT HAS BEEN OBTAINED IN WRITING. THESE DOCUMENTS WILL BE RETURNED IMMEDIATELY UPON COMPLETION OF THE PROJECT OR UPON THE REQUEST OF THE ARCHITECT.
- THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT, NO RIGHTS TO OWNERSHIP ARE TRANSFERABLE, OR SHALL BE ASSUMED BY THE CONTRACTOR, UNLESS PRIOR AGREEMENT HAS BEEN OBTAINED IN WRITING. THESE DOCUMENTS WILL BE RETURNED IMMEDIATELY UPON COMPLETION OF THE PROJECT OR UPON THE REQUEST OF THE ARCHITECT.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE; ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSITES & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON-SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.



SECOND FLOOR DEMOLITION PLAN

DEMO PLAN SYMBOL LEGEND:

- = EXISTING WALL TO BE REMOVED
- = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
- = EXISTING DOOR TO BE REMOVED
- = EXISTING DOOR TO REMAIN
- = EXISTING WINDOW TO BE REMOVED

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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL: 

TITLE:
SECOND FLOOR DEMOLITION PLAN

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SA JOB #: 24101.01 DATE: 10-27-25

DRAWING #: AD-102

A1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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C				C	
B				B	
A				A	

DEMOLITION PLAN NOTES:

1 REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE BASE OR SHOE MOLDING THROUGHOUT - FLOORS & STEPS - INCLUDING ANY TACK STRIPS AND ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TROWEL INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

2 CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISHES. COORDINATE REMOVAL TO REMAIN AS RIGID TO MAINTAIN STRUCTURAL INTEGRITY. (SEE STRUCTURAL DWGS.) DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

3 DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK & SOAP DISPENSER COUNTERTOPS & CASEWORK IN THEIR ENTIRETY (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER. TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. DWGS.)

4 CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

5 REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE &/OR DISPOSAL WITH OWNER.

6 DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

7 REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.

8 DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.)

9 REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.

10 DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.

11 EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

12 REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.

13 REMOVE PEELING MORTAR & EFFLORSCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN STONE VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING STONE CHIMNEYS.

14 REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.

15 DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SYSTEMS, CONDUIT, OUTLETS, ETC. (SEE ELECTRICAL DWGS.) DISCONNECT & REMOVE ANY ELECTRICAL DEMOLITION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS, COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

16 EXISTING CEILING MOUNTED MECHANICAL, SUPPLY & RETURN AIR DIFFUSERS ARE TO REMAIN & BE REFINISHED/REPAINED, PROTECT & TEMPORARILY SECURE TO ALLOW FOR NEW CEILING PANEL INSTALLATION. COORDINATE EXTENT OF DEMOLITION, SALVAGE, REUSE OR REPLACEMENT OF ALL ITEMS WITH OWNER.

17 DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, ASSOCIATED WIRING, PULL STATIONS, CONTROL PANELS & ALL ASSOCIATED DEVICES. WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

18 CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC. PREPARE OPENING AS ~~NOT FOR EXISTING CONSTRUCTION OR WORK ON EXISTING~~.

19 CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY. EXISTING WOOD TRIM (CASINGS, SILLS, APRONS, ETC.) SHALL BE PROTECTED & SALVAGED. PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT. COORDINATE ALL EXISTING WOOD TRIM & SALVAGE. PROTECT BY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW WINDOWS CAN OCCUR. DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.

20 REPAIR/REPLACE SOFFIT IN AREAS WHERE DAMAGED OR MISSING. COORDINATE FULL SCOPE OF SOFFIT WORK WITH OWNER. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

21 ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
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- DEMO CONTRACTOR TO PROVIDE DUMPSITES & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON-SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

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11-19-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

THIRD FLOOR DEMOLITION PLAN

DEMO PLAN SYMBOL LEGEND:

— = EXISTING WALL TO BE REMOVED

— = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)

— = EXISTING DOOR TO BE REMOVED

— = EXISTING DOOR TO REMAIN

— = EXISTING WINDOW TO BE REMOVED

SA JOB #: 24101.01 **DATE:** 10-27-25

DRAWING #: AD-103

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A1 THIRD FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD-103

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E D C B A

A1 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE; ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

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PROJ. ARCH. _____ DRAFTER B.Pacos
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FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN

DEMO RCP SYMBOL LEGEND:

- SUSPENDED ACOUSTIC CEILING - EXISTING TO BE REMOVED. (THE ONLY, RETAIN EXISTING GRID, SOME LOCATIONS, SEE RCP)
- EXISTING STRIP LIGHT FIXTURE - EXISTING TO BE REMOVED
- EXIT SIGNAGE - EXISTING TO BE REMOVED
- LIGHT FIXTURE - EXISTING TO BE REMOVED
- MECH. SUPPLY OR RETURN DIFFUSER - EXISTING TO REMAIN OR BE RELOCATED
- MISC. DEVICE TO BE REMOVED. (SPEAKER, ALARM, SMOKE, CO. DETECTOR, EMER. LIGHT, ETC.)

NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

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B				B	
A				A	

DEMOLITION PLAN NOTES:

(1) REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE BASE OR SHOE MOLDING THROUGHOUT - FLOORS & STEPS - INCLUDING ANY TACK STRIPS AND ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TROWEL INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

(2) CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE MAXIMUM DEPTH POSSIBLE. COORDINATE REMOVALS TO REMAIN AS RIGID TO MAINTAIN STRUCTURAL INTEGRITY. (SEE STRUCTURAL DWGS.) DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

(3) DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK & SOAP DISPENSER COUNTERTOPS & CASEWORK IN THEIR ENTIRETY (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER. TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. DWGS.)

(4) CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).

(5) REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE &/OR DISPOSAL WITH OWNER.

(6) DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

(7) REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.

(8) DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.)

(9) REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.

(10) DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.

(11) EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

(12) REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.

(13) REMOVE PEELING MORTAR & EFFLORSCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN STONE VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING STONE CHIMNEYS.

(14) REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.

(15) DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SYSTEMS, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH THE ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS, COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.

(16) ENTHING CEILING MOUNTED MECHANICAL, SUPPLY & RETURN AIR DIFFUSERS ARE TO REMAIN & BE REFINISHED/REPAINED, PROTECT & TEMPORARILY SECURE TO ALLOW FOR NEW CEILING PANEL INSTALLATION. COORDINATE EXTENT OF DEMOLITION, SALVAGE, REUSE OR REPLACEMENT OF ALL ITEMS WITH OWNER.

(17) DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.

(18) CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC. PREPARE OPENING AS REQ'D. FOR WALL IN-FILL CONSTRUCTION OR WORK. (SEE FLOOR PLAN).

(19) CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY. EXISTING WOOD TRIM (CASINGS, SILLS, APRONS, ETC. SHALL BE PROTECTED & SALVAGED. PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT. COORDINATE ALL EXISTING WOOD TRIM & SALVAGE. PROTECT BY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW WINDOWS CAN OCCUR. DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.

(20) REPAIR/REPLACE SOFFIT IN AREAS WHERE DAMAGED OR MISSING; COORDINATE FULL SCOPE OF SOFFIT WORK WITH OWNER. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

(21) ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE; ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSITES & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON-SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

**THIRD FLOOR
REFLECTED
CEILING
DEMOLITION
PLAN**

DEMO RCP SYMBOL LEGEND:

	SUSPENDED ACOUSTIC CEILING - EXISTING TO BE REMOVED. (THESE ARE TO BE REMOVED, ONLY, RETAIN EXISTING GRID, SOME LOCATIONS, SEE RCP)
	EXISTING STRIP LIGHT FIXTURE - EXISTING TO BE REMOVED
	EXIT SIGNAGE - EXISTING TO BE REMOVED
	LIGHT FIXTURE - EXISTING TO BE REMOVED
	MECH. SUPPLY OR RETURN DIFFUSER - EXISTING TO REMAIN OR BE RELOCATED
	MISC. DEVICE TO BE REMOVED. (SPEAKER, ALARM, SMOKE, CO. DETECTOR, EMER. LIGHT, ETC.)

**SILVESTRI
ARCHITECTS • PC**

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SA JOB #: 24101.01 **DATE:** 10-27-25

DRAWING #: AD-106

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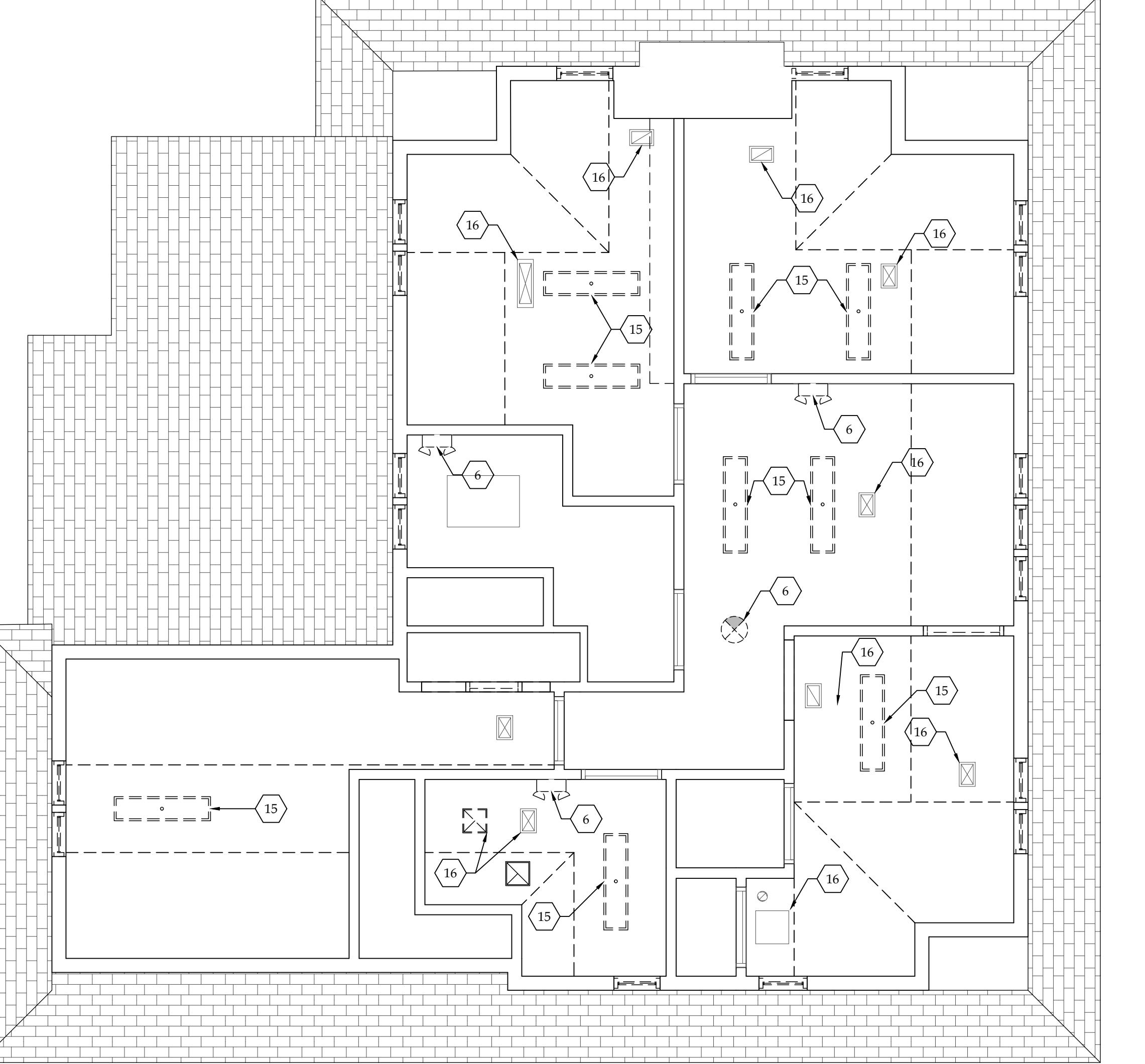
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DOFI PROPERTIES

**Humboldt Pkwy
Apartments**

**73 Humboldt Parkway
Buffalo, NY 14214**

Third Floor Reflected Ceiling Demolition Plan



A1 THIRD FLOOR REFLECTED CEILING DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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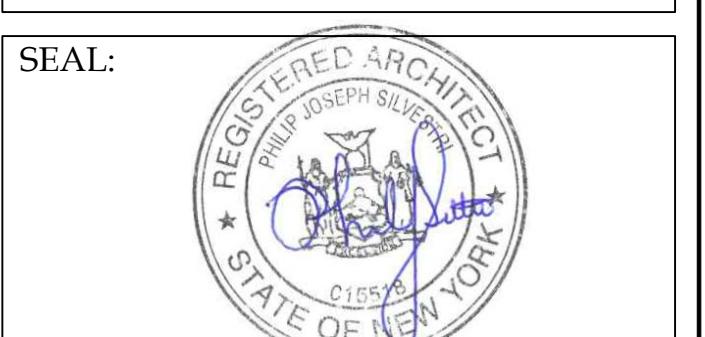


Humboldt Pkwy Apartments

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EXTERIOR DEMOLITION ELEVATIONS



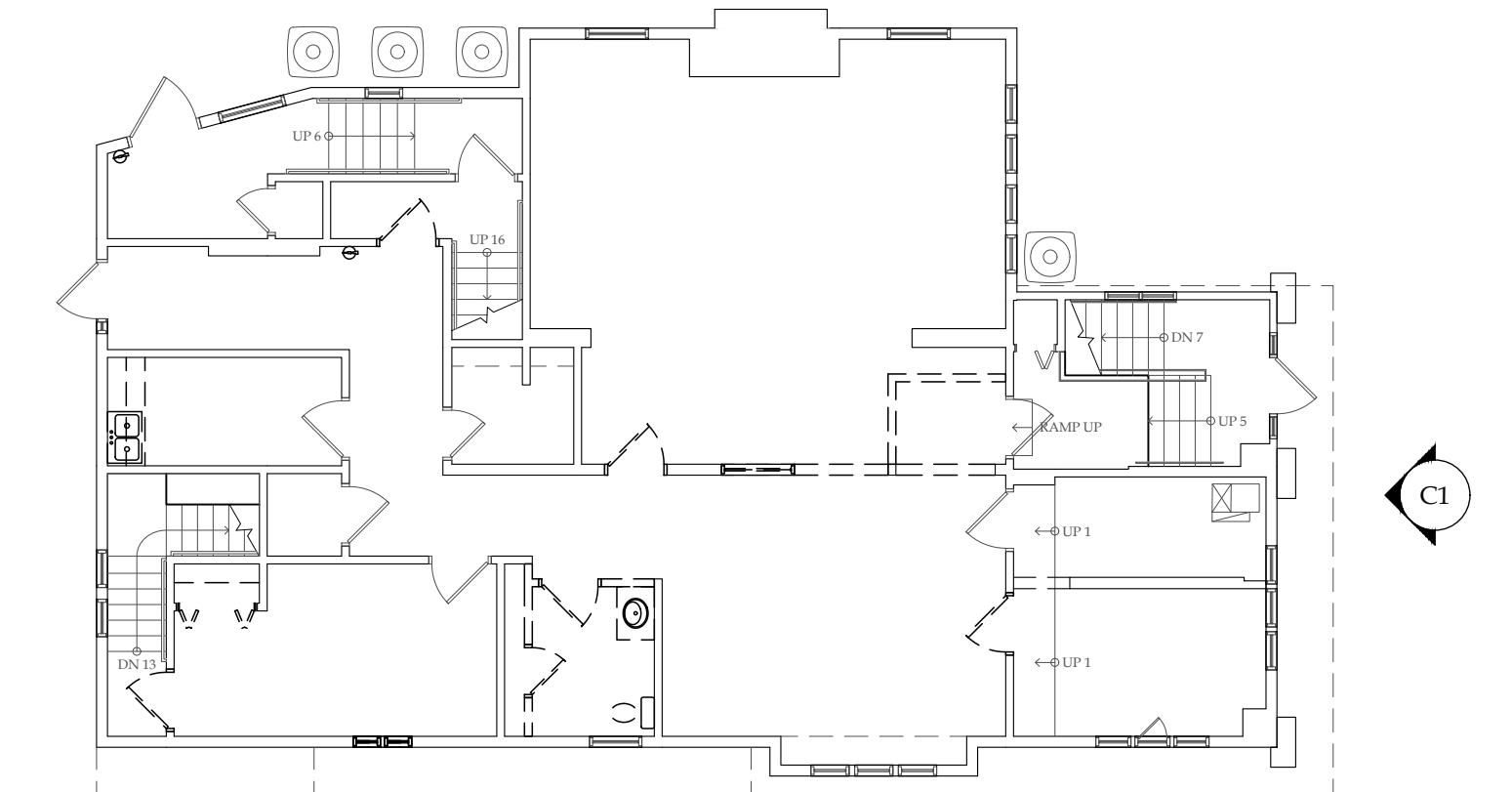
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DRAWING #: AD-201



C1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



E4 ELEVATION KEY PLAN
SCALE: NOT TO SCALE



A1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION ELEVATION NOTES:

① REMOVE PEELING MORTAR & FELLORESCENCE WHERE OCCURS, DOWNTURNING LEAF & EXPOSED FOUNDATION WALLS TO REVEAL EXPOSED & CLEARED WHERE NEW EXPOSED MASONRY IS TO BE PLACED, INCLUDING CHIMNEYS. G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.

② EXISTING PAINTED WOOD WINDOWS, DOORS, SURROUND TRIM, FASCIA, SOFFIT, ETC. ALL TO BE PAINTED. REMOVE ALL LOOSE OR PEELING PAINT & TAULK FROM ALL AREAS AS REQUIRED TO PREPARE FOR PAINTING. NEW PAINT FINISH, TYP. ALL AREAS.

③ EXISTING GLASS DOORS, DOOR TRIM, ETC. SHALL BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE NEEDED. G.C. SHALL CONFIRM OTHER DOORS & ENSURE FUNCTIONALITY OF EXIST. GLASS DOORS. LOW SPOTS & HUBS FOR POSITIVE RAINFOOTER DRAINAGE.

④ CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY, EXISTING WOOD TRIM (CASINGS, SILLS, AIRONS, ETC. SHALL BE PROTECTED & SALVAGED, PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT - INTERIOR & EXTERIOR). CONTRACTOR SHALL PROVIDE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM REPAIR/REPLACEMENT IS COMPLETED. DURING REMOVAL OCCUR, DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED, RE-CAULKED, RE-GLAZED.

⑤ RESIZE OPENING TO FIT NEW WINDOW. SEE A-601 FOR NEW WINDOW SIZE (HEAD HEIGHT TO MATCH EXISTING - SILL BEING LOWERED TO SATISFY ADA REQUIREMENTS).

⑥ EXISTING ROOFING TO BE REMOVED IN FAIR SHAPE. G.C. SHALL CONFIRM PRESENCE OF ADEQUATE FLASHING & WATER TIGHTNESS. ALL WALL/ROOFING TRANSITION, GABLE, DORMERS, DIPS, VALLEYS & GUTTERS.

⑦ EXISTING ROOFING COATING IN THIS AREA SHALL BE REPLACED. ROOFING DEMOLITION SHALL OCCUR WITHIN THE SCOPE OF THE ROOF REPLACEMENT CONTRACT.

⑧ EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

DONE

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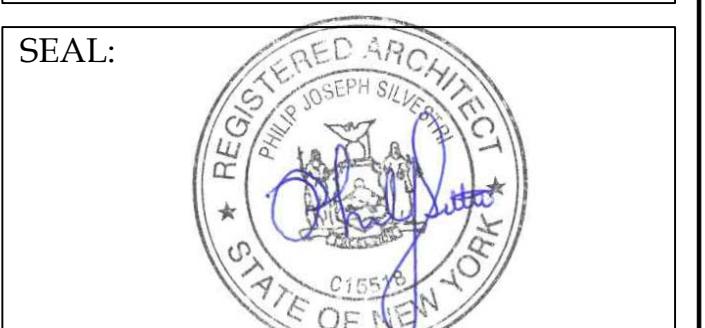


Humboldt Pkwy Apartments

73 Humboldt Parkway
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ISSUE:
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PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
EXTERIOR DEMOLITION ELEVATIONS

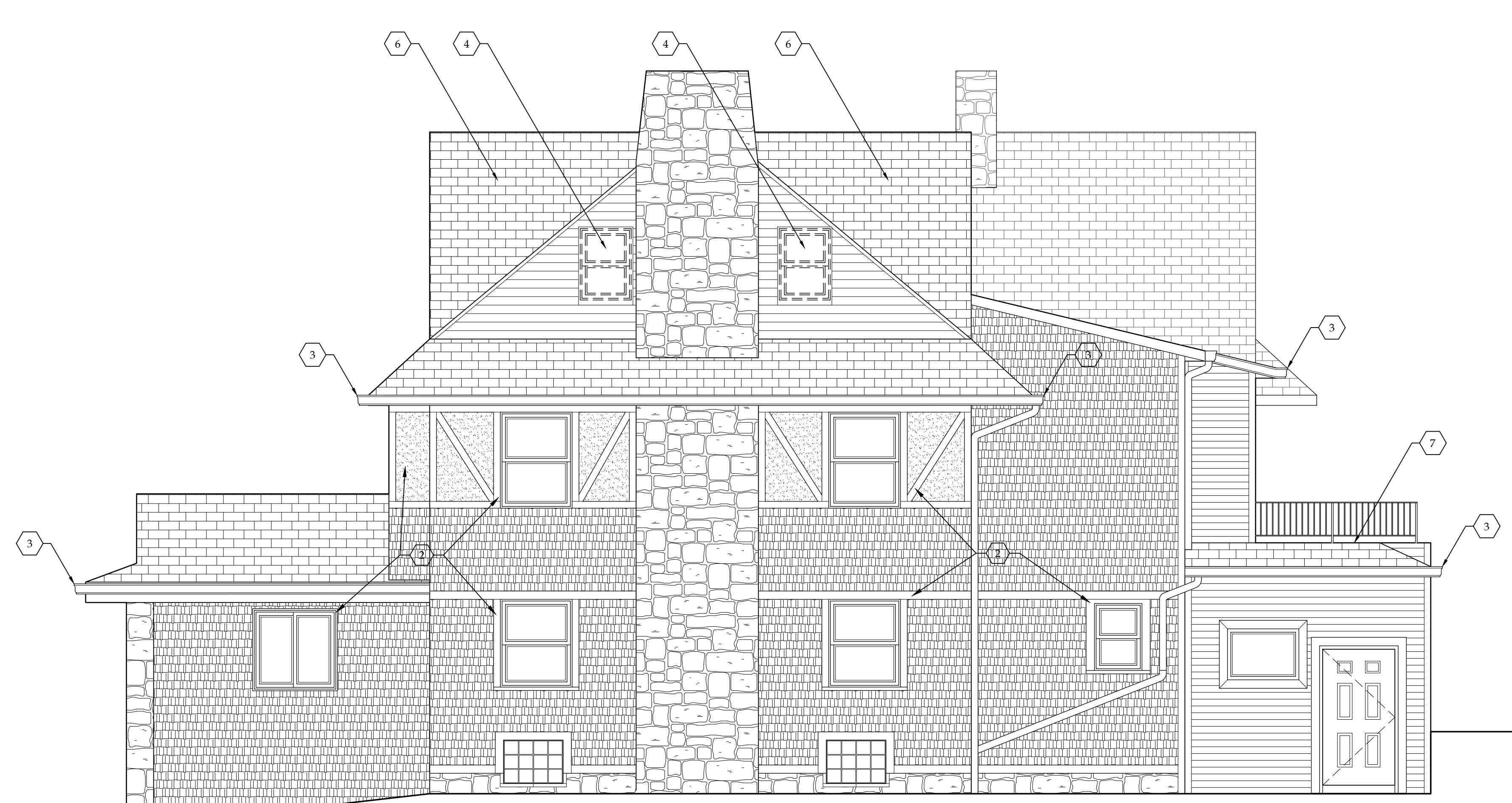


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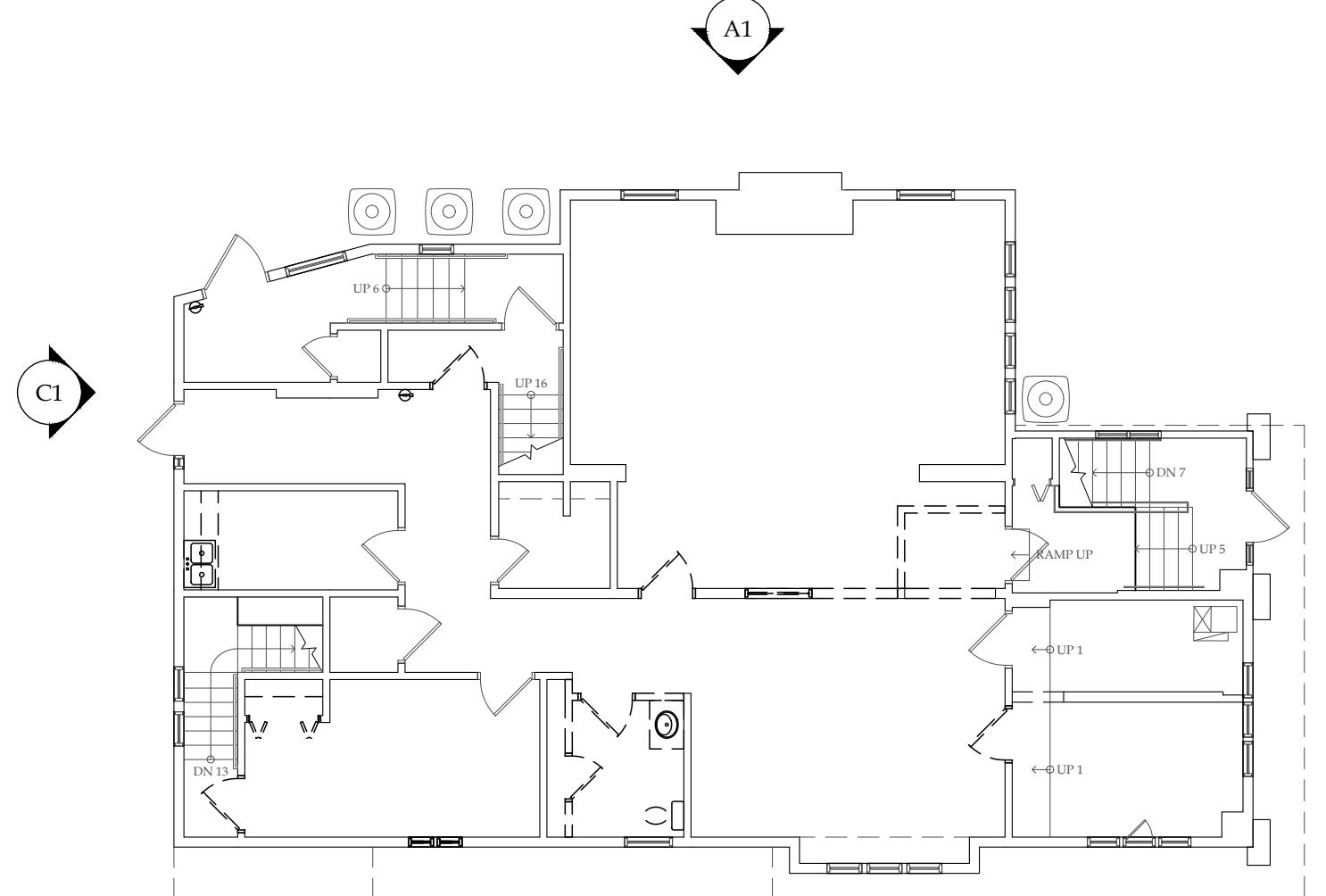
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DRAWING #: AD-202



C1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



A1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



E4 DEMO ELEVATION KEY PLAN
SCALE: NOT TO SCALE

DEMOLITION ELEVATION NOTES:

1. REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING STONE VENEER & EXPOSED FOUNDATION WALLS SHALL BE REPOINTED & CLEANED WHERE NECESSARY @ 12" FULL HEIGHT, IN LENGTH & DEPTH. G.C. SHALL IDENTIFY SOURCES OF WATER INfiltrATION & REPAIR PRIOR TO MASONRY REPAIR.
2. EXISTING PAINTED WOOD WINDOWS, DOORS, SURROUND FRAMES, AS WELL AS EXPOSED PUFFERS, FASCIA, BRIDGE BEADS, ETC. SHALL BE REPAINTED. REMOVE ALL LOOSE & PEELING PAINT & CAULK FROM ALL AREAS AS REQUIRED. G.C. SHALL REPAINT FOR ALL AREAS & NEW PAINT FINISH, TYP. ALL AREAS.
3. EXISTING GUTTERS & DOWNSPOUTS SHALL BE REPAIRED, PLAN AREAS AS NEEDED WHERE NEEDED. G.C. SHALL CONFIRM OR OTHERWISE ESTABLISH FUNCTIONALITY OF EXISTING GUTTERS & DOWNSPOUTS & HUBS FOR POSITIVE RAINWATER DRAINAGE.
4. CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY, EXISTING WOOD TRIM (CASINGS, SILLS, IRONS, ETC) SHALL BE PROTECTED & SALVAGED, PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT - INTERIOR & EXTERIOR. CONTRACTOR SHALL PROVIDE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM REPAIR/REPLACEMENT IS COMPLETED. DURING THIS PERIOD OCCUR DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATION SCHEDULE. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.
5. RESIZE OPENING TO FIT NEW WINDOW. SEE A-601 FOR NEW WINDOW SIZE (HEAD HEIGHT TO MATCH EXISTING - SILL BEING LOWERED TO SATISFY ADA REQUIREMENTS).
6. EXISTING GUTTER FLASHING & COFFING APPEARS TO BE IN FAIR SHAPE. G.C. SHALL CONFIRM PRESENCE OF ADEQUATE FLASHING & WATER TIGHTNESS OF ALL WALL/ROOFING FLASHING, GUTTERS, VALLEYS, DOWNSPOUTS, & GUTTERS.
7. EXISTING JEMMER FERNS IN THIS AREA SHALL BE REPLACED. ROOFING & MASONRY SHALL OCCUR WITHIN THE SCOPE OF THE ROOFING & MASONRY REPLACEMENT CONTRACT.
8. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

DONE

DONE

DONE

DONE

DONE

DONE

1	2	3	4	5	6
E					E
D					D
C					C
B					B
A					A

WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB-FLOOR WHERE REQUIRED: PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED OVER EXISTING WINGS.
5. ~~REFINISH ALL EXPOSING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE & FILL MISSING OR DETERIORATED STAIR PIECES IN KIND.~~
6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THESE ARE REQUIRED. PENETRATIONS THROUGH WALLS, FLOORS OR CEILINGS THROUGH SAME BY LOCAL OR APPLICABLE BUILDING CODE. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOOR, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC) ARE PROPERLY SEALED TO SATISFY NYSEERDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

	= EXISTING WALL TO REMAIN
	= EXISTING STUDS TO BE COVERED W/G.W.B.
	= EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
	= NEW WALL CONSTRUCTION OR WALL INFILL
	= NEW 1-HOUR WALL CONSTRUCTION OR INFILL
	= INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
	= EXISTING DOOR TO REMAIN
	= NEW DOOR
	= DOOR NUMBER (SEE DOOR SCHED. ON A-601)
	= WALL MOUNTED FIRE EXTINGUISHER
	= EXISTING WALL OR FLOOR MOUNTED RADIATOR
	= EXISTING FLOOR REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)

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PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
BASEMENT PLAN

SILVESTRI ARCHITECTS • PC
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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 **DATE:** 10-27-25
DRAWING #: A-100

73 HUMBOLDT PARKWAY
UNIT 'A' 2 BED, 1 BATH 1,764 SF
UNIT 'B' 5 BED, 1 DEN, 2 BATH 2,594 SF

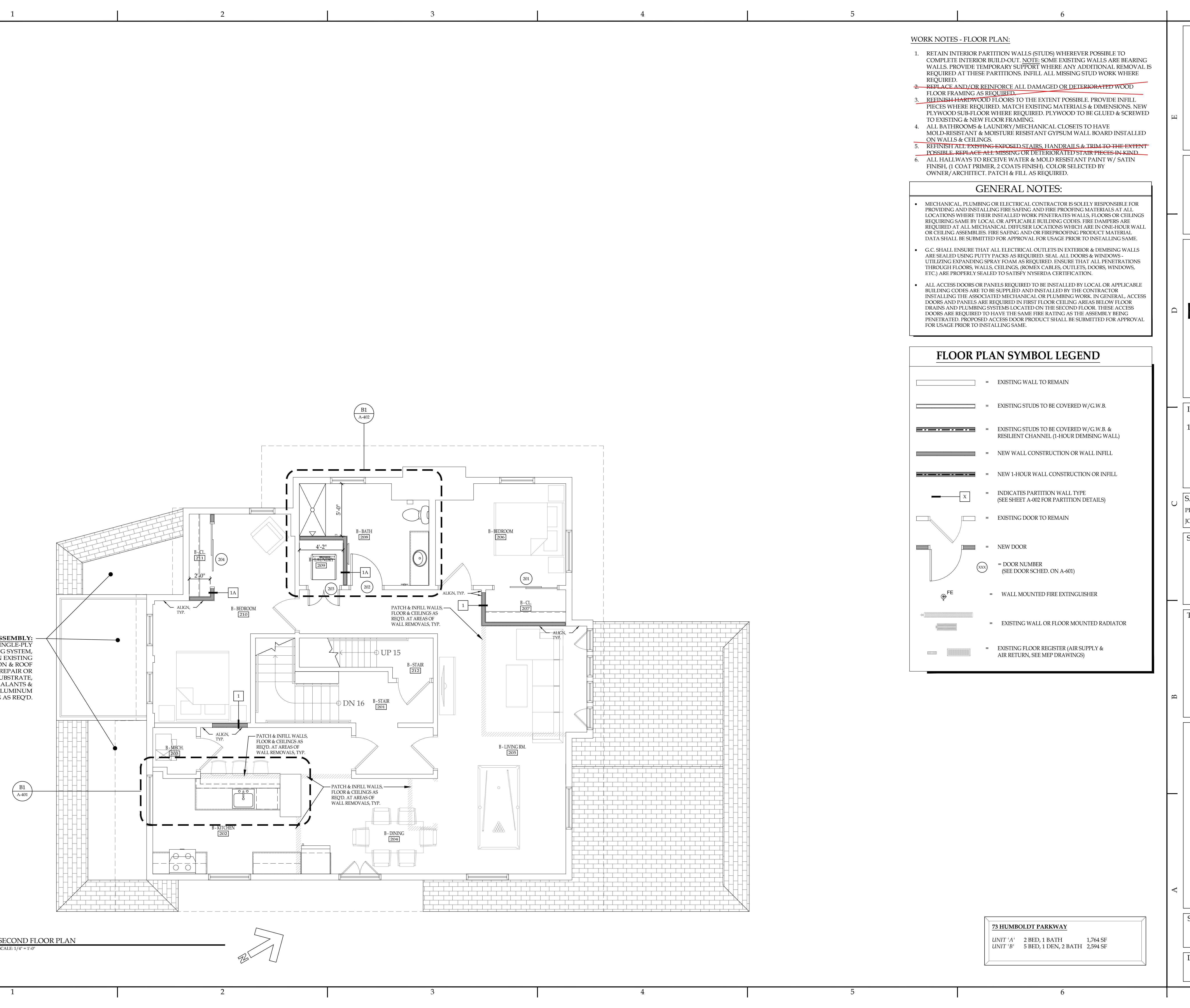
FIRST FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"

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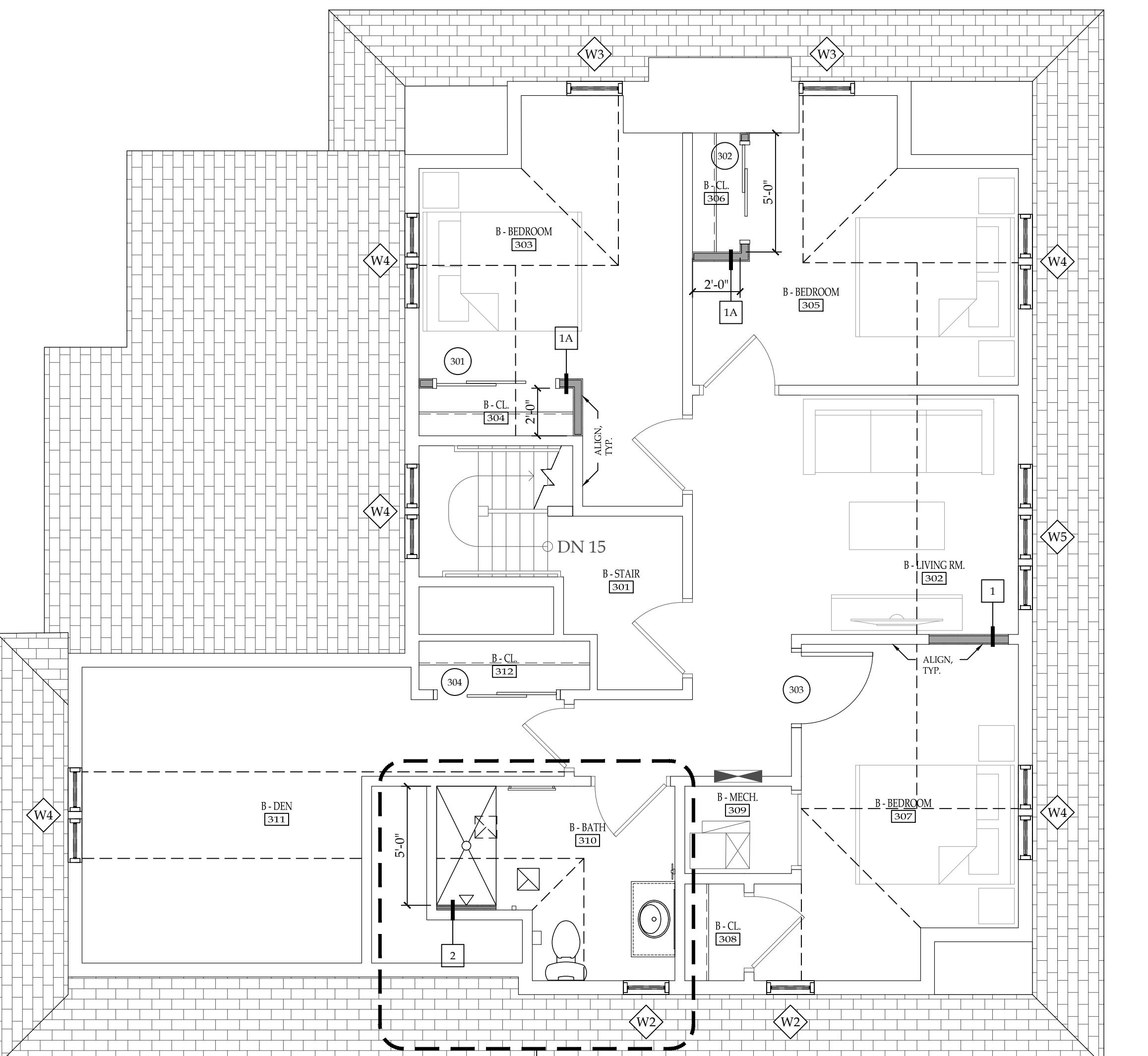
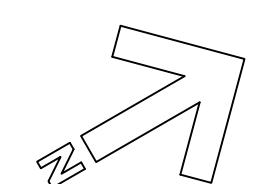
E

D

C

B

A

A1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

C1

A-40

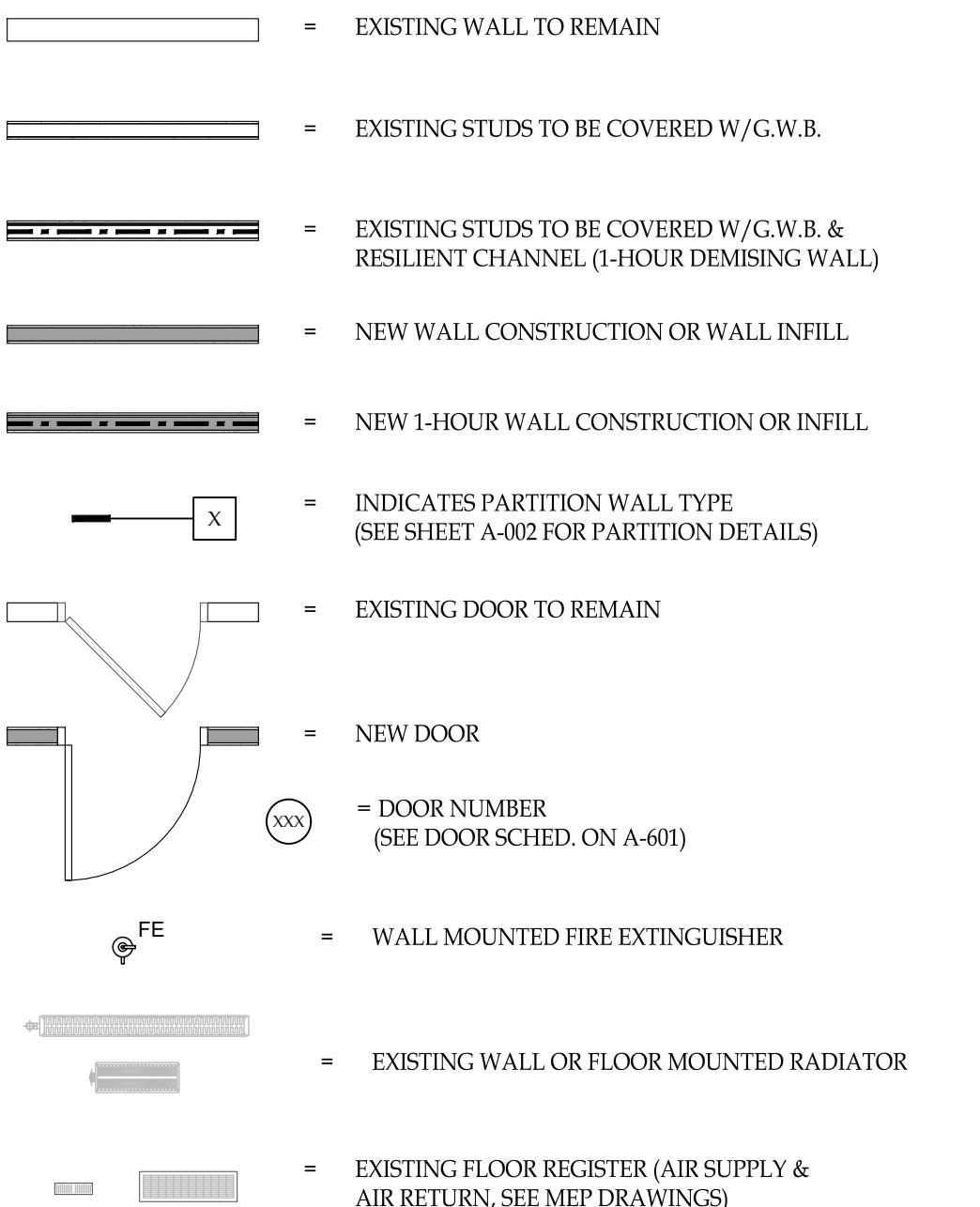
WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB-FLOOR WHERE REQUIRED: PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALL FRAMING.
5. ~~REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DAMAGED STAR PIECES IN KIND.~~
6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THE EXISTING PENETRATIONS ARE NOT SEALED. DOORS OR OPENINGS REQUIRED BY LOCAL OR APPLICABLE BUILDING CODES, FIRE DAMAGES ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOOR, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC) ARE PROPERLY SEALED TO SATISFY NYSEERDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND



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11-19-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.NagleTITLE:
THIRD FLOOR
PLANSILVESTRI
ARCHITECTS • PC1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 10-27-25

DRAWING #: A-103

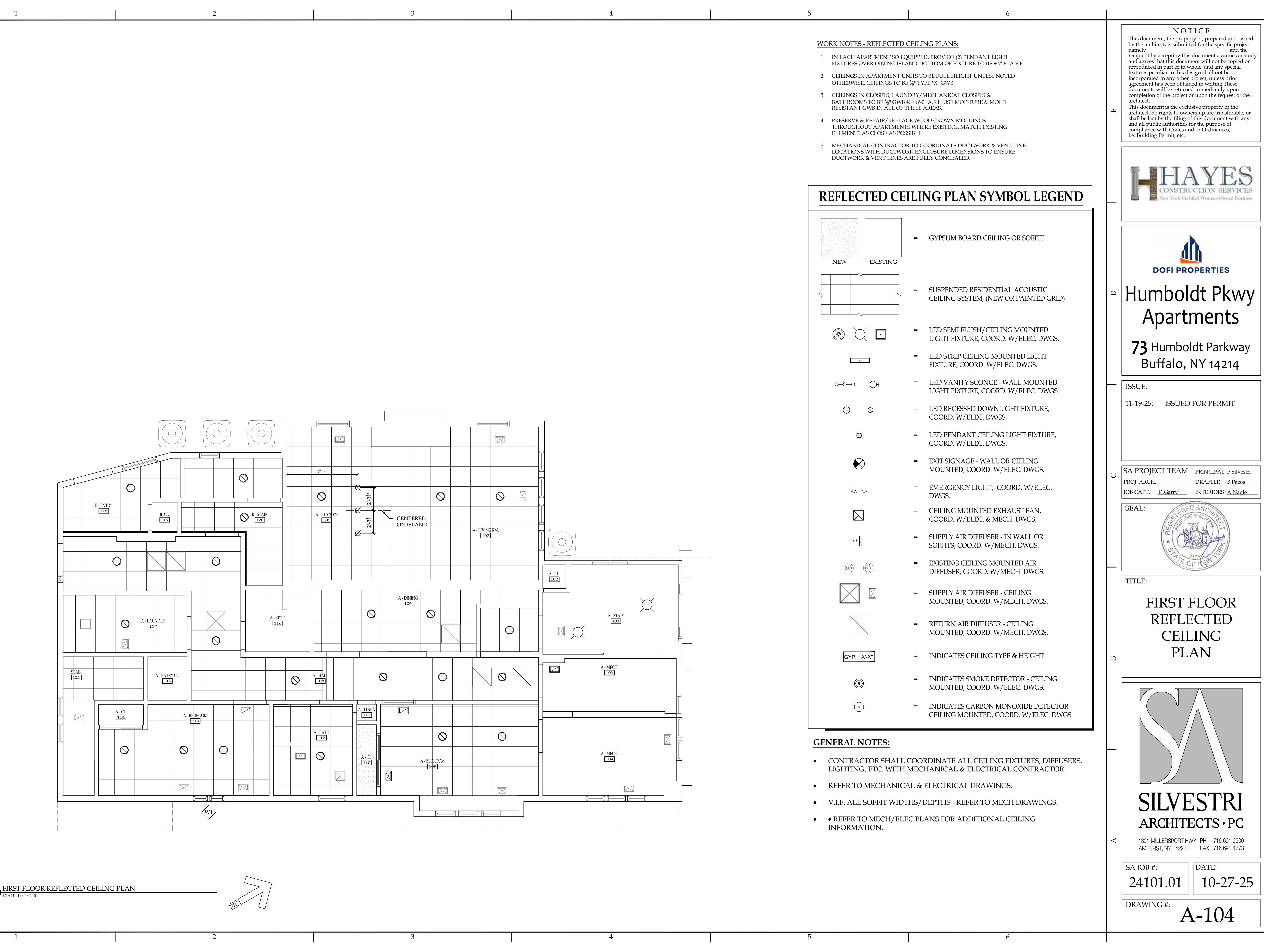
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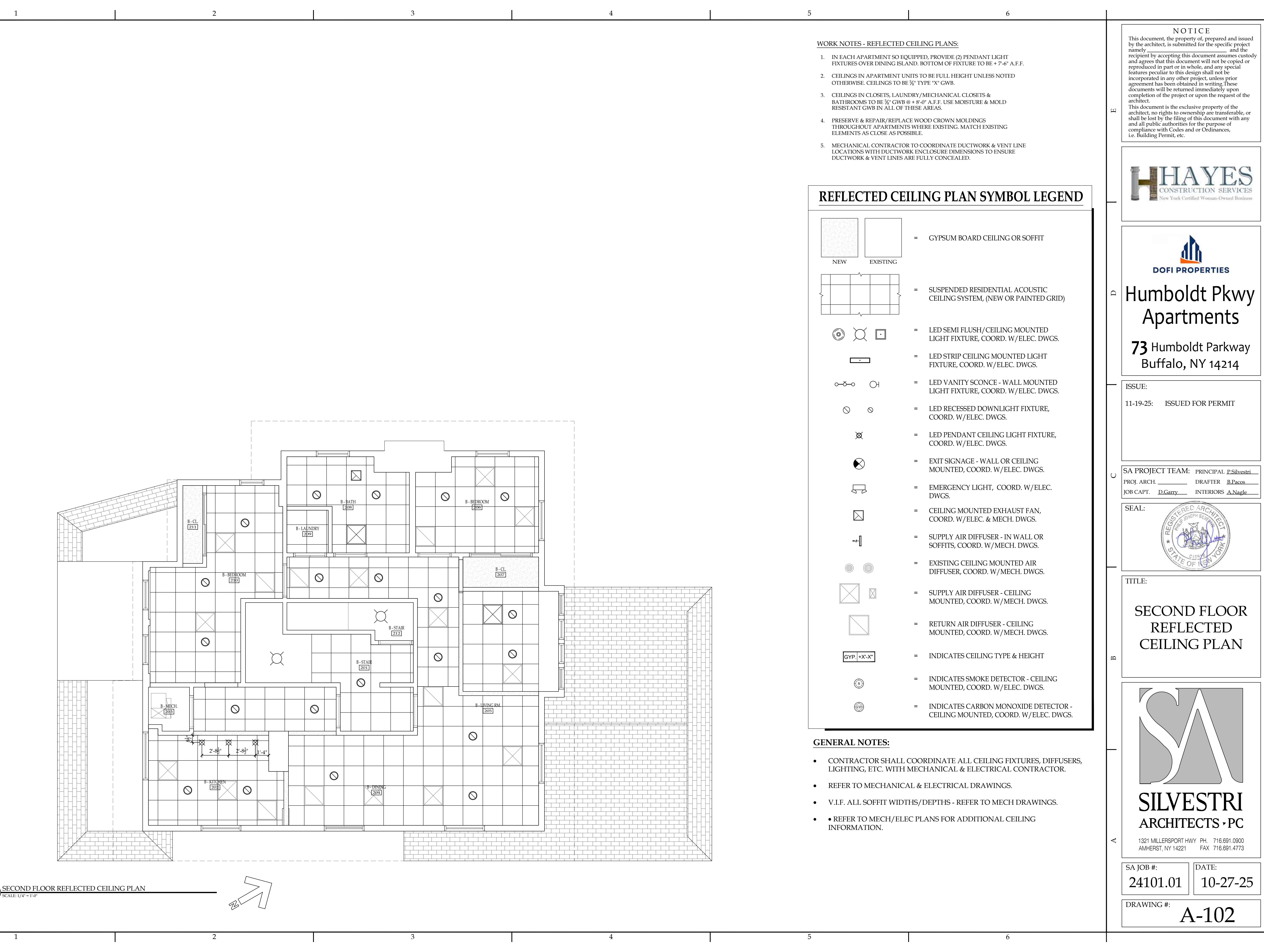
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73 HUMBOLDT PARKWAY
UNIT 'A' 2 BED, 1 BATH 1,764 SF
UNIT 'B' 5 BED, 1 DEN, 2 BATH 2,594 SF





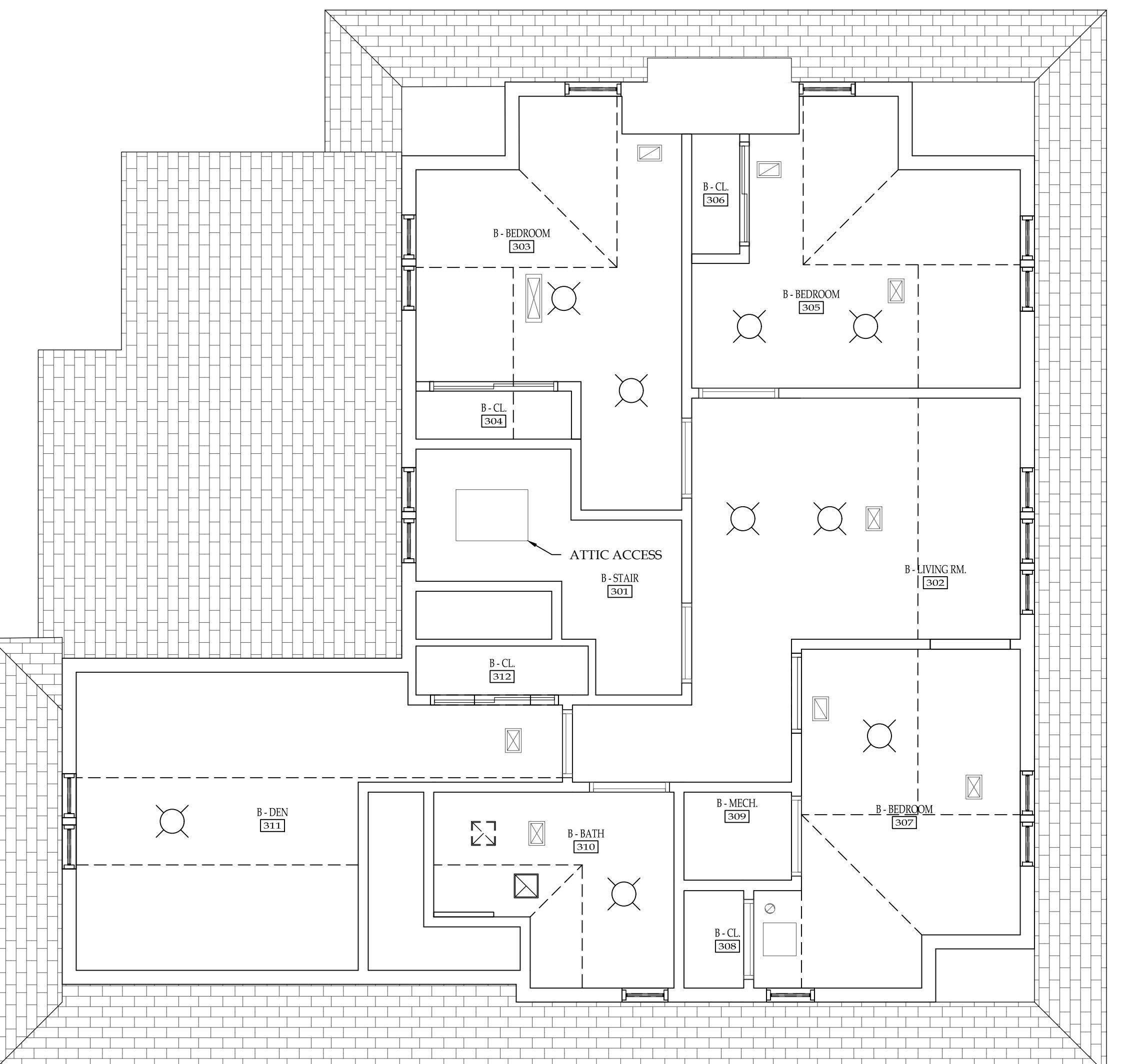
E

D

C

B

A

A1 THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

WORK NOTES - REFLECTED CEILING PLANS:

1. IN EACH APARTMENT SO EQUIPPED, PROVIDE (2) PENDANT LIGHT FIXTURES OVER DINING ISLAND. BOTTOM OF FIXTURE TO BE + 7'-6" A.F.F.
2. CEILINGS IN APARTMENT UNITS TO BE FULL HEIGHT UNLESS NOTED OTHERWISE. CEILINGS TO BE $\frac{3}{4}$ " TYPE "X" G.W.B.
3. CEILINGS IN CLOSETS, LAUNDRY/MECHANICAL CLOSETS & BATHROOMS TO BE $\frac{3}{4}$ " G.W.B @ + 8'-0" A.F.F. USE MOISTURE & MOLD RESISTANT G.W.B IN ALL OF THESE AREAS.
4. PRESERVE & REPAIR/REPLACE WOOD CROWN MOLDINGS THROUGHOUT APARTMENTS WHERE EXISTING. MATCH EXISTING ELEMENTS AS CLOSE AS POSSIBLE.
5. MECHANICAL CONTRACTOR TO COORDINATE DUCTWORK & VENT LINE LOCATIONS WITH DUCTWORK ENCLOSURE DIMENSIONS TO ENSURE DUCTWORK & VENT LINES ARE FULLY CONCEALED.

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REFLECTED CEILING PLAN SYMBOL LEGEND

	= GYPSUM BOARD CEILING OR SOFFIT NEW
	= GYPSUM BOARD CEILING OR SOFFIT EXISTING
	= SUSPENDED RESIDENTIAL ACOUSTIC CEILING SYSTEM, (NEW OR PAINTED GRID)
	= LED SEMI FLUSH/CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
	= LED STRIP CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
	= LED VANITY SCONCE - WALL MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
	= LED RECESSED DOWNLIGHT FIXTURE, COORD. W/ELEC. DWGS.
	= LED PENDANT CEILING LIGHT FIXTURE, COORD. W/ELEC. DWGS.
	= EXIT SIGNAGE - WALL OR CEILING MOUNTED, COORD. W/ELEC. DWGS.
	= EMERGENCY LIGHT, COORD. W/ELEC. DWGS.
	= CEILING MOUNTED EXHAUST FAN, COORD. W/ELEC. & MECH. DWGS.
	= SUPPLY AIR DIFFUSER - IN WALL OR SOFFITS, COORD. W/MECH. DWGS.
	= EXISTING CEILING MOUNTED AIR DIFFUSER, COORD. W/MECH. DWGS.
	= SUPPLY AIR DIFFUSER - CEILING MOUNTED, COORD. W/MECH. DWGS.
	= RETURN AIR DIFFUSER - CEILING MOUNTED, COORD. W/MECH. DWGS.
	= INDICATES CEILING TYPE & HEIGHT GYP + X-X'
	= INDICATES SMOKE DETECTOR - CEILING MOUNTED, COORD. W/ELEC. DWGS.
	= INDICATES CARBON MONOXIDE DETECTOR - CEILING MOUNTED, COORD. W/ELEC. DWGS.

GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE ALL CEILING FIXTURES, DIFFUSERS, LIGHTING, ETC. WITH MECHANICAL & ELECTRICAL CONTRACTOR.
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS.
- V.I.F. ALL SOFFIT WIDTHS/DEPTHS - REFER TO MECH DRAWINGS.
- REFER TO MECH/ELEC PLANS FOR ADDITIONAL CEILING INFORMATION.



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JOB CAPT. D.Garry INTERIORS A.Nagle

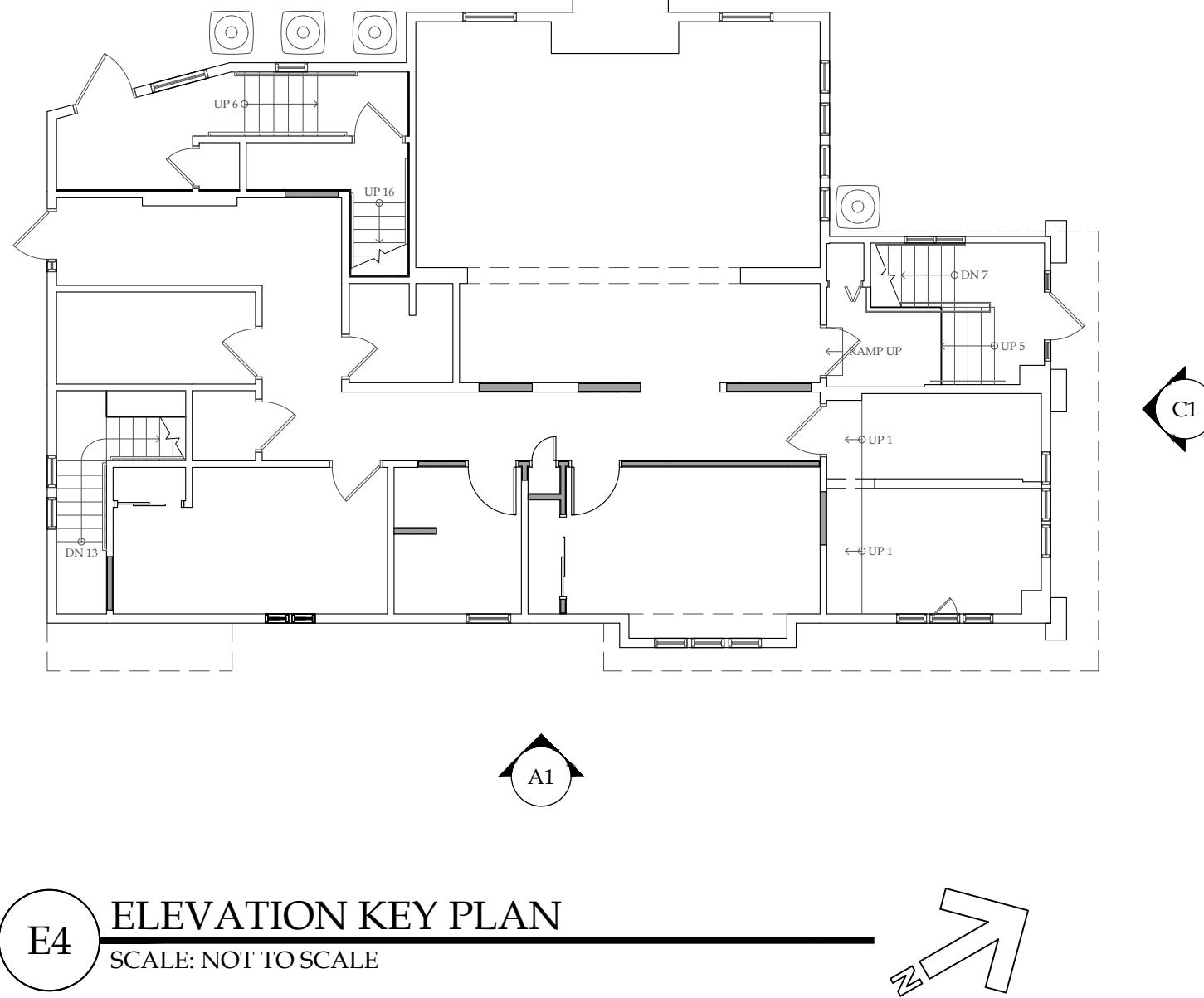


TITLE:
THIRD FLOOR REFLECTED CEILING PLAN



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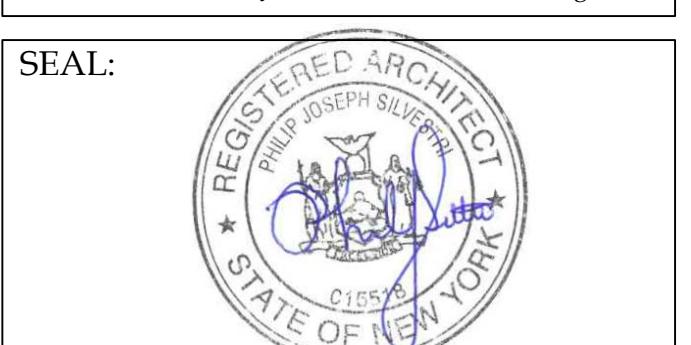


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TITLE:
EXTERIOR ELEVATIONS



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TITLE:
EXTERIOR ELEVATIONS



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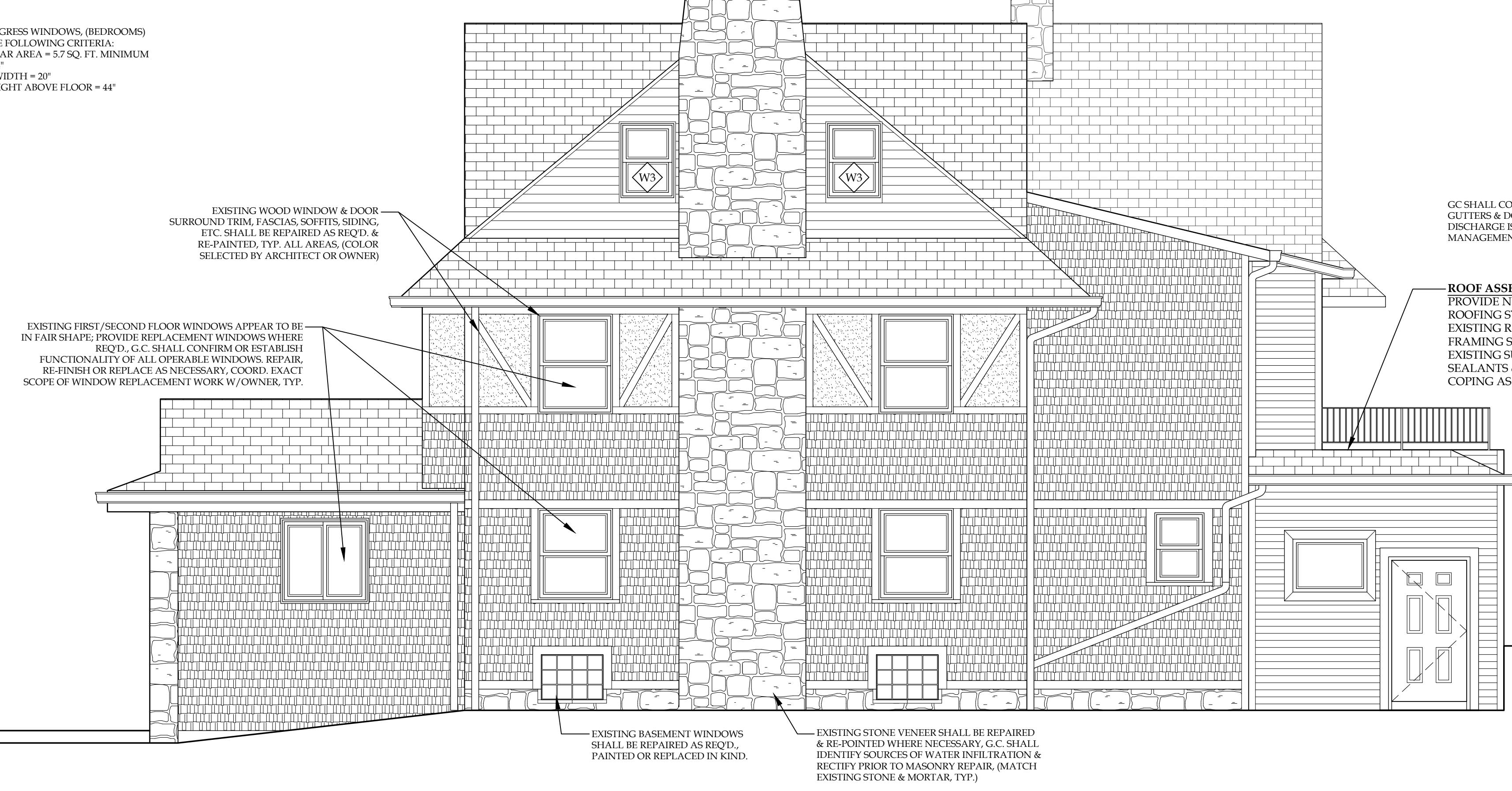
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E4 ELEVATION KEY PLAN
 SCALE: NOT TO SCALE



DONE



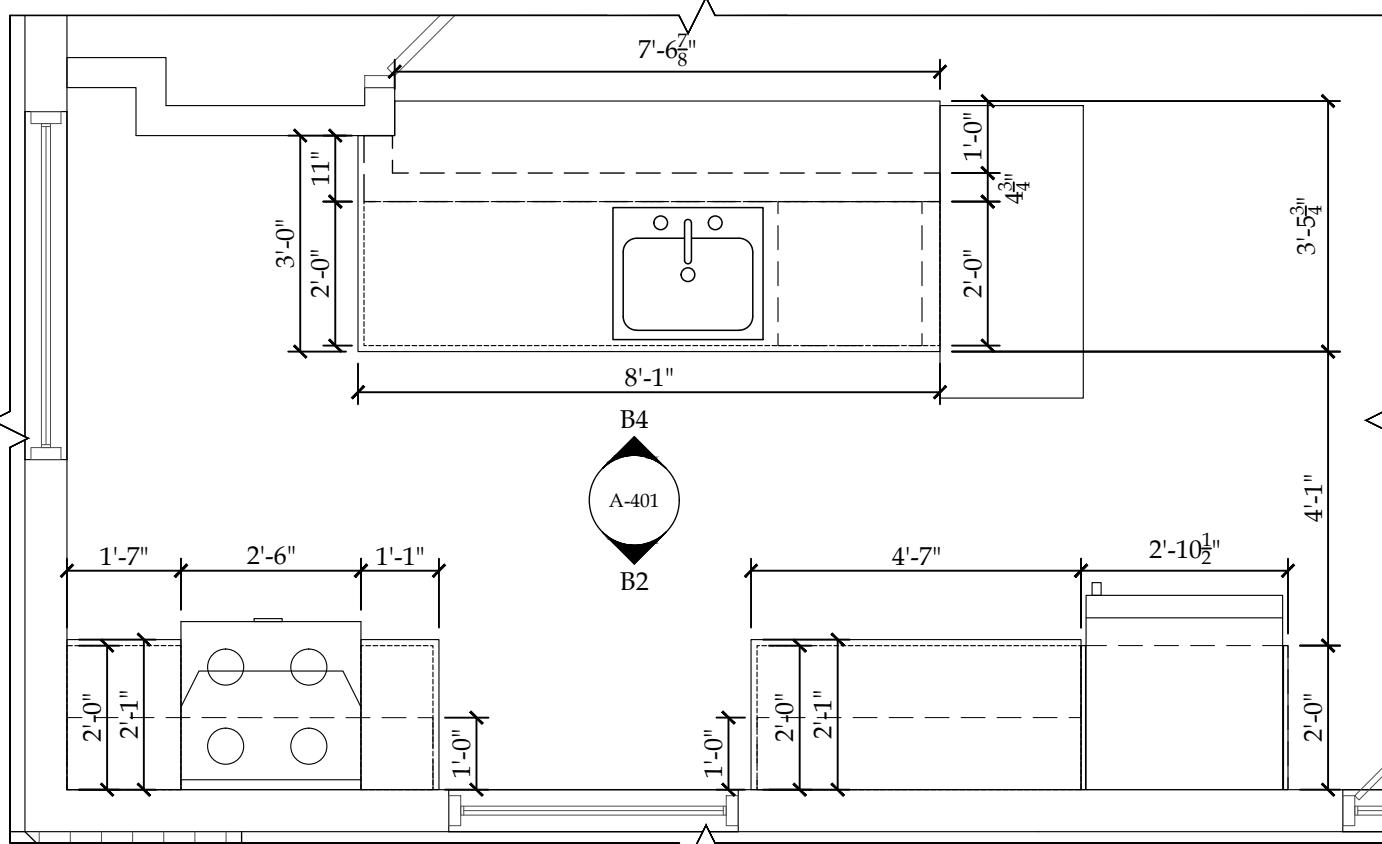
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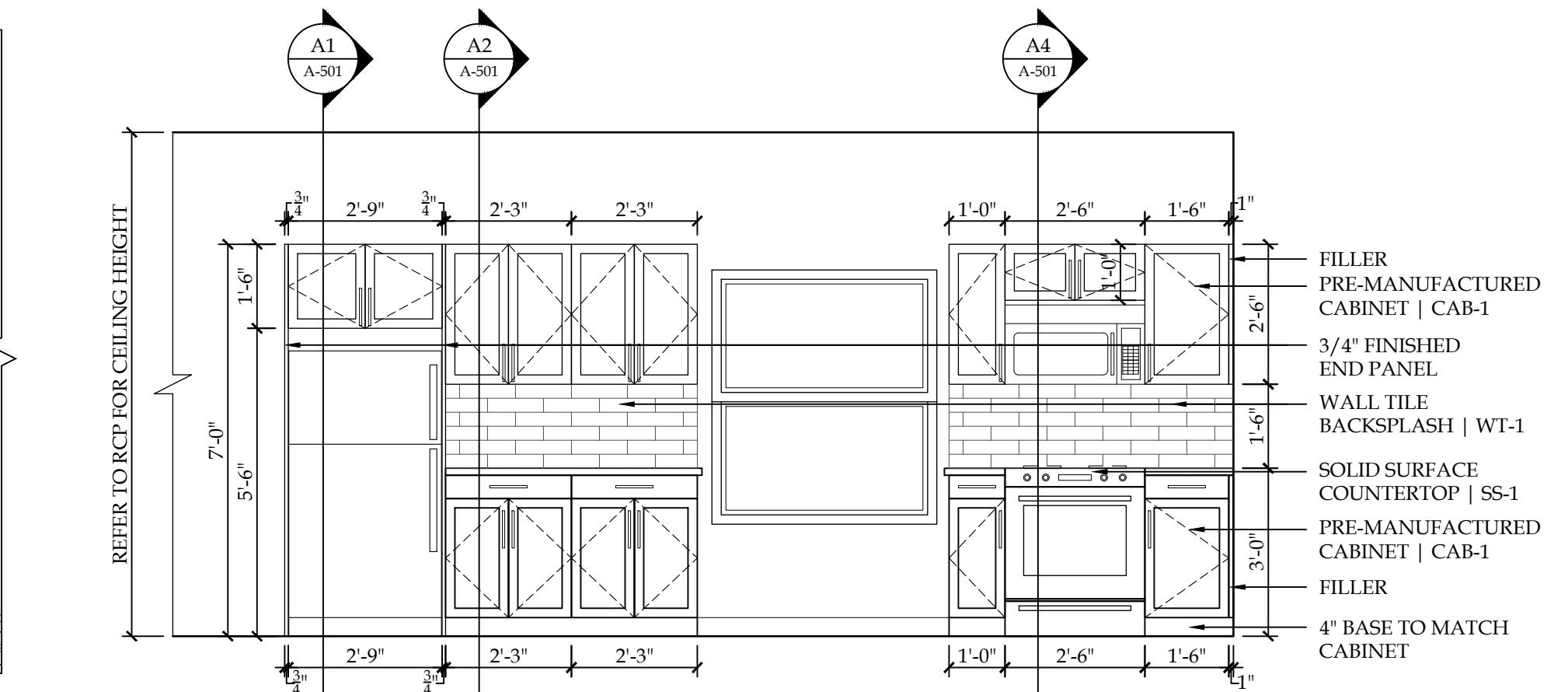
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B

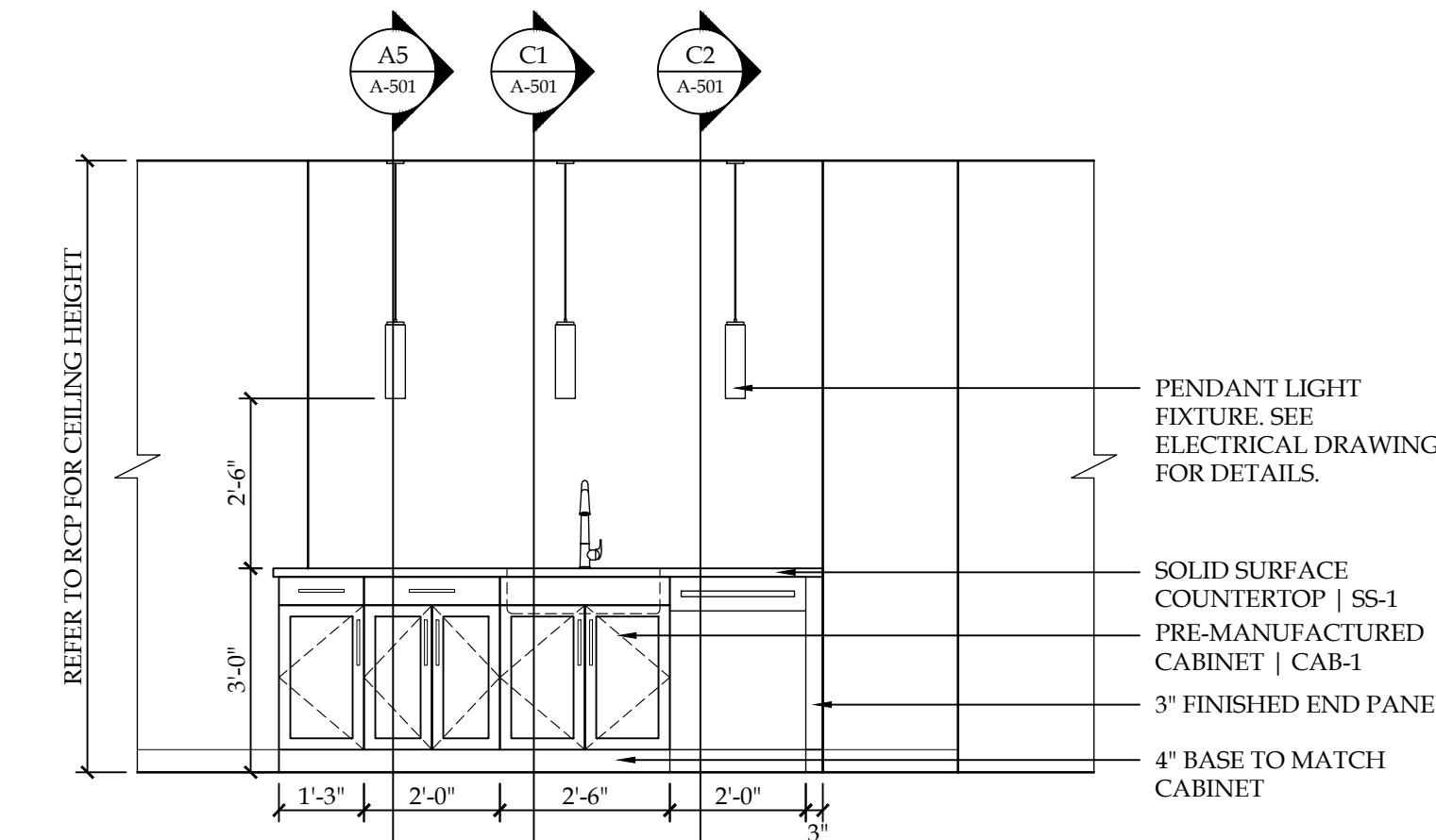
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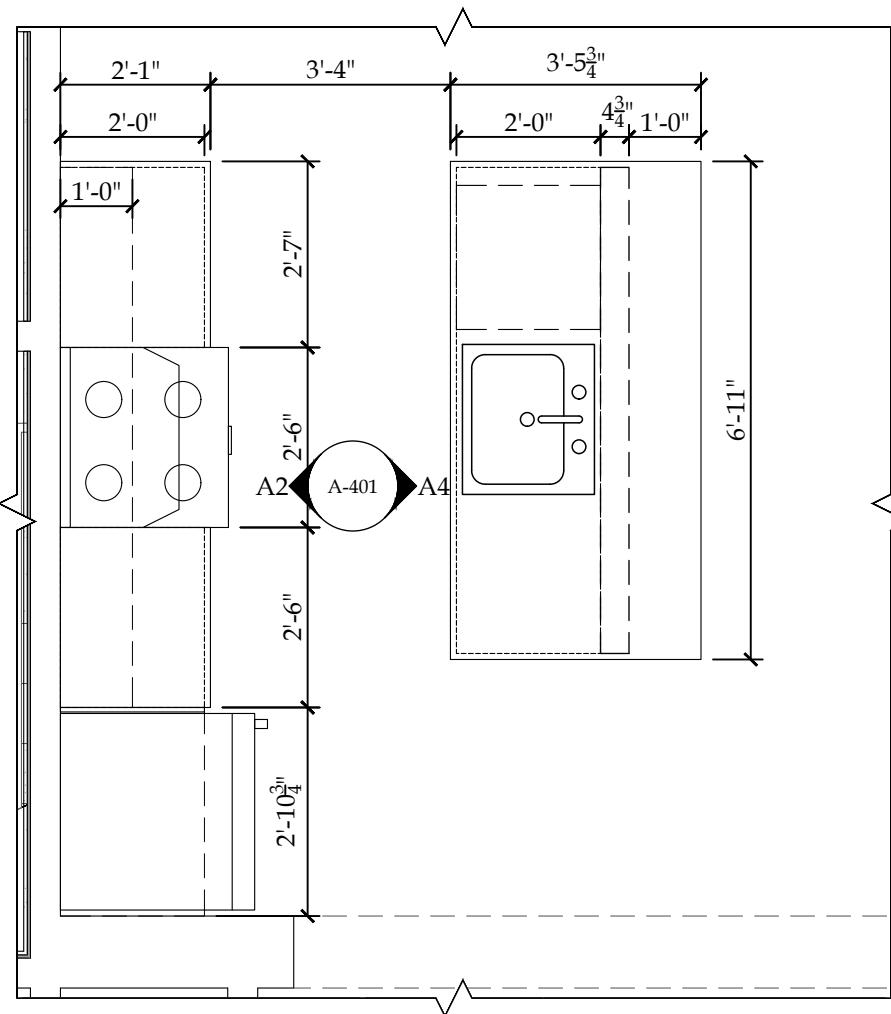
B1 B - KITCHEN 202 | ENLARGED PLAN
SCALE: 3/8" = 1'-0"



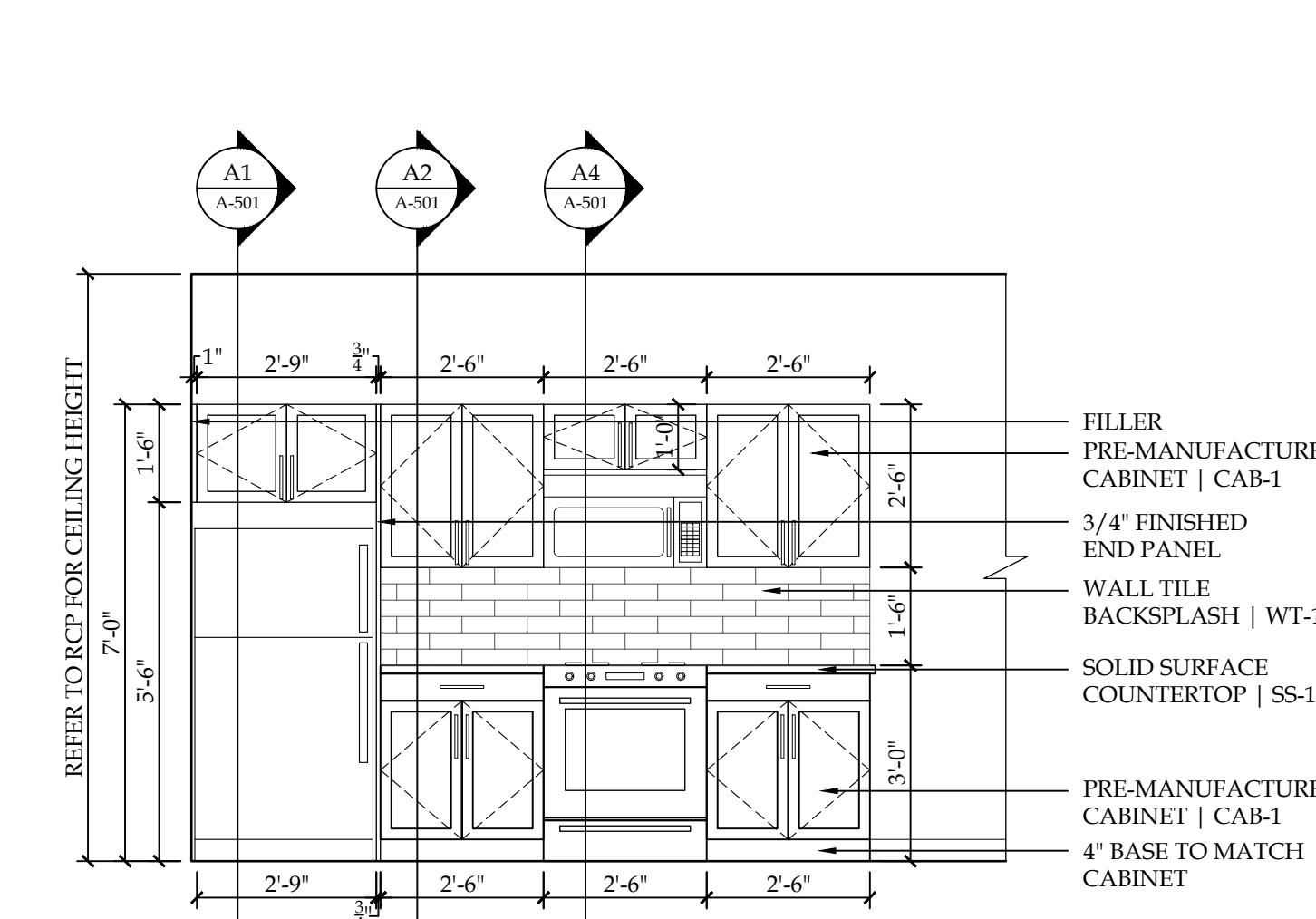
B2 B - KITCHEN 202 | ELEVATION
SCALE: 3/8" = 1'-0"



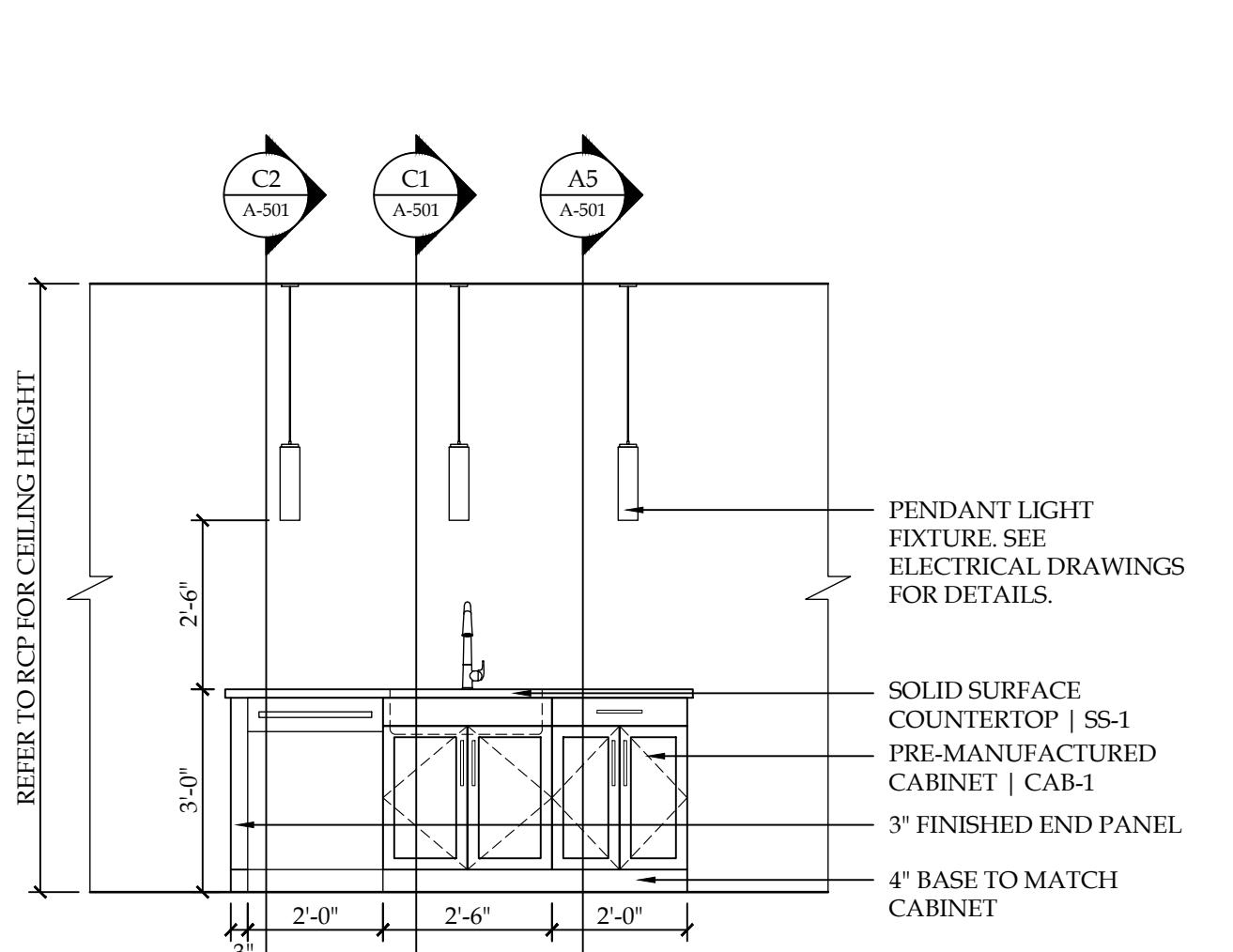
B4 B - KITCHEN 202 | ELEVATION
SCALE: 3/8" = 1'-0"



A1 A - KITCHEN 105 | ENLARGED PLAN
SCALE: 3/8" = 1'-0"



A2 A - KITCHEN 105 | ELEVATION
SCALE: 3/8" = 1'-0"



A4 A - KITCHEN 105 | ELEVATION
SCALE: 3/8" = 1'-0"

UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE J-MOLD AT BOTTOM OF MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 54" A.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F. IN ALL UNITS.

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JOB CAPT. D.Garry INTERIORS A.Nagle

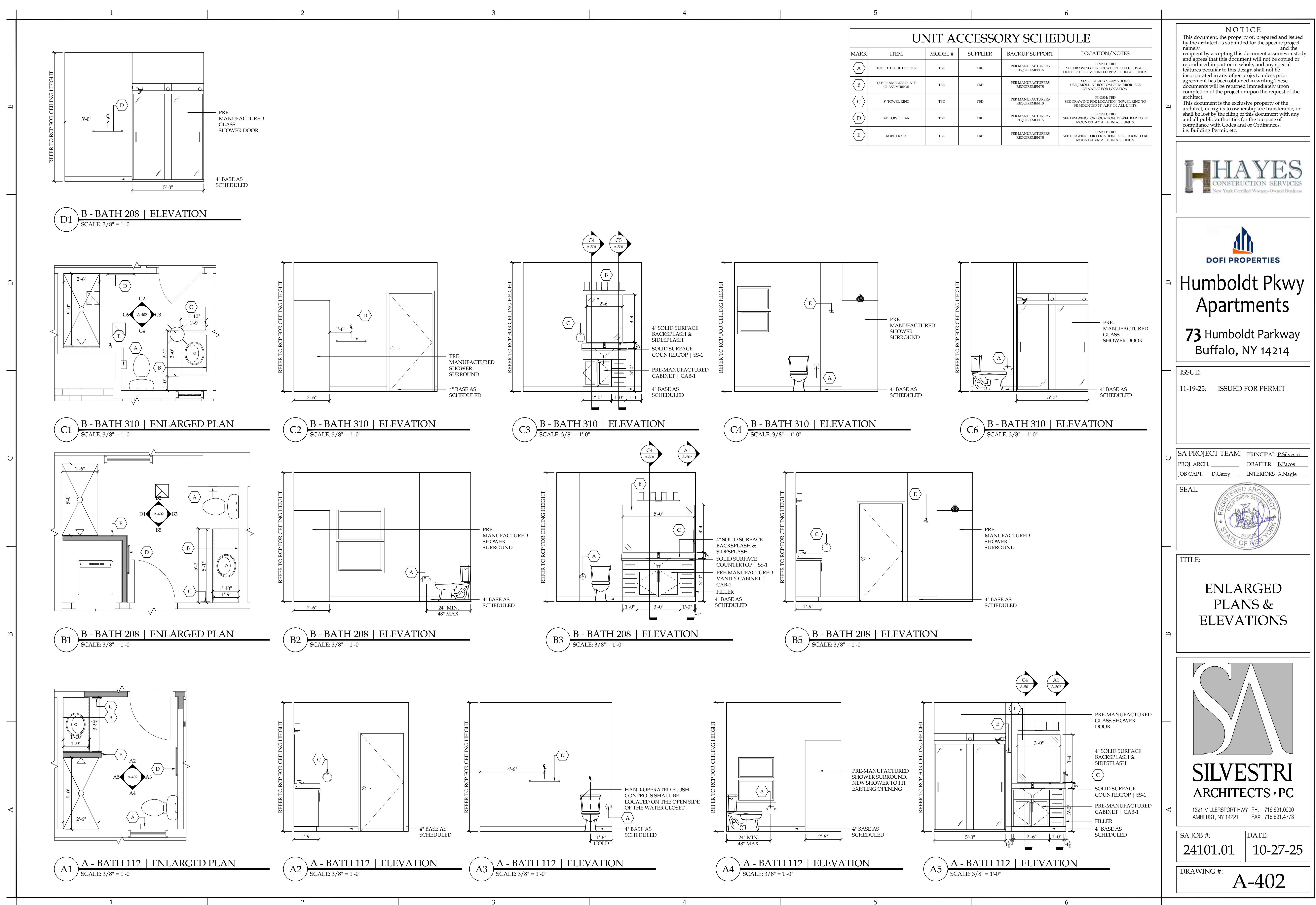


TITLE:
ENLARGED PLANS & ELEVATIONS



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E

E

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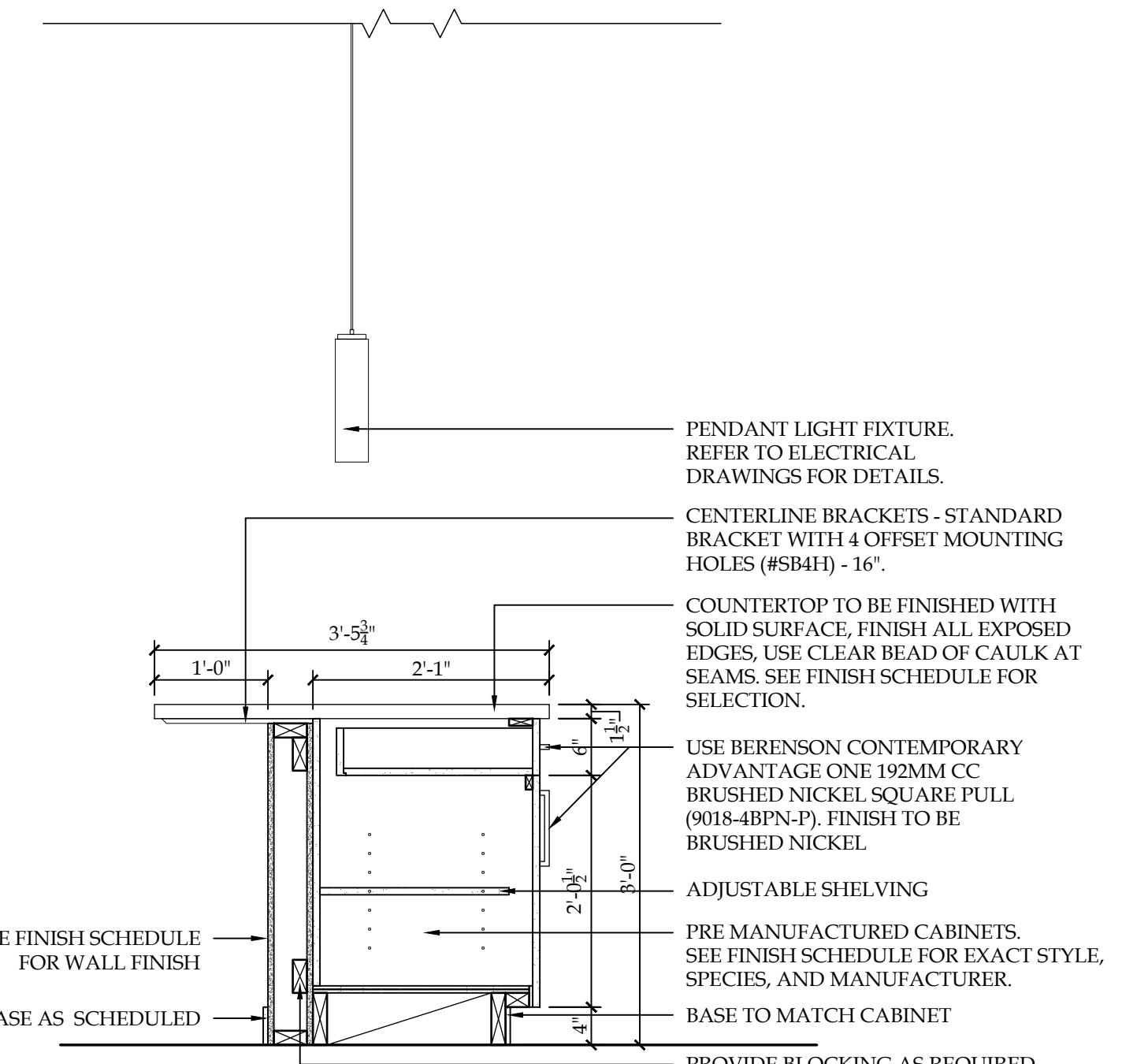
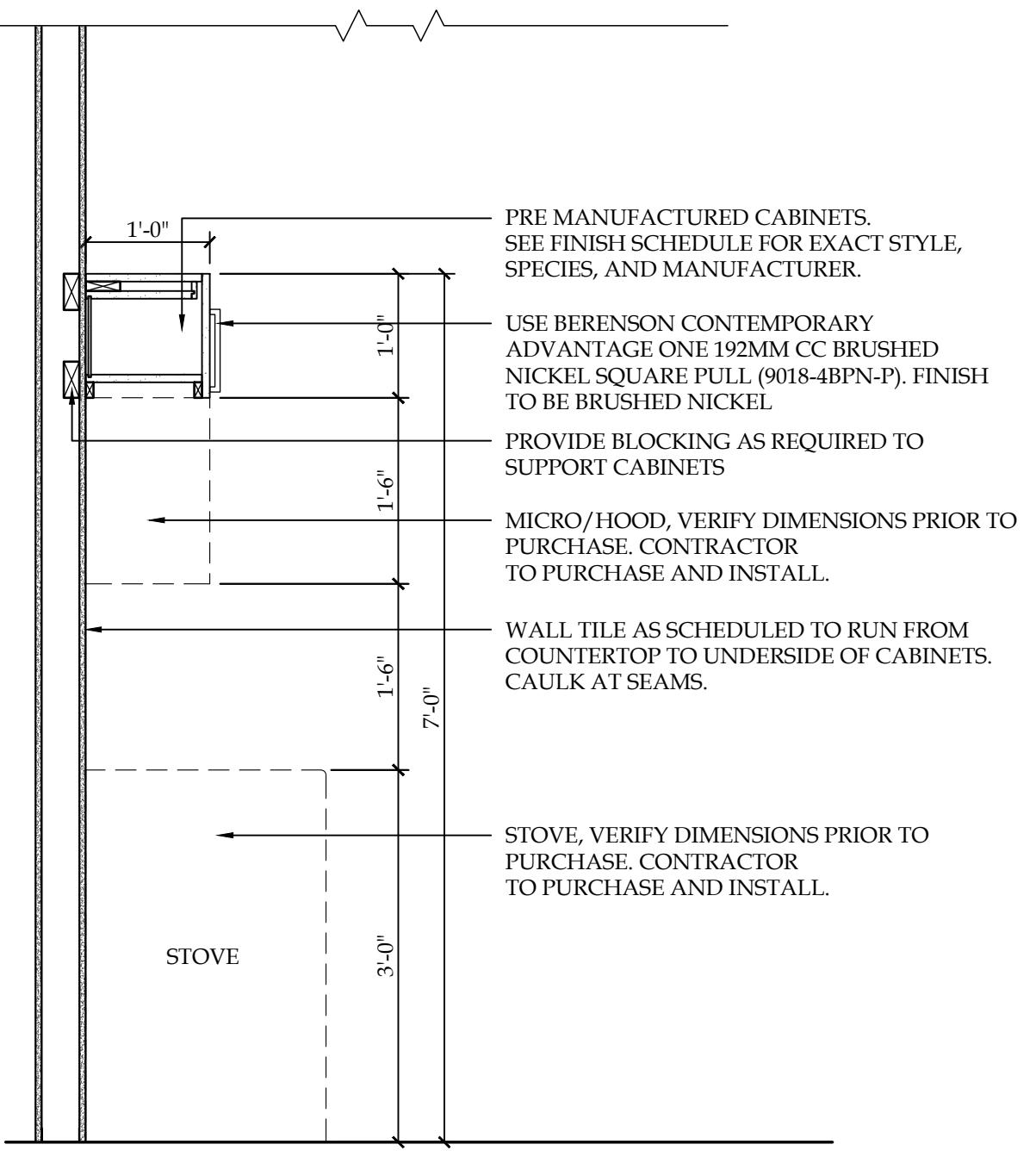
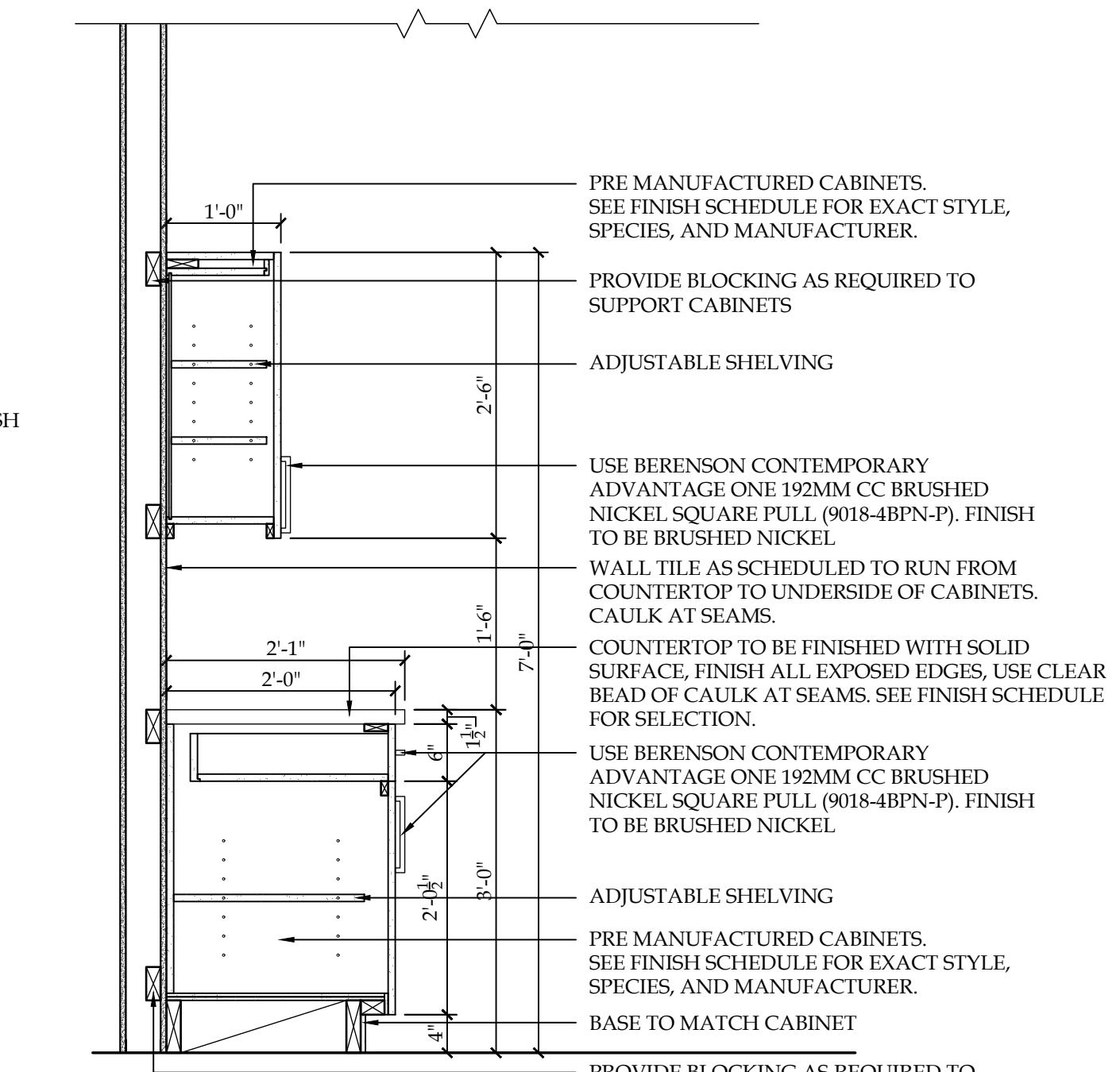
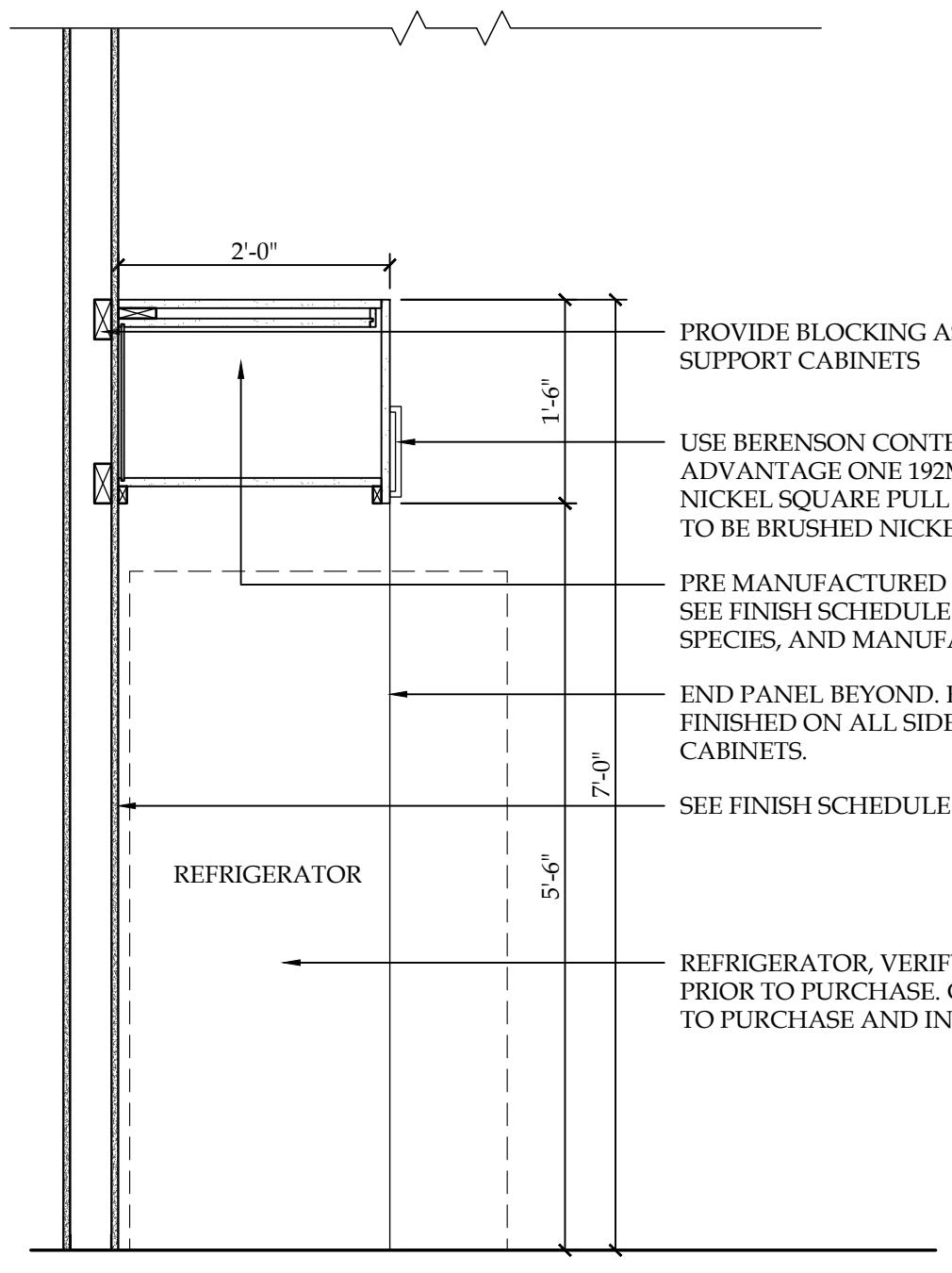
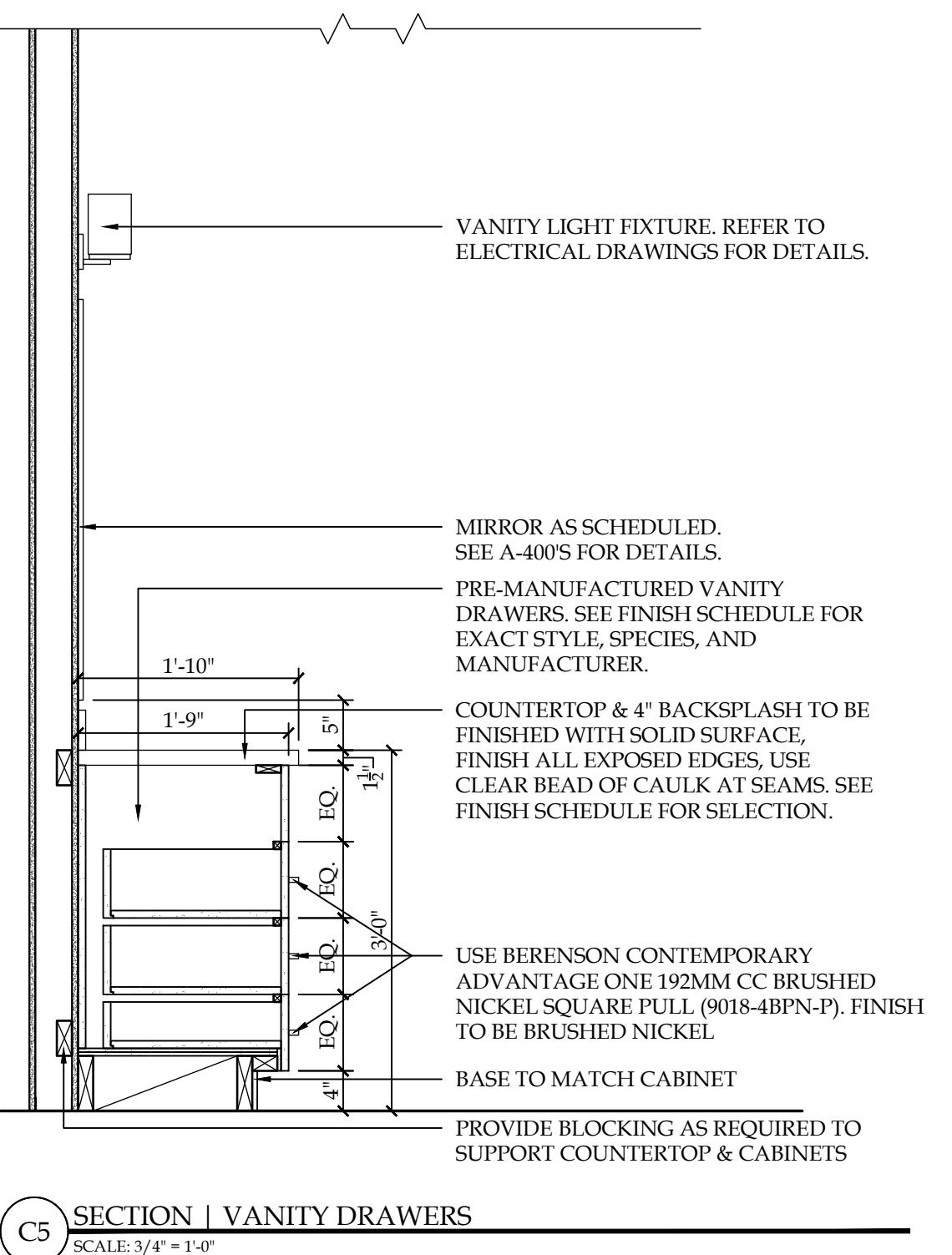
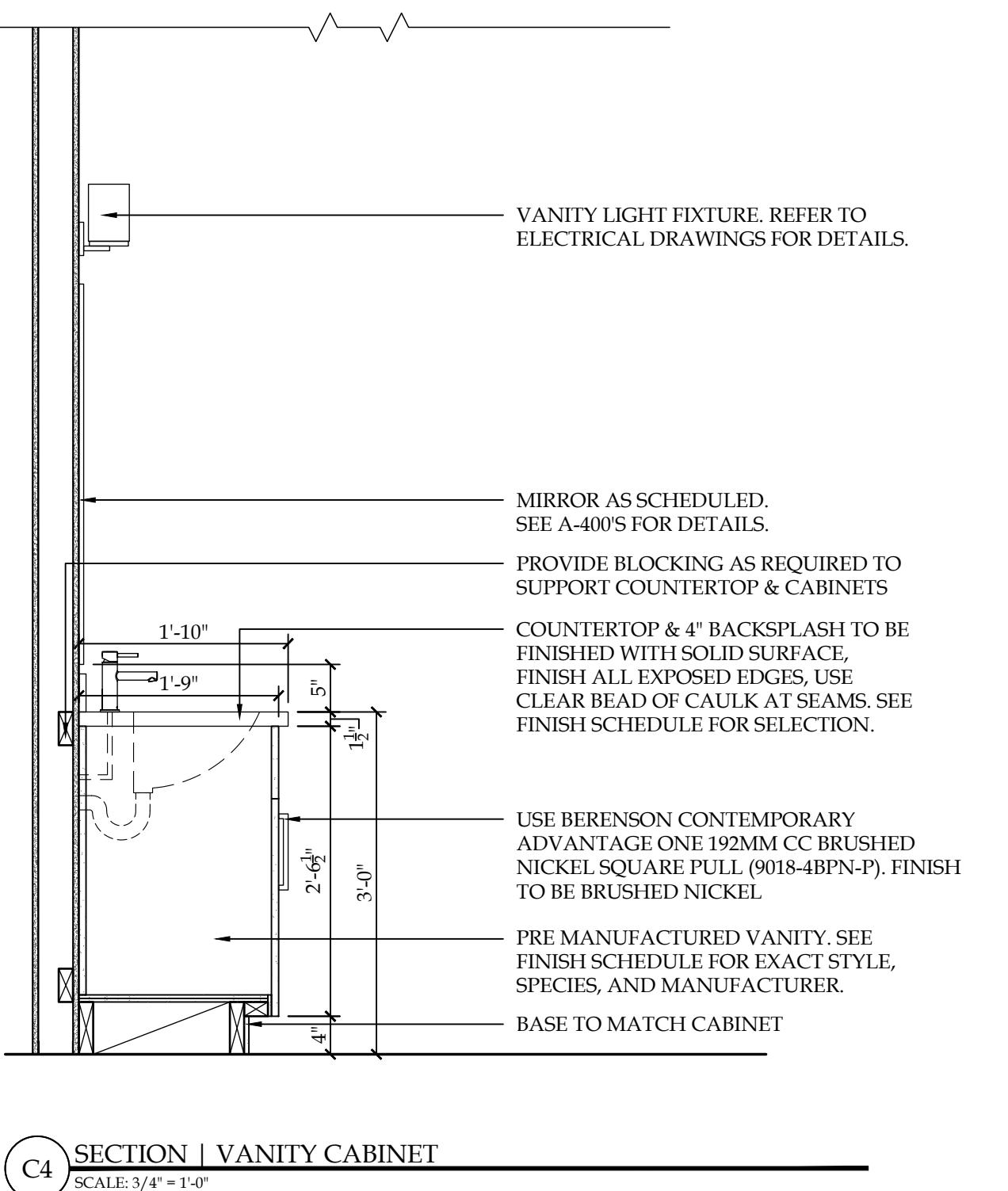
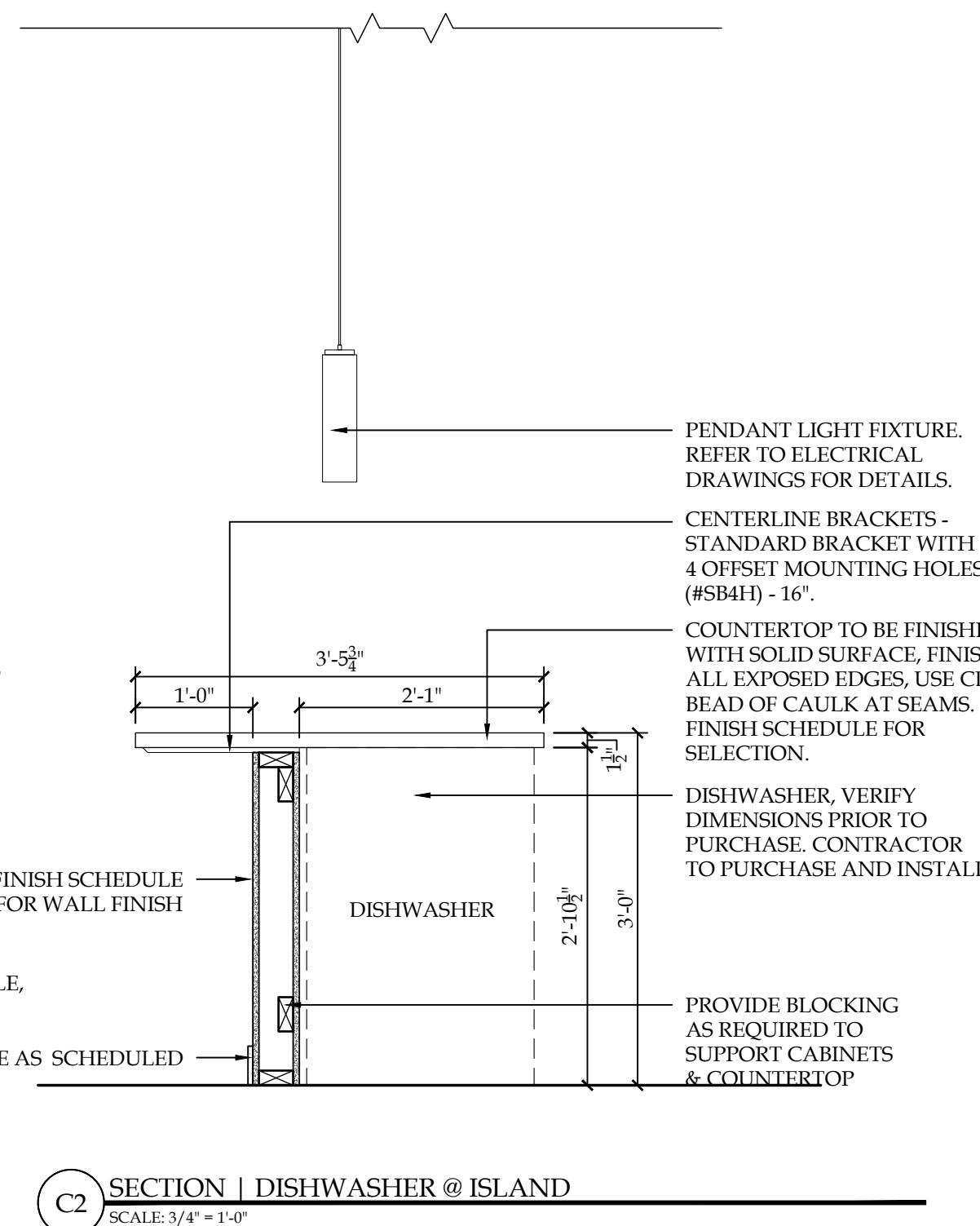
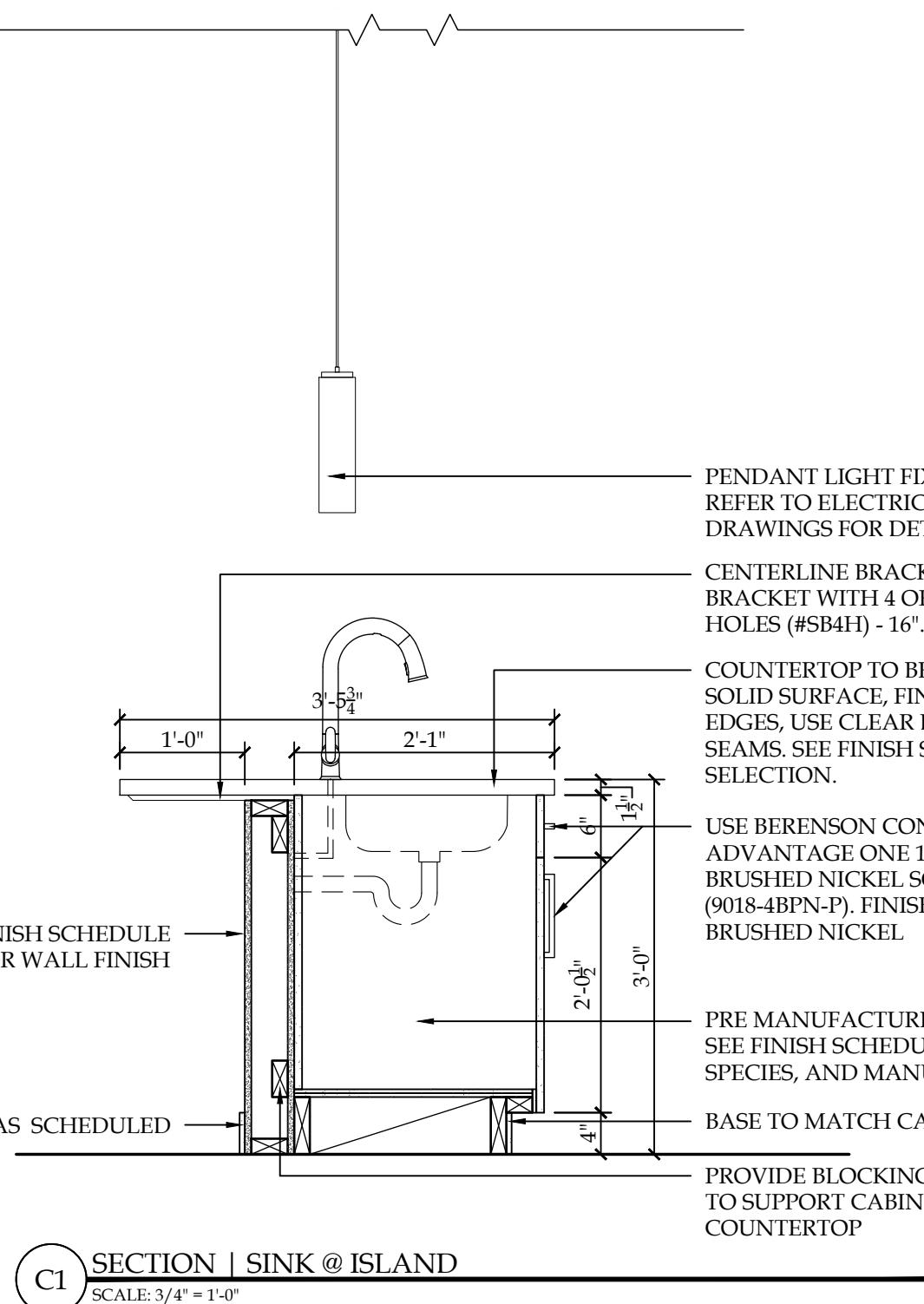
MILLWORK DETAILS



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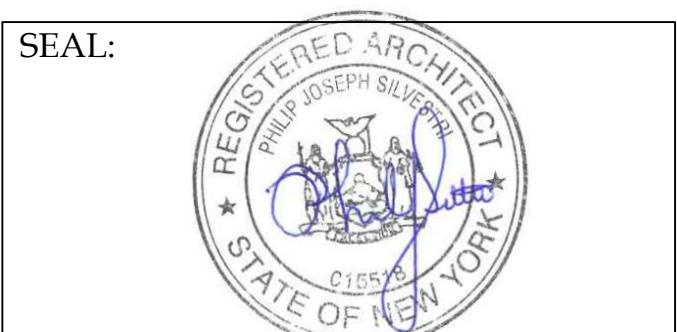


**Humboldt Pkwy
Apartments**

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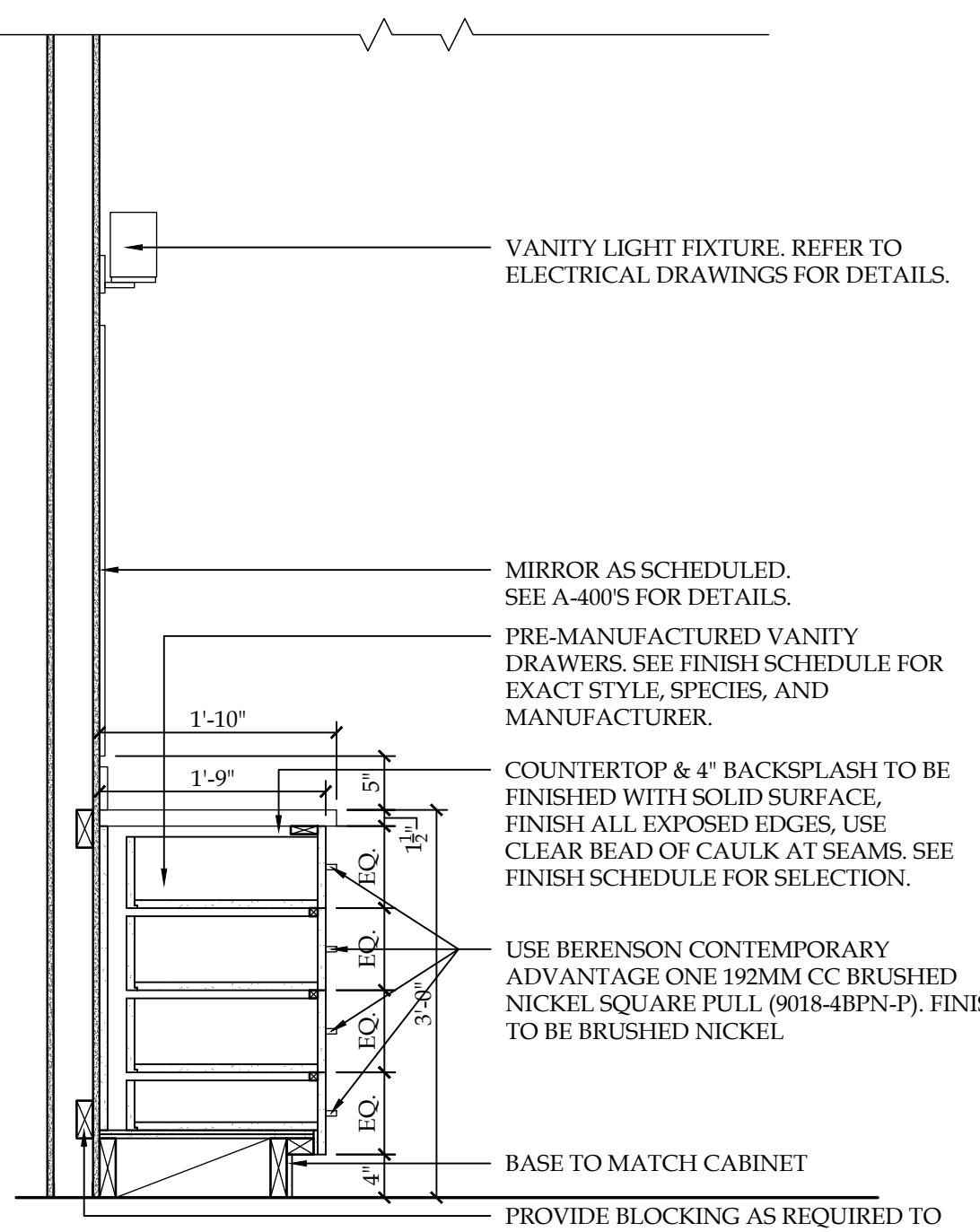
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TITLE:

**MILLWORK
DETAILS**



A1 SECTION | VANITY DRAWERS

1

2

3

4

5

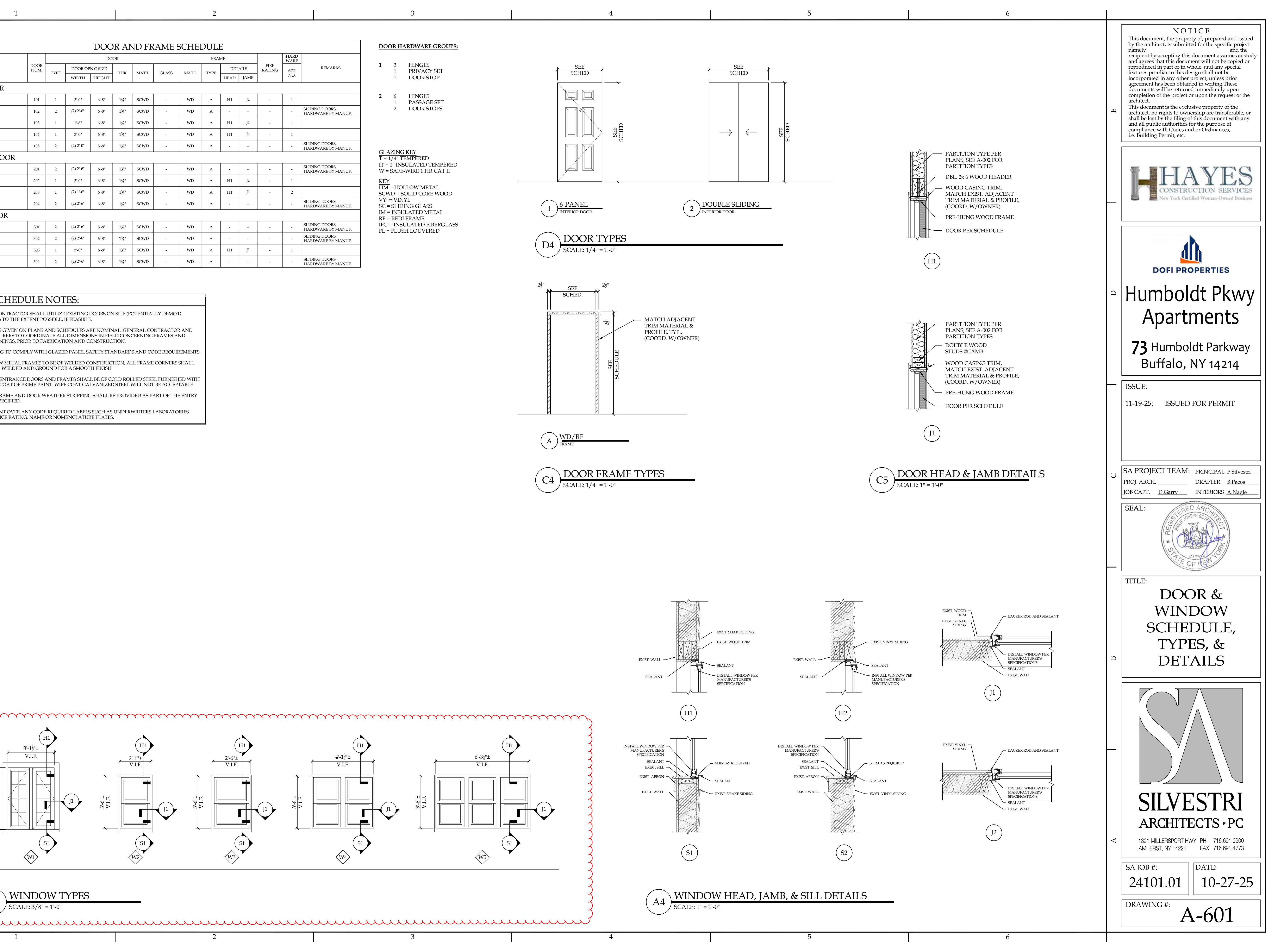
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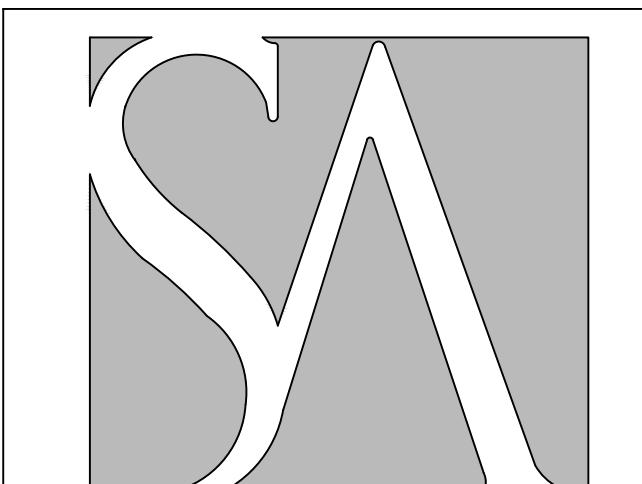
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TITLE:

FINISH SCHEDULE



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SA JOB #: 24101.01 DATE: 10-27-25

DRAWING #: A-602

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING		MILLWORK/SHROUD	COUNTER TOP	REMARKS
					MATERIAL	HEIGHTS			
FIRST FLOOR									
101	A - STAIR	EXIST	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3,5
102	A - CLOSET	EXIST	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3
103	A - MECHANICAL	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
104	A - MECHANICAL	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
105	A - KITCHEN	LVT-1	WDB-1	WT-1/GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	1,3,5
106	A - DINING	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3
107	A - LIVING ROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
108	A - HALL	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3
109	A - BEDROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
110	A - CLOSET	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			1,3
111	A - LINEN	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			1,3
112	A - BATH	T-1	TB-1	GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	4,5
113	A - BEDROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
114	A - CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
115	A - ENTRY CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
116	A - STORAGE	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
117	A - LAUNDRY	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3
118	B - ENTRY	EXIST	EXIST	GYP-P-1	SCT-1	EXIST			1,3,5
119	B - CLOSET	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			1,3
120	B - STAIR	EXIST/LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			2,3
121	STAIR	EXIST	EXIST	EXIST	EXIST	EXIST			5
SECOND FLOOR									
201	B - STAIR	EXIST/LVT-1	WDB-1	GYP-P-1	SCT-1 / EXIST (P-3)	EXIST			2,3
202	B - KITCHEN	LVT-1	WDB-1	WT-1/GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	1,3,5
203	B - MECHANICAL	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
204	B - DINING	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
205	B - LIVING ROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
206	B - BEDROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
207	B - CLOSET	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			1,3
208	B - BATH	T-1	TB-1	GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	5
209	B - LAUNDRY	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3
210	B - BEDROOM	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			1,3,5
211	B - CLOSET	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			1,3
212	B - STAIR	EXIST/LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,3
THIRD FLOOR									
301	B - STAIR	EXIST/LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,3
302	B - LIVING ROOM	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
303	B - BEDROOM	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
304	B - CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
305	B - BEDROOM	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
306	B - CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
307	B - BEDROOM	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
308	B - CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
309	B - MECHANICAL	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3
310	B - BATH	T-1	TB-1	GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	5
311	B - DEN	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3,5
312	B - CLOSET	LVT-1	WDB-1	GYP-P-1	EXIST (P-3)	EXIST			1,3

REMARKS

- EXISTING FLOORING TO BE REMOVED. AFTER DEMOLITION, CONDITION OF HARDWOOD FLOORS IS TO BE ASSESSED. ANY EXISTING HARDWOOD FLOORING IN ACCEPTABLE CONDITION IS TO REMAIN AND BE REPAIRED/REFINISHED AS NECESSARY. WHERE EXISTING HARDWOOD FLOORING IS NOT IN AN ACCEPTABLE CONDITION, LVT IS TO BE INSTALLED AS SCHEDULED.
- EXISTING CARPET ON STAIRS TO BE REMOVED. RESTORE EXISTING HARDWOOD STAIR TREADS & RISERS.
- ALL NEW WALLS/ WALLS WITH RUBBER BASE TO RECEIVE NEW WOOD BASE TO MATCH EXISTING WOOD BASE.
- REMOVE EXISTING TILE WAINSCOTING ON ALL WALLS. REPAIR WALL AS NECESSARY AND REPAINT AS SCHEDULED.
- PROVIDE NEW BLINDS ON ALL WINDOWS AS SCHEDULED.
- EXISTING CEILINGS TO BE PATCHED/REPAIRED AND PAINTED P-3 AS SCHEDULED. NEW GYP. CEILINGS TO BE PAINTED P-3 AS SCHEDULED.

UNIT FINISH SELECTIONS

LUXURY VINYL TILE (LVT-X):	
MANUFACTURER:	PATCRAFT
COLLECTION:	NATURAL STATE
STYLE:	1531V
COLOR:	HONEY WALNUT 00130
WEAR LAYER THICKNESS:	12 MIL
INSTALLATION:	FLOATING
TILE (T-X):	
MANUFACTURER:	UMORE
CONTACT:	TIM WESTER (585) 622-0753
	TWISTER@SPARTANSURFACES.COM
COLLECTION:	PALEMO
SIZE:	12" X 24"
INSTALL:	BRICK LAY $\frac{1}{2}$ OFFSET
GROUT:	BOSTIK
GROUT COLOR:	MOBE PEARL H145
JOINT THICKNESS:	$\frac{1}{8}$ "
TILE BASE (TB-X):	
STYLE:	TO MATCH T-1/ ONLY TO BE USED WITH T-1
SIZE:	4"
NOTE:	SCHLUTER EDGE TO BE PROVIDED
WOOD BASE (WDB-X):	
STYLE:	TO MATCH ADJACENT EXISTING HISTORIC BASE
FINISH:	TO MATCH ADJACENT EXISTING HISTORIC BASE
PAINT (P-X):	
(P-1) TYPICAL	
MANUFACTURER:	SHERWIN WILLIAMS
TYPE:	PROMAR 200
COLOR:	PACER WHITE SW 6098
FINISH:	EGG SHELL
(P-2) TRIM	
MANUFACTURER:	SHERWIN WILLIAMS
TYPE:	PROMAR 200
COLOR:	TO BE DETERMINED
FINISH:	SEMI-GLOSS
(P-3) CEILINGS	
MANUFACTURER:	SHERWIN WILLIAMS
TYPE:	PROMAR 200
COLOR:	TO BE DETERMINED
FINISH:	FLAT
WALL TILE (WT-X):	
WT-1	
MANUFACTURER:	UMORE
CONTACT:	TIM WESTER (585) 622-0753
	TWISTER@SPARTANSURFACES.COM
COLLECTION:	BOLOGNA
SIZE:	3" X 12"
GROUT:	BOSTIK
JOINT THICKNESS:	$\frac{1}{8}$ "
CABINETS (CAB-X):	
(CAB-1)	
MANUFACTURER:	BLUE VALLEY CABINETS
DISTRIBUTOR:	ACME CABINET CO.
COLOR:	DOVE WHITE
DOOR STYLE:	CLASSIC
OVERLAY:	FULL
LOCATION:	KITCHEN & BATHROOM
CABINET PULLS (CP-X):	
(CP-1)	
MANUFACTURER:	BERENSON HARDWARE
STYLE:	METRO 224MM CC
FINISH:	BRUSHED NICKEL
MODEL #:	9828-1BPN-P
SIZE:	9 $\frac{1}{2}$ " (TYPICAL). SEE A-500'S FOR EXACT SIZES.
SOLID SURFACE (SS-X):	
(SS-1) COUNTERTOPS	
MANUFACTURER:	WILSONART
COLOR:	PEARL MIRAGE 9199MG
PROFILE:	EASED EDGE
THICKNESS:	

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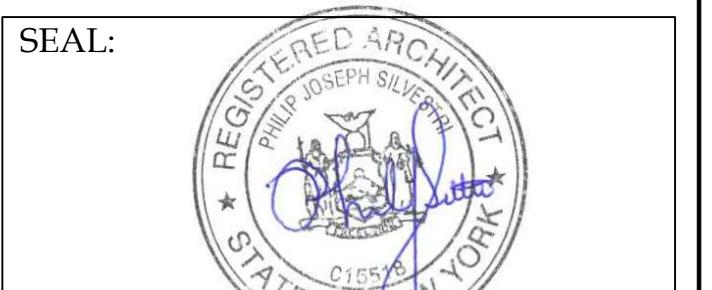


Humboldt Pkwy Apartments

73 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
11-19-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

FIRST FLOOR FINISH PLAN

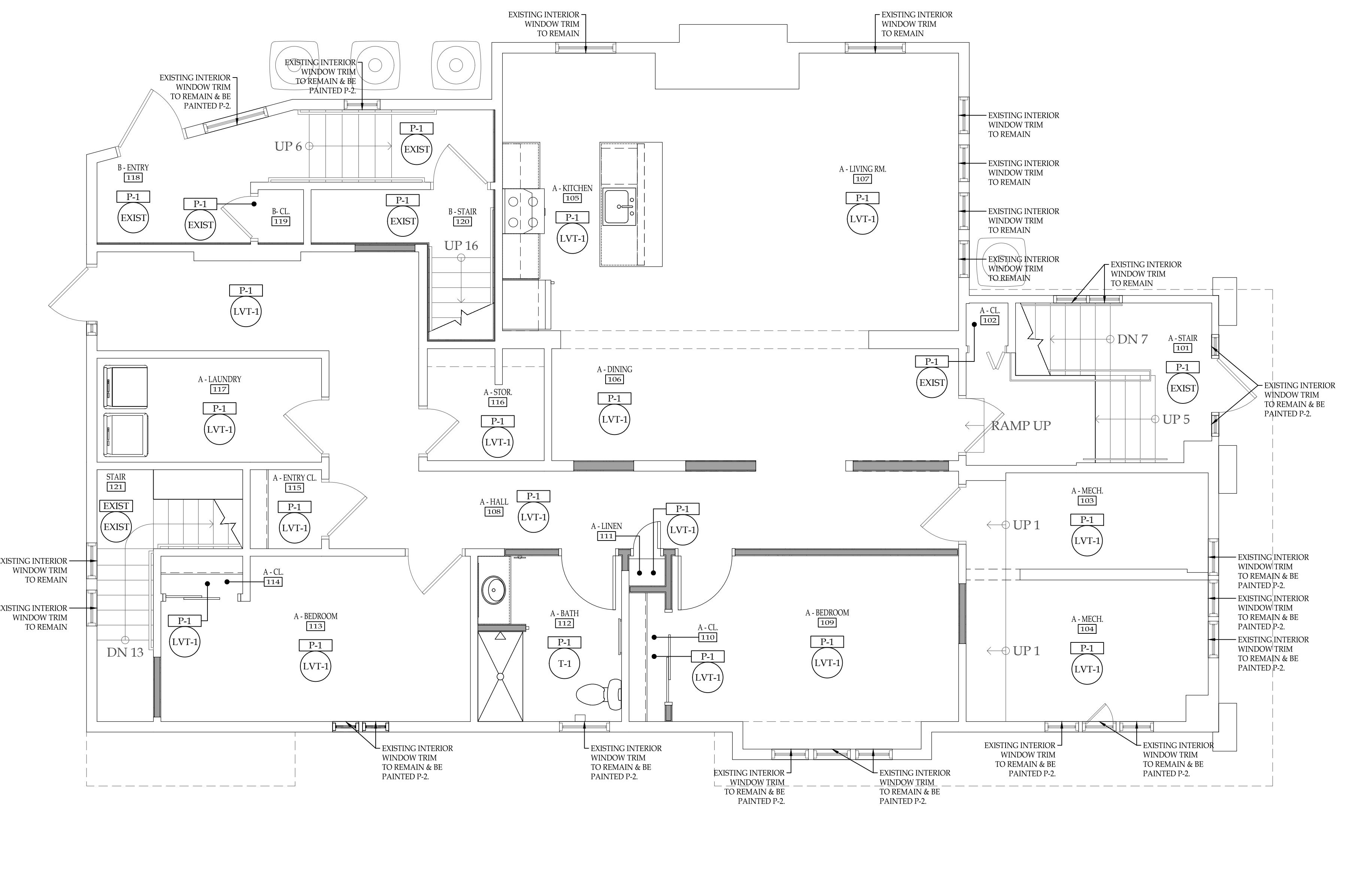


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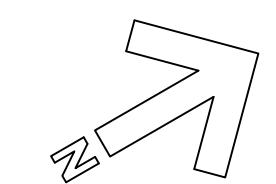
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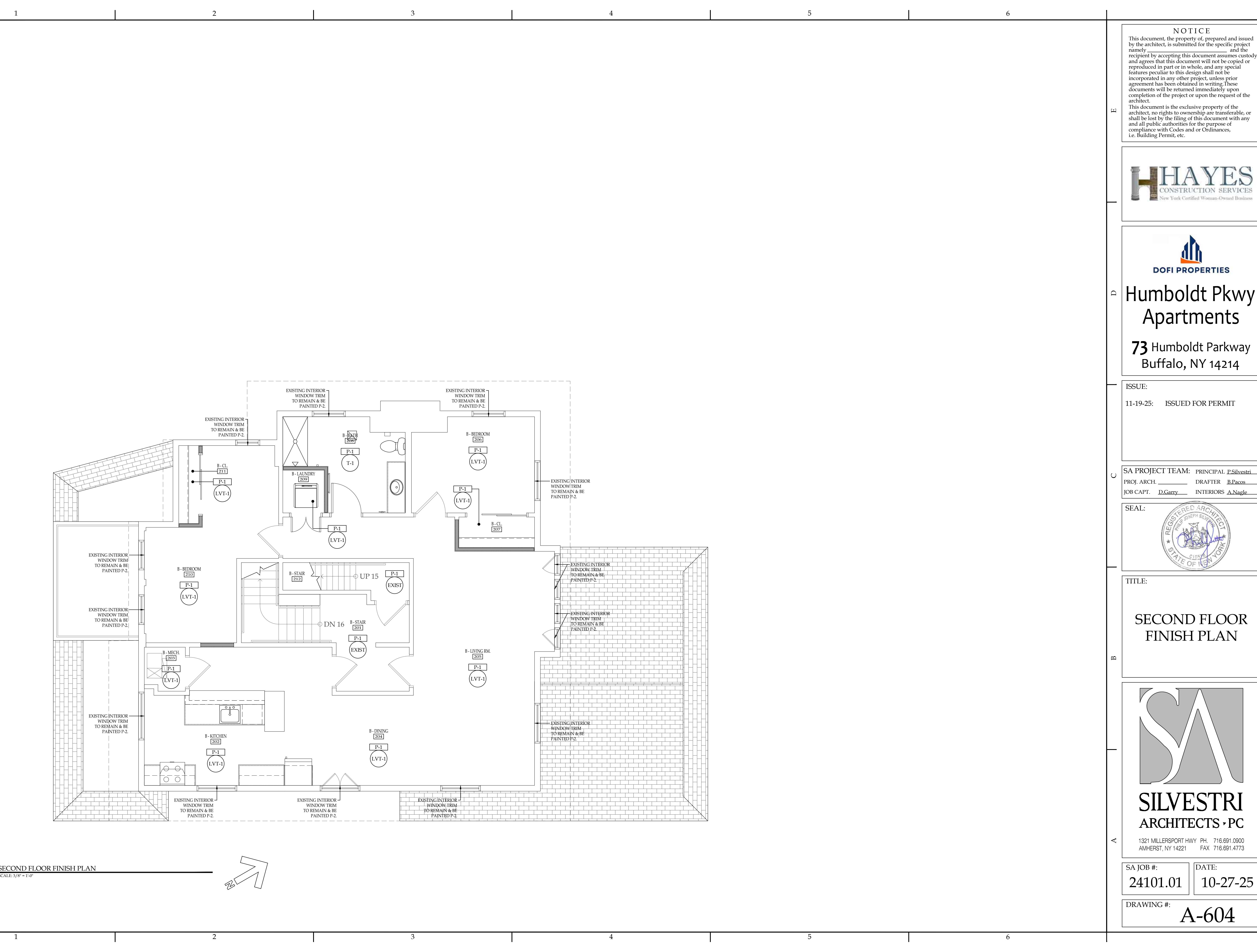
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A1 FIRST FLOOR FINISH PLAN
SCALE: 3/8" = 1'-0"





E

E

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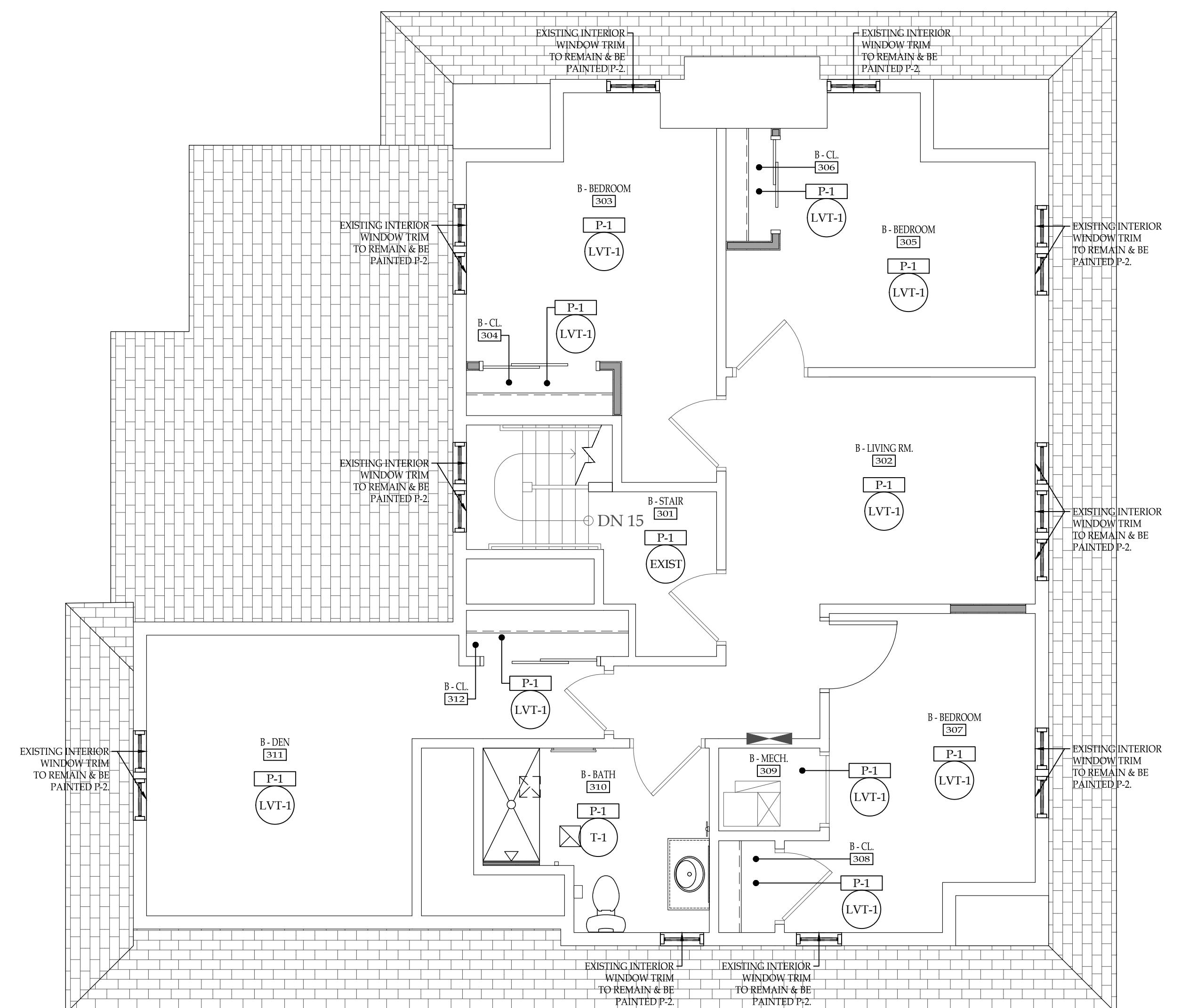
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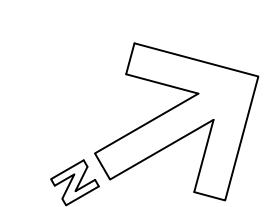
B

A

A



A1 THIRD FLOOR FINISH PLAN
SCALE: 3/8" = 1'-0"



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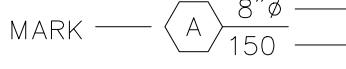
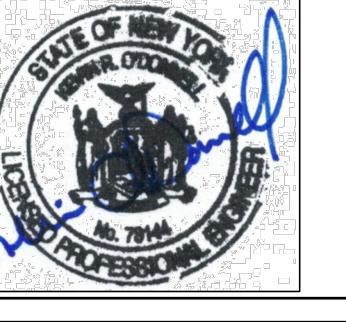


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<p>EXHAUST FAN SCHEDULE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>UNIT NO.</th> <th>AREA SERVED</th> <th>GREENHECK MODEL NO.</th> <th>TYPE</th> <th>CFM</th> <th>S.P. (IN WC.)</th> <th>FAN RPM</th> <th>LIGHT</th> <th>OPERATING POWER</th> <th>MOTOR VOLTAGE</th> <th>INFORMATION ENCL.</th> <th>RPM</th> <th>SONES</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>EF-1</td> <td>RESTROOM</td> <td>SP-B90</td> <td>CEILING</td> <td>80</td> <td>0.125</td> <td>700</td> <td>NO</td> <td>20 W</td> <td>115/60/10</td> <td>ODP</td> <td>700</td> <td>1.0</td> <td>1,2,3,4</td> </tr> <tr> <td></td> </tr> <tr> <td></td> </tr> <tr> <td></td> </tr> </tbody> </table> <p>NOTES: 1. CONTROLLED BY SWITCH 2. PROVIDE MANUFACTURER'S WALL CAP. 3. PROVIDE BACKDRAFT DAMPER. 4. PROVIDE HANGING KIT WITH VIBRATION ISOLATORS.</p>			UNIT NO.	AREA SERVED	GREENHECK MODEL NO.	TYPE	CFM	S.P. (IN WC.)	FAN RPM	LIGHT	OPERATING POWER	MOTOR VOLTAGE	INFORMATION ENCL.	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CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE OWNER AND THE LANDLORD. AS-BUILT DRAWINGS SHALL INDICATE THE ACTUAL MANUFACTURER OF THE EQUIPMENT THAT WAS INSTALLED, THE EXACT LOCATION OF THE EQUIPMENT AND PERTINENT CAPACITIES FOR HEATING, COOLING, ELECTRICAL, ETC. 6. DEFICIENCIES AND NON-CONFORMING ITEMS SHALL BE CORRECTED BY THE CONTRACTOR. FAILURE TO CORRECT SUCH ITEMS SHALL PERMIT THE OWNER TO CORRECT SAME AT A COST TO THE CONTRACTOR. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND PAYING FOR SAME. HE SHALL INCLUDE IN HIS BID CHARGES FOR ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE SPACE INCLUDING BUT NOT LIMITED TO LOCAL, COUNTY, OR STATE SERVICE CHARGES AND PERMIT FEES. 8. THE SCOPE OF WORK OF THIS CONTRACT INCLUDES, BUT SHALL NOT BE LIMITED TO: <ol style="list-style-type: none"> A. PROVIDE AND INSTALL ALL EQUIPMENT, APPLIANCES, CONTROL DEVICES, ACCESSORIES, MATERIAL AND LABOR. B. PROVIDE AND INSTALL ALL DUCTWORK, INSULATION, AIR DEVICES DUCT ACCESSORIES, MATERIAL AND LABOR C. PROVIDE AND INSTALL ALL PIPING, FITTINGS, VALVES, INSULATION, ACCESSORIES, MATERIAL AND LABOR D. PROVIDE AND INSTALL TOILET EXHAUST SYSTEM INDICATED. E. CLEAN, TEST AND PUT INTO SERVICE ALL SYSTEMS SPECIFIED. F. PROVIDE A BALANCE REPORT PREPARED BY AN INDEPENDENT AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR. G. WARRANTY ALL WORK AND MATERIALS HEREIN SPECIFIED FOR A PERIOD OF NOT LESS THAN ONE YEAR. 9. MATERIALS <ol style="list-style-type: none"> 9.1. ALL MATERIALS SHALL BE NEW AND OF RECOGNIZED COMMERCIAL QUALITY. USED MATERIALS WILL NOT BE PERMITTED. 9.2. DUCTWORK <p>SHALL BE GALVANIZED SHEET METAL, FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF SMACNA - "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE".</p> <p>DUCTWORK 18" WIDTH AND LARGER SHALL BE CROSS-BROKEN OR RIBBED AND STIFFENED SO THAT IT WILL NOT "BREATHE", RATTLE, VIBRATE OR SAG.</p> 9.3. FLEXIBLE DUCTWORK <p>FLEXIBLE DUCTS SHALL BE FLAT METAL SPIRAL WITH FLAME RESISTANCE PER NBFU AND NFPA STANDARDS. DUCTS SHALL HAVE INTEGRAL INSULATION 1" THICK, 3/4 LB. DENSITY GLASS FIBER ENCLOSED IN A VINYL VAPOR BARRIER. MINIMUM R VALUE = 5. SECURE INSULATED JACKET TO DUCT TAKEOFFS AND DIFFUSER COLLARS. MAXIMUM LENGTH OF FLEXIBLE DUCT IS 5'-0".</p> <p>ALL FLEX DUCT SHALL BE FULLY STRETCHED OUT TO REDUCE AIR RESISTANCE.</p> 9.4. DUCT INSULATION <p>CONNECTIONS TO FITTINGS OR AIR DEVICES SHALL BE MADE WITH TWO (2) STAINLESS STEEL BANDS. THE INNER LINER SHALL BE CLAMPED TIGHT WITH THE FIRST BAND, THEN THE INSULATION AND VAPOR-PROOF JACKET, PULLED TO BE TIGHT AGAINST THE DUCT FITTING OR AIR DEVICE AND SECURED WITH THE SECOND BAND. INSTALLATION SHALL BE AS RECOMMENDED BY THE DUCT MANUFACTURER AND SMACNA</p> <p>SUPPORT THE FLEXIBLE DUCT WITH ADEQUATE HANGERS TO RELIEVE STRAIN ON ANY FITTING. UNNECESSARY BENDS, SAGS, TWISTS., WILL NOT BE ALLOWED.</p> 9.5. AIR DEVICES <p>CEILING DIFFUSERS SHALL HAVE A FRAME STYLE COMPATIBLE WITH THE TYPE OF CEILING USED. THE DIFFUSER FACE SIZE OR FACE PLATE SIZE SHALL BE OF THE SAME NORMAL SIZE AS THE CEILING MODULE. DIFFUSERS SHALL HAVE HIGH ANTI-SMUDGE CHARACTERISTICS. REFER TO AIR DEVICE SCHEDULE.</p> 9.6. PIPING AND FITTINGS <p>CONDENSATE DRAIN PIPING SHALL BE TYPE L COPPER WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS.</p> 																																																	
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AFF	ABOVE FINISHED FLOOR																																																																																																																									
AFG	ABOVE FINISHED GRADE																																																																																																																									
ARCH	ARCHITECT																																																																																																																									
BMS	BUILDING MANAGEMENT SYSTEM																																																																																																																									
BTU	BRITISH THERMAL UNIT																																																																																																																									
CLG	CEILING																																																																																																																									
CFM	CUBIC FEET PER MINUTE																																																																																																																									
CRAC	COMPUTER ROOM AIR CONDITIONER																																																																																																																									
CONN	CONNECTION																																																																																																																									
CONST	CONSTRUCTION																																																																																																																									
DET	DETAIL																																																																																																																									
DIA	DIAMETER																																																																																																																									
DN	DOWN																																																																																																																									
DWG	DRAWING																																																																																																																									
EC	ELECTRICAL CONTRACTOR																																																																																																																									
FLR	FLOOR																																																																																																																									
G	GAS																																																																																																																									
GPM	GALLONS PER MINUTE																																																																																																																									
HP	HORSEPOWER																																																																																																																									
HT	HEIGHT																																																																																																																									
HTG	HEATING																																																																																																																									
HVAC	HEATING VENTILATING AND AIR COND																																																																																																																									
INV	INVERT																																																																																																																									
KW	KILOWATTS																																																																																																																									
MBH	THOUSAND BTU PER HOUR																																																																																																																									
MCA	MIN. CIRCUIT AMPACITY																																																																																																																									
MOP	MAX. OVERCURRENT PROTECTION																																																																																																																									
MTD	MONTEZUMA																																																																																																																									
NIC	NOT IN CONTRACT																																																																																																																									
NTS	NOT TO SCALE																																																																																																																									
OA	OUTSIDE AIR																																																																																																																									
ODP	OPEN DRIP PROOF																																																																																																																									
PVC	POLYVINYLCHLORIDE																																																																																																																									
RPM	REVOLUTIONS PER MIN.																																																																																																																									
S.P.	STATIC PRESSURE																																																																																																																									
TYP	TYPICAL																																																																																																																									
UTIL	UTILITY																																																																																																																									
WH	WATER HEATER																																																																																																																									
NG	NATURAL GAS																																																																																																																									
<p>HAYES CONSTRUCTION SERVICES New York Certified Woman-Owned Business</p> <p>DOFI PROPERTIES</p> <p>Humboldt Pkwy Apartments 73 Humboldt Parkway Buffalo, NY 14214</p> <p>ISSUE: 11-19-25: ISSUED FOR PERMIT</p> <p>SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. _____ DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle</p> <p>SEAL: </p> <p>TITLE: SCHEDULES AND SPECIFICATIONS</p> <p>SILVESTRI ARCHITECTS • PC 1321 MILLERSPORT HWY PH 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773</p> <p>SA JOB #: 24101.02 DATE: 10-27-25 DRAWING #: M-100</p>			<p>NOTICE This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.</p> <p>This document is the exclusive property of the architect, no rights to ownership are transferable, and shall be lost if removed from this document with any and all public authorities for the purpose of compliance with Codes and/or Ordinances, i.e. Building Permit, etc.</p>																																																																																																																							

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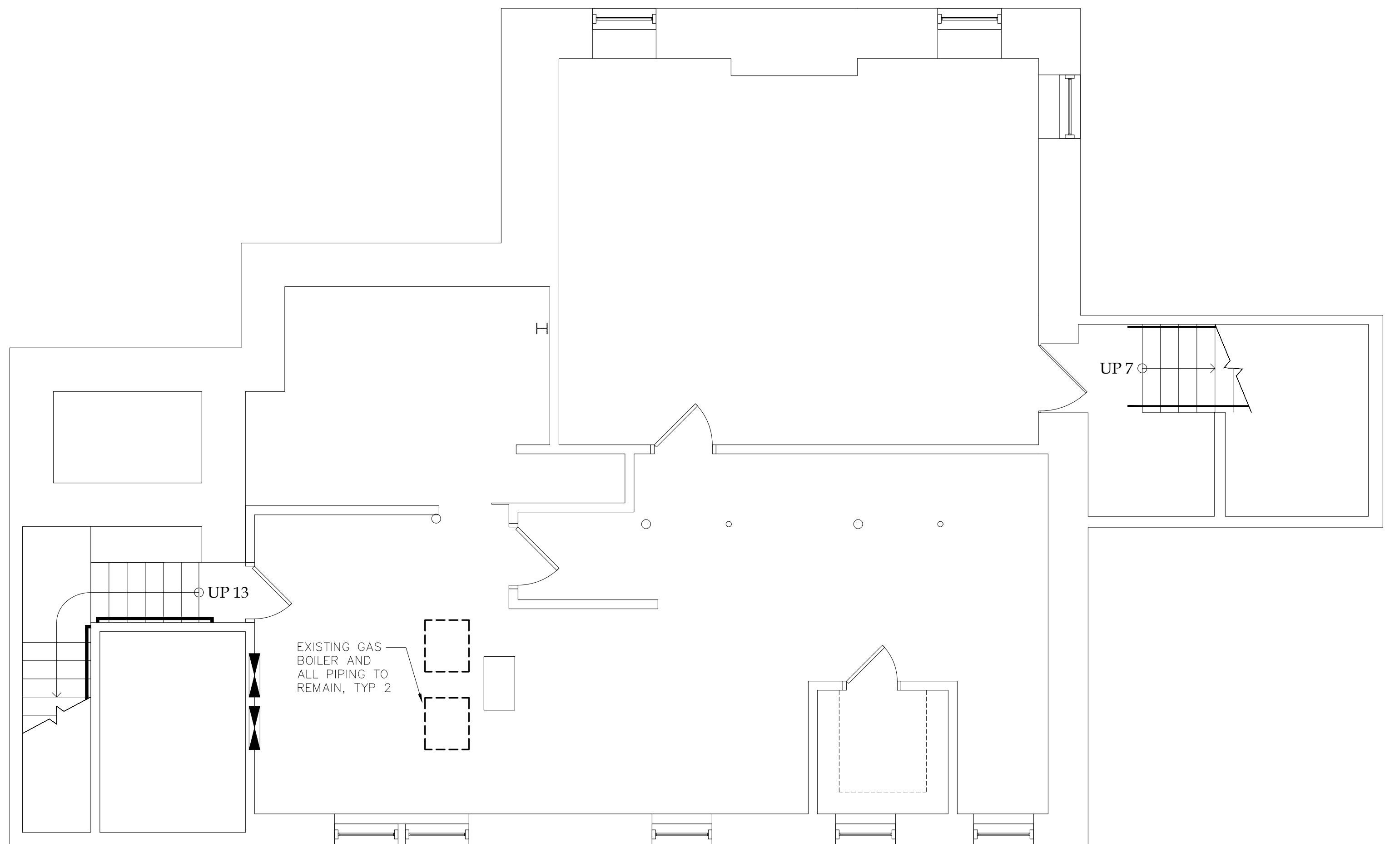
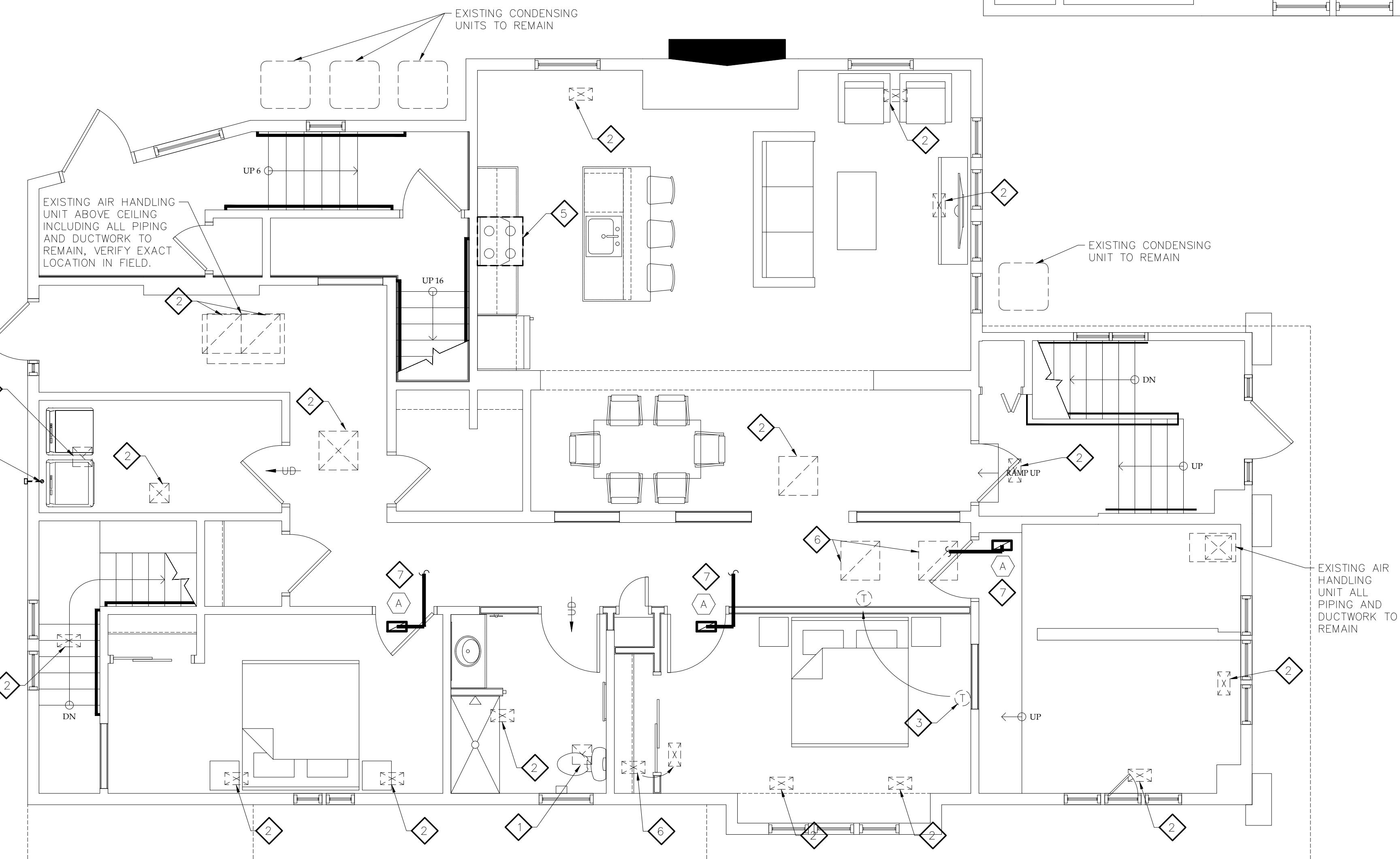
C

B

B

A

A



NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

1. EXISTING EXHAUST FAN AND DUCTWORK TO REMAIN. CONTRACTOR SHALL VERIFY FAN IS IN GOOD WORKING ORDER.
2. EXISTING CEILING REGISTER/GRILLE TO REMAIN. COORDINATE WITH NEW CEILING GRID.
3. EXISTING THERMOSTAT TO REMAIN TO BE RELOCATED TO LOCATION.
4. CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
5. MICROWAVE/RECIRCULATING HOOD BY OTHERS.
6. RELOCATE EXISTING SUPPLY/RETURN GRILLE IN NEW CEILING.
7. NEW RETURN GRILLE. EXTEND DUCT TO EXISTING RETURN MAIN.

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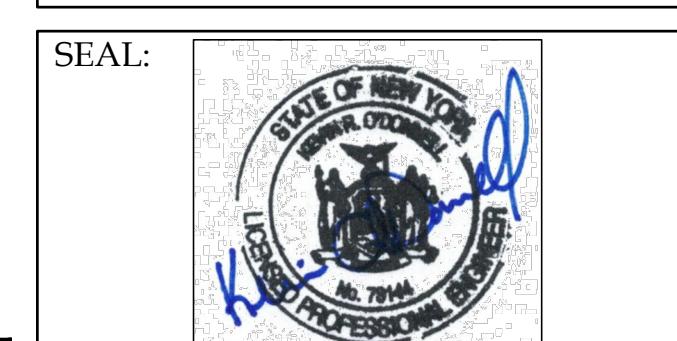
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Humboldt Pkwy Apartments
73 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
11-19-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
BASEMENT AND FIRST FLOOR PLANS



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.02 DATE: 10-27-25

DRAWING #: M-101

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

E

D

C

B

A

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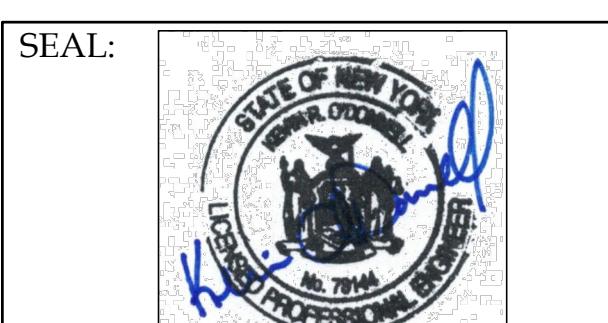


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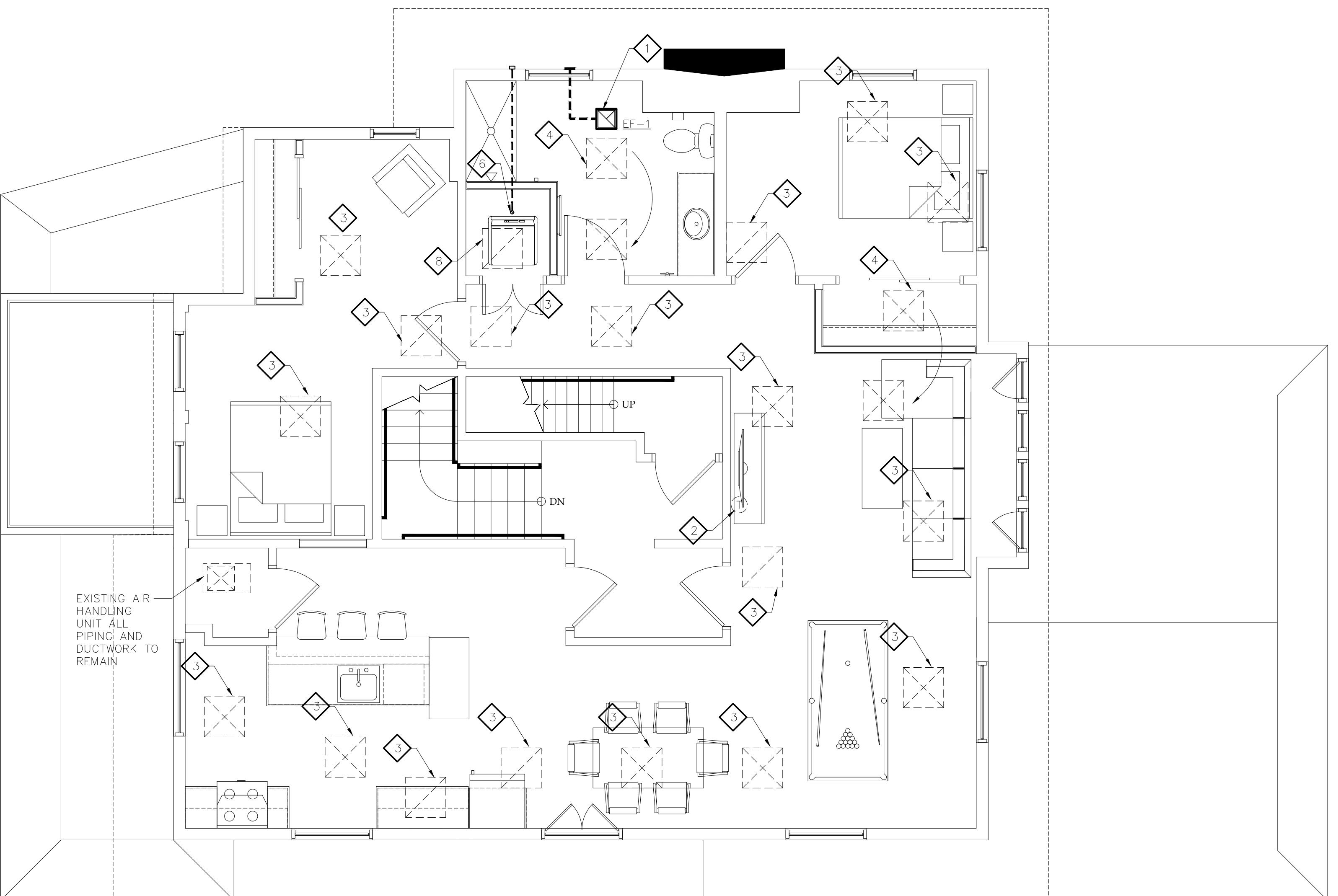
SECOND AND THIRD FLOOR PLANS



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SA JOB #: 24101.02 DATE: 10-27-25

DRAWING #: M-102 Project # 25-01-12

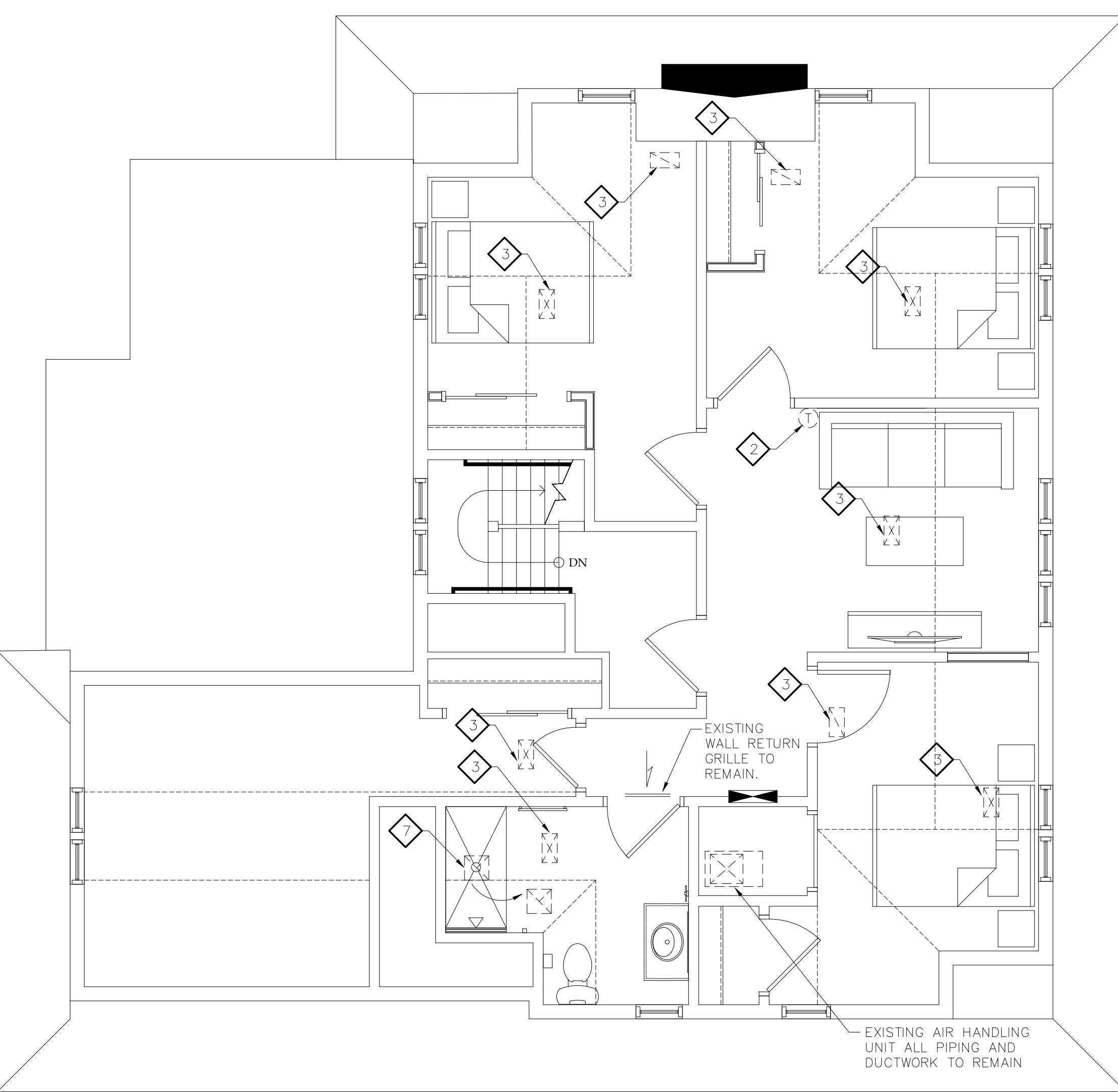


1 M-102 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

1. NEW EXHAUST FAN, RUN 6" EXHAUST DUCT OUT WALL TO MANUFACTURER'S WALL CAP.
2. EXISTING THERMOSTAT TO REMAIN. VERIFY UNIT AND REPLACE IF NECESSARY.
3. EXISTING SUPPLY DIFFUSER/RETURN GRILLE TO REMAIN. ADJUST AS NECESSARY FOR NEW CEILING GRID.
4. RELOCATE EXISTING SUPPLY/RETURN DIFFUSER AS SHOWN.
5. MICROWAVE/RECIRCULATING HOOD BY OTHERS.
6. CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
7. EXISTING EXHAUST FAN TO REMAIN. RELOCATE OUTSIDE OF SHOWER AREA IF POSSIBLE.
8. EXISTING RETURN GRILLE TO BE REMOVED. CAP DUCT.

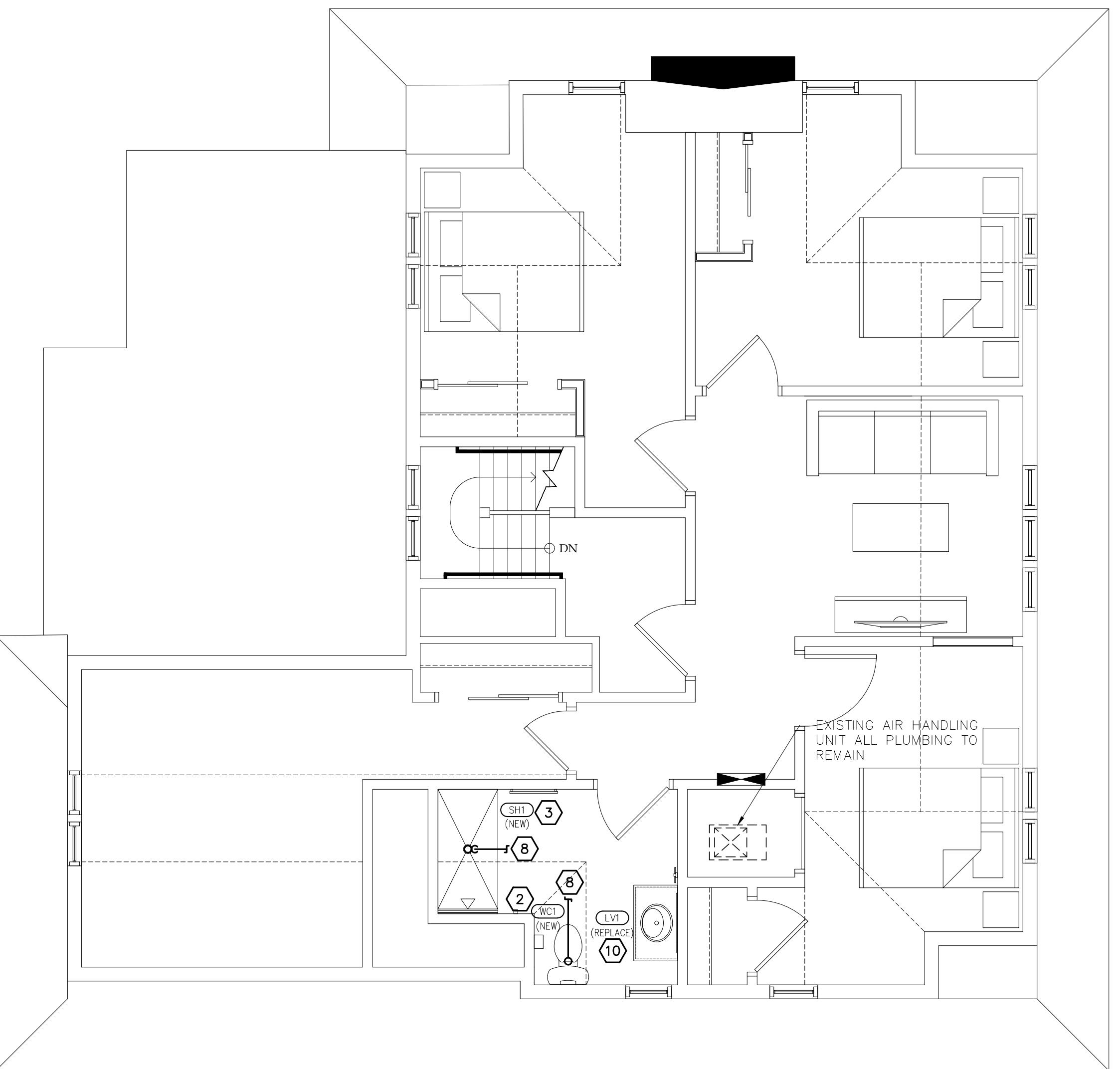


2 M-102 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

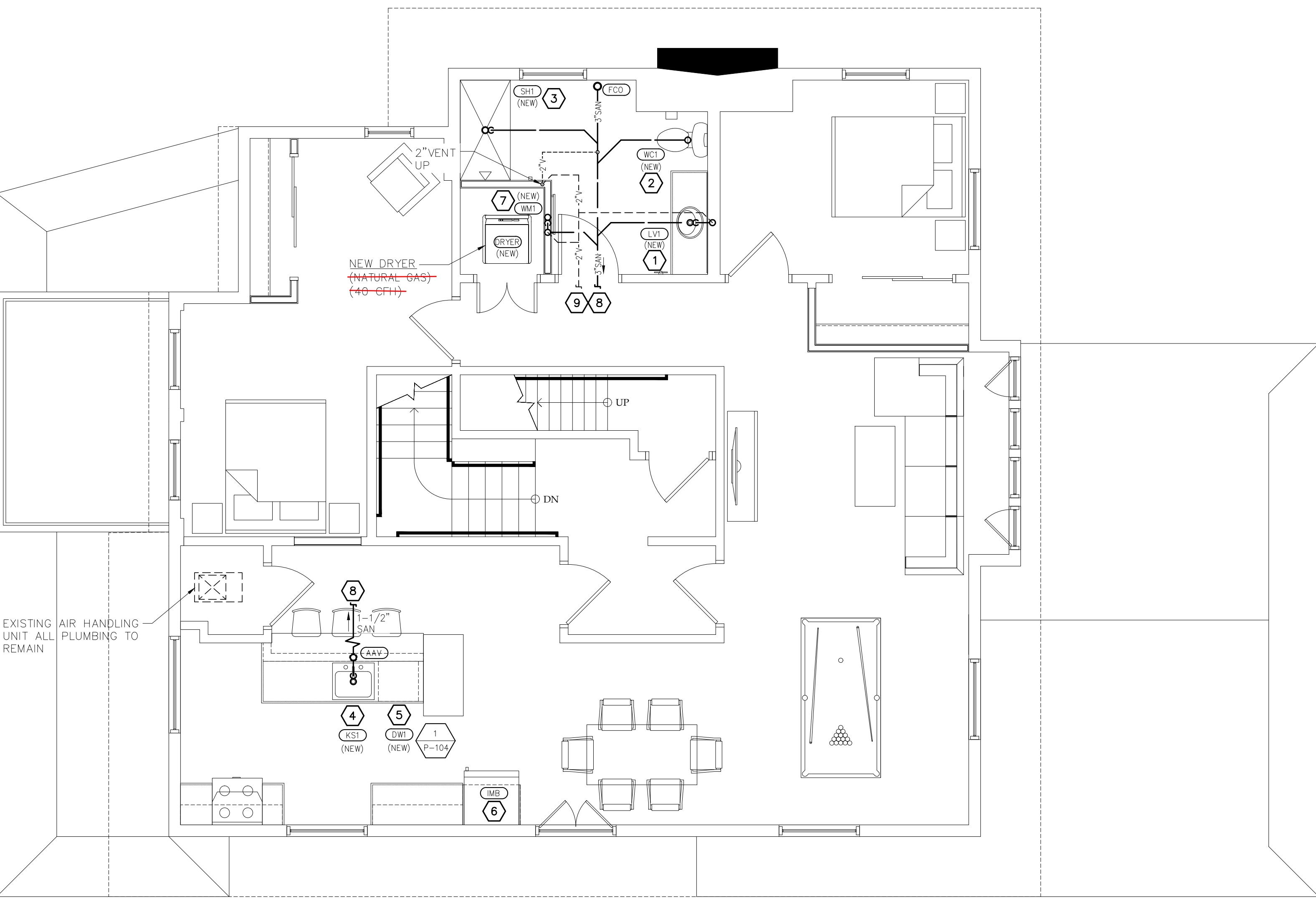
KROMAC Design Inc.
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10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

PLUMBING NOTES:

1. NEW LAVATORY (LVI):
 - 1.1. EXTEND EXISTING 1-1/2" WASTE LINE FROM EXISTING SANITARY LINE TO NEW LVI, 2" VENT AND 1-1/2" DRAIN WITH TRAP TO NEW LVI, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 1.2. EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LVI, 1/2" DCW/DHW WITH SHUT-OFF VALVES TO NEW LVI, CONNECT PER LOCAL AND STATE CODES.
2. NEW WATER CLOSET (WC1):
 - 2.1. EXTEND EXISTING 3" WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3" WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD, VERIFY/PROVIDE PROPER VENTING, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 2.2. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2" DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
3. NEW SHOWER (SH1):
 - 3.1. EXTEND EXISTING 1-1/2" WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH1, 1-1/2" DRAIN WITH TRAP TO NEW SH1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS, VERIFY/PROVIDE PROPER VENTING.
 - 3.2. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH1, 1/2" DCW/DHW WITH SHUT-OFF VALVES TO NEW SH1, CONNECT PER LOCAL AND STATE CODES.
4. NEW KITCHEN SINK (KS1):
 - 4.1. EXTEND EXISTING 1-1/2" WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2" WASTE, 1-1/2" VENT AND 1-1/2" DRAIN WITH TRAP TO NEW KS1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 4.2. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2" DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.



2 THIRD FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. DOMESTIC WATER - REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS - REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS - REFER TO DETAILS ON DRAWING P-104.

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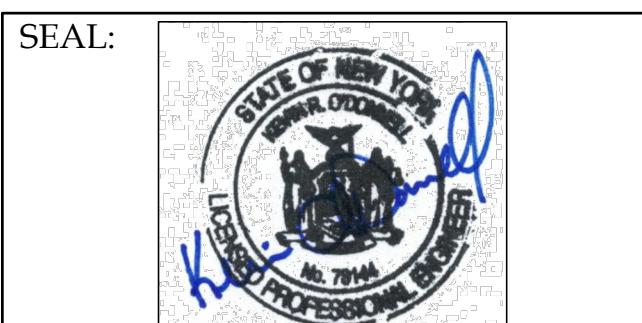


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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE: SECOND AND THIRD FLOOR PLANS



1321 MILLERSPORT HWY PH. 716.691.0900
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SA JOB #: 24101.02 DATE: 10-27-25

DRAWING #: P-102

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1 2 3 4 5 6

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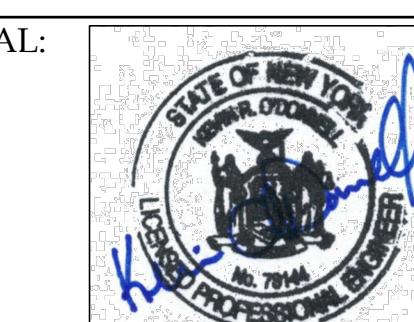


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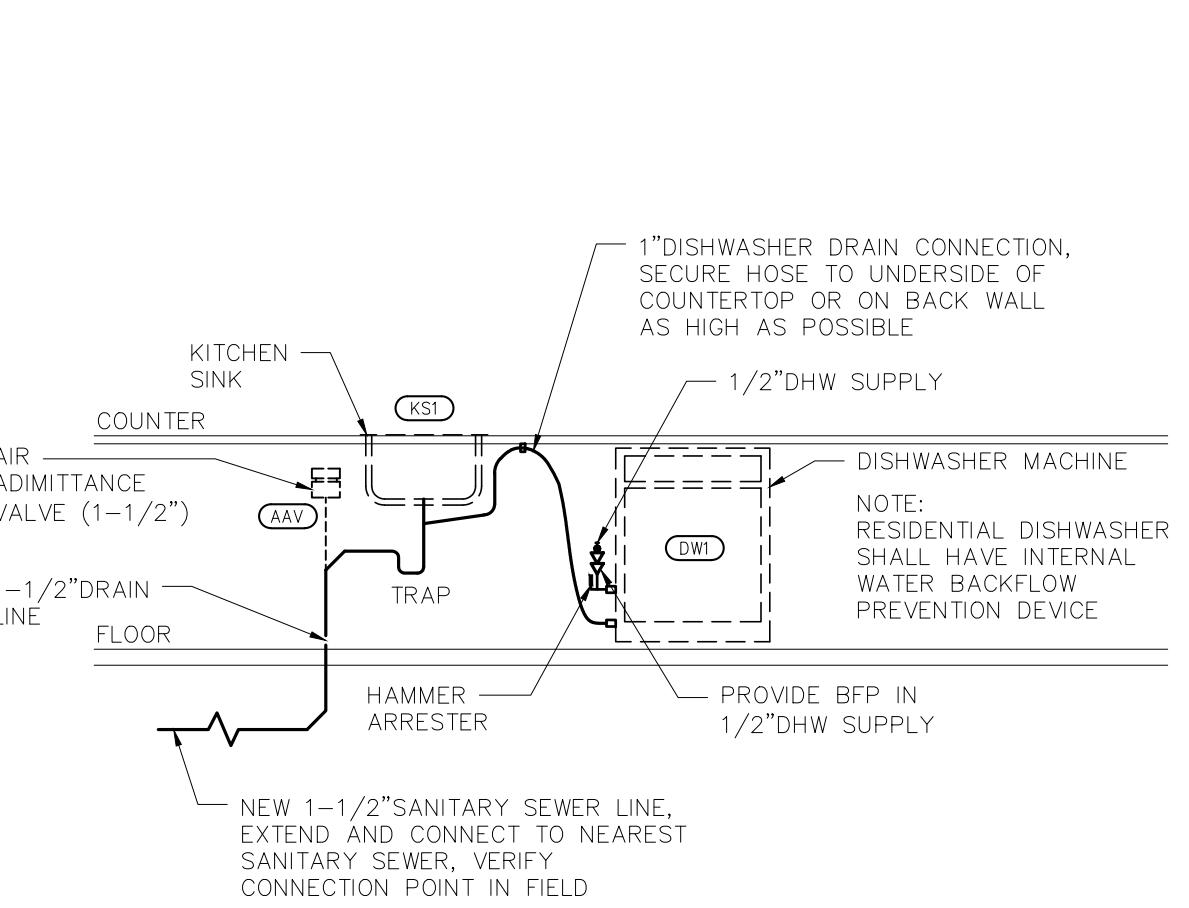
TITLE:

DETAILS

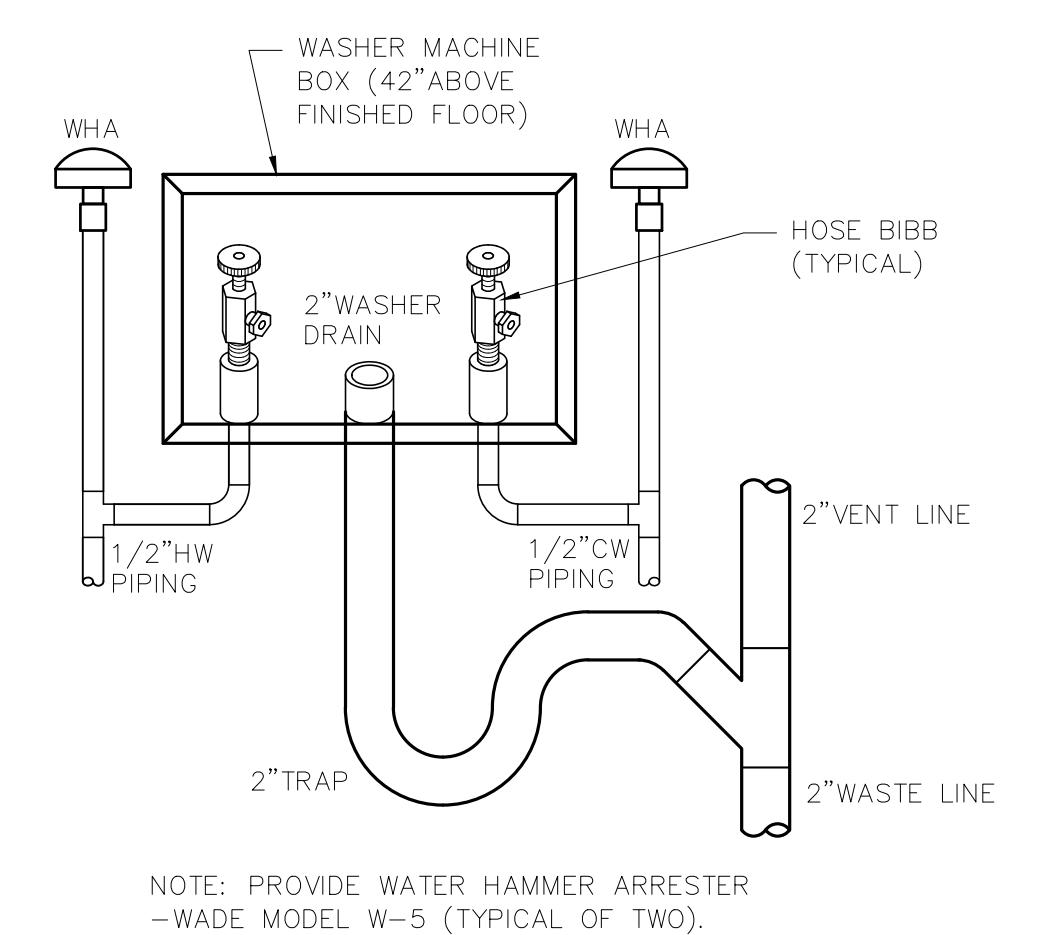


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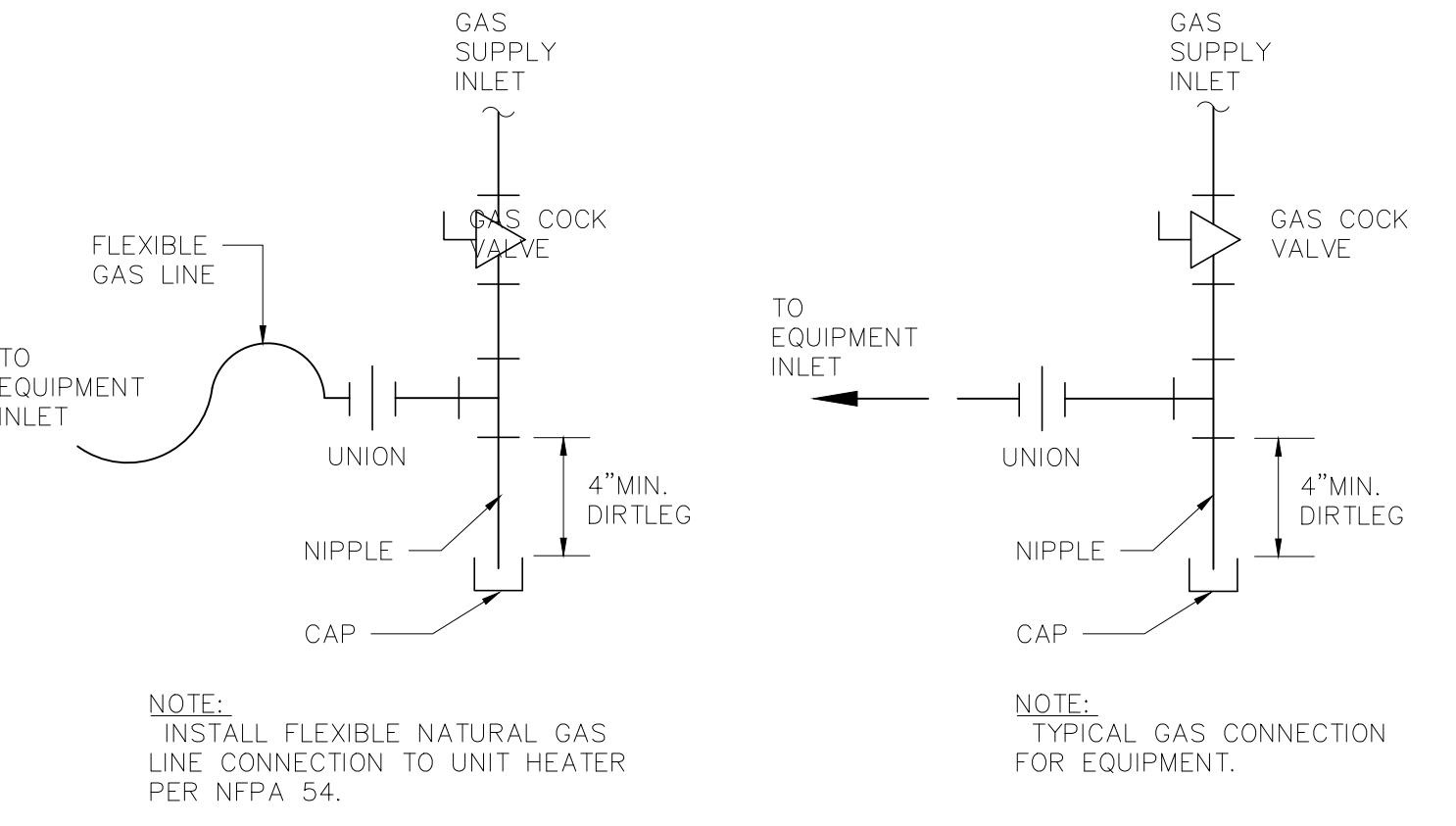
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DRAWING #: P-104 Project # 25-01-12



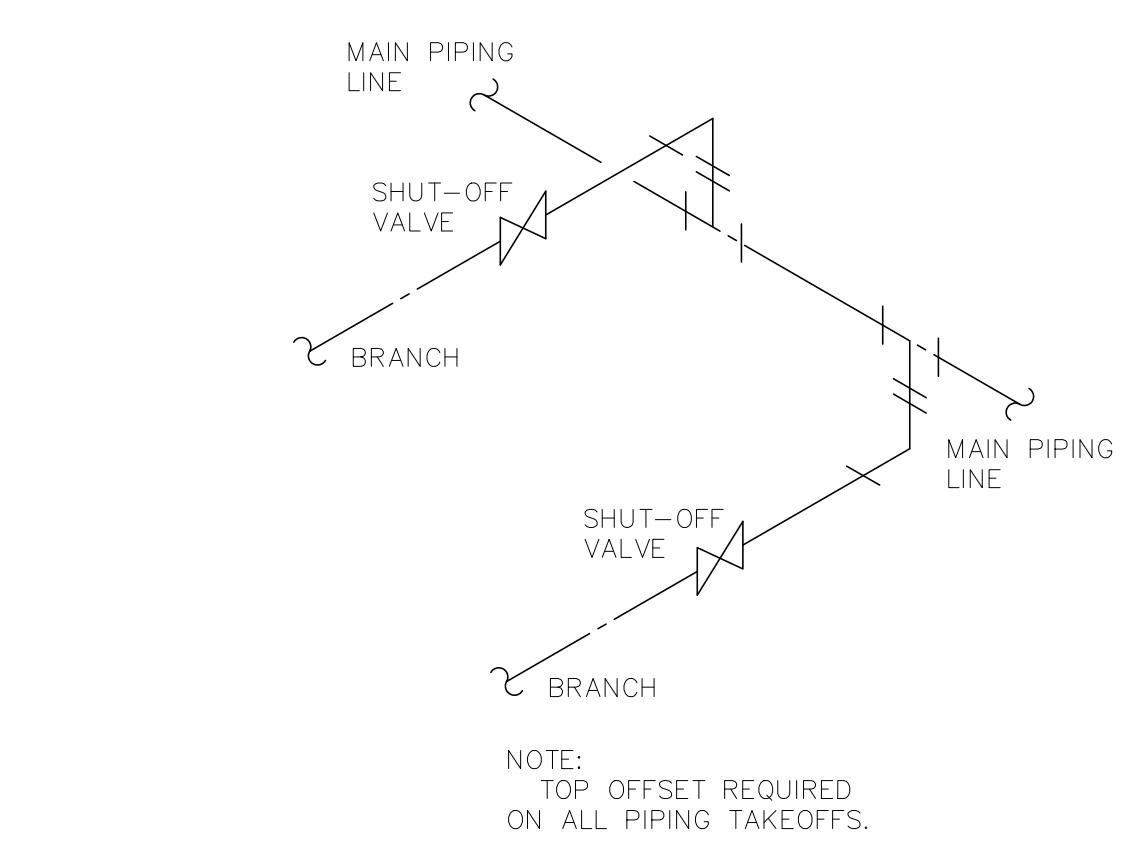
1 ISLAND KITCHEN SINK/DISHWASHER
P-104 SCALE: NONE



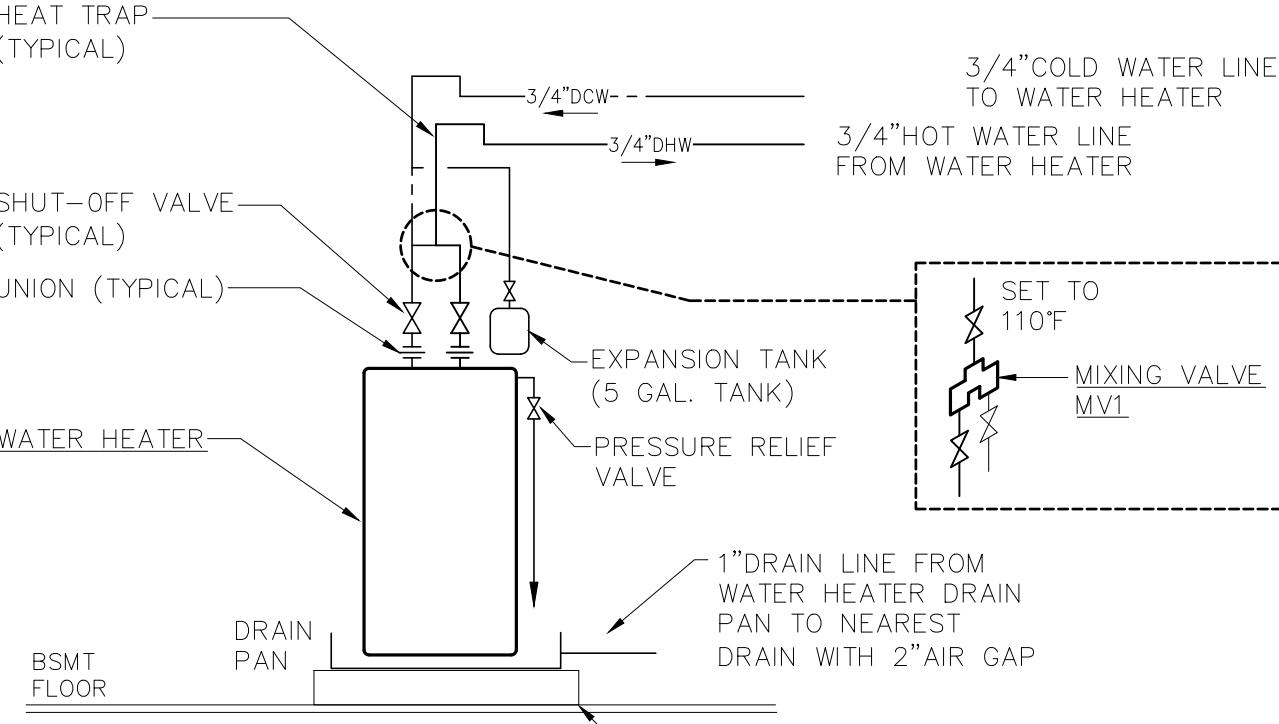
2 WASHING MACHINE BOX (WMB)
P-104 SCALE: NONE



3 GAS CONNECTION DETAIL
P-104 SCALE: NONE



4 PIPING TAKE-OFF DETAIL
P-104 SCALE: NONE



5 WATER HEATER DETAIL
P-104 SCALE: NONE

1	2	3	4	5	6																							
POWER SYMBOLS <ul style="list-style-type: none"> 	LIGHTING SYMBOLS <ul style="list-style-type: none"> 	ABBREVIATIONS <ul style="list-style-type: none"> A.F.C. ABOVE FINISHED FLOOR A.F.G. ABOVE FINISHED GROUND AHU AIR HANDLING UNIT ANN ANNUNCIATION UNIT AWG AMERICAN WIRE GAUGE C CONDUIT CB CIRCUIT BREAKER DC DIRECT CURRENT EC ELECTRICAL CONTRACTOR E/F. EXHAUST FAN EF. ELECTRIC HEATER EM EMERGENCY LIGHTING EMT ELECTRICAL METALLIC TUBING EX EXHAUST EXW ELECTRICAL WATER COOLER FACP FIRE ALARM CONTROL PANEL GC GENERAL CONTRACTOR HC HVAC CONTRACTOR GFI GROUND FAULT INTERRUPTER GFCI GROUND FAULT INTERRUPTING CIRCUIT LTG LIGHTING LC LIGHTING CONTACTOR NEC NATIONAL ELECTRICAL CODE NIGHT LIGHT NF NON-FUSED NTS NOT TO SCALE OC OVER COUNTER PVC-XXX POLYVINYL CHLORIDE 80 = SCHEDULE 80 40 = SCHEDULE 40 SM SURFACE MOUNT SR SURFACE RACEWAY UC UNDER CABINET WP WEATHER PROOF 	GENERAL PROJECT NOTES: <ol style="list-style-type: none"> ALL WORK SHALL CONFORM TO LASTED ADOPTED NATIONAL FIRE ALARM CODE (NFPA 72), NEC, NEW YORK STATE DEPARTMENT OF LABOR RULES AND REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), LOCAL CODES AND ORDINANCES, AND LIFE SAFETY CODE (NFPA 101). "WIRING" REFERS TO WIRE AND RACEWAY, (2) #12, (1) #12 GROUND IN 3/4" CONDUIT, MC, BX OR NM MAY BE USED INDOORS WHERE NOT EXPOSED, PROVIDED E.C. OBTAINS APPROVAL BY LOCAL AUTHORITY HAVING JURISDICTION IN AND LANDLORD IN WRITING PRIOR TO INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE DEVICE LOCATIONS WITH GENERAL CONTRACTORS WORK. COORDINATE LOCATION OF TEMPERATURE CONTROL PANELS WITH HC. PROVIDE 120 VOLT WIRING TO PANELS AND EQUIPMENT, LOW VOLTAGE WIRING BY OTHERS. E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL. WHERE DEVICE IS NOTED WITH "OC" OR "UC", PROVIDE DEVICE SO THAT BOTTOM OF OUTLET BOX IS 2" ABOVE COUNTER TOP, OF BACKSPLASH. COORDINATE FINAL LOCATION WITH G.C. ALL DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE FLUSH MOUNTED WITH CONCEALED WIRING, UNLESS SHOWN OTHERWISE. COLOR AS SELECTED BY THE OWNER PRIOR TO ORDERING MATERIAL. ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL WHERE APPLICABLE. PROVIDE PVC SCHEDULE 80 FOR ALL UNDERGROUND CONDUIT AND WHEN IN CONCRETE, CONDUIT EXPOSED TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL CONDUIT. ALL WORK SHALL BE IN A NEAT AND WORKMANLIKE MANNER. ALL EQUIPMENT (i.e. CONDUIT, BACKBOXES, PANELBOARDS, LIGHTING FIXTURES, ETC.) SHALL BE SECURELY SUPPORTED FROM THE PRIMARY BUILDING STRUCTURE. E.C. IS RESPONSIBLE TO HAVE ALL WORK INSPECTED ON A REGULAR BASIS BY LOCAL AUTHORITY, PROVIDE CERTIFICATE OF APPROVED INSTALLATION UPON COMPLETION AND PAY ALL ASSOCIATED FEES. CONTACT ARCHITECT/ENGINEER OF ANY CONFLICT WITH LOCATION OF EQUIPMENT PRIOR TO INSTALLATION. FIRESTOP ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS WITH U.L. LISTED MATERIAL. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR (1) FROM THE DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE ELECTRICAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. "AC" AND "MC" CABLE ARE PERMITTED PROVIDED THE FOLLOWING CRITERIA IS MET: <ul style="list-style-type: none"> THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN PERMISSION THE "AC" OR "MC" CABLE IS APPROVED BY THE OWNER. PROVIDED PART "G" ABOVE IS MET, THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN APPROVAL FROM THE LOCAL AUTHORITY HAVING JURISDICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING 1 WEEK PRIOR TO BID SUBMISSION. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTING SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF EQUIPMENT. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN ROUTING OF CONDUIT AND PLACEMENT OF EQUIPMENT, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER. ELECTRICAL DEVICES (OUTLETS, SWITCHES, ETC.) SHALL BE WHITE. PANELBOARDS LOCATED WITHIN HANDICAP UNITS SHALL BE MOUNTED SO THAT THE TOP BREAKER IS MOUNTED NO HIGHER THE 48" ABOVE FINISHED FLOOR. 	GENERAL WIRING NOTES: <p>THE MAJORITY OF WIRING, FOR DEVICES, LIGHTING, ALL OTHER EQUIPMENT REQUIRING ELECTRICAL ENERGY IS INTENTIONALLY NOT SHOWN FOR CLARITY. EACH DEVICE OR LIGHT HAS A CIRCUIT NUMBER ASSOCIATED WITH IT. EQUIPMENT HAS A TAG ASSOCIATED WITH IT, WIRING INFORMATION CAN BE REFERENCED BY THE MECHANICAL EQUIPMENT SCHEDULE. PROVIDE RACEWAY AND WIRE TO EACH ITEM NOTED ABOVE FROM DESIGNATED PANELBOARD TO FORM A COMPLETE AND OPERATIONAL INSTALLATION. THE FOLLOWING IS HOW BRANCH CIRCUITS SHALL BE WIRED:</p> <ol style="list-style-type: none"> PROVIDE A EQUIPMENT GROUND CONDUCTOR IN EACH BRANCH CIRCUIT HOMERUN. WHERE DEDICATED BRANCH CIRCUIT IS CALLED FOR PROVIDE (1) PHASE CONDUCTOR, (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR ALL IN (1) RACEWAY. MULTI-WIRE NON-DEDICATED BRANCH CIRCUITS MAY BE INSTALLED IN (1) RACEWAY WHERE (3) PHASE CONDUCTORS (PHASE A,B,&C) MAY SHARE (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR. MINIMUM SHARED NEUTRAL CONDUCTOR SIZE SHALL BE #10 AWG. WHERE PHASE ARE INCREASED IN SIZE FOR VOLTAGE DROP THE NEUTRAL CONDUCTOR SHALL BE INCREASED PROPORTIONALLY. FOR (3) OR MORE CURRENT CARRYING CONDUCTORS IN A RACEWAY (INCLUDING NEUTRAL) DERATE CONDUCTORS PER NEC TABLE 310-15(b)(2)(a). 120 VOLT CIRCUITS EXCEEDING 150'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND CONDUCTORS. 208 VOLT CIRCUITS EXCEEDING 280'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND. 	NOTICE <p>This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.</p> <p>This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and Ordinances, i.e. Building Permit, etc.</p>																							
		Humboldt Pkwy Apartments 73 Humboldt Parkway Buffalo, NY 14214	ISSUE: 11-19-25: ISSUED FOR PERMIT																									
GENERAL NOTES (ALL DRAWINGS): <ol style="list-style-type: none"> CIRCUIT NUMBERS INDICATED ON THE DRAWINGS ARE SHOWN FOR THE PURPOSE OF CLARIFYING THE GROUPING OF OUTLETS. THE ACTUAL NUMBER ASSIGNED TO THE CIRCUIT IN THE PANELBOARD SHALL SUIT THE BUSSING AND BRANCH CIRCUITING TO THE PANEL. PROVIDE COMPLETE AND ACCURATE TYPEWRITTEN PANEL DIRECTORIES FOR ALL NEW AND EXISTING BRANCH CIRCUIT PANELBOARDS. LOCATIONS INDICATED FOR LIGHT FIXTURES ARE APPROXIMATE. LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING AND NEW BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSERS, SMOKE DETECTORS, ETC. FIELD COORDINATE THE LOCATIONS AS NEAR AS POSSIBLE TO THOSE INDICATED ON THE PLANS. ALSO REFER TO ARCHITECTURAL REFLECTED CEILING PLANS. ALL CIRCUITING SHALL BE CONCEALED (EXCEPT IN ELECTRICAL AND MECHANICAL SPACES). ALL CONDUITS SHALL BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED CEILINGS AND CONCEALED IN WALLS UNLESS OTHERWISE INDICATED. EXACT LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS AND EXIT SIGNS SHALL BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT TO AVOID CONFLICT. LOCATE DEVICES AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF THREE (3) FEET AWAY FROM SUPPLY OR RETURN AIR GRILLES OR PER SYSTEM MANUFACTURERS INSTALLATION REQUIREMENTS AND NFPA 72. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW OTHER TRADES PROJECT CONTRACT DOCUMENTS TO DETERMINE MOUNTING HEIGHTS FOR ELECTRICAL DEVICES OR EQUIPMENT. THE LOCATIONS FOR MECHANICAL AND PLUMBING EQUIPMENT THAT REQUIRES ELECTRICAL CONNECTIONS ARE SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS. COORDINATE EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PRIOR TO INSTALLATION. E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL. 	SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. _____ DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle																											
	TITLE: ELECTRICAL LEGEND, DETAILS AND SPECIFICATIONS	SEAL:																										
	SILVESTRI ARCHITECTS PC 1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773	SA JOB #: 24101.02 DATE: 10-27-25 DRAWING #: E-100																										
TYPICAL INSTALLATION HEIGHTS E-100 SCALE : NONE		MECHANICAL EQUIPMENT CONNECTION SCHEDULE <table border="1"> <thead> <tr> <th rowspan="2">EQUIPMENT DESIGNATION</th> <th rowspan="2">LOCATION</th> <th rowspan="2">HP</th> <th rowspan="2">MCA</th> <th rowspan="2">PHASE</th> <th rowspan="2">VOLTS</th> <th rowspan="2">BREAKER</th> <th rowspan="2">POLE</th> <th rowspan="2">PANELBOARD SOURCE</th> <th rowspan="2">CIRCUIT NO.</th> <th rowspan="2">QUANTITIES AND SIZE</th> <th rowspan="2">REFERENCE NOTES</th> </tr> <tr> <th>RTU-1 (M)</th> </tr> </thead> <tbody> <tr> <td>EF-1*</td> <td>RESTROOM</td> <td>-</td> <td>20.0W</td> <td>1</td> <td>115</td> <td>20</td> <td>1</td> <td>EXISTING</td> <td>VERIFY</td> <td>2#12 & 1#12 IN 1/2"</td> <td>1,2</td> </tr> </tbody> </table> <p>WIRING SCHEDULE GENERAL NOTES</p> <ol style="list-style-type: none"> E.C. SHALL BE RESPONSIBLE TO VERIFY ALL CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERES, ETC.) OF MECHANICAL EQUIPMENT PRIOR TO CONNECTION AGAINST APPROVED SHOP DRAWINGS. * INDICATED MULTIPLE UNITS. <p>WIRING SCHEDULE REFERENCE NOTES</p> <ol style="list-style-type: none"> E.C. SHALL PROVIDE AND INSTALL HACR TYPE CIRCUIT BREAKER. FAN CONTROLLED BY WALL SWITCH. 	EQUIPMENT DESIGNATION	LOCATION	HP	MCA	PHASE	VOLTS	BREAKER	POLE	PANELBOARD SOURCE	CIRCUIT NO.	QUANTITIES AND SIZE	REFERENCE NOTES	RTU-1 (M)	EF-1*	RESTROOM	-	20.0W	1	115	20	1	EXISTING	VERIFY	2#12 & 1#12 IN 1/2"	1,2	KROMAC Design Inc. MECHANICAL-ELECTRICAL ENGINEERING 10225 Main Street, Victoria Park, Suite 10B Clarence, New York 14031 Phone: (716) 803-8787 Email: info@kromacdesign.com Project # 25-01-12
EQUIPMENT DESIGNATION	LOCATION	HP													MCA	PHASE	VOLTS	BREAKER	POLE	PANELBOARD SOURCE	CIRCUIT NO.	QUANTITIES AND SIZE	REFERENCE NOTES					
			RTU-1 (M)																									
EF-1*	RESTROOM	-	20.0W	1	115	20	1	EXISTING	VERIFY	2#12 & 1#12 IN 1/2"	1,2																	
SMOKE DETECTOR INSTALLATION CLEARANCES E-100 SCALE : NOT TO SCALE																												

E

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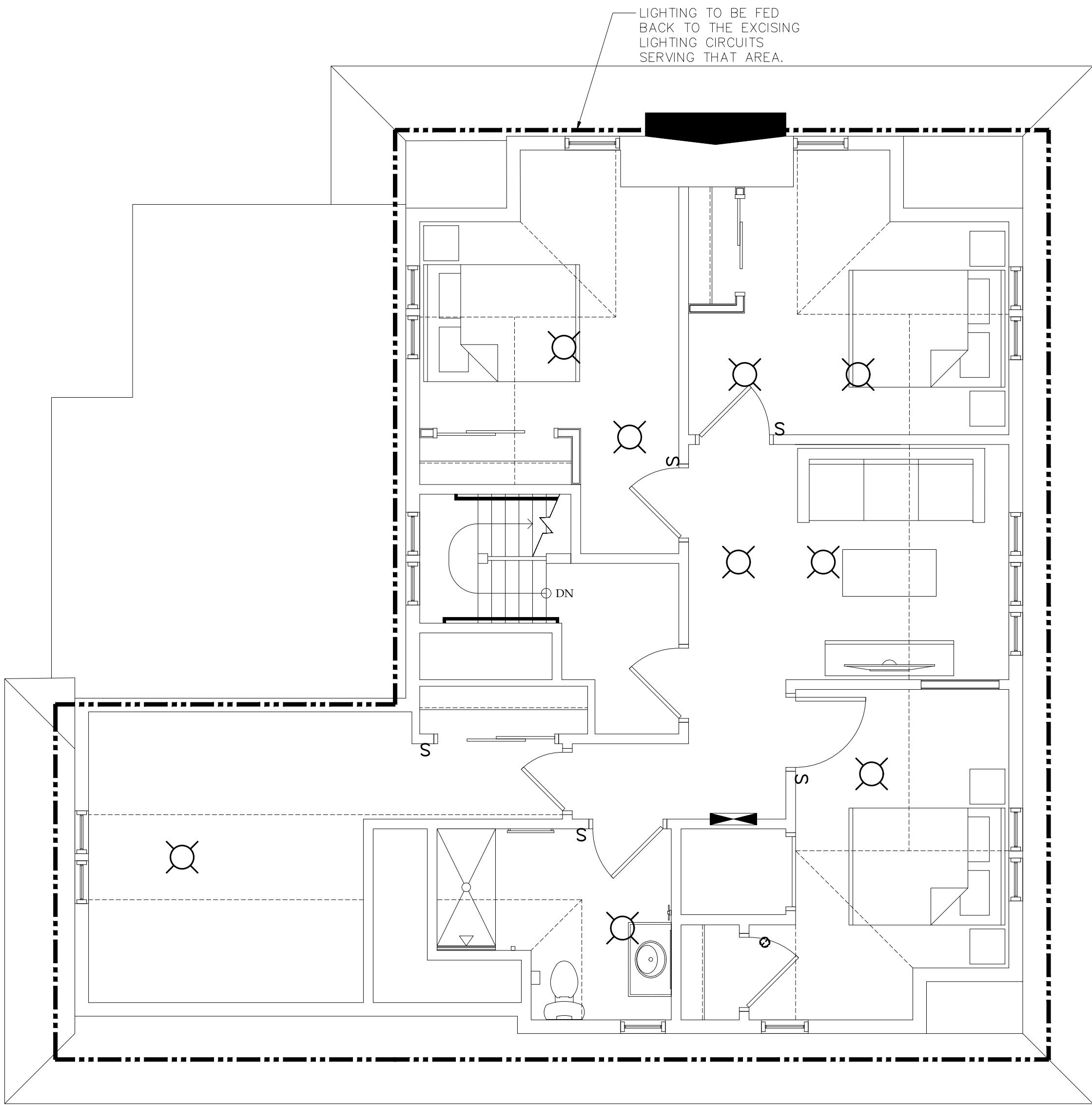
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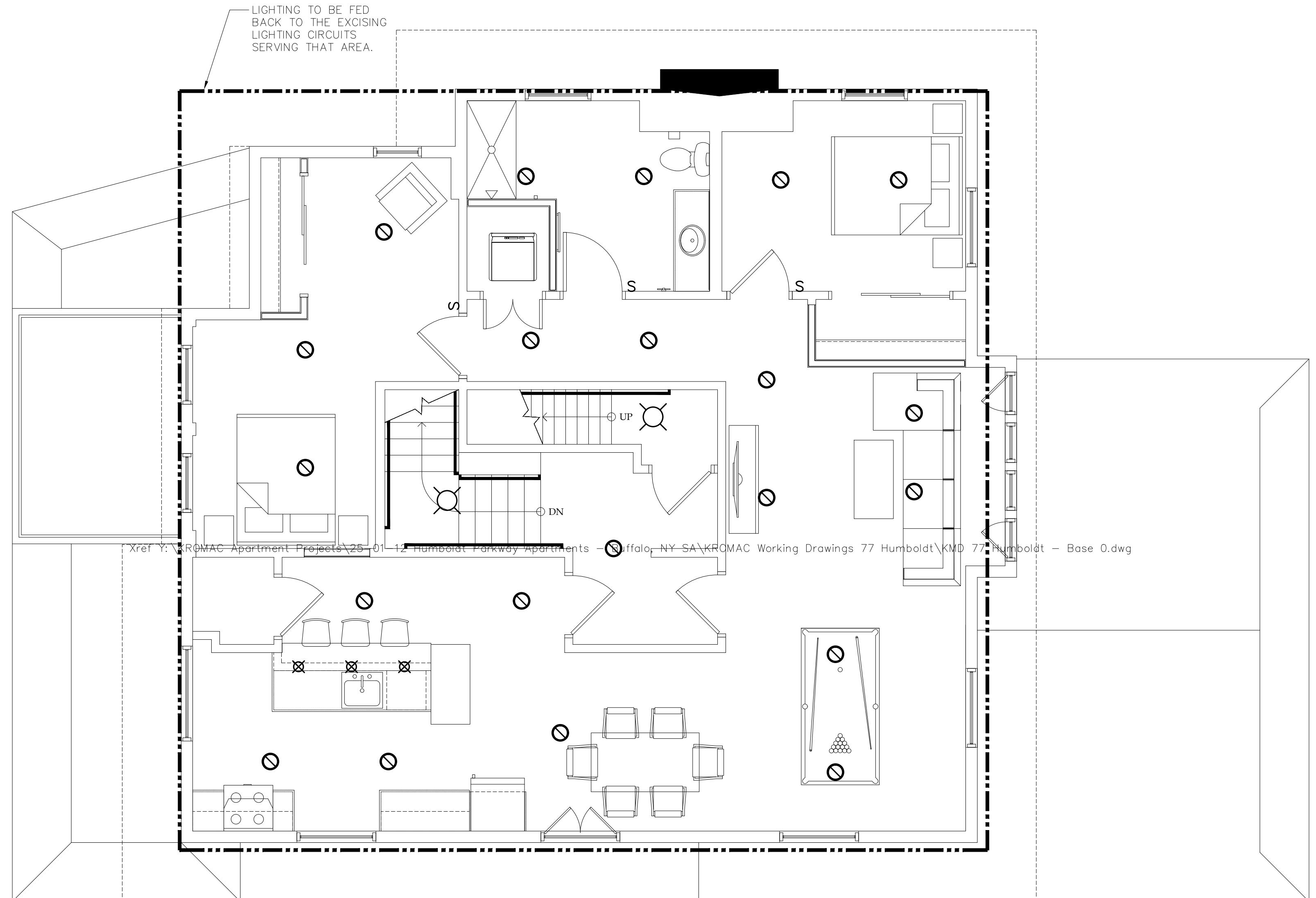
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2 THIRD FLOOR PLAN - LIGHTING
E-102 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN - LIGHTING
E-102 SCALE: 1/4" = 1'-0"

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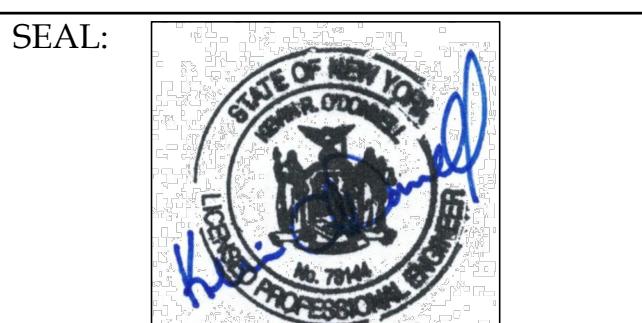


Humboldt Pkwy Apartments

73 Humboldt Parkway
Buffalo, NY 14214

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11-19-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
ELECTRICAL FLOOR PLANS - LIGHTING



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.02 DATE: 10-27-25

DRAWING #: E-102

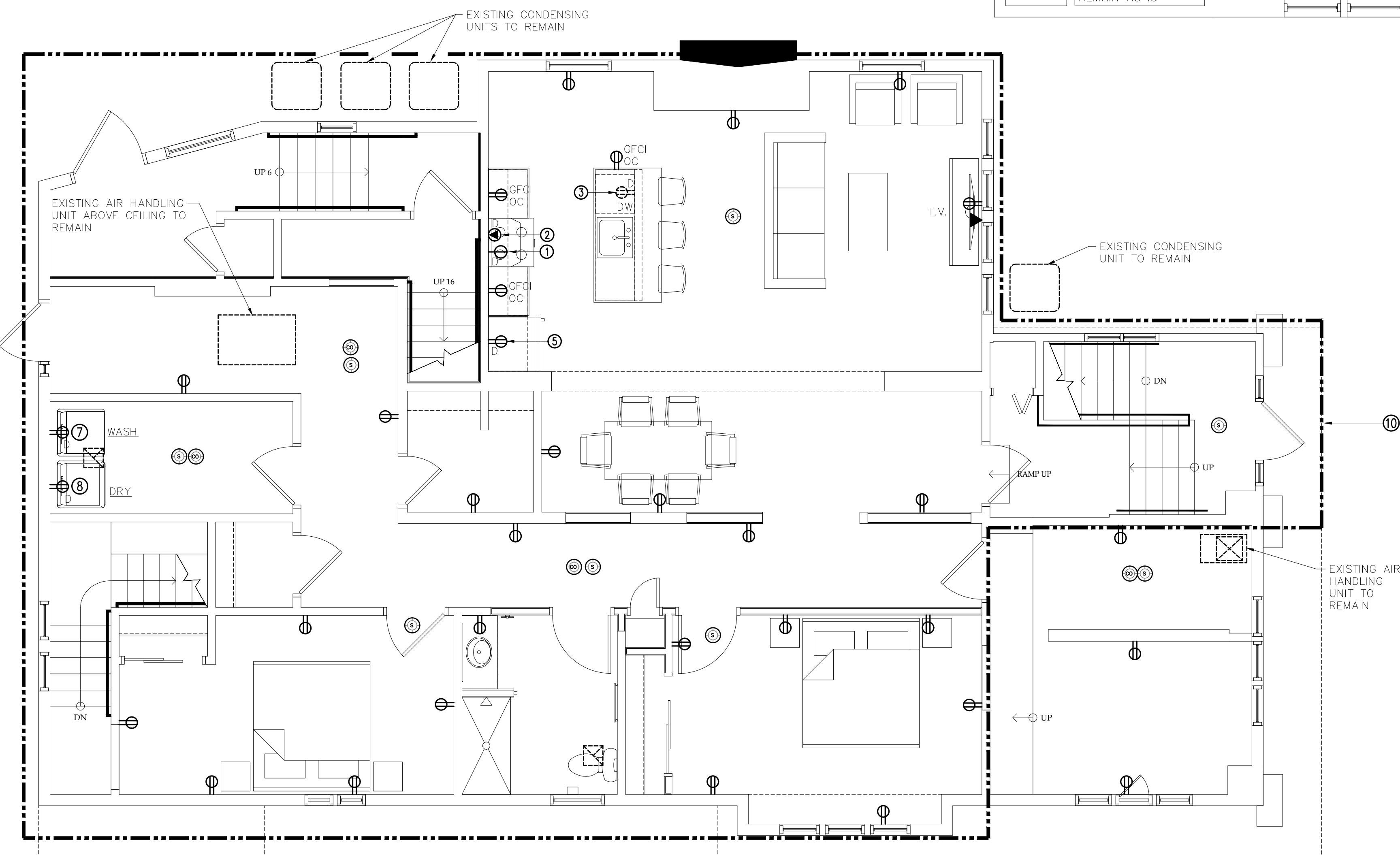
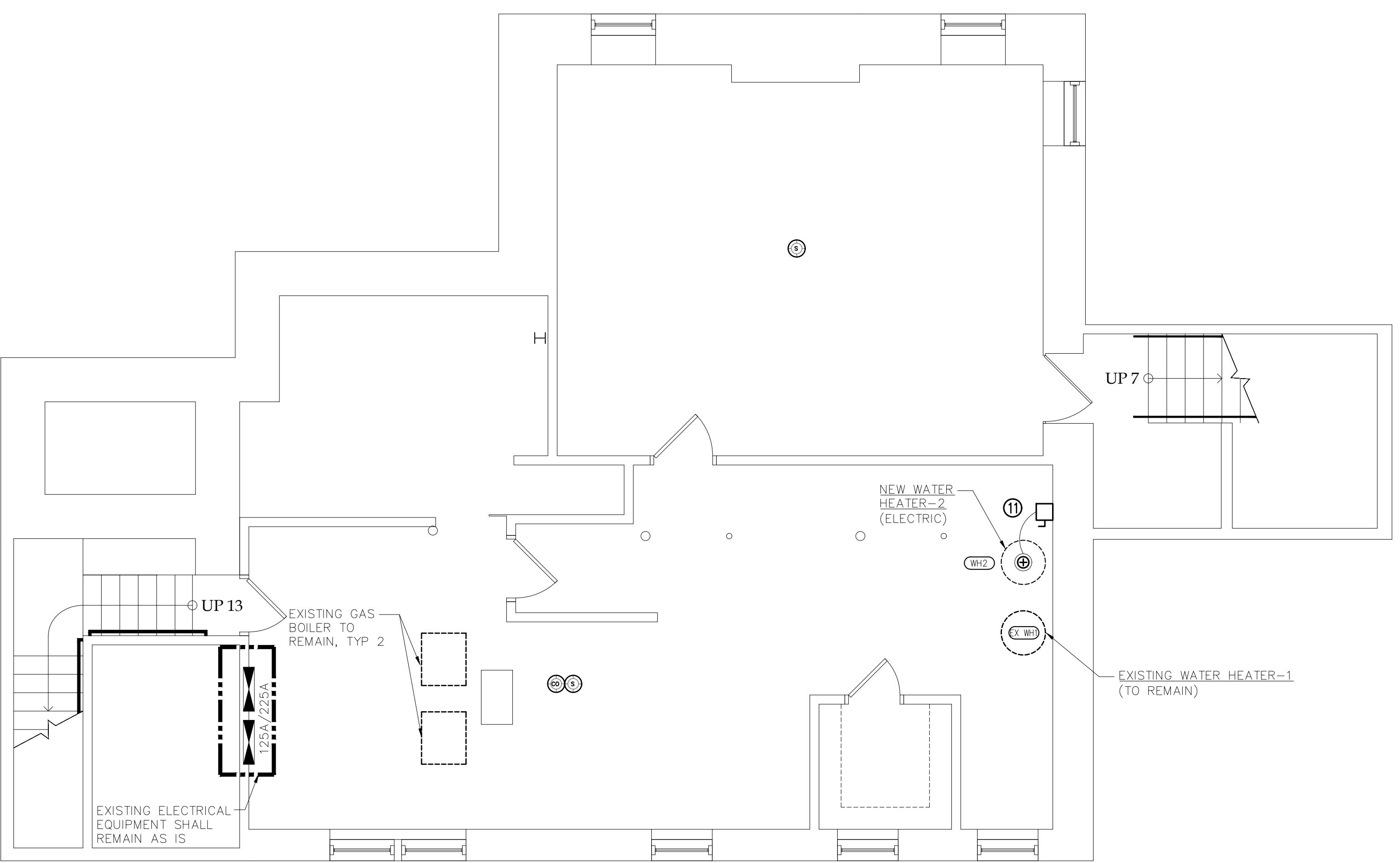
KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

GENERAL NOTES:

- A. PROVIDE #12 AWG. IN UNITS UNLESS SHOWN OTHERWISE.
- B. RECEPTACLES LOCATED IN THE DWELLING UNITS SHALL BE TAMPER RESISTANT.
- C. ALL BEDROOM, LIVING ROOM, KITCHEN, HALLWAY, LIVING SPACES BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 20A-1P RECEPTACLES IN APARTMENTS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- D. PROVIDE A (1) RG-6 COAXIAL CABLE FROM TV JACK TO THE HEAD END EQUIPMENT. TERMINATE TO TYPE F CONNECTOR WALL PLATES WHERE SHOWN ON PLANS.
- E. PROVIDE A TWISTED PAIR #24 AWG SOLID BARE COPPER WIRE FROM THE TELEPHONE JACK TO THE TELEPHONE DEMARKE PANEL.
- F. ALL RECEPTACLE/DATA LOCATIONS SHALL BE VERIFIED WITH OWNER PRIOR TO ROUGH-IN. ALL CIRCUIT(NEW/EXISTING) SHALL BE VERIFIED WITH EXISTING FIELD CONDITIONS AND ADJUST CIRCUIT NUMBERS AS REQUIRED.

DRAWING NOTES:

1. PROVIDE NEMA RECEPTACLE TO SUPPLY ELECTRIC RANGE. PROVIDE 2#8, 1#10GND WIRE BRANCH CIRCUIT. PROVIDE & MAKE FINAL CONNECTIONS TO A 50A-2P CIRCUIT BREAKER IN LOCAL APARTMENT PANEL. COORDINATE NEMA RECEPTACLE CONFIGURATION WITH EQUIPMENT MANUFACTURER PRIOR TO INSTALLING.
2. PROVIDE 20A-1P CIRCUIT WITH A SINGLE RECEPTACLE LOCATED ABOVE FOR MICROWAVE/EXHAUST HOOD TO LOCAL APARTMENT PANEL. PROVIDE 2#12, 1#12GND.
3. PROVIDE A 20A-1P DEDICATED BRANCH CIRCUIT WITH GFCI/AFCI BREAKER TO SERVE UNDERCOUNTER DISHWASHER. PROVIDE (2) #12 & 1 #12 GND.
4. COORDINATE EXACT LOCATION OF EXISTING ELECTRIC PANEL IN FIELD.
5. REFRIGERATOR SHALL BE PROTECTED BY A GFCI TYPE BREAKER.
6. CONTRACTOR SHALL RECONNECT EXISTING MECH./PLUMBING EQUIPMENT BACK TO NEW HOUSE PANEL 'HP' AS REQUIRED. ELECTRICAL CONTRACTOR SHALL MAKE INSTALLATION COMPLETE AND OPERATIONAL. COORDINATE EXACT REQUIREMENTS IN FIELD.
7. PROVIDE A 120V RECEPTACLE FOR WASHER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
8. PROVIDE A 120V RECEPTACLE FOR GAS DRYER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
9. PROVIDE A 100AMP, 120/208V, 3Ø, 4-WIRE SUB-PANEL FROM THE EXISTING 120V/208V MAIN ELECTRIC PANEL.
10. ELECTRICAL CONTRACTOR SHALL FEED RECEPTACLES FROM AN EXISTING 20A/1P RECEPTACLE CIRCUIT SERVING THAT AREA. PROVIDE A NEW 20A/1P CIRCUIT IF REQUIRED. NO MORE THAN (8) EIGHT RECEPTACLES TO A 20A/1P CIRCUIT. ALL RECEPTACLES DESIGNATED WITH SUBSCRIPT 'D' ARE TO BE DEDICATED CIRCUITS.
11. PROVIDE A 35A/1P DEDICATED BRANCH CIRCUIT TO SERVE WATER HEATER. PROVIDE 2#8 & 1#10 GND IN 3/4" GC.
12. EXHAUST FAN TO BE RELOCATED EXTEND FEEDERS AS REQUIRED.



1 BASEMENT PLAN - POWER
E-103 SCALE: 1/4" = 1'-0"

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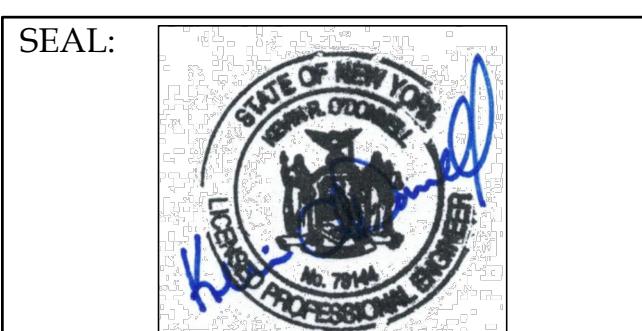


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PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
ELECTRICAL FLOOR PLANS - POWER



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.02 DATE: 10-27-25
DRAWING #: E-103 Project # 25-01-12

2 FIRST FLOOR PLAN - POWER
E-103 SCALE: 1/4" = 1'-0"

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
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Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

GENERAL NOTES:

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

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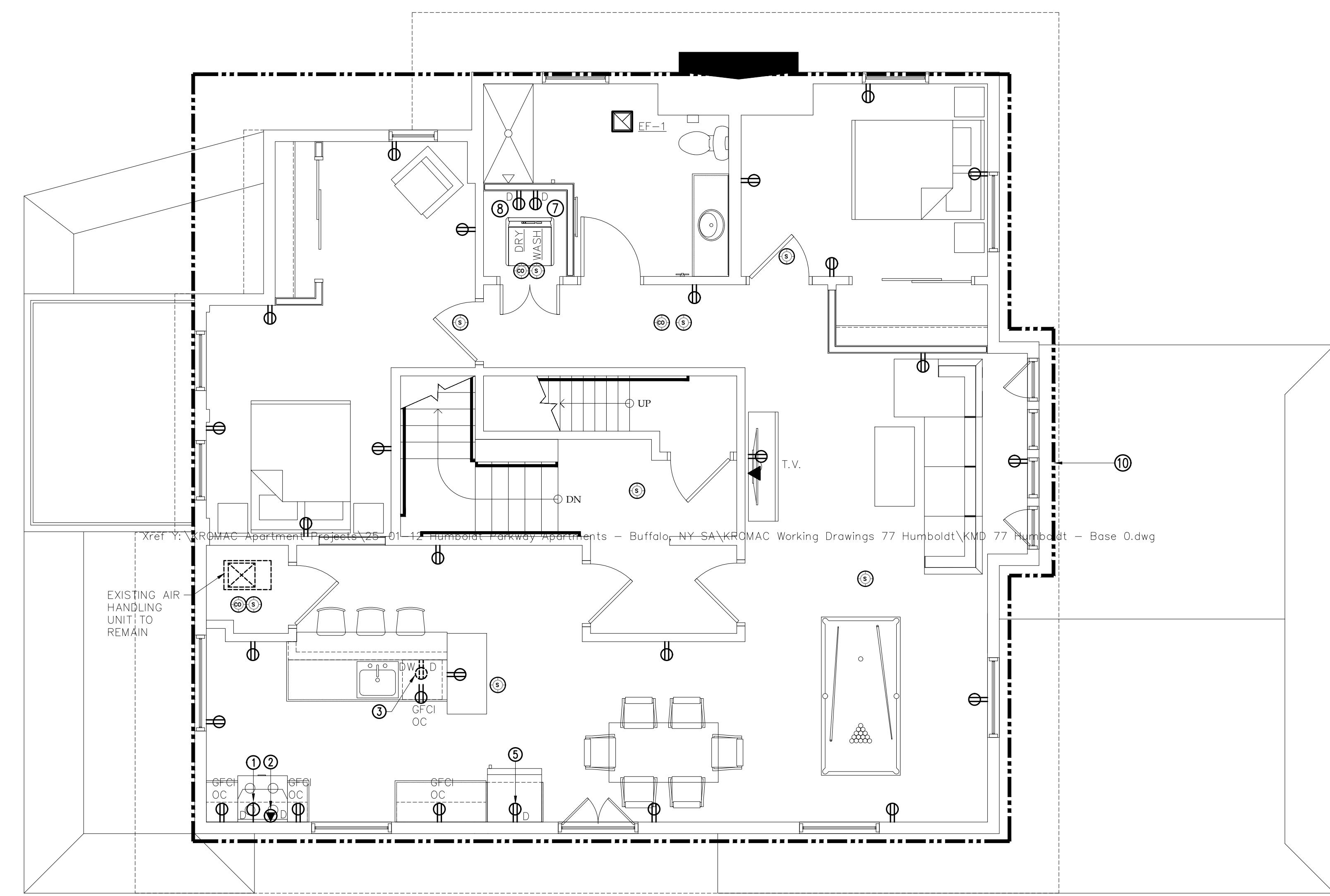
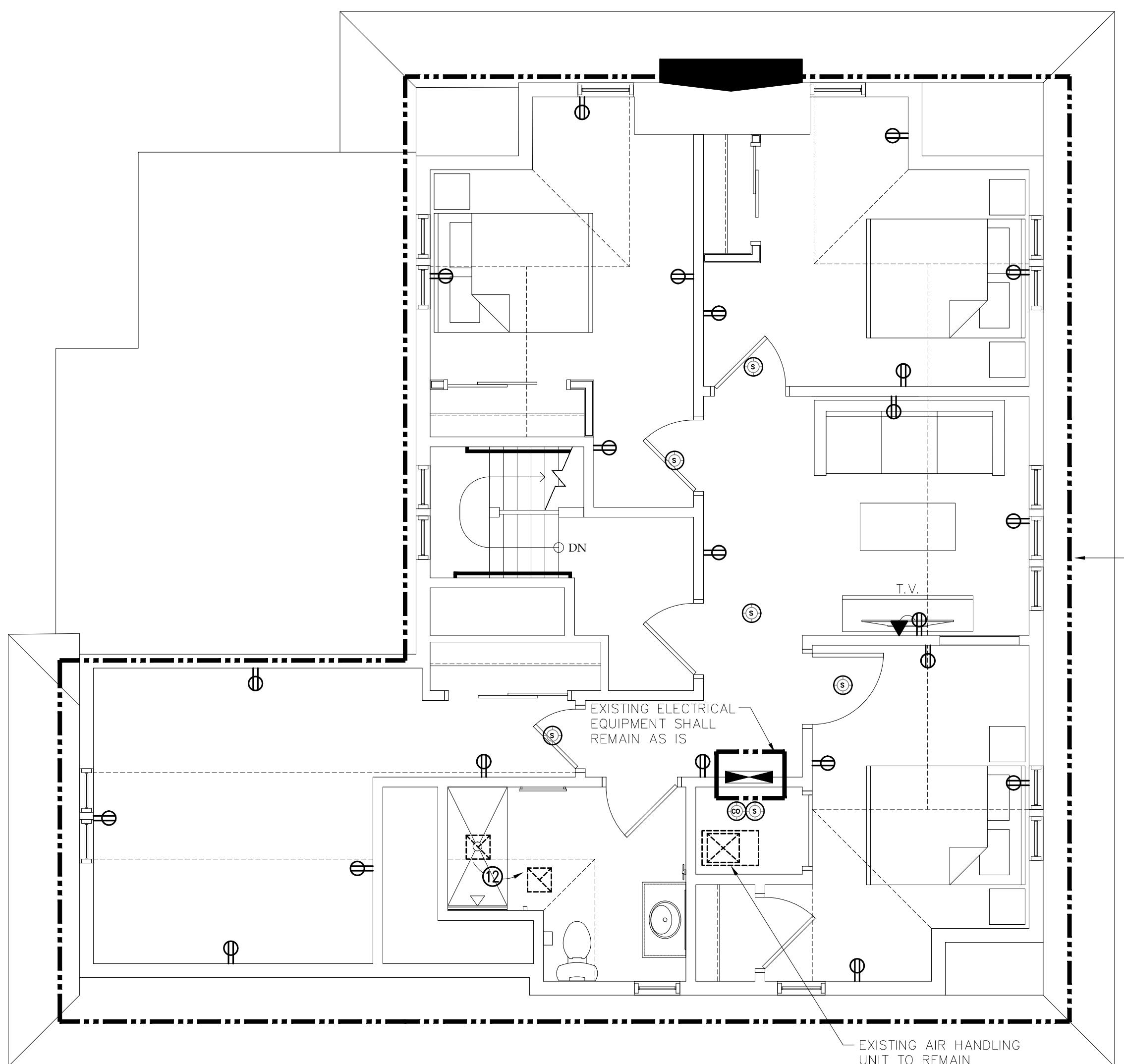
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2 THIRD FLOOR PLAN - POWER
E-104 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN - POWER
E-104 SCALE: 1/4" = 1'-0"

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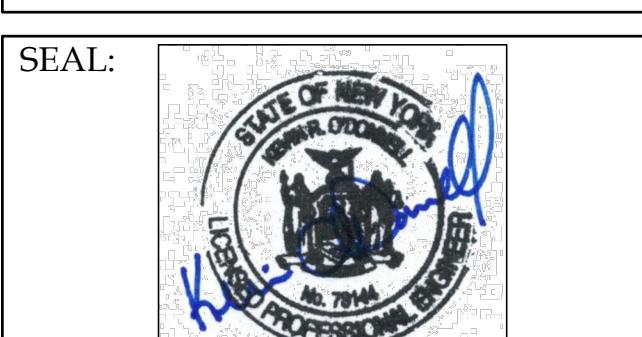


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JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
ELECTRICAL FLOOR PLANS - POWER



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ARCHITECTS PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

ELECTRICAL SPECIFICATIONS

BASIC ELECTRICAL REQUIREMENTS

A. THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS WORK.

B. "THE CONTRACTOR", "THIS CONTRACTOR", "EC", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL", "SUPPLY", AND "INSTALL", AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.

C. WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.

D. CODES AND STANDARDS:

1. NEW YORK STATE BUILDING CODE
2. NFPA STANDARDS
3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES
4. STATE CONSERVATION CONSTRUCTION CODE
5. LATEST ADOPTED NATIONAL ELECTRICAL CODE

E. THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO:

1. BRANCH CIRCUIT WIRING AND RACEWAYS
2. WIRING Devices
3. DISCONNECTS
4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT
5. GROUNDING AND BONDING
6. LIGHTING FIXTURES AND LAMPS
7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT DEVICES, AND FEEDERS
8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK
9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, CONTROL PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS

F. PAY FOR ALL PERMITS, INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.

G. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).

H. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).

I. ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).

J. THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATIONS, WHERE STRUCTURAL CONDITIONS ENCOUNTERED NECESSITE MINOR CHANGES, THESE SHALL BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT, WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

K. NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING CONCRETE, ETC.

L. DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASSES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS, INSTANT ALL ELECTRICAL NECESSITIES FOR THE WORK. NEVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR, RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATERTIGHT BY THIS CONTRACTOR.

M. THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.

N. PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE SURFACES WITH THE WALLS. THIS CONTRACTOR SHALL PAY FOR ALL NECESSARY PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.

O. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED TO:

1. TEMPORARY POWER DISTRIBUTION
2. LAMP SOCKETS AND LAMPING
3. OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS
4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION

P. THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.

Q. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS FOR THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE EXPANSION JOINTS. DIMENSIONS WHICH ARE NOT ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS, ANY DIFFERENCE WHICH MAY BE FOUND, SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

R. PROVIDE PRODUCT DATA, CATALOG CUT SHEETS WITH MFG. SPECIFICATIONS FOR REVIEW BY ARCH/ENGR. FOR THE FOLLOWING ITEMS:

1. PANELBOARDS
2. SAFETY DISCONNECT SWITCHES
3. OUTLET BOXES
4. FITTINGS
5. LIGHTING FIXTURES
6. LAMPS
7. CONDUCTORS
8. DEVICES
9. TIME SWITCHES
10. TRANSFORMERS
11. FIRE ALARM SYSTEM

S. PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.

T. MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB.

U. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75°C OPERATION.

RACEWAYS AND FITTINGS

A. WHERE CALLED FOR, ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE-THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR LEW.

B. WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.

C. ALL FEEDERS AND BRANCH CIRCUIT HOMEPUNS SHALL BE INSTALLED IN EMT, WHERE ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.

- D. FOR USE IN UNFINISHED AREAS: WIRE IN SURFACE MOUNTED RGS CONDUIT.
- E. FOR OUTDOOR USE: WIRE IN THREADED, RIGID STEEL CONDUIT.
- F. FOR UNDERGROUND USE: WIRE IN SCHEDULE 80 RIGID PVC NONMETALLIC CONDUIT.
- G. FOR FINAL CONNECTION IN DAMP OR WET LOCATIONS: LIQUID TIGHT FLEXIBLE METAL CONDUIT, WITH LISTED FITTINGS.
- H. NOT USED

I. IN ALL INSTANCES, INCLUDE A SEPARATE GROUNDING CONDUCTOR IN EACH FEEDER AND BRANCH CIRCUIT, SIZE PER NEC.

J. FURNISH ALL FITTINGS REQUIRED, BUT NOT LIMITED TO: BUSHINGS TO PREVENT WIRE ABRASION; SINGLE- AND MULTIPLE-GANG BOXES TO ACCOMMODATE DEVICE INSTALLATION; ADAPTERS FROM CONDUIT TO RACEWAY; TRANSITIONS TO BOTH LARGER AND SMALLER SURFACE METAL RACEWAYS; 90 DEGREE ELBOWS, TEES, FIXTURE BOXES, AND FLEXIBLE SECTIONS.

K. SURFACE METAL RACEWAY AND FITTINGS SHALL MEET ALL REQUIREMENTS OF NEC ARTICLE 352A AND SHALL BE UL LISTED.

L. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION, INSTALLATION, AND LOCATION OF ALL NECESSARY AND REQUIRED INSERTS, SUPPORTS, AND ANCHOR BOLTS, AND FOR A SATISFACTORY RACEWAY SYSTEM UPON COMPLETION OF THE PROJECT.

M. WHERE ANY COMPONENT OF THE RACEWAY SYSTEM IS DAMAGED PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE SAME OR PROVIDE A NEW RACEWAY SYSTEM, AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

N. CONDUITS SHALL BE RUN TO AVOID ADVERSE CONDITIONS SUCH AS HEAT AND MOISTURE AND TO AVOID ALL MATERIALS AND EQUIPMENT OF OTHER TRADES. CONDUITS SHALL MAINTAIN A MINIMUM CLEARANCE OF SIX INCHES FROM ALL HOT WATER PIPES, AIR DUCTS, AND OTHER TEMPERATURE PIPPING OR WORK. SHOULD IT BE FOUND NECESSARY TO INSTALL CONDUIT CLOSER THAN THIS TO HOT WATER PIPES, AN INSULATING COVERING SHALL BE USED TO PROTECT THE CONDUIT FROM HIGH TEMPERATURE.

O. RACEWAYS SHALL NOT BE SMALLER THAN THE SIZE REQUIRED BY THE NATIONAL ELECTRICAL CODE FOR THE CONDUCTORS ENCLOSED AND SHALL BE LARGER WHERE SO SPECIFIED OR INDICATED ON THE PLANS.

P. ALL EXPOSED RUNS OF CONDUIT SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO CEILINGS, SUPPORTS SHALL BE FROM THE MASONRY OR STEEL STRUCTURE RATHER THAN FROM OTHER MECHANICAL WORK SUCH AS DUCTS, PIPING, ETC. IN ACCORDANCE WITH GOOD INDUSTRY PRACTICE IN A MANNER ACCEPTABLE TO THE ARCHITECT.

Q. SUPPORTS AND ATTACHMENTS PROVIDED SHALL BE SPECIFICALLY DESIGNED FOR THE APPLICATIONS. PERFORATED HANGERS OR WIRE TIE SUPPORTS ARE NOT ACCEPTABLE. ALL HANGERS AND SUPPORTS SHALL HAVE CORROSION RESISTANT FINISH.

R. ALL CONDUITS AND RACEWAYS PASSING THROUGH WALLS, FLOORS, AND CEILINGS SHALL BE SLEEVED WITH A PIECE OF SCHEDULE 40 GALVANIZED STEEL PIPE WITH PLAIN ENDS. ALL SLEEVES SHALL BE SEALED WATERTIGHT USING A MATERIAL SIMILAR IN APPEARANCE TO THE SURROUNDING AREA OR APPROVED MATERIAL.

S. CONDUITS EXTENDING THROUGH ROOFS SHALL BE EQUIPPED WITH PITCH POCKETS.

T. ALL EMPTY RACEWAYS SHALL BE PROVIDED WITH A NYLON PULLWIRE.

U. ALL CONDUIT PASSING THROUGH A FIRE ZONE SHALL HAVE A FIRE RATED INSTALLATION.

V. CONDUIT SHALL BE INSTALLED SO THAT A CONTINUOUS GROUNDING SYSTEM WILL BE MAINTAINED FROM THE FURTHEST OUTLET TO THE ESTABLISHED WATER PIPE GROUND.

W. CONDULES, UNILETS, OR SIMILAR APPROVED TYPE FITTINGS SHALL BE USED ON EXPOSED WORK WHERE CONDUIT CHANGES DIRECTION AND WHERE BENDS WILL NOT MAKE A NEAT JOB.

X. EXPOSED CONDUIT SHALL BE SECURELY FASTENED TO THE BUILDING AT EIGHT-FOOT MINIMUM INTERVALS, USING APPROVED HANGERS, STRAPS, CLAMPS, OR SCREWS. WOOD PLUGS SHALL NOT BE USED FOR FASTENING PURPOSES. CONDUIT RUN ABOVE HUNG CEILING OR IN CRAWL SPACES SHALL BE SUPPORTED IN THE SAME MANNER AS FOR EXPOSED RUNS. WIRE TIES ARE NOT ACCEPTABLE SUPPORTS.

Y. CARE SHALL BE EXERCISED TO MAKE CERTAIN THAT THE CONDUIT SYSTEM NOW PLANNED WILL PERMIT REMOVAL OF CONDUCTORS FOR FUTURE CHANGES AS MAY BE REQUIRED. ALTHOUGH UP TO FOUR 90 DEGREE BENDS ARE PERMITTED BY THE NATIONAL ELECTRICAL CODE, THE PRACTICE OF USING MORE THAN THREE 90 DEGREE BENDS PER RUN SHALL BE AVOIDED. PULL BOXES SHALL BE USED IF AT ALL FEASIBLE.

Z. PULLBOXES SHALL BE INSTALLED AT 100 FOOT INTERVALS IN LONG STRAIGHT RUNS, CLOSE NIPPLES WILL NOT BE PERMITTED.

AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.

THE REQUIRED STRENGTH OF THE SUPPORTING EQUIPMENT AND THE SIZE AND TYPE OF ANCHORS SHALL BE BASED ON THE COMBINED WEIGHT OF CONDUIT, HANGERS, AND CONDUCTORS. THE USE OF PERFORATED IRON STRAPS FOR SUPPORTING CONDUITS WILL NOT BE PERMITTED.

BB. SINGLE RUNS:

1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS.
2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.
3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.
4. WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.

CC. MULTIPLE RUNS:

1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.
2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.

DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.

EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.

FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.

GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.

WIRE AND CABLE

- A. ACCEPTABLE MANUFACTURERS SHALL BE ANACONDA, GENERAL ELECTRIC, CERRO, OR BRAND RX.
- B. ALL CONDUCTORS SHALL BY COPPER, WITH 600 VOLT INSULATION, UNLESS OTHERWISE NOTED; STRANDING AND INSULATION TYPES AS FOLLOWS:

C. BRANCH CIRCUIT FEEDERS

1. #10 AWG AND SMALLER (SOLID) - TYPE THHN/THWN INSULATION.
2. #8 AWG AND LARGER (STRANDED) - TYPE THHN/THWN INSULATION.

D. ALL WIRE AND CABLE SHALL BE NEW, WITHIN ONE YEAR OF MANUFACTURE, WHEN DELIVERED TO THE SITE AND BEAR THE UL LABEL, INSULATION TYPE, VOLTAGE, AND MANUFACTURER'S NAME AT REGULAR INTERVALS ON THE INSULATION.

E. ALL WIRING SHALL BE DONE SO THAT THE SYSTEM WILL BE CONTINUOUSLY POLARIZED THROUGHOUT, FOLLOWING THE COLOR CODING INDICATED IN THE NEC.

F. ALL CONNECTIONS USING COPPER SHALL BE MADE WITH CONNECTORS THAT ARE DESIGNED AND APPROVED FOR COPPER.

G. JOINTS, TAPS AND SPLICES OF WIRES OF SIZES #10 AWG AND SMALLER SHALL BE MADE BY MEANS OF "SCOTCHLOK" SCREW CONNECTORS.

H. JOINTS, TAPS AND SPLICES OF WIRES OF SIZE #8 AWG AND LARGER SHALL BE MADE WITH THOMAS AND BETTS ALUMINUM/COPPER COLOR -KEYED COMPRESSION CONNECTORS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

I. WIRE SIZES SHALL BE AS SHOWN ON THE DRAWINGS OR SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

J. ALL FEEDER CABLES SHALL BE CONTINUOUS FROM ORIGIN TO EQUIPMENT TERMINATION WITHOUT SPICES IN INTERMEDIATE PULL OR SPLICE BOXES AS FAR AS PRACTICABLE. NO SPLICES ARE ALLOWED IN "C" CONDUITS.

K. CONDUCTORS SHALL NOT BE SMALLER THAN CODE SIZE FOR THE LOADS BEING HANDLED AND SHALL BE LARGER IF SO INDICATED IN THE PLANS OR SPECIFICATIONS. NO CONDUCTOR SHALL BE LESS THAN #12 AWG EXCEPT FOR CONTROL CIRCUITS, WHICH MAY BE #14 WIRE WHEN INDICATED.

L. PROVIDE SEPARATE GREEN GROUND (EQUIPMENT GROUND) CONDUCTOR WITH EACH FEEDER AND BRANCH CIRCUIT.

M. WIRING IN DUCTS, PLENUMS, AND OTHER AIR HANDLING SPACES SHALL BE PROVIDED PER NEC ART. 300.22 AND ALL OTHER APPLICABLE CODE SECTIONS. WHERE PROVIDED, PULLWIRE, TIE WIRE, AND SPLICE LUGS SHALL BE USEABLE FOR USE IN DUCTS, PLENUMS, AND OTHER SPACES USED FOR ENVIRONMENTAL AIR AND SHALL ALSO BE LISTED AS HAVING ADEQUATE FIRE-RESISTANT AND LOW SMOKE-PRODUCING CHARACTERISTICS. WIRING SHALL INCLUDE BUT NOT LIMITED TO POWER, LIGHTING, TELEPHONE, DATA, FIRE ALARM, SECURITY, ETC.

N. ALL WIRING IN TREATMENT ROOMS MUST COMPLY WITH 2008 NEC SECTION 517.

CABINETS, BOXES, AND FITTINGS

- A. USE SHEET STEEL JUNCTION, OUTLET AND PULL BOXES SIZED PER NEC IN ALL DRY LOCATIONS.
- B. USE CAST BOXES FOR EXTERIOR USE, WHERE IN CONCRETE FLOORS, AND IN ALL DAMP OR WET LOCATIONS.
- C. NOT USED.

D. USE STEEL OR MALLEABLE IRON FITTINGS SPECIFICALLY DESIGNED FOR EACH RACEWAY TYPE, AS DICTATED BY GOOD PRACTICE.

E. IN ALL CASES, ALL CABINETS, JUNCTION AND OUTLET BOXES SHALL BE ACCESSIBLE.

ELECTRICAL CONNECTIONS FOR EQUIPMENT

- A. FIXED EQUIPMENT REQUIRING ATTACHMENT PLUGS SHALL BE PROVIDED WITH APPROPRIATE RECEPTACLE TO MATCH PLUG.
- B. FIXED EQUIPMENT REQUIRING DIRECT WIRED CONNECTIONS SHALL BE PROVIDED WITH LOCAL JUNCTION BOX, AND FLEXIBLE NONMETALLIC CONDUIT, OR LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT CONNECTIONS TO EQUIPMENT.

C. PROVIDE SEPARATE FUSIBLE DISCONNECT FOR EQUIPMENT NOT FURNISHED WITH INTEGRAL OR FACTORY FURNISHED DISCONNECTING MEANS.

D. PROVIDE MOTOR STARTER FOR EQUIPMENT NOT FURNISHED WITH FACTORY STARTER.

WIRING DEVICES

- A. FOR FINISHED AREAS, USE SPECIFICATION GRADE DEVICES, COLOR AS SELECTED BY ARCHITECT, WITH SMOOTH THERMOPLASTIC WALL PLATE, COLOR TO MATCH DEVICE.
- B. FOR UNFINISHED DRY INTERIOR SPACES, USE SPECIFICATION GRADE DEVICE IN STEEL UTILITY BOXES WITH MATCHING STEEL DEVICE COVERS.

C. FOR INTERIOR AND EXTERIOR WET LOCATIONS, USE SPECIFICATION GRADE DEVICES INSTALLED IN AN OUTLET ENCLOSURE CLEARLY MARKED "SUITABLE FOR WET LOCATIONS WHILE IN USE", AS MANUFACTURED BY TAYMAC CORP., WITH PUSH-BUTTON RELEASE.

D. RECEPTACLES: