



S.A. PROJECT # 24101.01
DATE: 12-11-2025

Humboldt Pkwy Apartments

103 Humboldt Parkway

Buffalo, NY 14214



ARCHITECT:
SILVESTRI ARCHITECTS, P.C.

1321 MILLERSPORT HIGHWAY, SUITE 101
AMHERST, NY 14221

Phone: 716-691-0900
Fax: 716-691-4773

E-mail: davidg@silvestriarchitects.com
Contact: David Garry

STRUCTURAL ENGINEER:
PETRILLI STRUCTURAL &
CONSULTING ENGINEERING, P.C.

245 KINSEY AVE., SUITE 100
KENMORE, NY 14217

Phone: 716-854-3508
E-mail: ajpetrilli@petrilliengineering.com
Contact: AJ Petrilli

M.E.P. ENGINEER:
KROMAC DESIGN, INC.

10225 MAIN STREET, SUITE 10B
CLARENCE, NY 14031

Phone: 716-803-8787
Fax: 716-407-0552

E-mail: kevin@kromacdesign.com
Contact: Kevin O'Donnell, PE, LEED AP

SHEET INDEX

TITLE SHEET

STRUCTURAL:

NONE REQUIRED THIS PROPERTY

ARCHITECTURAL:

A-001	GENERAL NOTES
A-002	PARTITION TYPES & DETAILS
AD-101	BASEMENT & FIRST FLOOR DEMOLITION PLANS
AD-102	SECOND & THIRD FLOOR DEMOLITION PLANS
AD-103	FIRST & SECOND FLOOR REFLECTED CEILING DEMOLITION PLANS
AD-201	EXTERIOR DEMOLITION ELEVATIONS
AD-202	EXTERIOR DEMOLITION ELEVATIONS
A-101	BASEMENT & FIRST FLOOR PLANS
A-102	SECOND & THIRD FLOOR PLANS
A-103	FIRST & SECOND FLOOR REFLECTED CEILING PLANS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-401	ENLARGED PLANS & ELEVATIONS
A-402	ENLARGED PLANS & ELEVATIONS
A-501	MILLWORK DETAILS
A-502	MILLWORK DETAILS
A-601	DOOR & FRAME SCHEDULE, TYPES, & DETAILS
A-602	FINISH SCHEDULE
A-603	BASEMENT & FIRST FLOOR FINISH PLANS
A-604	SECOND & THIRD FLOOR FINISH PLANS

MECHANICAL:

M-100	SCHEDULES AND SPECIFICATIONS
M-101	BASEMENT & FIRST FLOOR PLANS
M-102	SECOND & THIRD FLOOR PLANS

PLUMBING:

P-100	SCHEDULES AND SPECIFICATIONS
P-101	BASEMENT AND FIRST FLOOR PLANS
P-102	SECOND AND THIRD FLOOR PLANS
P-103	PLUMBING RISERS
P-104	DETAILS

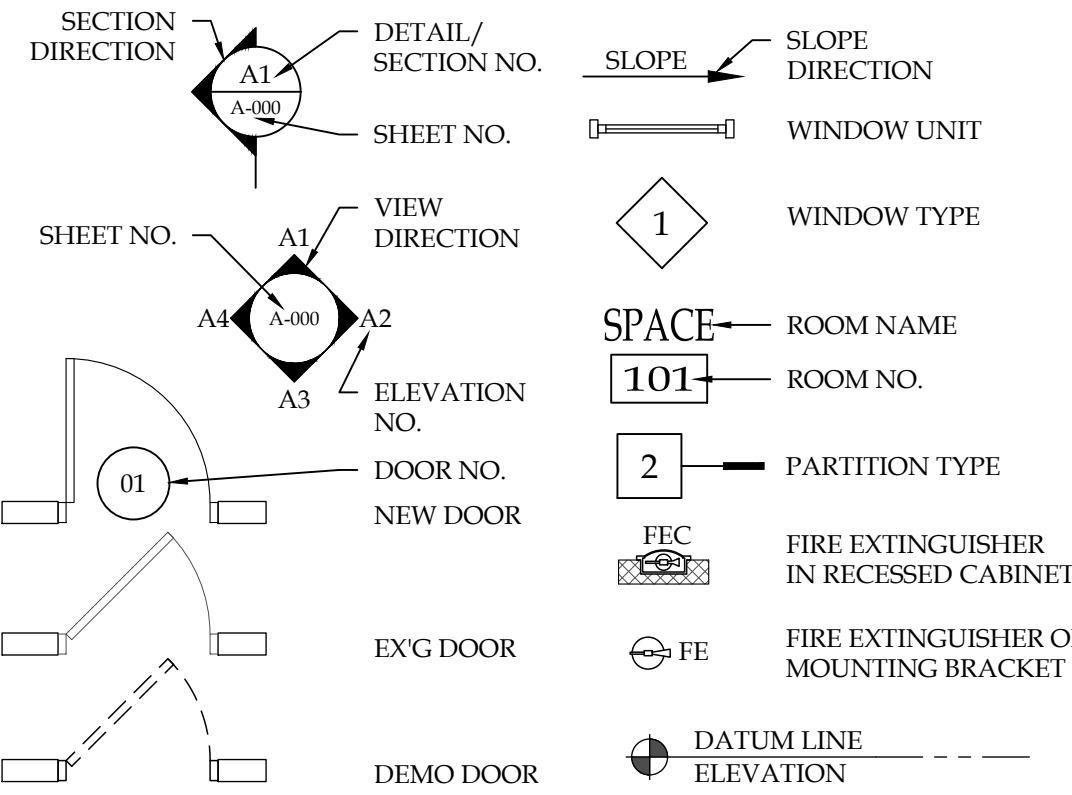
ELECTRICAL:

E-100	ELECTRICAL LEGENDS AND NOTES
E-101	ELECTRICAL FLOOR PLANS - LIGHTING
E-102	ELECTRICAL FLOOR PLANS - LIGHTING
E-103	ELECTRICAL FLOOR PLANS - POWER
E-104	ELECTRICAL FLOOR PLANS - POWER
E-105	ELECTRICAL FLOOR PLANS - SPECIFICATIONS

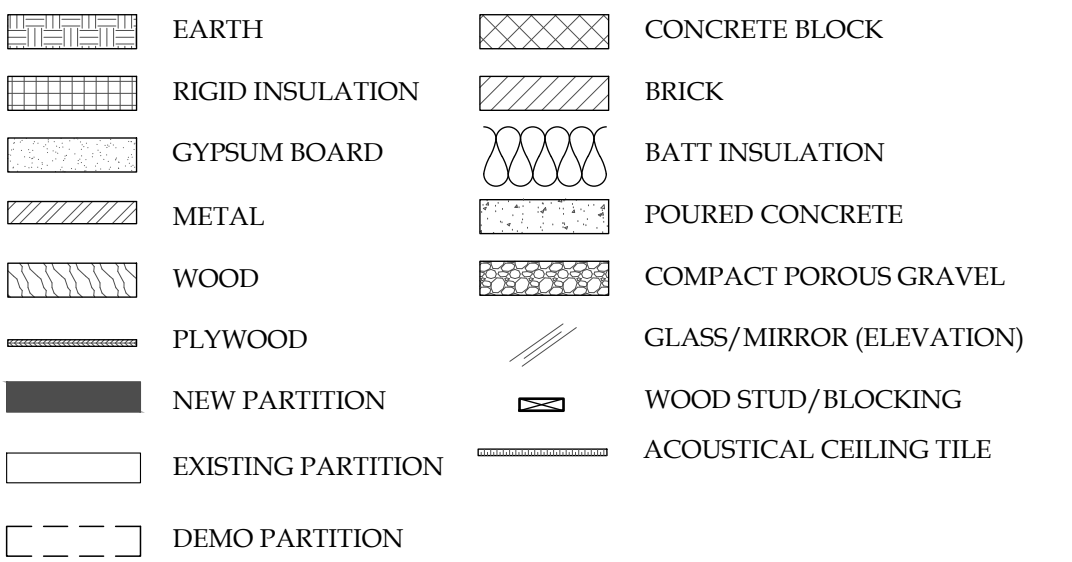
ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
AC	AIR CONDITION (ING)	MO	MASONRY OPENING
ALT	ALTERNATE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AUTO	AUTOMATIC	MET	METAL
BM	BEAM	MTP	METAL TOILET PARTITION
BRG	BEARING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	MULL	MULLION
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOMS	NOM	NOMINAL
BRK	BRICK	NO	NUMBER
BEJ	BRICK EXPANSION JOINT	OC	ON CENTER
BC	BRICK COURSE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BUR	BUILT-UP ROOFING	OPPH	OPPOSITE HAND
CTG	CEILING	OH	OVERHEAD
CAB	CABINET	PMBC	PREENGINEERED METAL BUILDING CONTRACTOR
CPT	CARPET	PNT	PAINT (ED)
CW	CASEWORK	PNL	PANEL
CB	CATCH BASIN	PTD	PAPER TOWEL DISPENSER
CEM	CEMENT	PTR	PAPER TOWEL RECEPTACLE
CT	CERAMIC TILE	PVMT	PAVEMENT
CHBD	CHALK BOARD	PGBD	PEG BOARD
CLR	CLEAR	PLAS	PLASTER
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PL	PLATE
CMU	CONCRETE MASONRY UNIT	POL	POLISHED
CONT	CONTINUOUS	PWD	PLYWOOD
CONTR	CONTRACTOR	PT	POINT
CJ	CONTROL JOINT	PSI	POUNDS PER SQ. INCH
CG	CORNER GUARD	PSF	POUNDS PER SQ. FOOT
CRS	COURSE	PREFAB	PREFABRICATED
DET	DETAIL	PREF	PREFINISHED
DIA	DIAMETER	PROJ	PROJECTION
DIM	DIMENSION	PL	PROPERTY LINE
DISP	DISPENSER	QT	QUARRY TILE
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	RWL	RAIN WATER LEADER
DWG	DRAWING	RECPT	RECEPTACLE, ELECTRIC
DF	DRINKING FOUNTAIN	REC	RECESS
DIFF	DIFFUSER	REFR	REFRIGERATOR
EA	EACH	REG	REGISTER
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	REINF	REINFORCE (D) (ING)
ELC	ELECTRICAL	REQ'D	REQUIRED
EL	ELEVATOR	RES	RECESS (ED)
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RET	RETURN
EF	EXHAUST FAN	RA	RETURN AIR
EXIST EXG	EXISTING	RVS	REVERSE
EJ	EXPANSION JOINT	REV	REVISION
FB	FACE BRICK	RH	RIGHT HAND
FIN	FINISH (ED)	ROW	RIGHT OF WAY
FA	FIRE ALARM	R	RISER
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FHC	FIRE HOSE CABINET	RFG	ROOFING
FP	FIRE PROOFING	RM	ROOM
FL	FLOOR	RND	ROUND
FD	FLOOR DRAIN	SDL	SADDLE
FT	FOOT	STG	SEATING
FWC	FACE WALL COVERING	SHTH	SHEATHING
FTG	FOOTING	SHT	SHEET
FDTN	FOUNDATION	SHR	SHOWER
FUR	FURRING	SIM	SIMILAR
GAL	GALLON	SPKR	SPEAKER
GA	GAGE	SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	SQ	SQUARE
GL	GLASS	SST	STAINLESS STEEL
GB	GRAB BAR	SP	STAND PIPE
GWB	GYP SUM WALL BOARD	STD	STANDARD
GYP	GYP SUM	SD	STORM DRAIN
HDW	HARDWARE	SGT	STRUCTURAL GLAZED TILE
WD	HARDWOOD	STRUCT	STRUCTURAL
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SUSP	SUSPENDED
HT	HEIGHT	SW	SWITCH
HC	HOLLOW CORE	SV	SHEET VINYL
HM	HOLLOW METAL	TB	TACKBOARD
HORIZ	HORIZONTAL	TEL	TELEPHONE
HB	HOSE BIB	TEMP	TEMPERATURE
HW	HOT WATER	TEX	TEXTURE
INSUL	INSULATE (D) (ION)	THK	THICK (NESS)
INS GL	INSULATED GLASS	THR	THRESHOLD
INV	INVERT	TP	TOILET PAPER HOLDER
JAN	JANITOR	T/O	TOP OF
IT	JOINT	TB	TOWEL BAR
KIT	KITCHEN	TYP	TYPICAL
KO	KNOCK OUT	UCL	UNDER CABINET LIGHT
LAM	LAMINATED	UC	UNDERCUT
LAV	LAVATORY	UR	URINAL
LH	LEFT HAND	VTR	VENT THRU ROOF
LGT	LENGTH	VENT	VENTILATOR
LT	LIGHT	VERT	VERTICAL
LF	LINEAR FEET	VEST	VESTIBULE
LTL	LINTEL	VCT	VINYL COMPOSITE TILE
LL	LIVE LOAD	VIF	VERIFY IN FIELD
LLH	LONG LEG HORIZONTAL	VWC	VINYL WALL COVERING
LLV	LONG LEG VERTICAL	WSCT	WAINSCOT
LMF	LIGHT GAUGE METAL	WS	WEATHER STRIP
FRAMING		WT	WEIGHT
LVR	LOUVER	WWE	WELDED WIRE FABRIC
LP	LOW POINT	WCDF	WHEELCHAIR DRINKING FOUNTAIN
LVT	LUXURY VINYL TILE	W/	WITH
MACH	MACHINE	W/O	WITHOUT
MH	MANHOLE	WD	WOOD

DRAFTING SYMBOLS



MATERIAL SYMBOLS



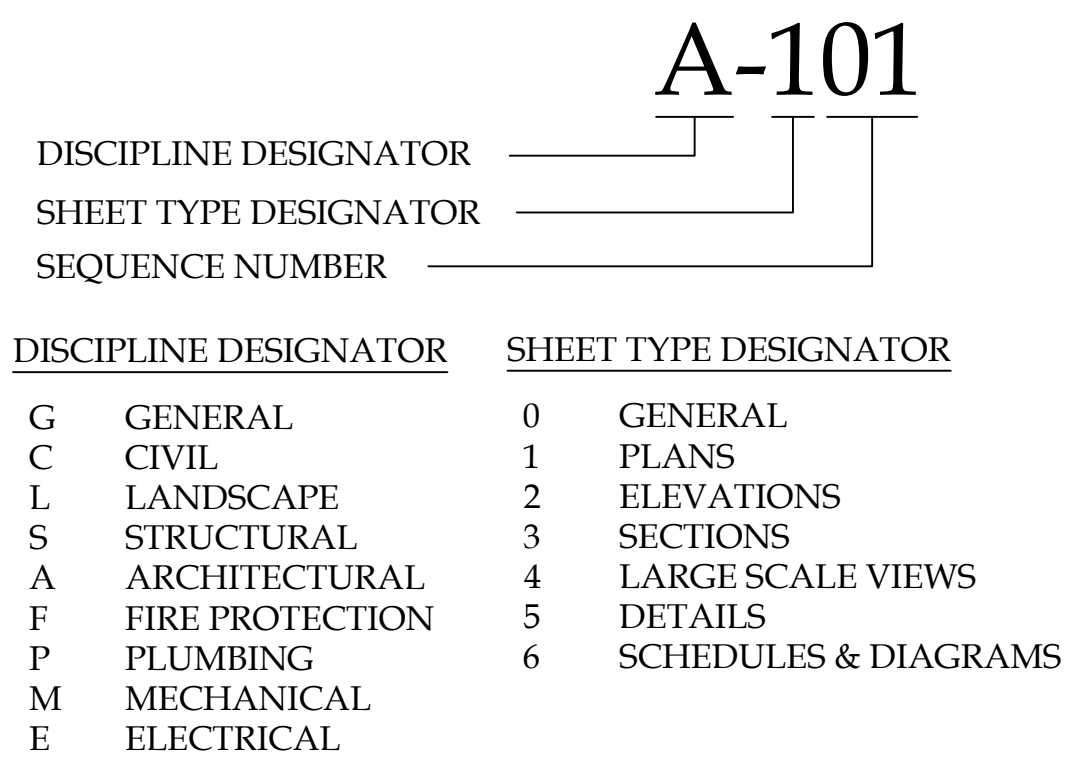
BUILDING DATA:

CONSTRUCTION TYPE: VB
OCCUPANCY: R3
SPRINKLERED: NO
STORIES: 3
GROSS FLOOR AREA: 2,880 SQ. FT.

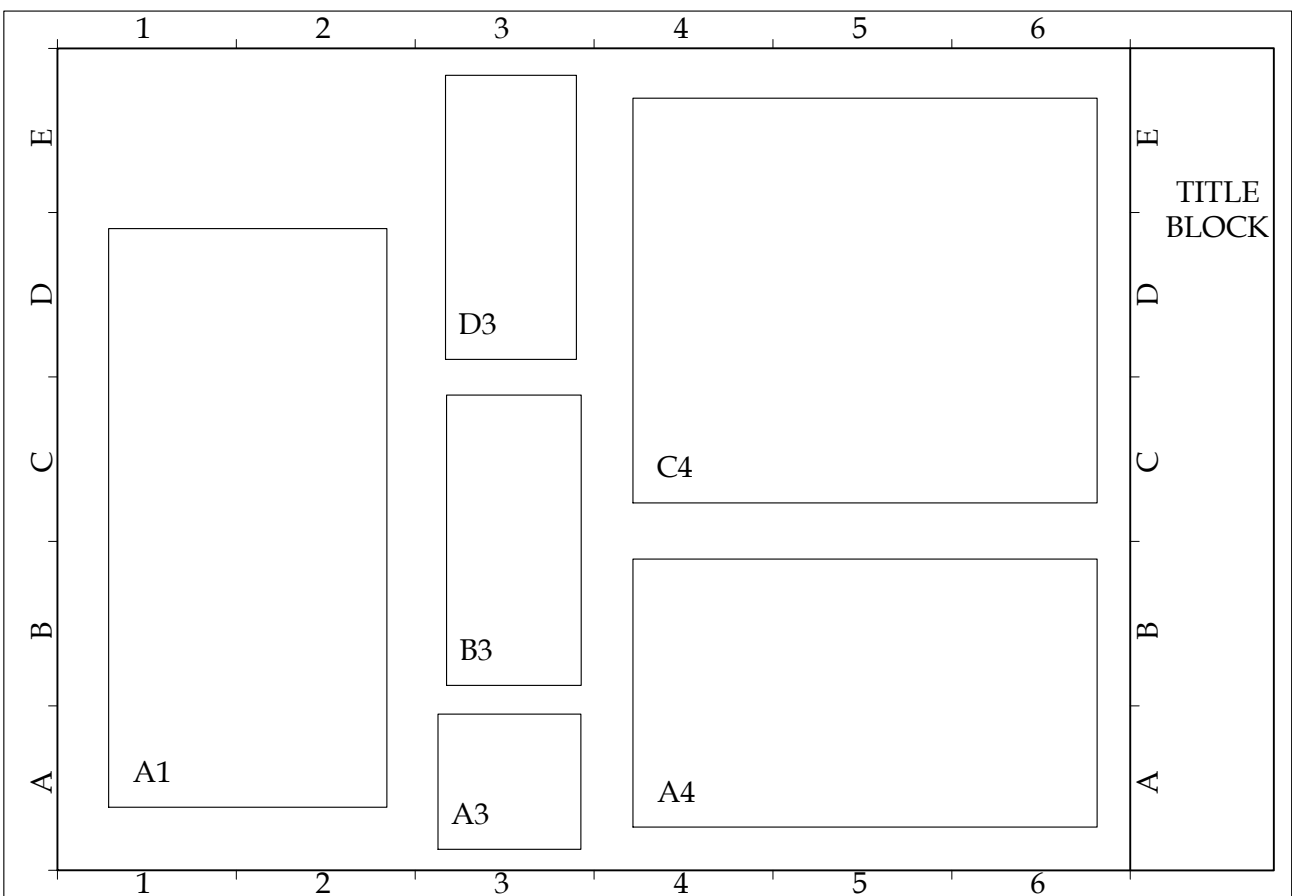
ISSUE

2025-12-11 ISSUED FOR PERMIT

SHEET IDENTIFICATION LOGIC



DRAWING AREA LOGIC



Humboldt Pkwy Apartments

103 Humboldt Parkway

Buffalo, NY 14214



SA PROJECT TEAM: PRINCIPAL: P.Silvestri POB CAPTAIN: D. Garry DRAFTER: B.Pacos INTERIORS: A. Nagle

S.A. PROJECT # 24101.01
DATE: 12-11-2025

	1	2	3	4	5	6
E						
D						
C						
B						
A						
	1	2	3	4	5	6

GENERAL NOTES:

1.

DO NOT SCALE DRAWINGS.
2.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.
3.

CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
4.

THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.
5.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
6.

THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS.
7.

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.
8.

CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS, AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.
9.

ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.
10.

THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.
11.

THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/ OWNER OF THE BUILDING.
12.

ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.
13.

THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.
14.

DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
15.

ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
16.

CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.
17.

THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.
18.

ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.
19.

PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.
20.

ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.
21.

CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.
22.

PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.
23.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.
24.

WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.
25.

ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.
26.

CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJECT MORE THAN 4" BEYOND THE FACE OF THE WALL. RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL.
27.

DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
28.

BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALLIGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.
29.

CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
30.

ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.
31.

DO NOT SCALE DRAWINGS, THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.
32.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.
33.

THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.
34.

DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.
35.

MECHANICAL, ELECTRICAL, AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.
36.

CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.
37.

ALL GYPSUM WALL BOARD TO BE TAPED AND SANDED AT INTERSECTION OF CONSTRUCTION (NO "J" MOLD)
38.

PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.
39.

DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.
40.

CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.
41.

THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.
42.

CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.
43.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.
44.

SAFE WORKING CONDITIONS ARE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND/OR THE OWNER SHALL BE OBSERVED. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE MUST BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
45.

CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS FROM SITE AND LEAVE THE WORK AREA BROOM CLEAN ON A DAILY BASIS AND PROVIDE DUMPSTER SERVICE. PLACE DUMPSTERS AS DIRECTED BY THE "OWNER'S REPRESENTATIVE"
46.

CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.
47.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
48.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS AND APPROVALS NECESSARY FOR THE COMPLETION OF THE PROJECT.
49.

ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
50.

THE CONTRACTOR SHALL COORDINATE ALL FINISHES AND COLOR SELECTIONS WITH THE OWNER.
51.

ALL FASTENERS INTO PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS RECOMMENDED BY MANUFACTURER.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.





**Humboldt Pkwy
Apartments**

**103 Humboldt Parkway
Buffalo, NY 14214**

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

GENERAL NOTES



**SILVESTRI
ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

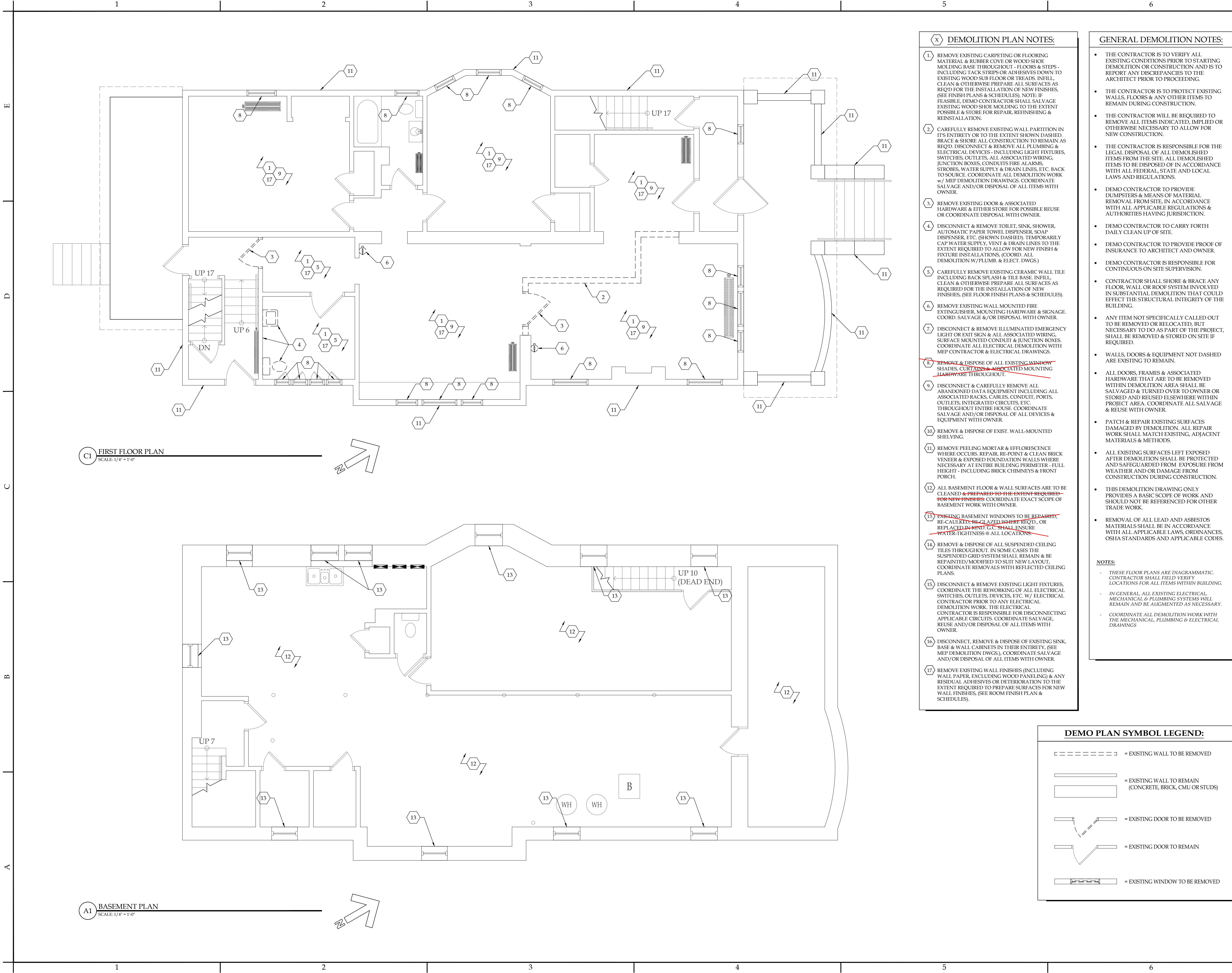
24101.01

DATE:

12-11-25

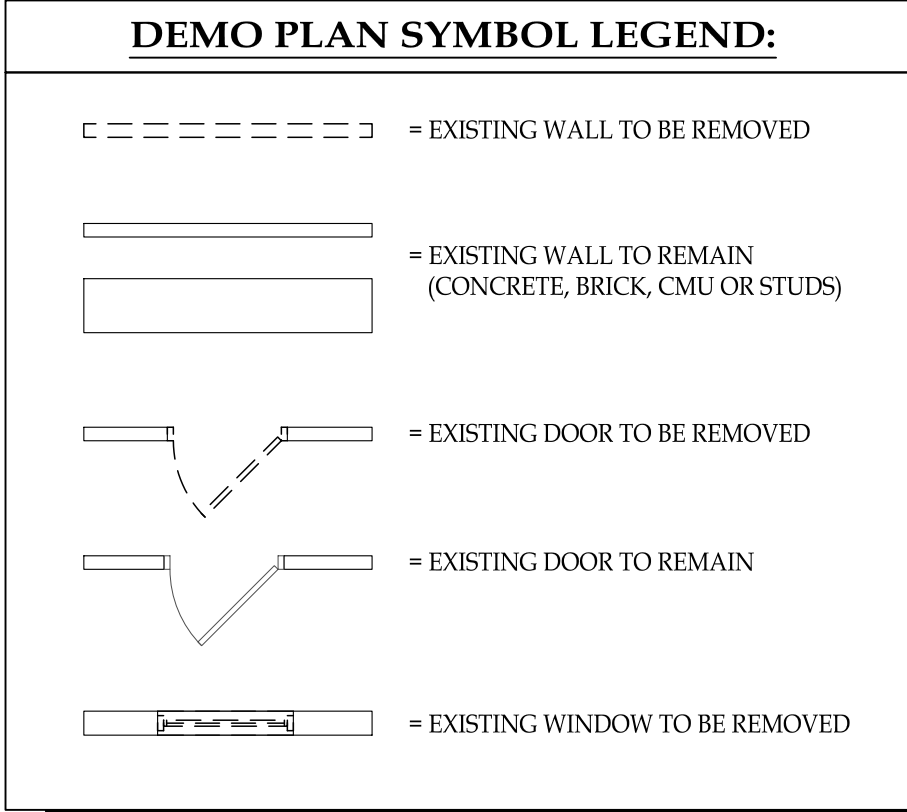
DRAWING #:

A-001



- DEMOLITION PLAN NOTES:**
- REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS - INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
 - CAREFULLY REMOVE EXISTING WALL PARTITION IN IT'S ENTIRETY OR TO THE EXTENT SHOWN DASHED. BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK w/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
 - DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS, (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.)
 - CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES, (SEE FLOOR FINISH PLANS & SCHEDULES).
 - REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE & /OR DISPOSAL WITH OWNER.
 - DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
 - ~~REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.~~
 - DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
 - REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
 - REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
 - ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & ~~PREPARED FOR THE EXTENT REQUIRED FOR NEW FINISHES.~~ COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
 - ~~EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.~~
 - REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
 - DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY, (SEE MEP DEMOLITION DWGS), COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES).

- GENERAL DEMOLITION NOTES:**
- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
 - THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
 - THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
 - DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
 - DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
 - DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
 - DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
 - CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
 - ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
 - WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
 - ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
 - PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
 - ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
 - THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
 - REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.
- NOTES:**
- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
 - IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
 - COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

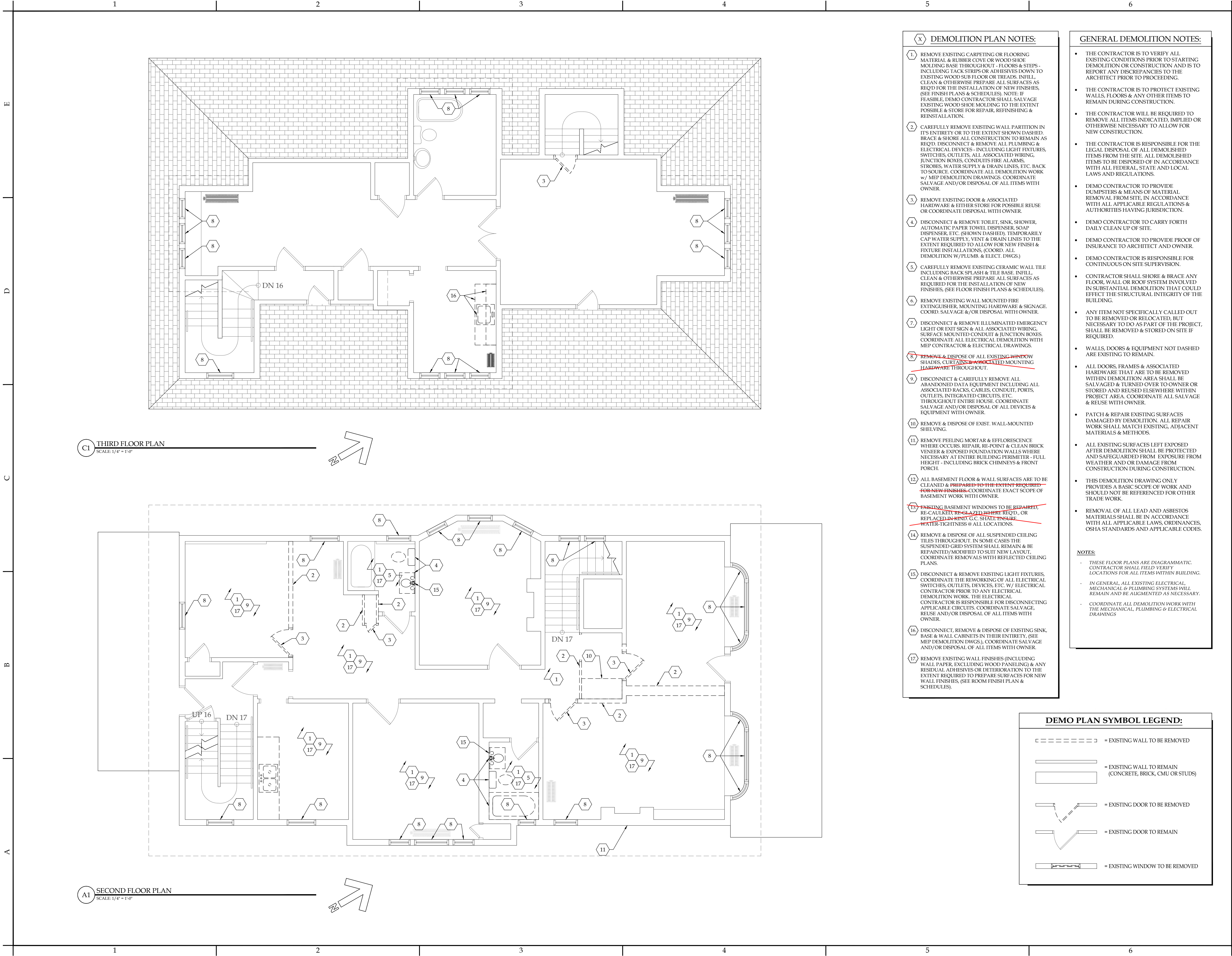
BASEMENT & FIRST FLOOR DEMOLITION PLANS



SA JOB #:
24101.01

DATE:
12-11-25

DRAWING #:
AD-101



C1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

A1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- DEMOLITION PLAN NOTES:**
- REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS - INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
 - CAREFULLY REMOVE EXISTING WALL PARTITION IN IT'S ENTIRETY OR TO THE EXTENT SHOWN DASHED. BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK w/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
 - DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS, (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.)
 - CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES, (SEE FLOOR FINISH PLANS & SCHEDULES).
 - REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE & /OR DISPOSAL WITH OWNER.
 - DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
 - ~~REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.~~
 - DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
 - REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
 - REMOVE: PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
 - ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & ~~PREPARED FOR THE EXTENT REQUIRED FOR NEW FINISHES.~~ COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
 - ~~EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.~~
 - REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
 - DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY, (SEE MEP DEMOLITION DWGS), COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
 - REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETEIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES).

- GENERAL DEMOLITION NOTES:**
- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
 - THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
 - THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
 - DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
 - DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
 - DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
 - DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
 - CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
 - ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
 - WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
 - ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
 - PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
 - ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND/OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
 - THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
 - REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.
- NOTES:**
- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
 - IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
 - COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

DEMO PLAN SYMBOL LEGEND:	
	= EXISTING WALL TO BE REMOVED
	= EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
	= EXISTING DOOR TO BE REMOVED
	= EXISTING DOOR TO REMAIN
	= EXISTING WINDOW TO BE REMOVED

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES
Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

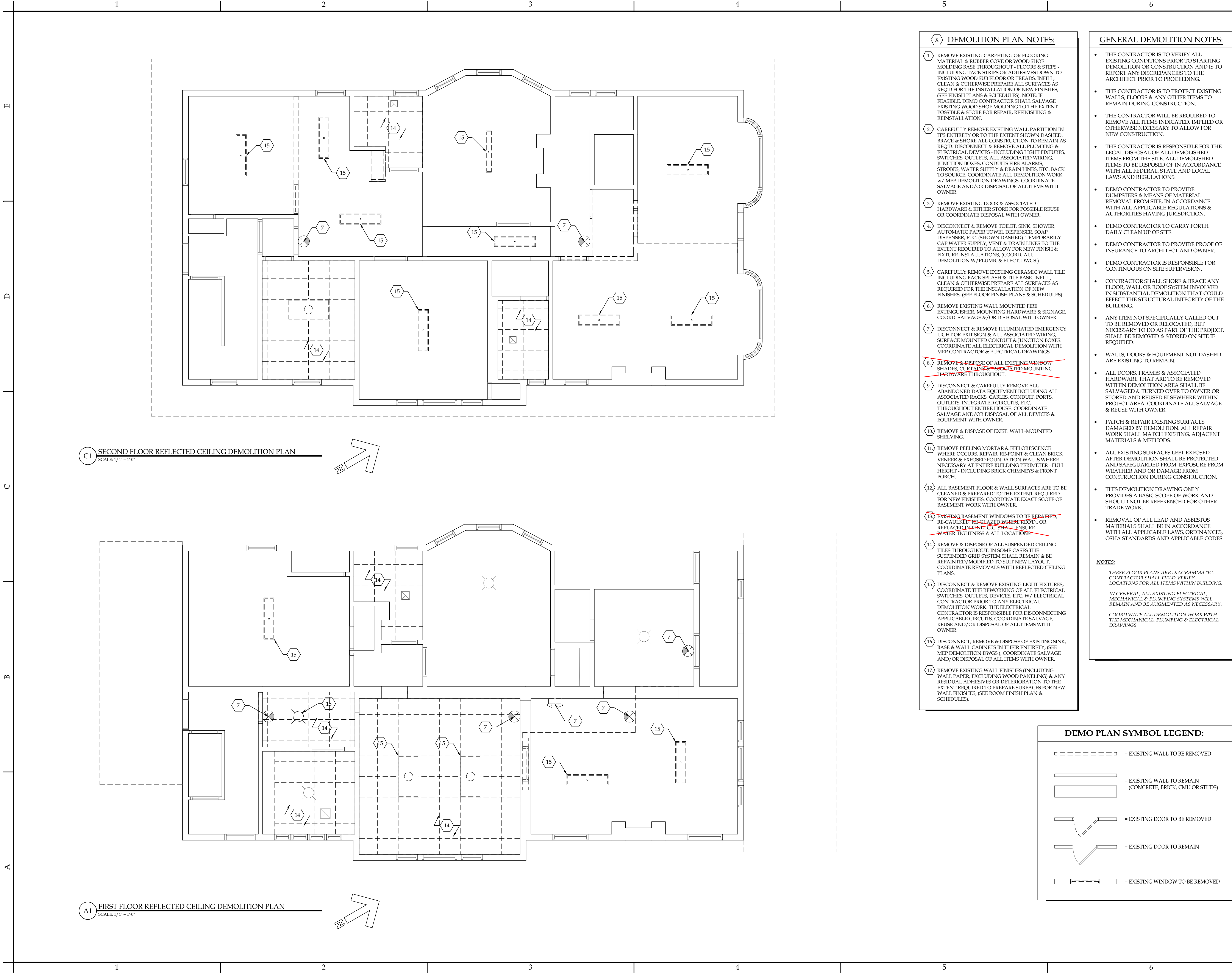
TITLE:
SECOND & THIRD FLOOR DEMOLITION PLANS



SA JOB #:
24101.01

DATE:
12-11-25

DRAWING #:
AD-102



DEMOLITION PLAN NOTES:

- REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS - INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT SHOWN DASHED. BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK w/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS, (COORD. ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.)
- CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING BACK SPLASH & TILE BASE. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES, (SEE FLOOR FINISH PLANS & SCHEDULES).
- REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE & /OR DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
- ~~REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.~~
- DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
- REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
- REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
- ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
- ~~EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.~~
- REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT, COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
- DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY, (SEE MEP DEMOLITION DWGS), COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES).

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND/OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

C1 SECOND FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

A1 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



**Humboldt Pkwy
Apartments**

**103 Humboldt Parkway
Buffalo, NY 14214**

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

**FIRST & SECOND
FLOOR REFLECTED
CEILING
DEMOLITION
PLANS**



**SILVESTRI
ARCHITECTS - PC**

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

DATE:

12-11-25

DRAWING #:

AD-103



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

H HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

**Humboldt Pkwy
Apartments**

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

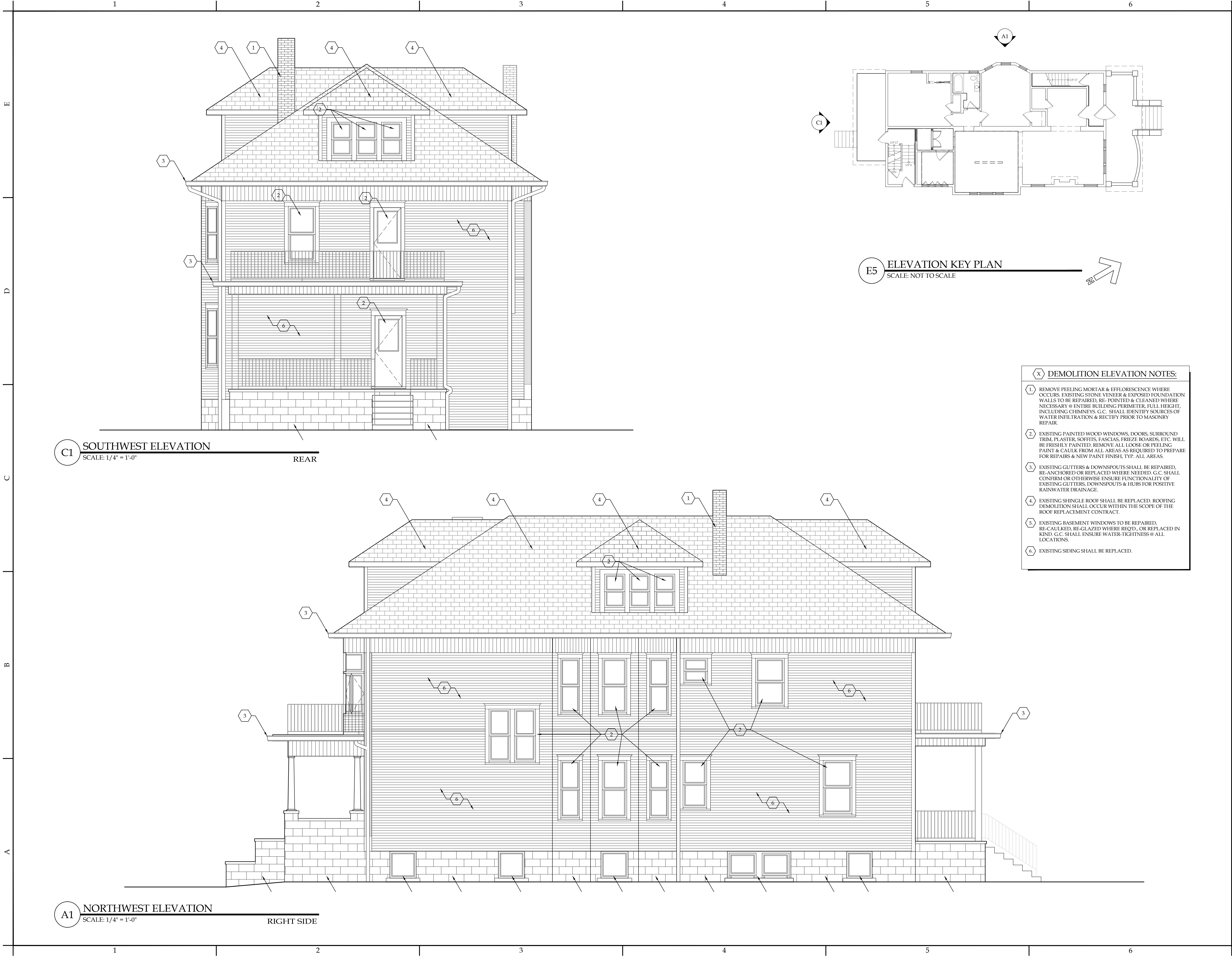
**EXTERIOR
DEMOLITION
ELEVATIONS**

SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **AD-201**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

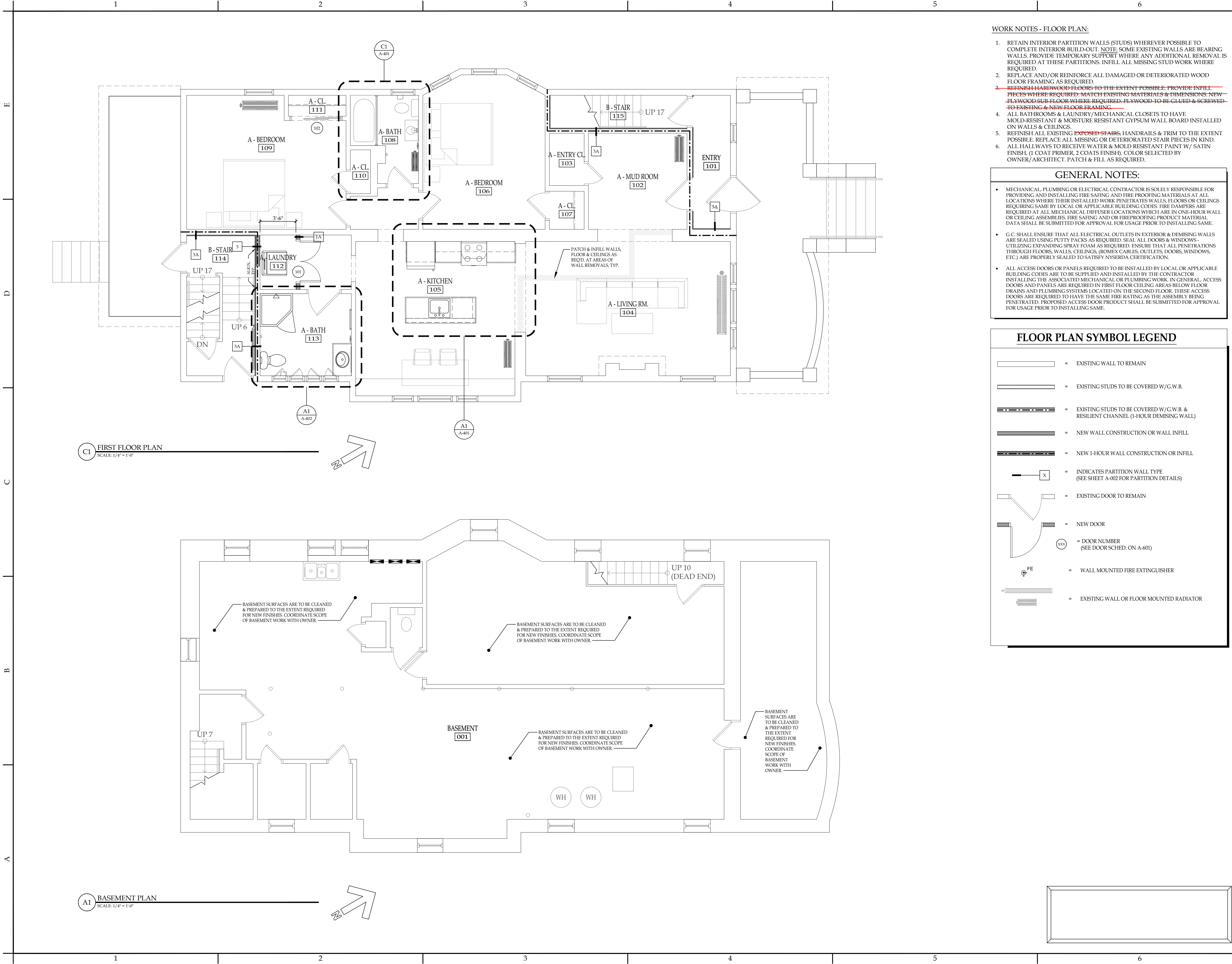
EXTERIOR DEMOLITION ELEVATIONS

SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 **DATE:** 12-11-25

DRAWING #: AD-202



WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB FLOOR WHERE REQUIRED. PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
5. REFINISH ALL EXISTING ~~EXPOSED STAIRS~~, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND.
6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSERDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING STUDS TO BE COVERED W/G.W.B.
- EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
- NEW WALL CONSTRUCTION OR WALL INFILL
- NEW 1-HOUR WALL CONSTRUCTION OR INFILL
- INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DOOR NUMBER (SEE DOOR SCHED. ON A-601)
- WALL MOUNTED FIRE EXTINGUISHER
- EXISTING WALL OR FLOOR MOUNTED RADIATOR

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

BASEMENT &
FIRST FLOOR
PLANS



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

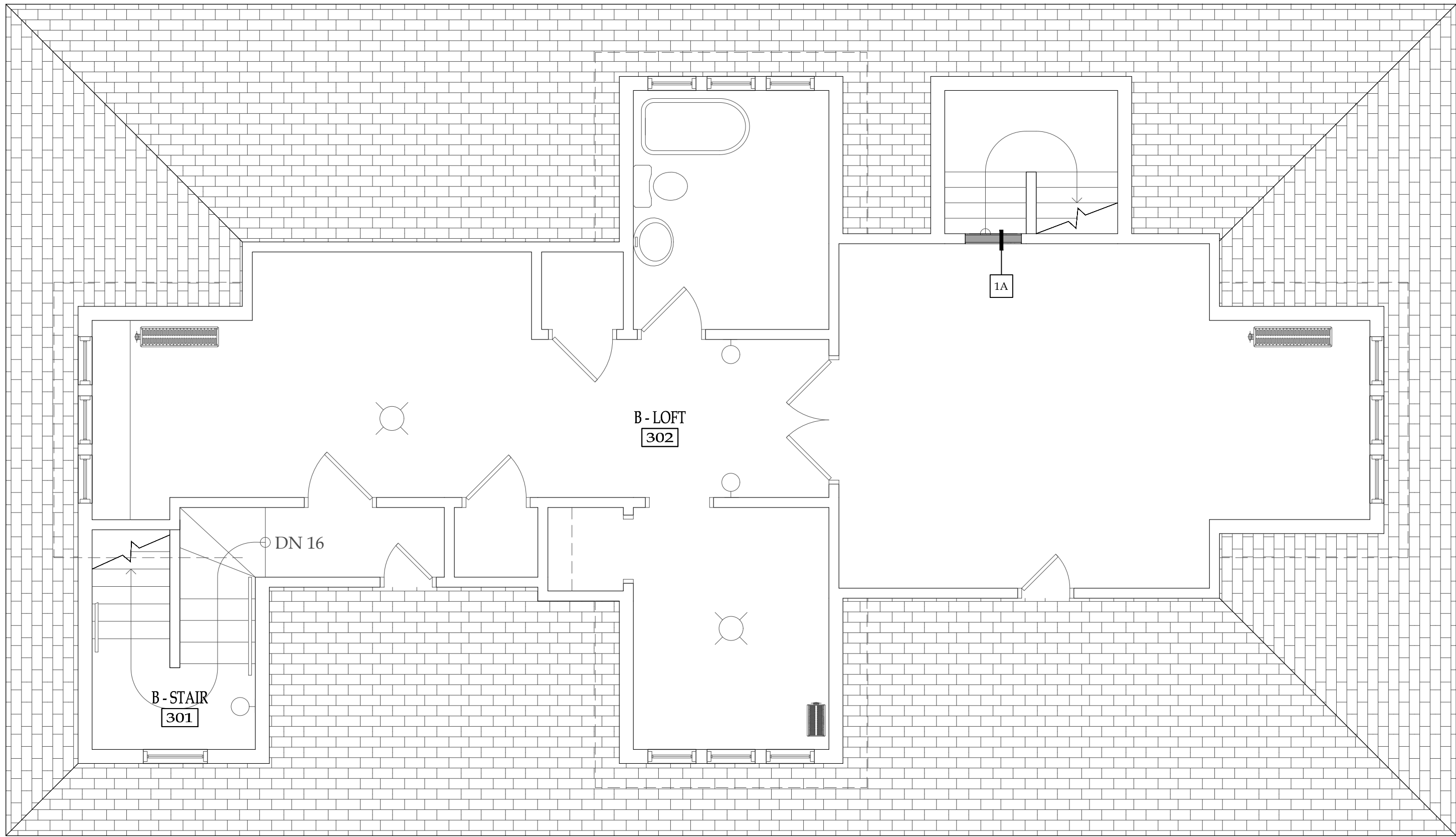
24101.01

DATE:

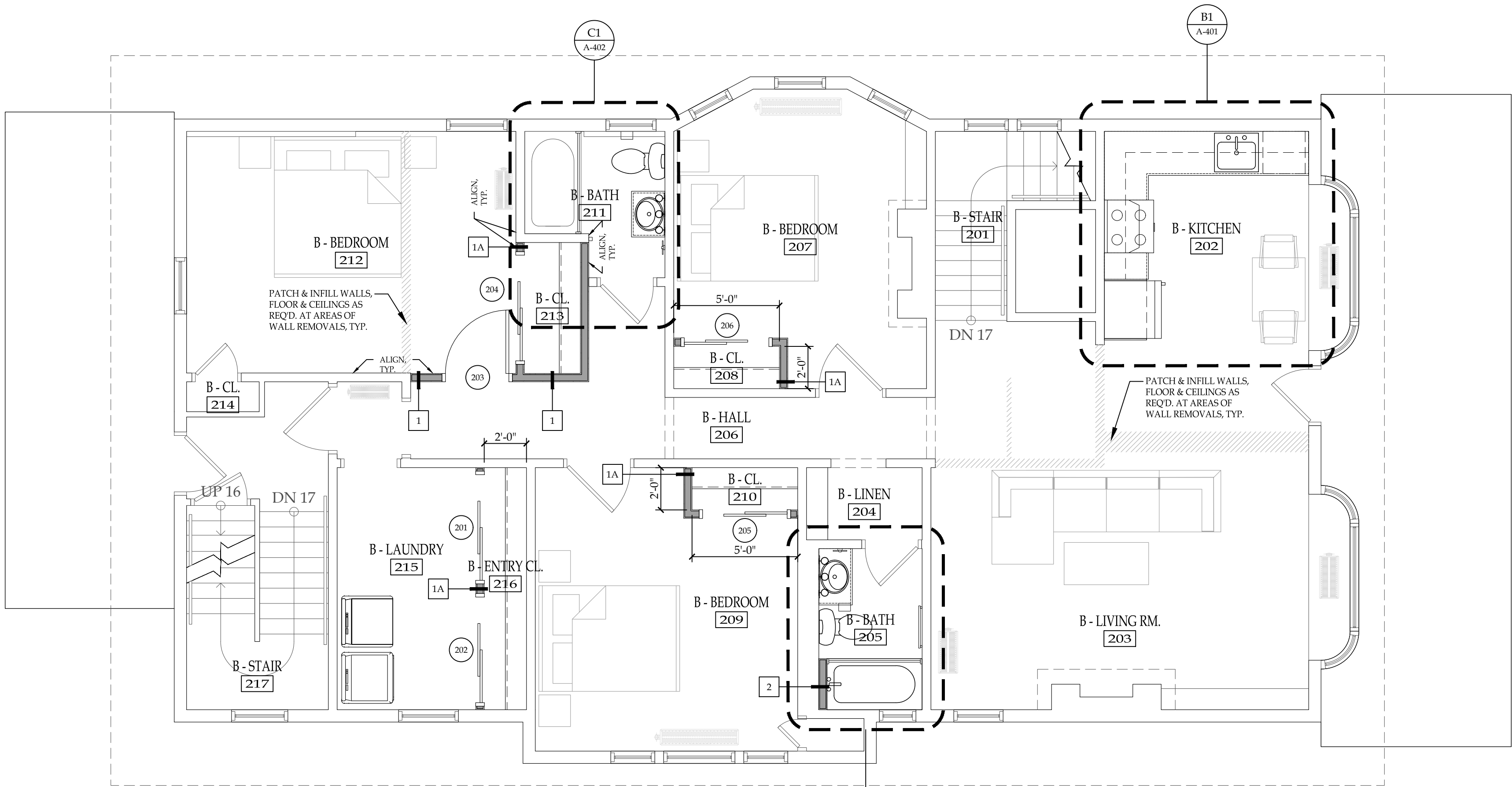
12-11-25

DRAWING #:

A-101



C1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



A1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB FLOOR WHERE REQUIRED. PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
5. REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND.
6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSERDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING STUDS TO BE COVERED W/G.W.B.
- EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
- NEW WALL CONSTRUCTION OR WALL INFILL
- NEW 1-HOUR WALL CONSTRUCTION OR INFILL
- INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DOOR NUMBER (SEE DOOR SCHED. ON A-601)
- WALL MOUNTED FIRE EXTINGUISHER
- EXISTING WALL OR FLOOR MOUNTED RADIATOR

103 HUMBOLDT PARKWAY

UNIT 'A' 2 BED, 2 BATH 1,295 SF
UNIT 'B' 3 BED, 3 BATH, 1 LOFT 2,335 SF

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. _____ DRAFTER B.Pacos

JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

SECOND & THIRD
FLOOR PLANS



SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

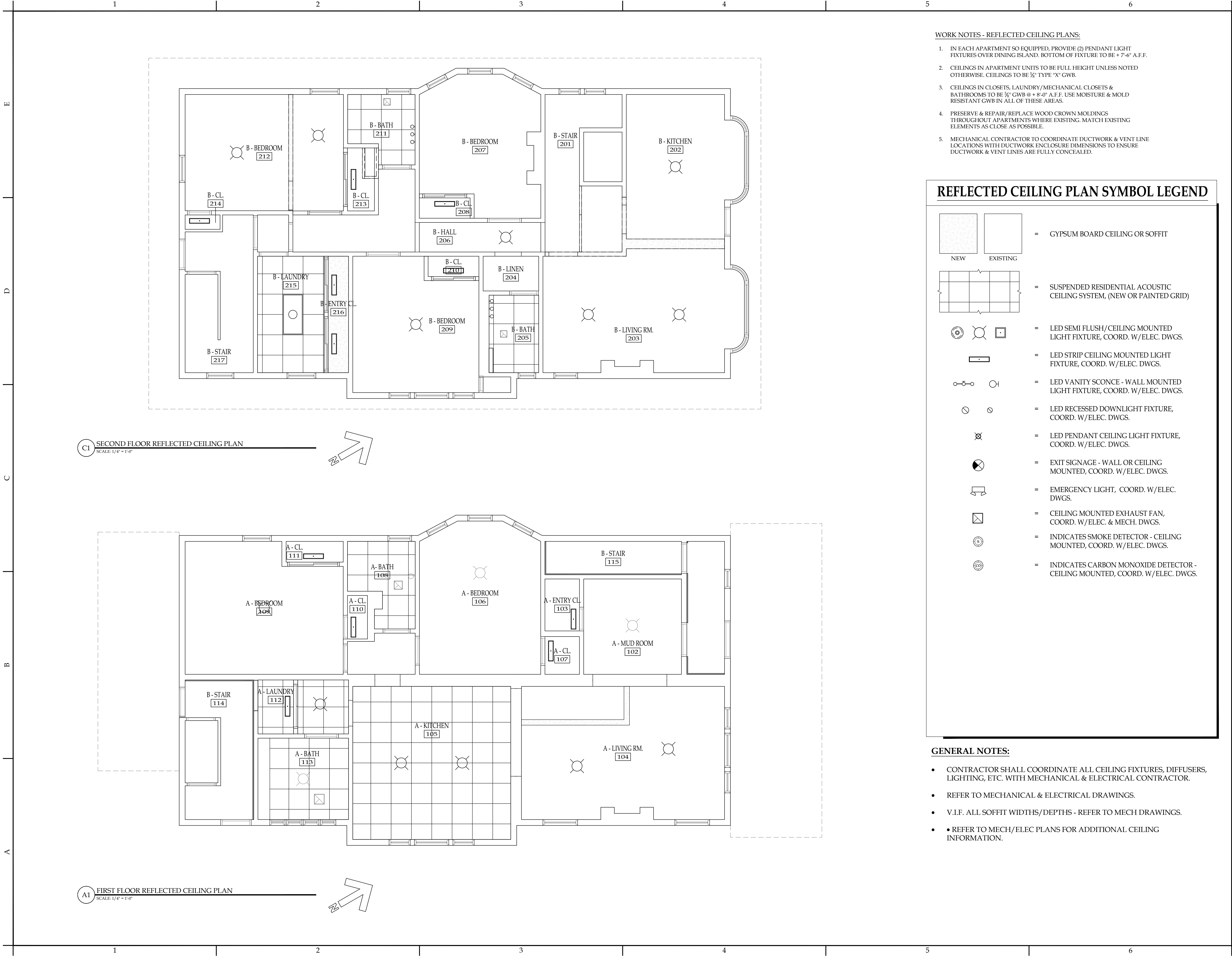
24101.01

DATE:

12-11-25

DRAWING #:

A-102



- WORK NOTES - REFLECTED CEILING PLANS:
1. IN EACH APARTMENT SO EQUIPPED, PROVIDE (2) PENDANT LIGHT FIXTURES OVER DINING ISLAND. BOTTOM OF FIXTURE TO BE + 7'-6" A.F.F.
 2. CEILINGS IN APARTMENT UNITS TO BE FULL HEIGHT UNLESS NOTED OTHERWISE. CEILINGS TO BE 5/8" TYPE "X" GWB.
 3. CEILINGS IN CLOSETS, LAUNDRY/MECHANICAL CLOSETS & BATHROOMS TO BE 5/8" GWB @ + 8'-0" A.F.F. USE MOISTURE & MOLD RESISTANT GWB IN ALL OF THESE AREAS.
 4. PRESERVE & REPAIR/REPLACE WOOD CROWN MOLDINGS THROUGHOUT APARTMENTS WHERE EXISTING. MATCH EXISTING ELEMENTS AS CLOSE AS POSSIBLE.
 5. MECHANICAL CONTRACTOR TO COORDINATE DUCTWORK & VENT LINE LOCATIONS WITH DUCTWORK ENCLOSURE DIMENSIONS TO ENSURE DUCTWORK & VENT LINES ARE FULLY CONCEALED.

REFLECTED CEILING PLAN SYMBOL LEGEND

- | | | |
|--|--|--|
| | | = GYPSUM BOARD CEILING OR SOFFIT |
| | | = SUSPENDED RESIDENTIAL ACOUSTIC CEILING SYSTEM, (NEW OR PAINTED GRID) |
| | | = LED SEMI FLUSH/CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS. |
| | | = LED STRIP CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS. |
| | | = LED VANITY SCONCE - WALL MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS. |
| | | = LED RECESSED DOWNLIGHT FIXTURE, COORD. W/ELEC. DWGS. |
| | | = LED PENDANT CEILING LIGHT FIXTURE, COORD. W/ELEC. DWGS. |
| | | = EXIT SIGNAGE - WALL OR CEILING MOUNTED, COORD. W/ELEC. DWGS. |
| | | = EMERGENCY LIGHT, COORD. W/ELEC. DWGS. |
| | | = CEILING MOUNTED EXHAUST FAN, COORD. W/ELEC. & MECH. DWGS. |
| | | = INDICATES SMOKE DETECTOR - CEILING MOUNTED, COORD. W/ELEC. DWGS. |
| | | = INDICATES CARBON MONOXIDE DETECTOR - CEILING MOUNTED, COORD. W/ELEC. DWGS. |

- GENERAL NOTES:
- CONTRACTOR SHALL COORDINATE ALL CEILING FIXTURES, DIFFUSERS, LIGHTING, ETC. WITH MECHANICAL & ELECTRICAL CONTRACTOR.
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS.
 - V.I.F. ALL SOFFIT WIDTHS/DEPTHS - REFER TO MECH DRAWINGS.
 - •REFER TO MECH/ELEC PLANS FOR ADDITIONAL CEILING INFORMATION.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

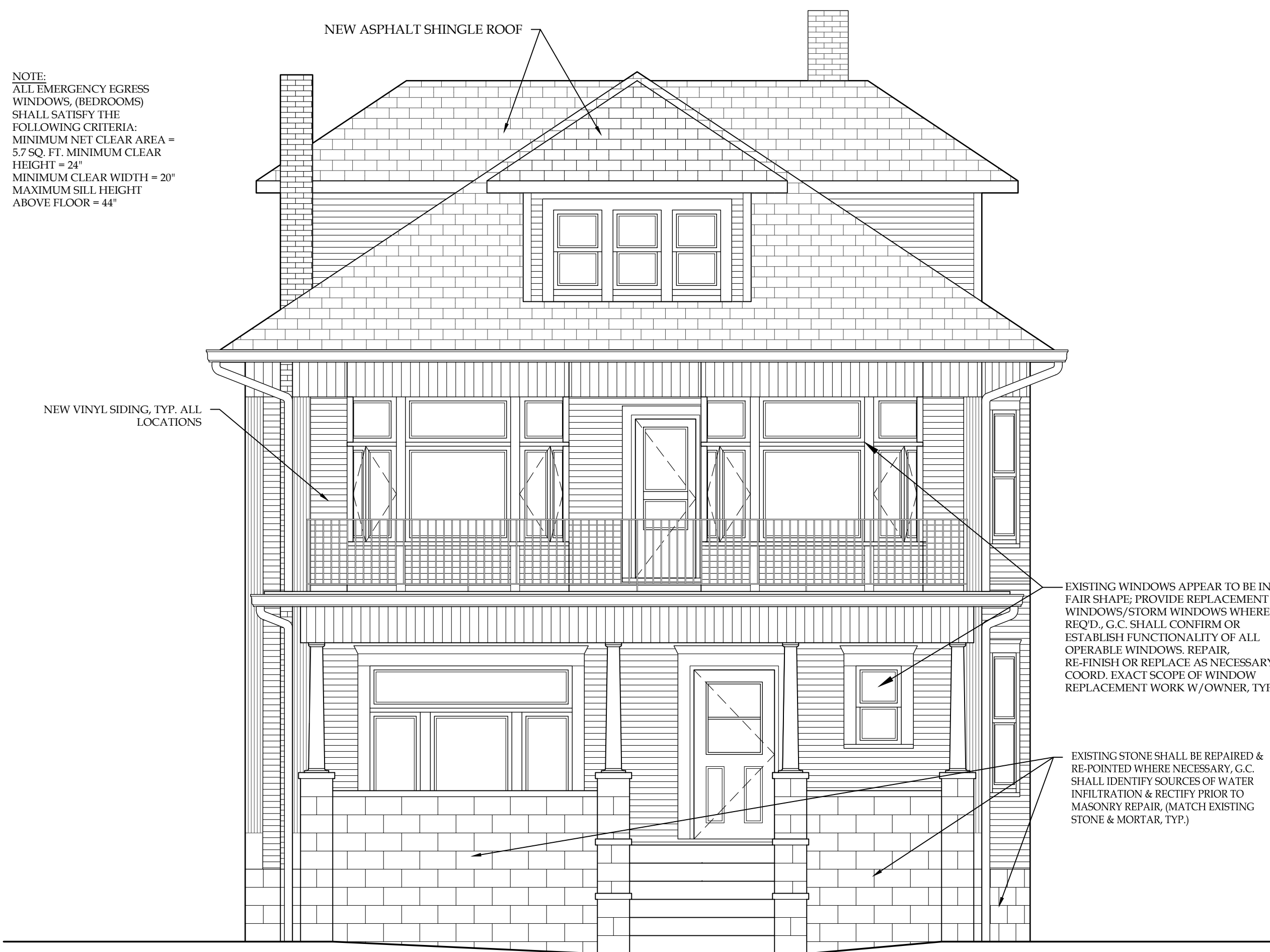
TITLE:

FIRST & SECOND FLOOR REFLECTED CEILING PLANS

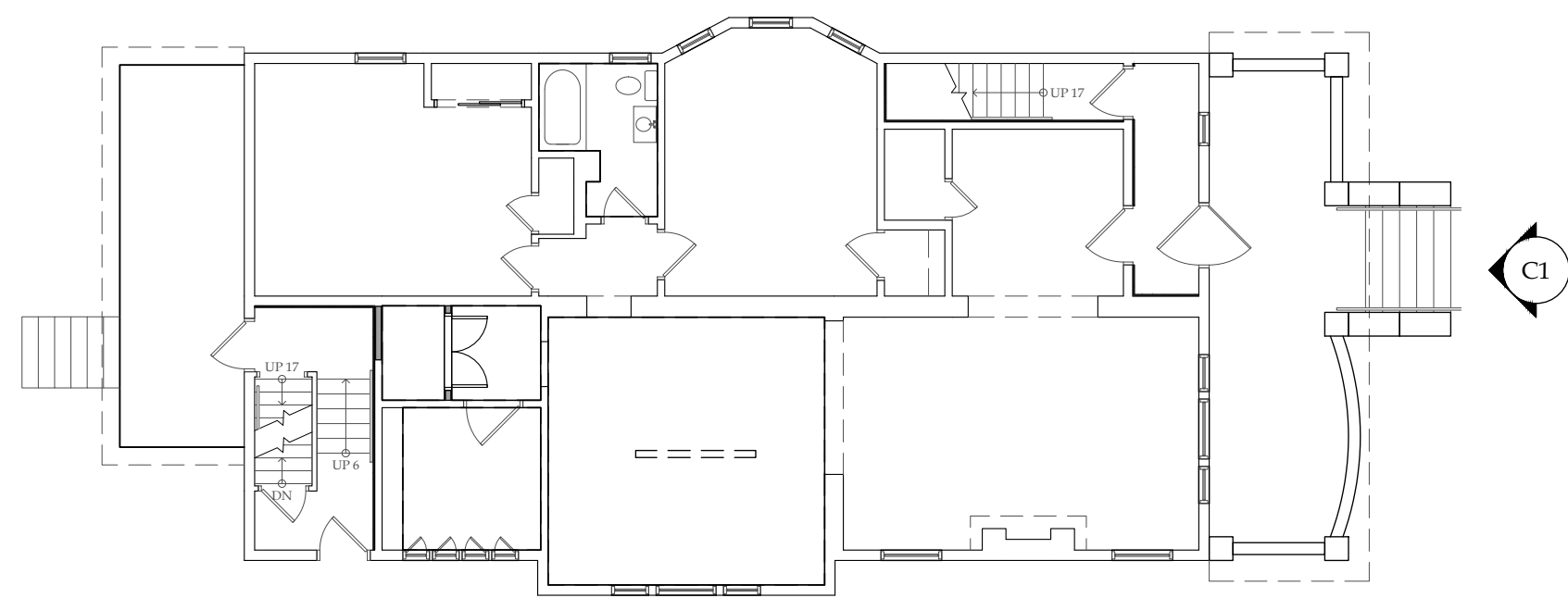


SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **A-103**



C1 **NORTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"
FRONT



E5 **ELEVATION KEY PLAN**
SCALE: NOT TO SCALE



A1 **SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"
LEFT SIDE

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES
Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
EXTERIOR ELEVATIONS



SA JOB #: 24101.01
DATE: 12-11-25

DRAWING #: A-201

NOTE:
ALL EMERGENCY EGRESS
WINDOWS, (BEDROOMS)
SHALL SATISFY THE
FOLLOWING CRITERIA:
MINIMUM NET CLEAR AREA =
57 SQ. FT. MINIMUM CLEAR
HEIGHT = 24"
MINIMUM CLEAR WIDTH = 20"
MAXIMUM SILL HEIGHT
ABOVE FLOOR = 44"

EXISTING WINDOWS APPEAR TO BE IN
FAIR SHAPE. PROVIDE REPLACEMENT
WINDOWS/STORM WINDOWS WHERE
REQ'D. G.C. SHALL CONFIRM OR
ESTABLISH FUNCTIONALITY OF ALL
OPERABLE WINDOWS. REPAIR,
RE-FINISH OR REPLACE AS NECESSARY.
COORD. EXACT SCOPE OF WINDOW
REPLACEMENT WORK W/OWNER, TYP.

NEW VINYL SIDING, TYP. ALL
LOCATIONS

ADD DOWNSPOUT AND CONNECT TO
EXISTING STORM WATER MANAGEMENT
SYSTEM

EXISTING STONE SHALL BE REPAIRED &
RE-POINTED WHERE NECESSARY. G.C.
SHALL IDENTIFY SOURCES OF WATER
INFILTRATION & RECTIFY PRIOR TO
MASONRY REPAIR. (MATCH EXISTING
STONE & MORTAR, TYP.)

C1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0" REAR

NOTE:
ALL EMERGENCY EGRESS WINDOWS, (BEDROOMS)
SHALL SATISFY THE FOLLOWING CRITERIA:
MINIMUM NET CLEAR AREA = 57 SQ. FT. MINIMUM
CLEAR HEIGHT = 24"
MINIMUM CLEAR WIDTH = 20"
MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"

EXISTING WINDOWS APPEAR TO BE IN
FAIR SHAPE. PROVIDE REPLACEMENT
WINDOWS/STORM WINDOWS WHERE
REQ'D. G.C. SHALL CONFIRM OR
ESTABLISH FUNCTIONALITY OF ALL
OPERABLE WINDOWS. REPAIR,
RE-FINISH OR REPLACE AS NECESSARY.
COORD. EXACT SCOPE OF WINDOW
REPLACEMENT WORK W/OWNER, TYP.

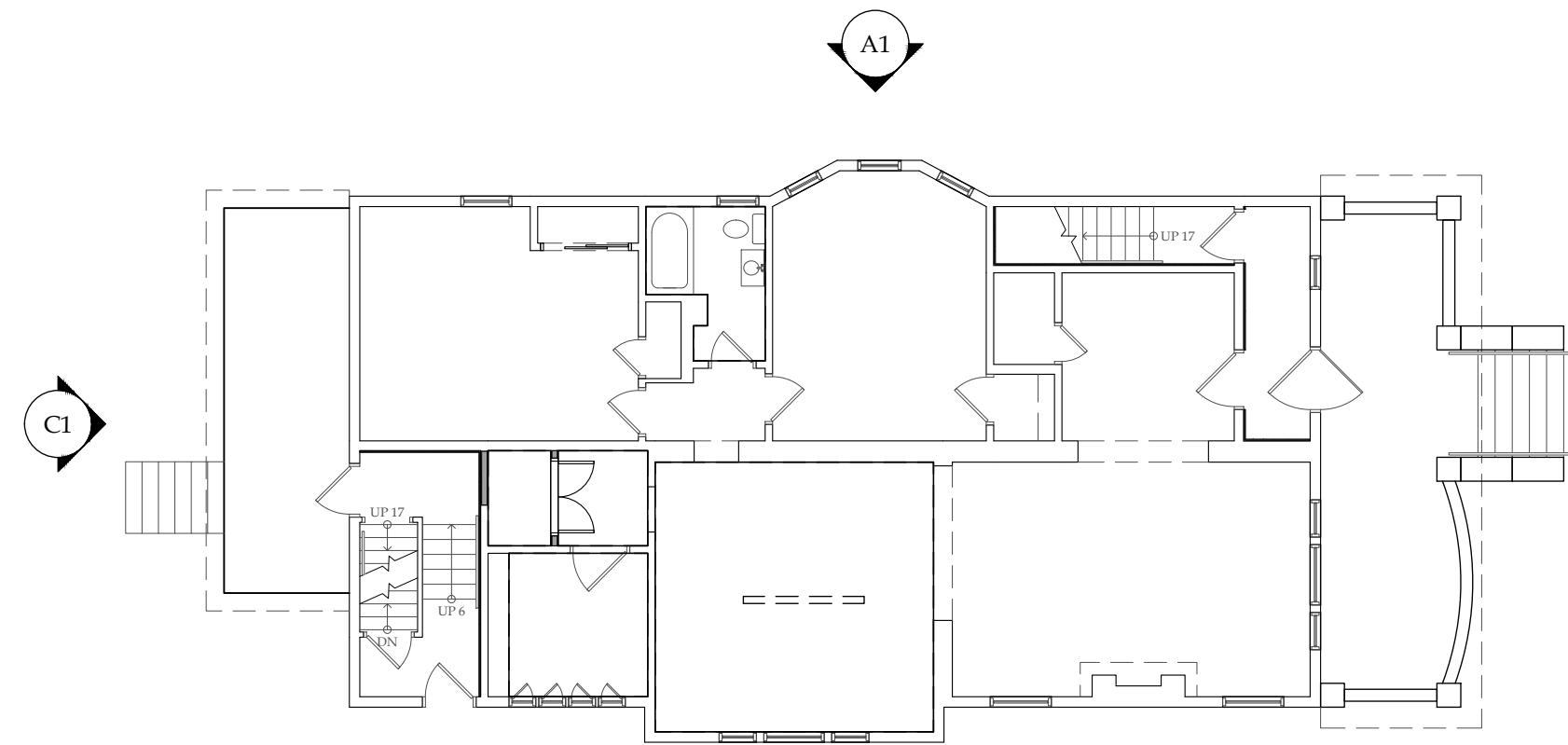
NEW VINYL SIDING, TYP. ALL LOCATIONS

EXISTING STONE SHALL BE REPAIRED & RE-POINTED
WHERE NECESSARY. G.C. SHALL IDENTIFY SOURCES OF
WATER INFILTRATION & RECTIFY PRIOR TO MASONRY
REPAIR. (MATCH EXISTING STONE & MORTAR, TYP.)

EXISTING BASEMENT WINDOWS SHALL
BE REPAIRED AS REQ'D., PAINTED OR
REPLACED IN KIND.

EXISTING BASEMENT WINDOWS SHALL
BE REPAIRED AS REQ'D., PAINTED OR
REPLACED IN KIND.

A1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0" RIGHT SIDE



E5 ELEVATION KEY PLAN
SCALE: NOT TO SCALE

NOTICE
This document, the property of, prepared and issued
by the architect, is submitted for the specific project
namely _____ and the
recipient by accepting this document assumes custody
and agrees that this document will not be copied or
reproduced in part or in whole, and any special
features peculiar to this design shall not be
incorporated in any other project, unless prior
agreement has been obtained in writing. These
documents will be returned immediately upon
completion of the project or upon the request of the
architect.
This document is the exclusive property of the
architect, no rights to ownership are transferable, or
shall be lost by the filing of this document with any
and all public authorities for the purpose of
compliance with Codes and or Ordinances,
i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR ELEVATIONS

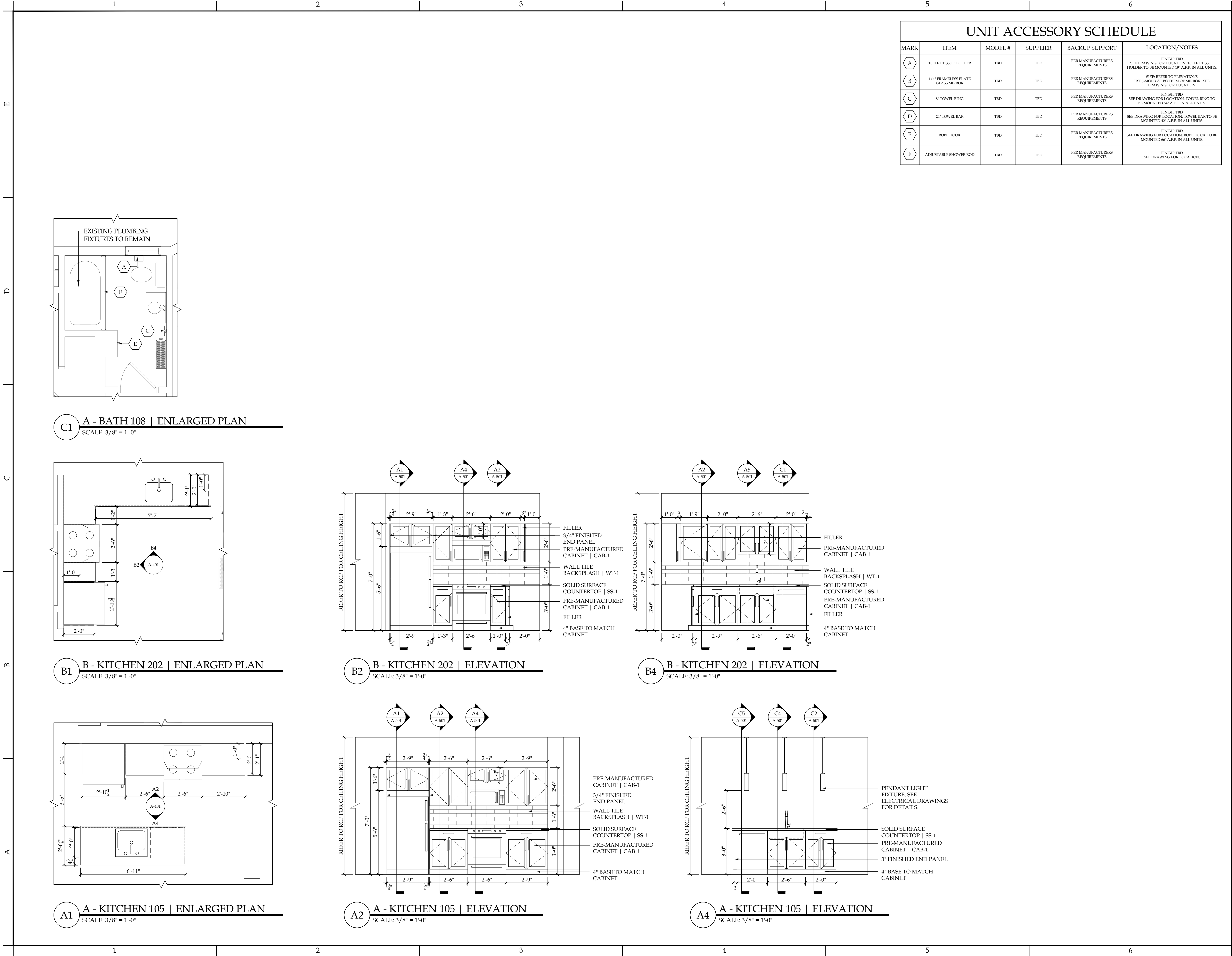


**SILVESTRI
ARCHITECTS - PC**

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-202



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

**Humboldt Pkwy
Apartments**

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

**ENLARGED
PLANS &
ELEVATIONS**

SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **A-401**

UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE J-SHIELD AT BOTTOM OR MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 54" A.F.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F.F. IN ALL UNITS.
F	ADJUSTABLE SHOWER ROD	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION.

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project named _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

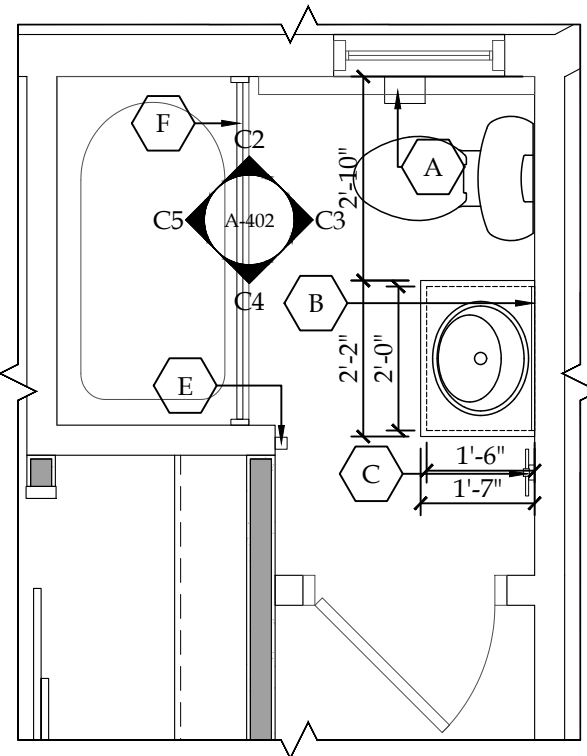
TITLE:

ENLARGED PLANS & ELEVATIONS

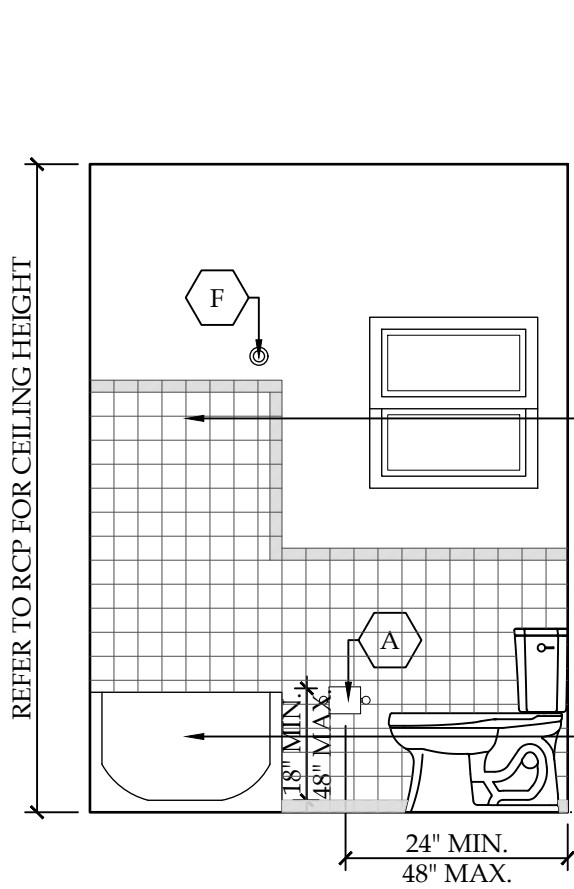
SILVESTRI ARCHITECTS · PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

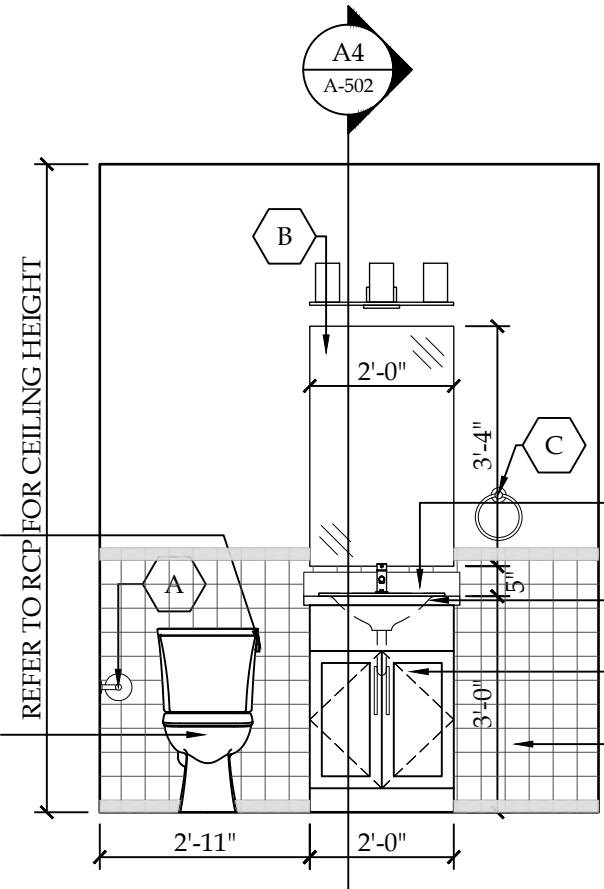
DRAWING #: **A-402**



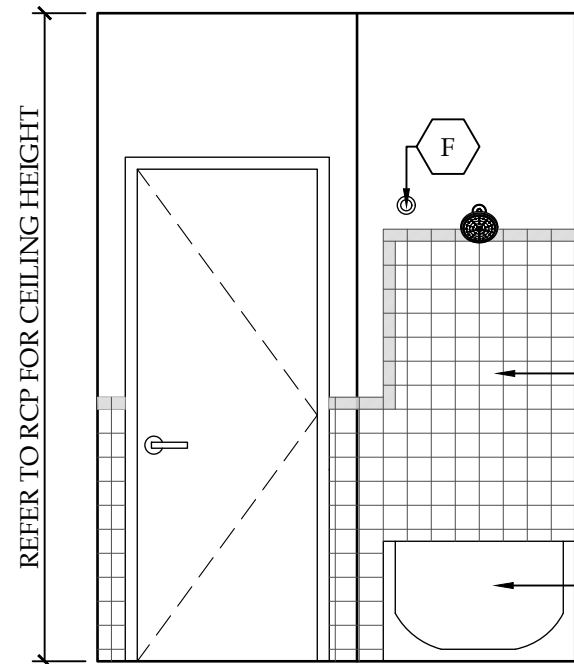
C1 B - BATH 211 | ENLARGED PLAN
SCALE: 3/8" = 1'-0"



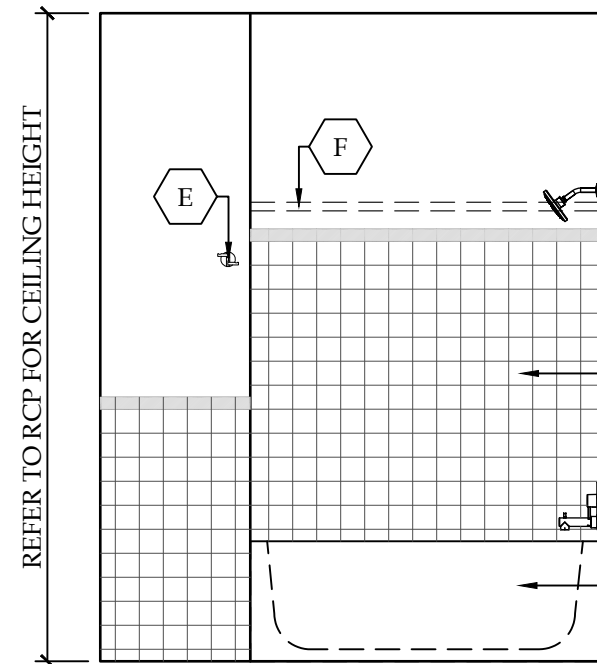
C2 B - BATH 211 | ELEVATION
SCALE: 3/8" = 1'-0"



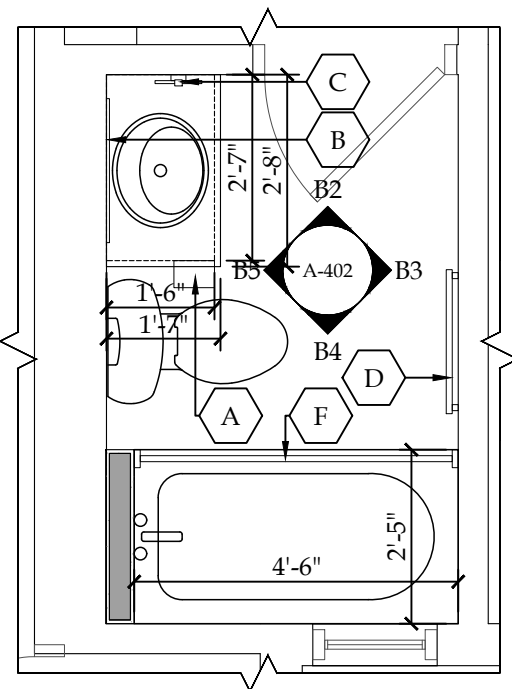
C3 B - BATH 211 | ELEVATION
SCALE: 3/8" = 1'-0"



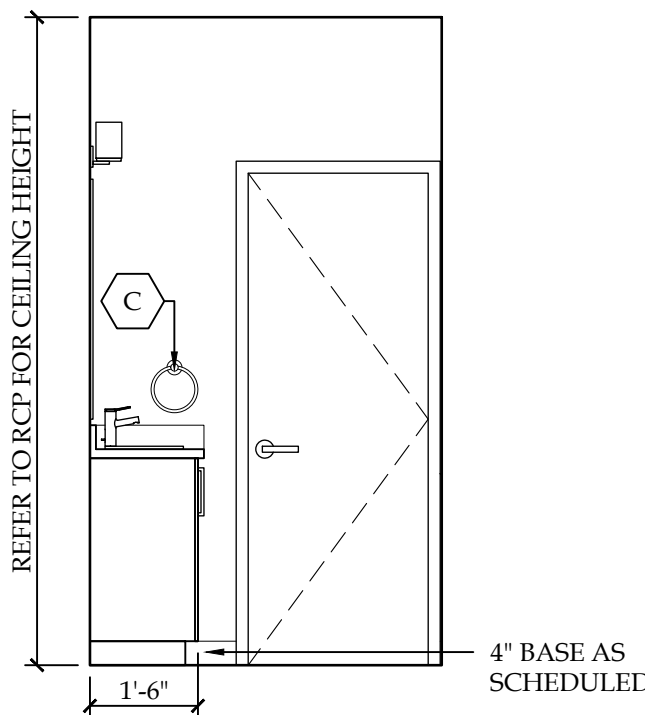
C4 B - BATH 211 | ELEVATION
SCALE: 3/8" = 1'-0"



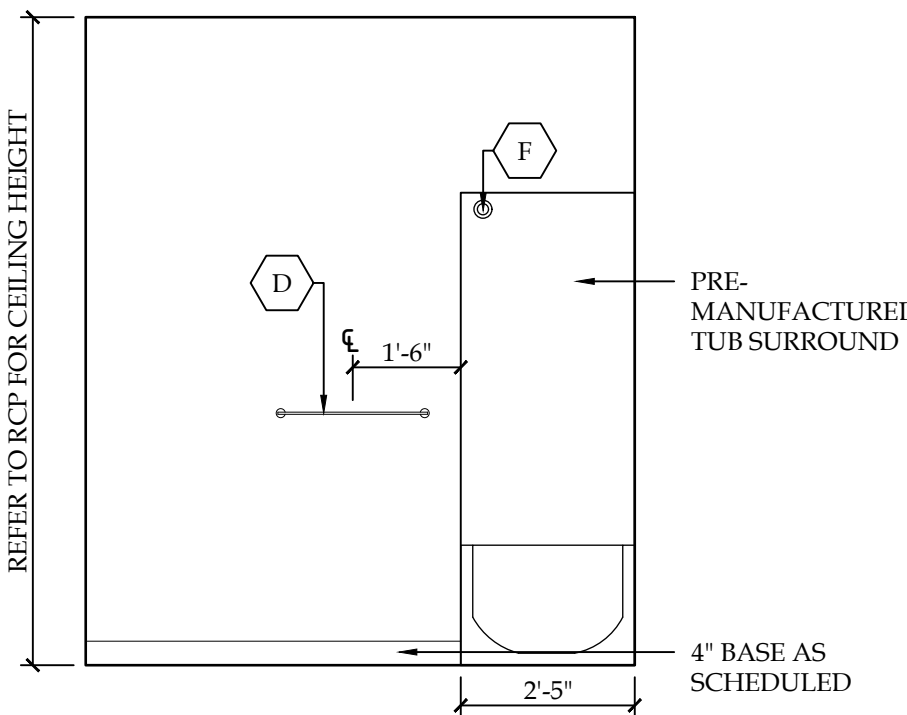
C5 B - BATH 211 | ELEVATION
SCALE: 3/8" = 1'-0"



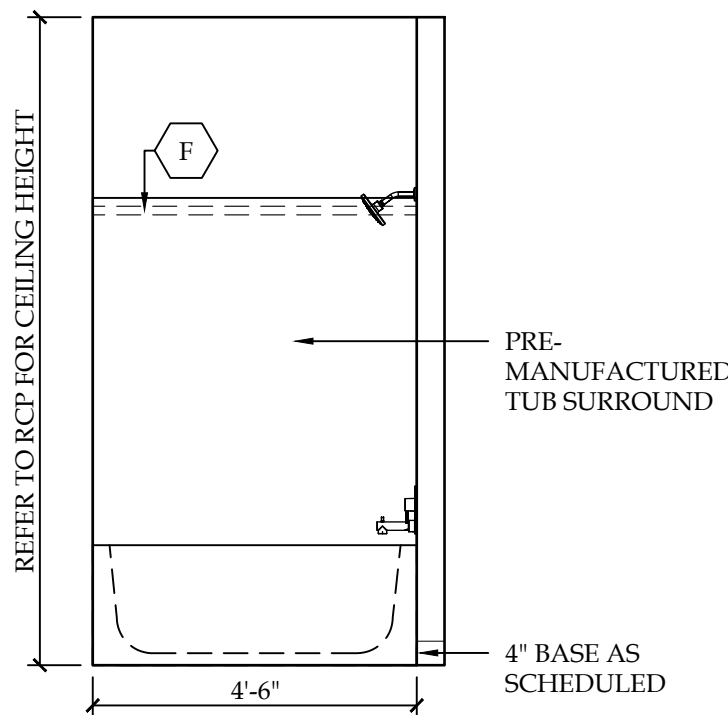
B1 B - BATH 205 | ENLARGED PLAN
SCALE: 3/8" = 1'-0"



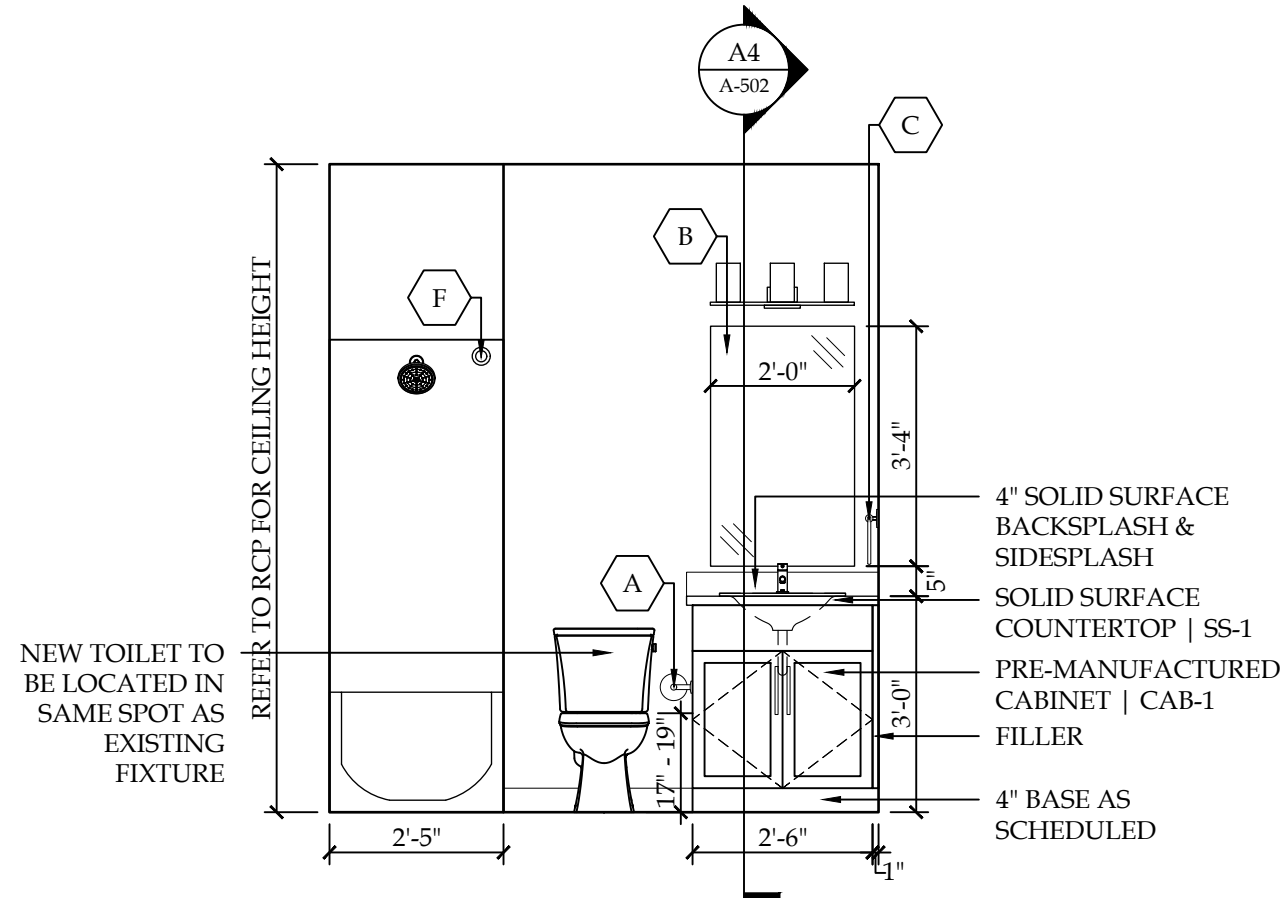
B2 B - BATH 205 | ELEVATION
SCALE: 3/8" = 1'-0"



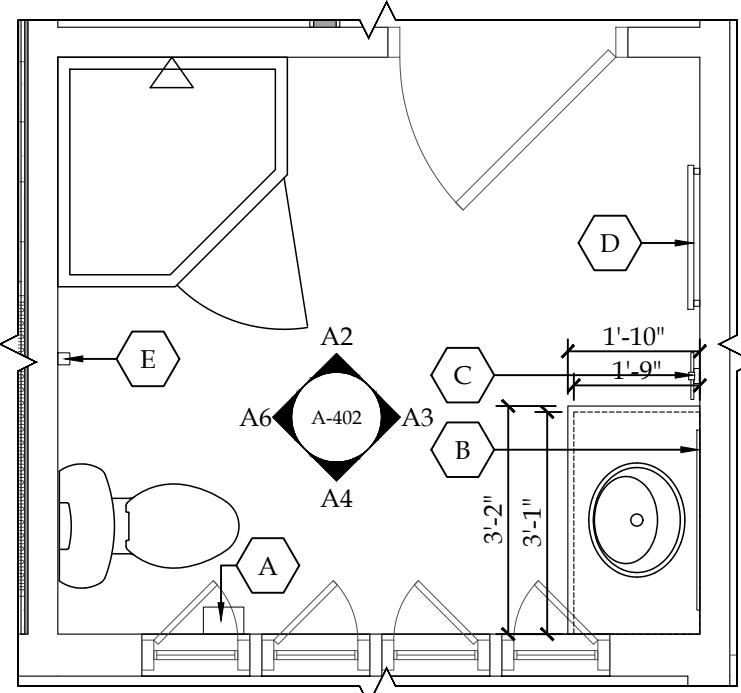
B3 B - BATH 205 | ELEVATION
SCALE: 3/8" = 1'-0"



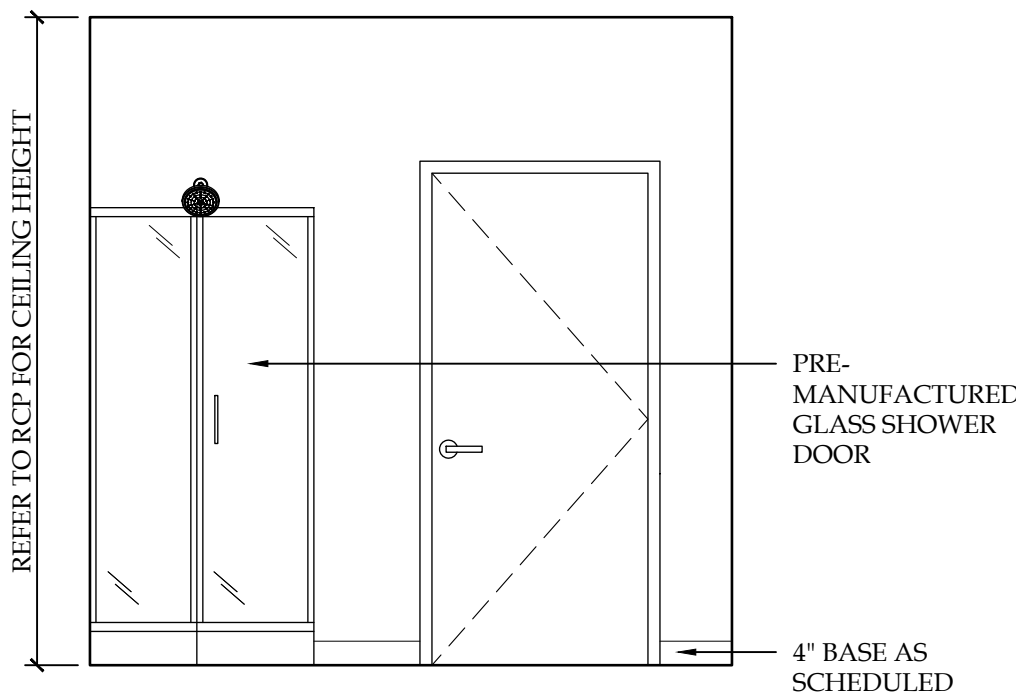
B4 B - BATH 205 | ELEVATION
SCALE: 3/8" = 1'-0"



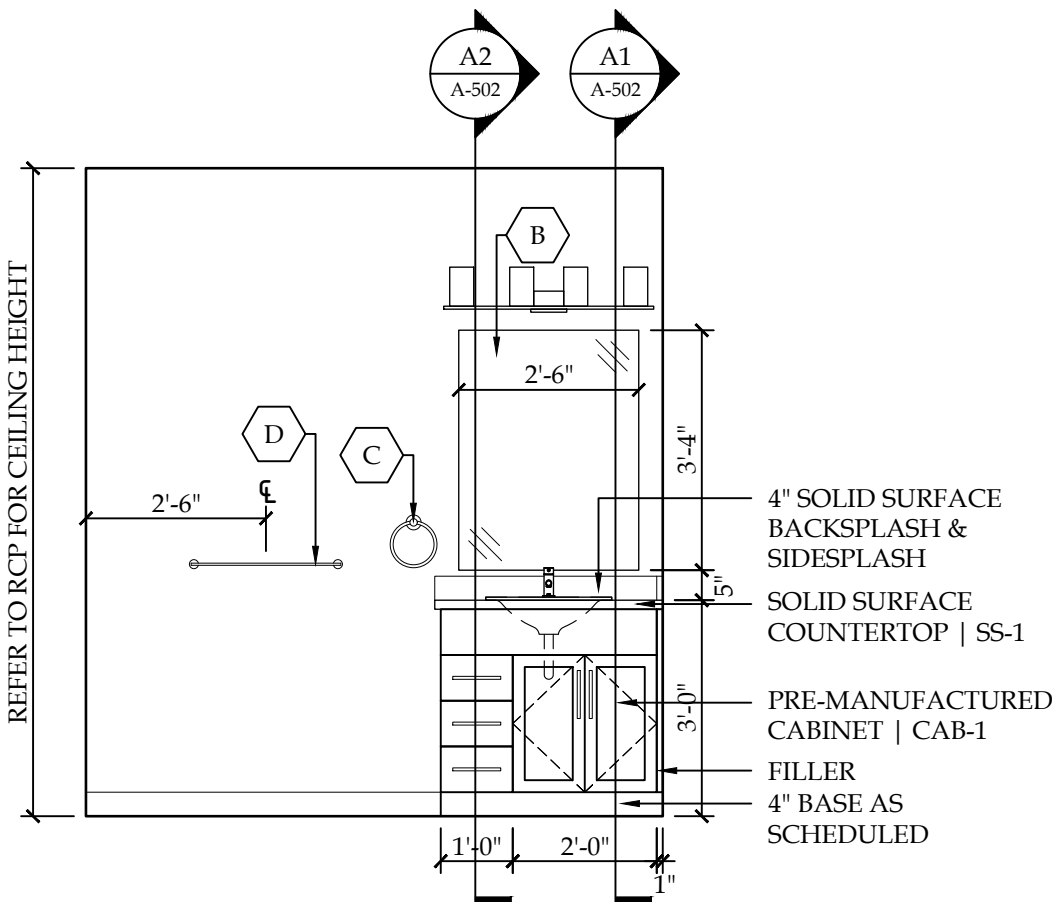
B5 B - BATH 205 | ELEVATION
SCALE: 3/8" = 1'-0"



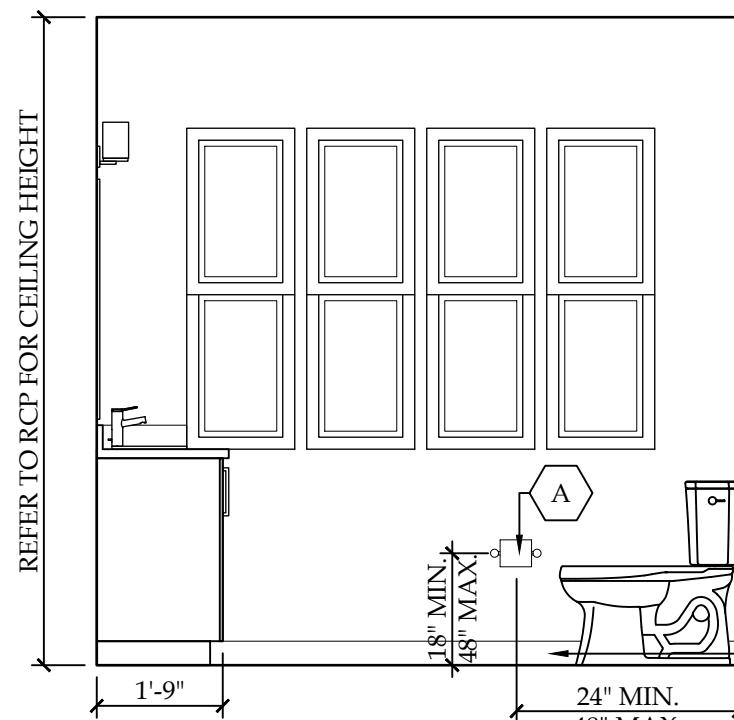
A1 A - BATH 113 | ENLARGED PLAN
SCALE: 3/8" = 1'-0"



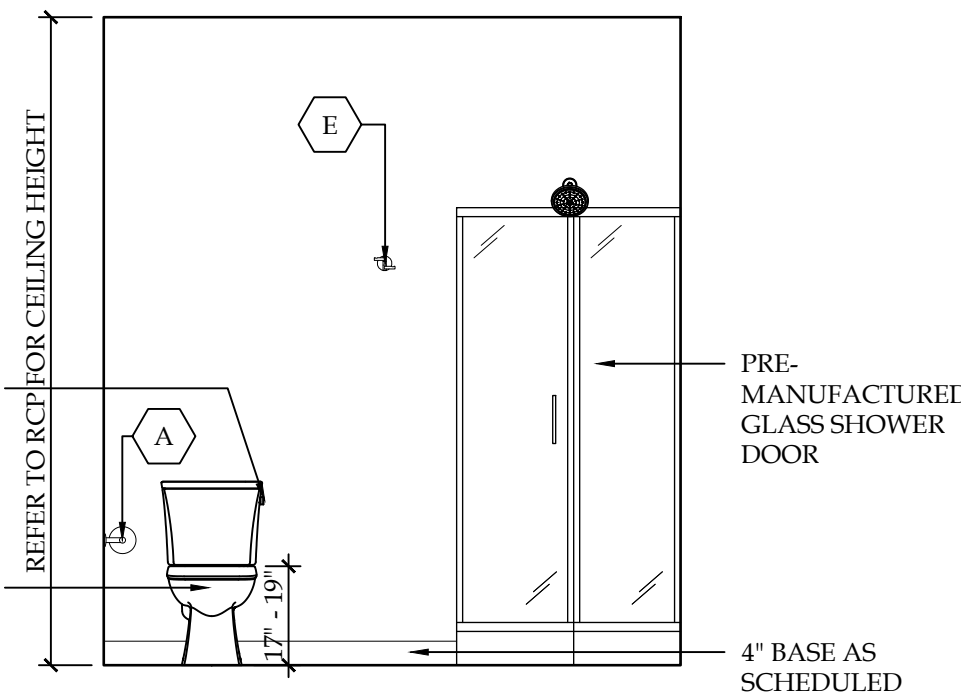
A2 A - BATH 113 | ELEVATION
SCALE: 3/8" = 1'-0"



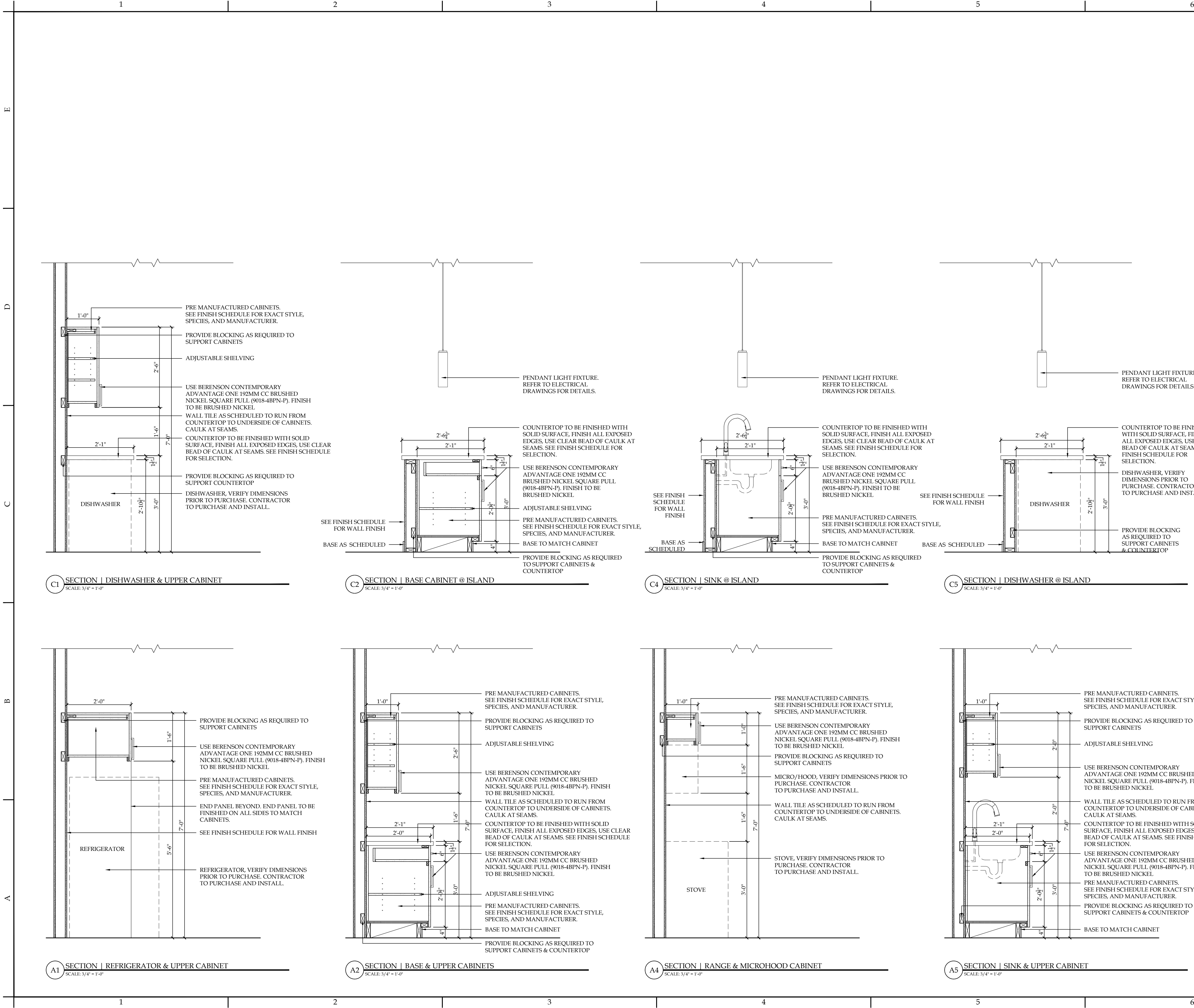
A3 A - BATH 113 | ELEVATION
SCALE: 3/8" = 1'-0"



A4 A - BATH 113 | ELEVATION
SCALE: 3/8" = 1'-0"



A6 A - BATH 113 | ELEVATION
SCALE: 3/8" = 1'-0"



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES
Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

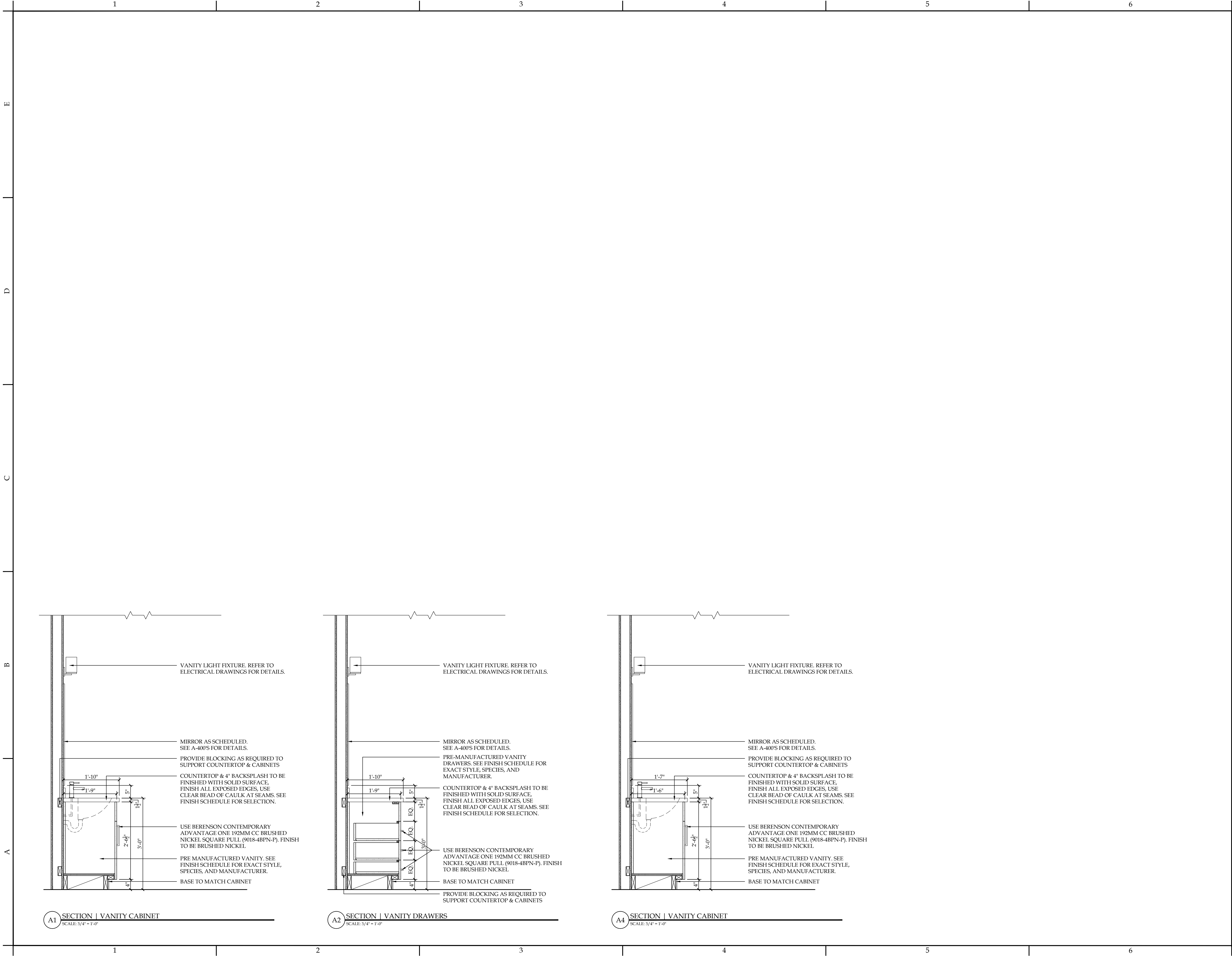
TITLE:

MILLWORK DETAILS



SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **A-501**



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

MILLWORK DETAILS



SA JOB #:
24101.01

DATE:
12-11-25

DRAWING #:
A-502

	1	2	3	4	5	6																																																																																																																																																																																															
E	<table><tr><th colspan="14">DOOR AND FRAME SCHEDULE</th></tr><tr><th rowspan="3">ROOM</th><th rowspan="3">DOOR NUM.</th><th colspan="6">DOOR</th><th colspan="4">FRAME</th><th rowspan="3">FIRE RATING</th><th rowspan="3">HARDWARE SET NO.</th><th rowspan="3">REMARKS</th></tr><tr><th rowspan="2">TYPE</th><th colspan="2">DOOR OPENING SIZE</th><th rowspan="2">THK</th><th rowspan="2">MAT'L</th><th rowspan="2">GLASS</th><th rowspan="2">MAT'L</th><th rowspan="2">TYPE</th><th colspan="2">DETAILS</th></tr><tr><th>WIDTH</th><th>HEIGHT</th><th>HEAD</th><th>JAMB</th></tr><tr><td colspan="14">FIRST FLOOR</td></tr><tr><td>A - LAUNDRY [112]</td><td>101</td><td>1</td><td>(2) 2'-0"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>H1</td><td>J1</td><td>-</td><td>2</td><td></td></tr><tr><td>A - CLOSET [111]</td><td>102</td><td>2</td><td>(2) 2'-4 1/2"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr><tr><td colspan="14">SECOND FLOOR</td></tr><tr><td>B - ENTRY CLOSET [216]</td><td>201</td><td>2</td><td>(2) 2'-6"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr><tr><td>B - ENTRY CLOSET [216]</td><td>202</td><td>2</td><td>(2) 2'-6"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr><tr><td>B - BEDROOM [212]</td><td>203</td><td>1</td><td>3'-0"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>H1</td><td>J1</td><td>-</td><td>1</td><td></td></tr><tr><td>B - CLOSET [213]</td><td>204</td><td>2</td><td>(2) 2'-6"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr><tr><td>B - CLOSET [210]</td><td>205</td><td>2</td><td>(2) 2'-0"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr><tr><td>B - CLOSET [208]</td><td>206</td><td>2</td><td>(2) 2'-0"</td><td>6'-8"</td><td>1 1/2"</td><td>SCWD</td><td>-</td><td>WD</td><td>A</td><td>-</td><td>-</td><td>-</td><td>-</td><td>SLIDING DOORS, HARDWARE BY MANUF.</td></tr></table>						DOOR AND FRAME SCHEDULE														ROOM	DOOR NUM.	DOOR						FRAME				FIRE RATING	HARDWARE SET NO.	REMARKS	TYPE	DOOR OPENING SIZE		THK	MAT'L	GLASS	MAT'L	TYPE	DETAILS		WIDTH	HEIGHT	HEAD	JAMB	FIRST FLOOR														A - LAUNDRY [112]	101	1	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	H1	J1	-	2		A - CLOSET [111]	102	2	(2) 2'-4 1/2"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.	SECOND FLOOR														B - ENTRY CLOSET [216]	201	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.	B - ENTRY CLOSET [216]	202	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.	B - BEDROOM [212]	203	1	3'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	H1	J1	-	1		B - CLOSET [213]	204	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.	B - CLOSET [210]	205	2	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.	B - CLOSET [208]	206	2	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.
DOOR AND FRAME SCHEDULE																																																																																																																																																																																																					
ROOM	DOOR NUM.	DOOR						FRAME				FIRE RATING	HARDWARE SET NO.	REMARKS																																																																																																																																																																																							
		TYPE	DOOR OPENING SIZE		THK	MAT'L	GLASS	MAT'L	TYPE	DETAILS																																																																																																																																																																																											
			WIDTH	HEIGHT						HEAD	JAMB																																																																																																																																																																																										
FIRST FLOOR																																																																																																																																																																																																					
A - LAUNDRY [112]	101	1	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	H1	J1	-	2																																																																																																																																																																																								
A - CLOSET [111]	102	2	(2) 2'-4 1/2"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
SECOND FLOOR																																																																																																																																																																																																					
B - ENTRY CLOSET [216]	201	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
B - ENTRY CLOSET [216]	202	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
B - BEDROOM [212]	203	1	3'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	H1	J1	-	1																																																																																																																																																																																								
B - CLOSET [213]	204	2	(2) 2'-6"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
B - CLOSET [210]	205	2	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
B - CLOSET [208]	206	2	(2) 2'-0"	6'-8"	1 1/2"	SCWD	-	WD	A	-	-	-	-	SLIDING DOORS, HARDWARE BY MANUF.																																																																																																																																																																																							
D	<div>DOOR SCHEDULE NOTES:</div> <div><div>1. GENERAL CONTRACTOR SHALL UTILIZE EXISTING DOORS ON SITE (POTENTIALLY DEMO'D ELSEWHERE) TO THE EXTENT POSSIBLE, IF FEASIBLE.</div><div>2. DIMENSIONS GIVEN ON PLANS AND SCHEDULES ARE NOMINAL. GENERAL CONTRACTOR AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS IN FIELD CONCERNING FRAMES AND ROUGH OPENINGS, PRIOR TO FABRICATION AND CONSTRUCTION.</div><div>3. DO NOT PAINT OVER ANY CODE REQUIRED LABELS SUCH AS UNDERWRITERS LABORATORIES PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES.</div></div>																																																																																																																																																																																																				
C																																																																																																																																																																																																					
B																																																																																																																																																																																																					
A																																																																																																																																																																																																					
	1	2	3	4	5	6																																																																																																																																																																																															

1

3

HINGES

1

1

PRIVACY SET

1

1

DOOR STOP

2

6

HINGES

1

1

PASSAGE SET

2

2

DOOR STOPS

KEY

SCWD = SOLID CORE WOOD

SEE SCHED

SEE SCHED

SEE SCHED

SEE SCHED

1

6-PANEL

INTERIOR DOOR

2

DOUBLE SLIDING

INTERIOR DOOR

D4

DOOR TYPES

SCALE: 1/4" = 1'-0"

2 1/2"

SEE SCHED.

2 1/2"

2 1/2"

SEE SCHEDULE

MATCH ADJACENT TRIM MATERIAL & PROFILE, TYP., (COORD. W/OWNER)

A

WD/RF

FRAME

C4

DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

PARTITION TYPE PER PLANS, SEE A-002 FOR PARTITION TYPES

DBL. 2x 6 WOOD HEADER

WOOD CASING TRIM, MATCH EXIST. ADJACENT TRIM MATERIAL & PROFILE, (COORD. W/OWNER)

PRE-HUNG WOOD FRAME

DOOR PER SCHEDULE

H1

PARTITION TYPE PER PLANS, SEE A-002 FOR PARTITION TYPES

DOUBLE WOOD STUDS @ JAMB

WOOD CASING TRIM, MATCH EXIST. ADJACENT TRIM MATERIAL & PROFILE, (COORD. W/OWNER)

PRE-HUNG WOOD FRAME

DOOR PER SCHEDULE

J1

C5

DOOR HEAD & JAMB DETAILS

SCALE: 1" = 1'-0"

DOOR HARDWARE GROUPS:

- 1

3

HINGES
- 1

1

PRIVACY SET
- 1

1

DOOR STOP
- 2

6

HINGES
- 1

1

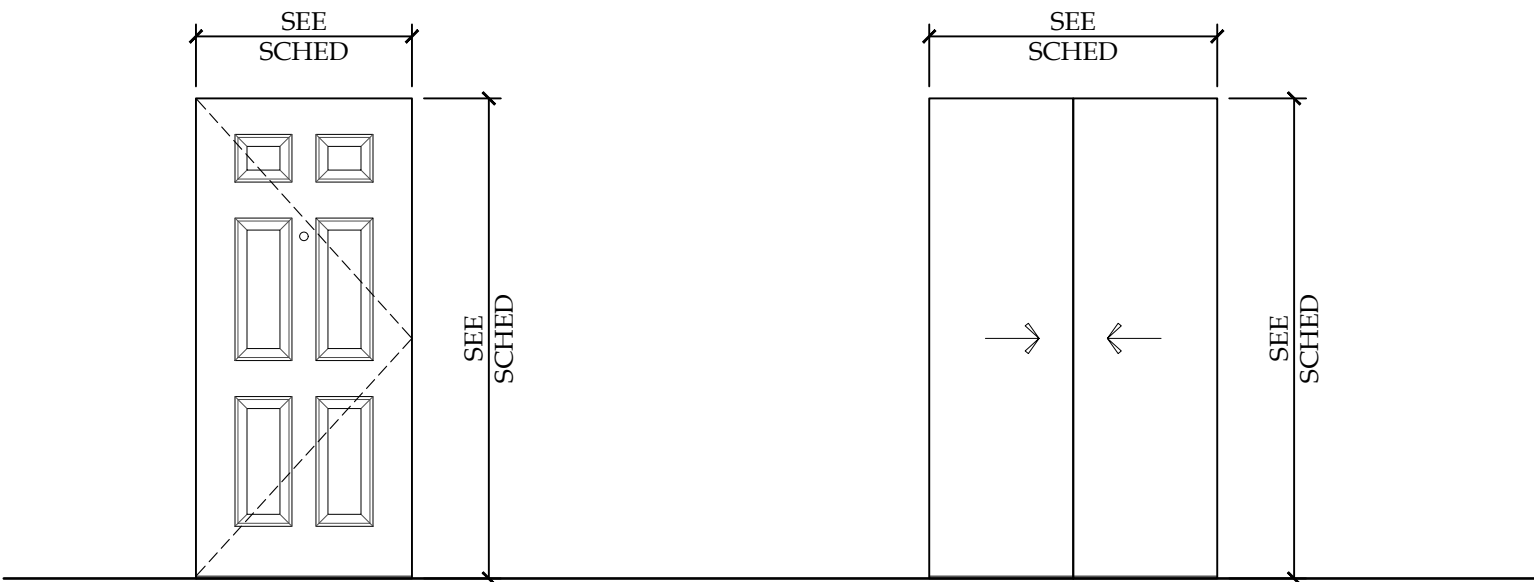
PASSAGE SET
- 2

2

DOOR STOPS

KEY

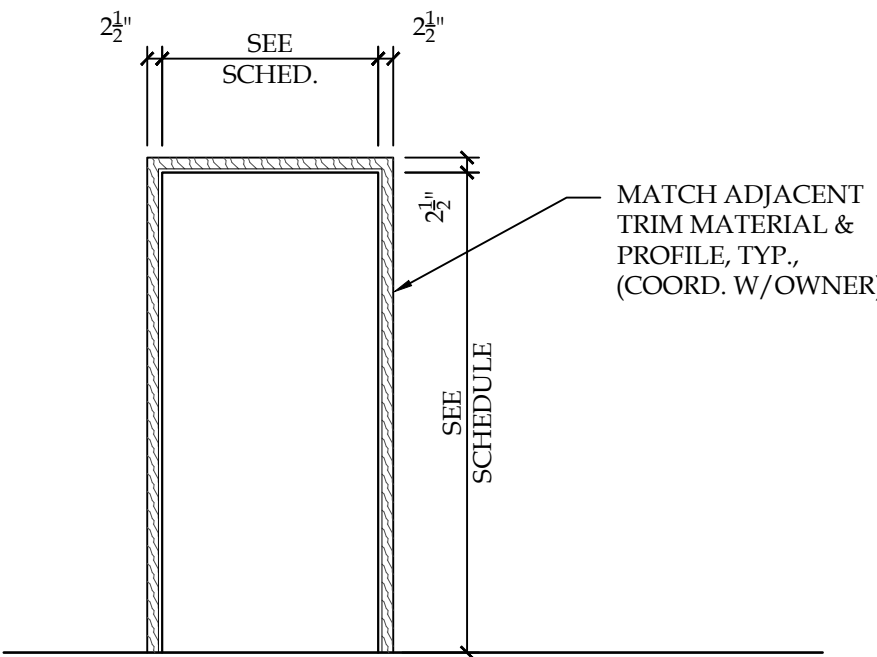
SCWD = SOLID CORE WOOD



1 6-PANEL INTERIOR DOOR

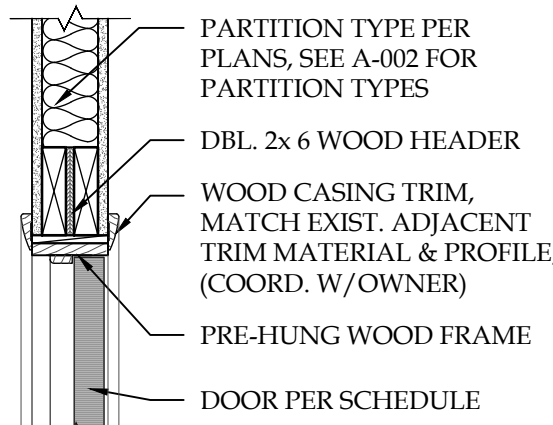
2 DOUBLE SLIDING INTERIOR DOOR

D4 DOOR TYPES SCALE: 1/4" = 1'-0"

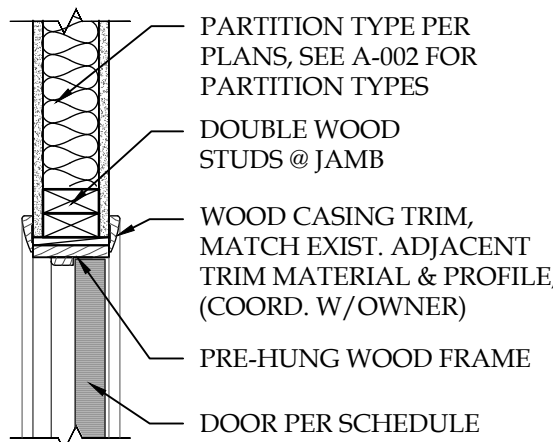


A WD/RF FRAME

C4 DOOR FRAME TYPES SCALE: 1/4" = 1'-0"



H1



J1

C5 DOOR HEAD & JAMB DETAILS SCALE: 1" = 1'-0"

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

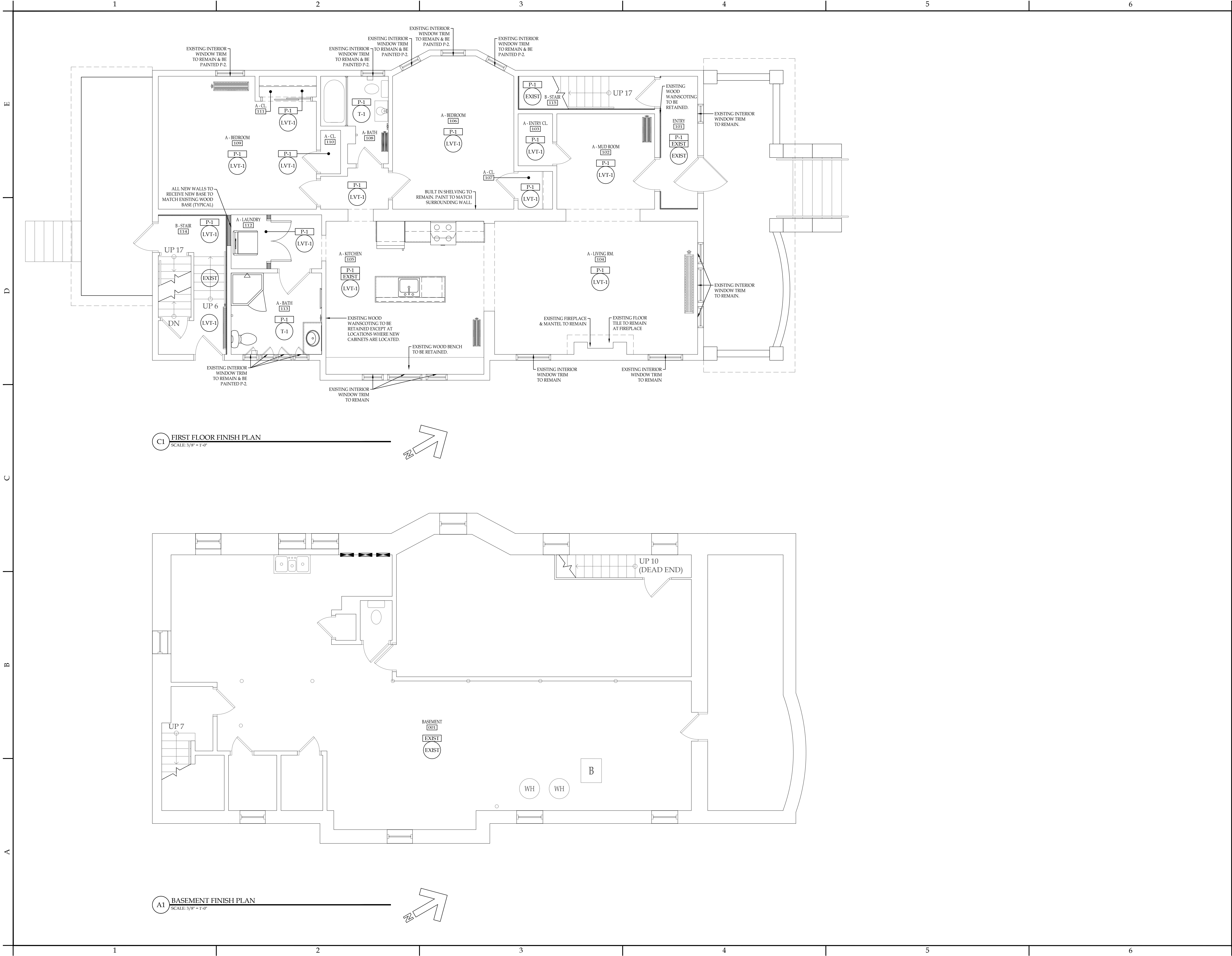
TITLE:

DOOR & FRAME SCHEDULE, TYPES, & DETAILS

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01
DATE: 12-11-25

DRAWING #: A-601



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

**Humboldt Pkwy
Apartments**

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

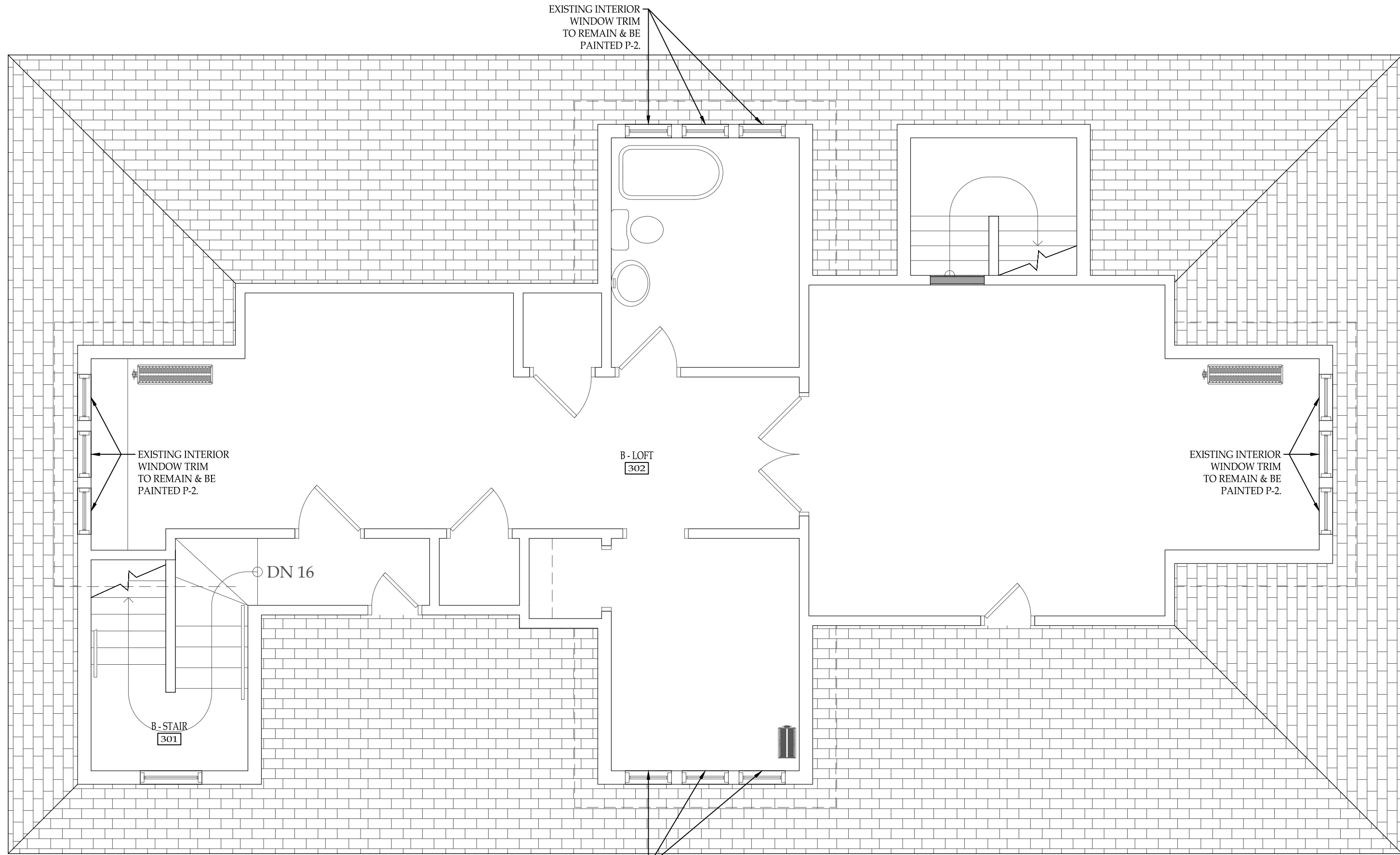
**BASEMENT &
FIRST FLOOR
FINISH PLANS**

SILVESTRI
ARCHITECTS • PC

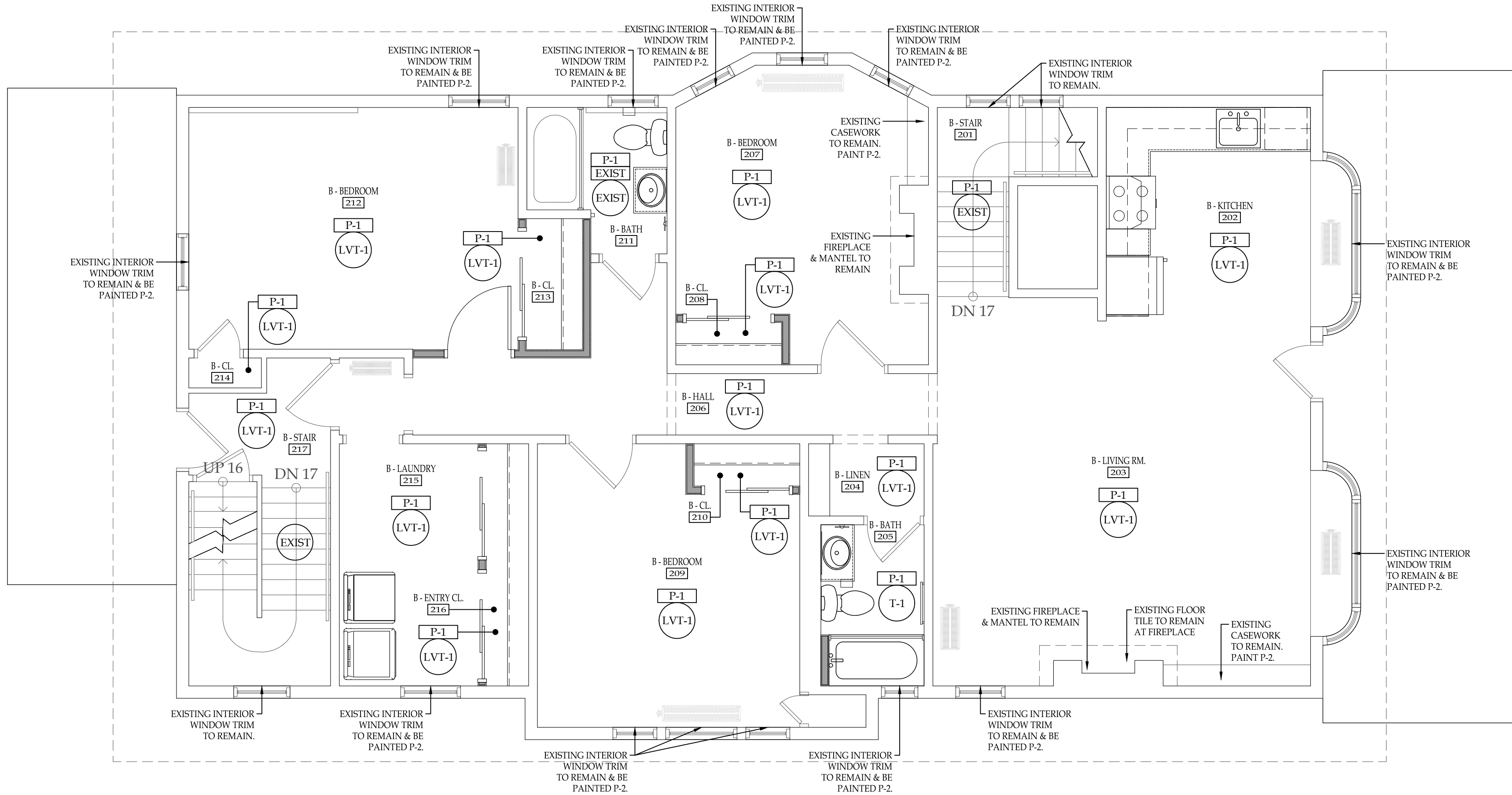
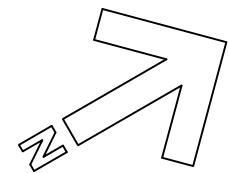
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

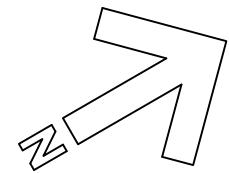
DRAWING #: **A-603**



C1 THIRD FLOOR FINISH PLAN
SCALE: 3/8" = 1'-0"



A1 SECOND FLOOR FINISH PLAN
SCALE: 3/8" = 1'-0"



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

SECOND & THIRD FLOOR FINISH PLANS



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **A-604**

DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE

MARK	COND UNIT	SERVICE	COOLING CAPACITY		HEATING CAPACITY	INDOOR UNIT			OUTDOOR UNIT				TRANE MITSUBISHI MODEL		NOTES	
			TOTAL (BTUH)	EAT (°F DB/WB)	TOTAL (BTUH)	CFM	ESP (IN WC)	COND. (GPH)	SEER2	HSFPF2	ELECTRICAL			INDOOR		OUTDOOR
										POWER	MCA	MOP				
AHU-1A	HP-1	LIVING/KIT	11400	80/67	11300	390	0	0.27	20	10	230/1	38	65	MSZ-GS12NA-U1	MXZ-3D30NLHZ-U1	1,2,3,4,5,6
AHU-1B		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1		1,2,3,4,5,6
AHU-1C		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1		1,2,3,4,5,6
AHU-2A	HP-2	LIVING AREA	11400	80/67	11300	390	0	0.27	21.5	11.1	230/1	51	86	MSZ-GS12NA-U1	MXZ-SM42N3HZ-U1	1,2,3,4,5,6
AHU-2B		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1		1,2,3,4,5,6
AHU-2C		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1		1,2,3,4,5,6
AHU-2D		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1		1,2,3,4,5,6

ACCESSORIES
1. MICROPROCESSOR CONTROL.
2. LOW AMBIENT CONTROL (0°F) WITH REQUIRED OPTIONS.
3. WINTER START KIT.
4. DISCONNECT SWITCH.
5. MODEL TAC-YT53CRAU-J THERMOSTAT MOUNTED ON WALL.
6. PROVIDE CONDENSATE PUMP.

EXHAUST FAN SCHEDULE

UNIT NO.	AREA SERVED	GREENHECK MODEL NO.	TYPE	CFM	S.P. (IN WC.)	FAN RPM	LIGHT	OPERATING POWER	MOTOR INFORMATION			SONES	NOTES
									VOLTAGE	ENCL.	RPM		
EF-1*	RESTROOM	SP-B90	CEILING	80	0.125	700	NO	20 W	115/60/1ø	ODP	700	1.0	1,2,3,4

NOTES:
1. CONTROLLED BY SWITCH
2. PROVIDE MANUFACTURER'S WALL CAP.
3. PROVIDE BACKDRAFT DAMPER
4. PROVIDE HANGING KIT WITH VIBRATION ISOLATORS.

* MULTIPLE UNITS, SEE FLOOR PLANS

LEGEND

EXHAUST FAN WITH AIR GRILLE

UNDERCUT DOOR (3/4")

EXHAUST AIR DUCTWORK

REFRIGERANT PIPING

PROGRAMMABLE THERMOSTAT

ABBREVIATIONS

AFF

ABOVE FINISHED FLOOR

AFG

ABOVE FINISHED GRADE

ARCH

ARCHITECT

BMS

BUILDING MANAGEMENT SYSTEM

BTU

BRITISH THERMAL UNIT

CLG

CEILING

CFM

CUBIC FEET PER MINUTE

CONC

CONCRETE

CONN

CONNECTION

CONST

CONSTRUCTION

DET

DETAIL

DIA

DIAMETER

DN

DOWN

DWG

DRAWING

EC

ELECTRICAL CONTRACTOR

FLR

FLOOR

G

GAS

CPM

GALLONS PER MINUTE

HP

HORSEPOWER

HT

HEIGHT

HTG

HEATING

HVAC

HEATING VENTILATING AND AIR COND

INV

INVERT

KW

KILOWATTS

MBH

THOUSAND BTU PER HOUR

MCA

MIN. CIRCUIT AMPACITY

MOP

MAX. OVERCURRENT PROTECTION

MTD

MOUNTED

NIC

NOT IN CONTRACT

NTS

NOT TO SCALE

OA

OUTSIDE AIR

ODP

OPEN DRIP PROOF

PVC

POLYVINYLCHLORIDE

RPM

REVOLUTIONS PER MIN.

S.P.

STATIC PRESSURE

TYP

TYPICAL

UTIL

UTILITY

WH

WATER HEATER

NG

NATURAL GAS

GENERAL HVAC NOTES

A. CONTRACTOR SHALL MAINTAIN A MIN. OF 10 FEET CLEARANCE BETWEEN OUTSIDE AIR INTAKES AND EXHAUSTS, PLUMBING VENTS, ETC.

B. CONTRACTOR SHALL MAINTAIN RECOMMENDED CLEARANCES FOR MAINTENANCE, OPERATION, ETC. ON ALL MECHANICAL EQUIPMENT.

C. CONTRACTOR SHALL COORDINATE ALL HVAC WORK WITH OTHER TRADES, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.

D. ALL WORK SHALL BE IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS.

E. HVAC EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

F. COORDINATE EXACT LOCATION OF HVAC UNITS WITH ARCHITECTURAL DRAWINGS AND STRUCTURAL STEEL.

G. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THERMOSTATS WITH OWNER.

HVAC SPECIFICATIONS

NOTE: MANUFACTURERS' NAMES ON WHICH THIS SPECIFICATION IS BASED INDICATE THE MINIMUM QUALITY OF PRODUCT REQUIRED. SUBSTITUTION MAY BE MADE TO THOSE SPECIFIED IF DEEMED EQUIVALENT BY THE OWNER'S REPRESENTATIVE. ALL WORK AND PRODUCTS SHALL MEET THE REQUIREMENTS OF GOVERNING CODES.

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE CODES.

2. SEE ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS. ALL CONDITION REQUIREMENTS SHALL APPLY UNLESS OTHERWISE NOTED.

3. ALL WORK SHALL BE PERFORMED AS INDICATED ON DRAWINGS UNLESS FIELD CONDITIONS REQUIRED MINOR CHANGES BE MADE. MINOR CHANGES SHALL BE MADE WITH NO ADDITIONAL COST.

4. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

5. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE OWNER AND THE LANDLORD. AS-BUILT DRAWINGS SHALL INDICATE THE ACTUAL MANUFACTURER OF THE EQUIPMENT THAT WAS INSTALLED, THE EXACT LOCATION OF THE EQUIPMENT AND PERTINENT CAPACITIES FOR HEATING, COOLING, ELECTRICAL, ETC.

6. DEFICIENCIES AND NON-CONFORMING ITEMS SHALL BE CORRECTED BY THE CONTRACTOR. FAILURE TO CORRECT SUCH ITEMS SHALL PERMIT THE OWNER TO CORRECT SAME AT A COST TO THE CONTRACTOR

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND PAYING FOR SAME. HE SHALL INCLUDE IN HIS BID CHARGES FOR ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE SPACE INCLUDING BUT NOT LIMITED TO LOCAL, COUNTY, OR STATE SERVICE CHARGES AND PERMIT FEES.

8. THE SCOPE OF WORK OF THIS CONTRACT INCLUDES, BUT SHALL NOT BE LIMITED TO:

A. PROVIDE AND INSTALL ALL EQUIPMENT, APPLIANCES, CONTROL DEVICES, ACCESSORIES, MATERIAL AND LABOR.

B. PROVIDE AND INSTALL ALL DUCTWORK, INSULATION, AIR DEVICES DUCT ACCESSORIES, MATERIAL AND LABOR

C. PROVIDE AND INSTALL ALL PIPING, FITTINGS, VALVES, INSULATION, ACCESSORIES , MATERIAL AND LABOR

D. PROVIDE AND INSTALL TOILET EXHAUST SYSTEM INDICATED.

E. CLEAN, TEST AND PUT INTO SERVICE ALL SYSTEMS SPECIFIED.

F. PROVIDE A BALANCE REPORT PREPARED BY AN INDEPENDENT AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR.

G. WARRANTY ALL WORK AND MATERIALS HEREIN SPECIFIED FOR A PERIOD OF NOT LESS THAN ONE YEAR.

9. MATERIALS

9.1. ALL MATERIALS SHALL BE NEW AND OF RECOGNIZED COMMERCIAL QUALITY. USED MATERIALS WILL NOT BE PERMITTED.

9.2. PIPING AND FITTINGS

CONDENSATE DRAIN PIPING SHALL BE TYPE L COPPER WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS.

10. EQUIPMENT

HVAC EQUIPMENT SHALL BE AS SCHEDULED ON THE DRAWINGS AND/OR SPECIFIED HEREIN. EQUIVALENT EQUIPMENT AND/OR COMPONENTS THEREOF MAY BE SUBSTITUTED FOR SPECIFIED EQUIPMENT ONLY AS APPROVED BY THE OWNER AND/OR THE PROJECT ENGINEER.

11. EXECUTION

11.1. GENERAL

ACCESSIBILITY – ALL EQUIPMENT SHALL BE INSTALLED IN SUCH A MANNER THAT ALL COMPONENTS REQUIRING ACCESS ARE LOCATED AND INSTALLED THAT THEY MAY BE SERVICED, RESET, REPLACED, OR REGALIBRATED, ETC., BY SERVICE PEOPLE WITH NORMAL SERVICE TOOLS AND EQUIPMENT.

WORK BY OTHER TRADES – FOR THE WORK REQUIRED BY OTHER TRADES FOR CHANGES MADE BY THIS CONTRACTOR IN TYPE OR SIZE OF EQUIPMENT PURCHASED, ANY CUTTING, PATCHING, FURRING, PAINTING, ELECTRICAL OR PLUMBING WORK SHALL BE DONE BY THE AFFECTED TRADE AT THIS CONTRACTOR'S EXPENSE.

EARLY START-UP – THIS CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS CONNECTED WITH ELECTRICAL POWER AS EARLY AS POSSIBLE SO THAT BALANCING AND TESTING CAN BEGIN AT THE EARLIEST DATE AVAILABLE.

CLEANING AND PAINTING – THOROUGHLY CLEAN ALL EQUIPMENT AND REMOVE ALL TRASH, CARTONS, ETC., FROM THE WORK AREA. MAKE ANY NECESSARY CORRECTIONS OR REPAIR/ REPLACE ANY DAMAGED MATERIALS OR EQUIPMENT. LEAVE THE ENTIRE SPACE IN A THOROUGHLY CLEAN AND ORDERLY MANNER. ANY FINISHED SURFACES THAT HAVE BEEN SCRATCHED OR DISCOLORED SHALL BE TOUCHED UP OR REPAINTED TO MATCH THE ORIGINAL COLOR. IF ANY PART HAS BEEN BENT, BROKEN OR OTHERWISE DAMAGED, IT SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. ALL METAL ITEMS INSIDE THE BUILDING SUBJECT TO RUSTING, AND ALL FERROUS METAL EXPOSED TO THE WEATHER SHALL BE GIVEN ONE COAT OF RUST PREVENTIVE PRIMER AS SOON AS INSTALLED.

11.2. EQUIPMENT INSTALLATION

ALL EQUIPMENT AND RELATED PIPING, DUCTWORK, CONTROL WIRING AND ACCESSORIES SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING LINES AND, IF INSTALLED WITHIN WITHIN THE BUILDING ENVELOPE SHALL BE INSTALLED AS HIGH AS POSSIBLE TO ALLOW THE MAXIMUM AMOUNT OF HEADROOM. EQUIPMENT THAT REQUIRES ROUTINE MAINTENANCE SUCH AS FILTER REPLACEMENT SHALL BE INSTALLED AND ARRANGED TO BE ACCESSIBLE. PROVIDE ACCESS PANEL(S) AS REQUIRED AND/OR AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER. ALL EQUIPMENT SHALL BE INSTALLED WITH THE REQUIRED CLEARANCES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER OR AS REQUIRED BY GOVERNING CODES, WHICHEVER IS GREATER.

12. INSTALL ROOF MOUNTED EQUIPMENT SUPPORT RAILS OR ROOF CURB AS REQUIRED FOR THE JOB CONDITIONS AND AS RECOMMENDED BY THE MANUFACTURER FOR THE INSTALLATION OF ROOF MOUNTED EQUIPMENT.

ALL ROOF PENETRATIONS FOR POWER AND CONTROL WIRING CONDUITS AND GAS, CONDENSATE, OR REFRIGERANT PIPING SHALL BE MADE WITH WATERPROOF PIPE SLEEVES OR CURB(S).

13. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTOR'S EXPENSE.

FOR THE SAME PERIOD, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE PREMISES BY DEFECTS IN HIS WORKMANSHIP OR WORK AND/OR EQUIPMENT INSTALLED BY OTHERS UNDER HIS CONTRACT.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.

H

HAYES

CONSTRUCTION SERVICES

New York Certified Woman-Owned Business

DOFI PROPERTIES

Humboldt Pkwy

Apartments

103 Humboldt Parkway

Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. _____ DRAFTER B.Pacos

JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

SCHEDULES AND SPECIFICATIONS

S

A

SILVESTRI

ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

DATE:

12-11-25

DRAWING #:

M-100

KROMAC Design Inc.

MECHANICAL-ELECTRICAL ENGINEERING

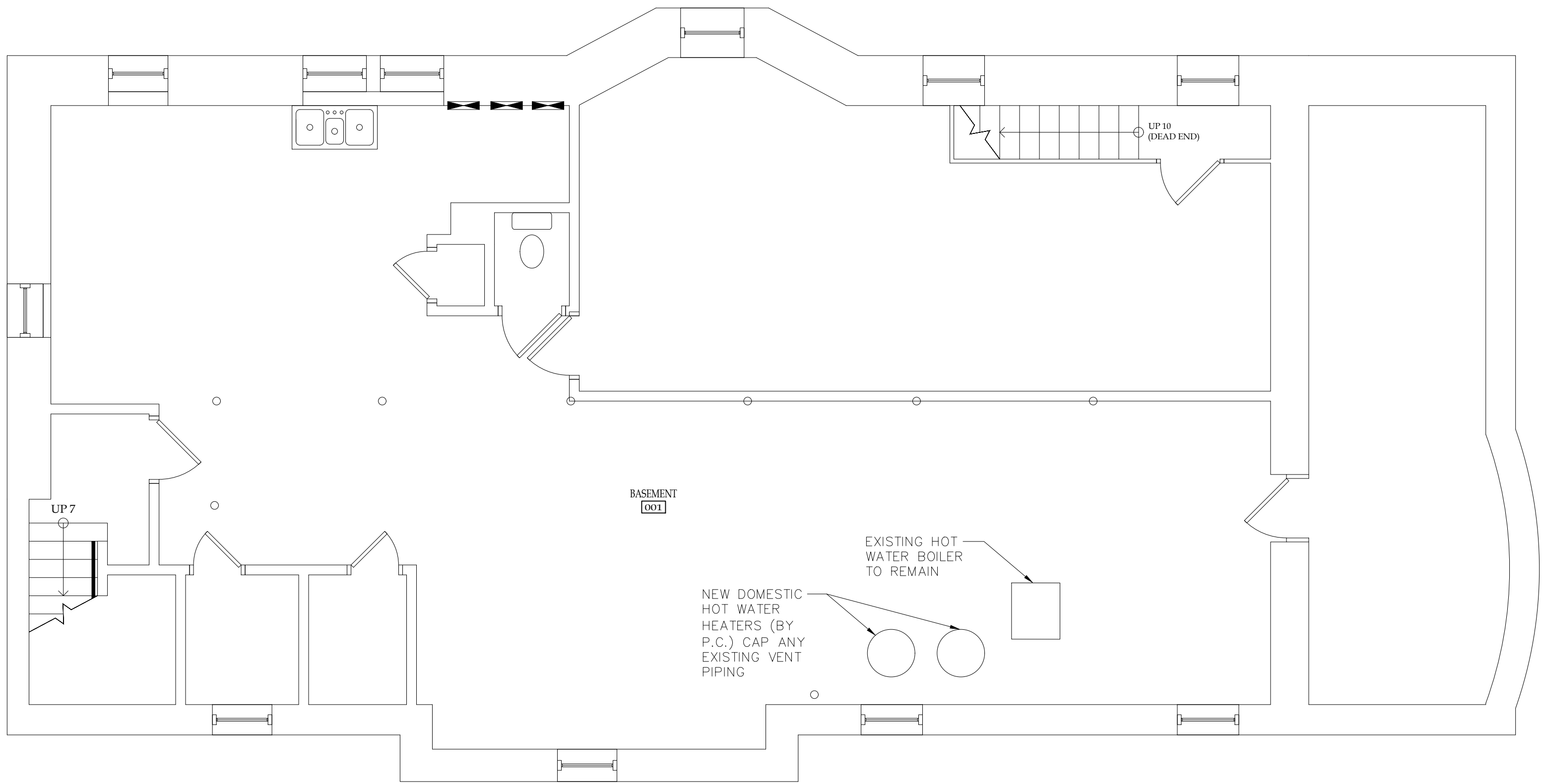
10225 Main Street, Victoria Park, Suite 10B

Clarence, New York 14031

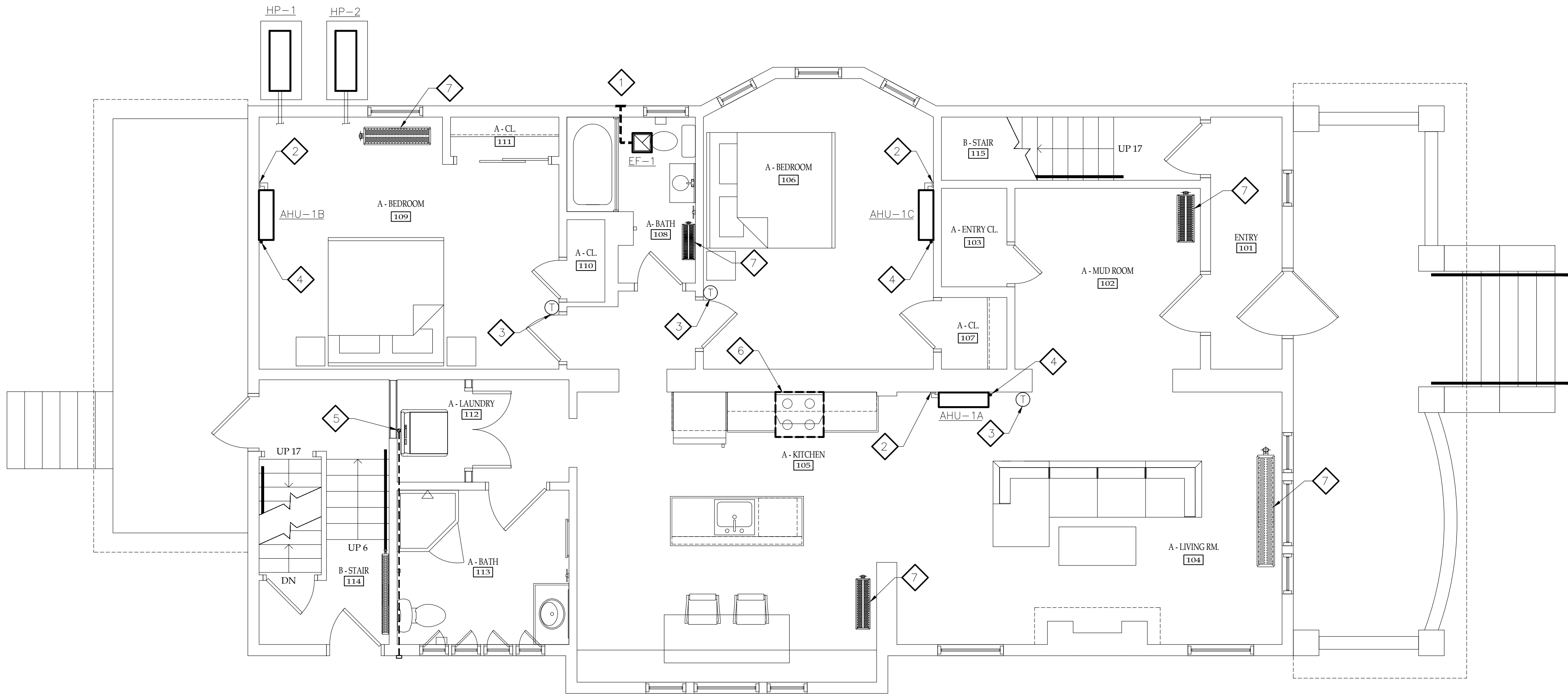
Phone: (716) 803-8787

Email: info@kromacdesign.com

Project # 25-01-12



1 **BASEMENT PLAN**
M-101 SCALE: 1/4" = 1'-0"



2 **FIRST FLOOR PLAN**
M-101 SCALE: 1/4" = 1'-0"

NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

- 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP. REUSE EXISTING WALL PENETRATION. CONTRACTOR TO EVALUATE EXISTING FAN AND IF IT IS IN GOOD WORKING ORDER AND OWNER APPROVES, UNIT SHALL BE REUSED.
- RUN REFRIGERANT PIPING OUT TO CONDENSING UNIT ON GRADE. COORDINATE ROUTING IN FIELD.
- PROVIDE THERMOSTAT WITH LOCKABLE COVER MOUNTED AT 48" AFF. VERIFY EXACT LOCATION WITH OWNER
- RUN CONDENSATE DOWN TO NEAREST SINK OR FLOOR DRAIN. VERIFY ROUTING IN FIELD.
- CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR AND RUN TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR. VERIFY TOTAL DUCT LENGTH AND IF LENGTH EXCEEDS MAXIMUM DISTANCE STATED BY DRYER MANUFACTURER, PROVIDE FANTECH MODEL DBF-4XL BOOSTER FAN, COORDINATE WITH ELECTRICAL.
- MICROWAVE/RECIRCULATING HOOD BY OTHERS.
- EXISTING HOT WATER RADIATOR TO REMAIN.

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

BASEMENT & FIRST FLOOR PLANS



SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

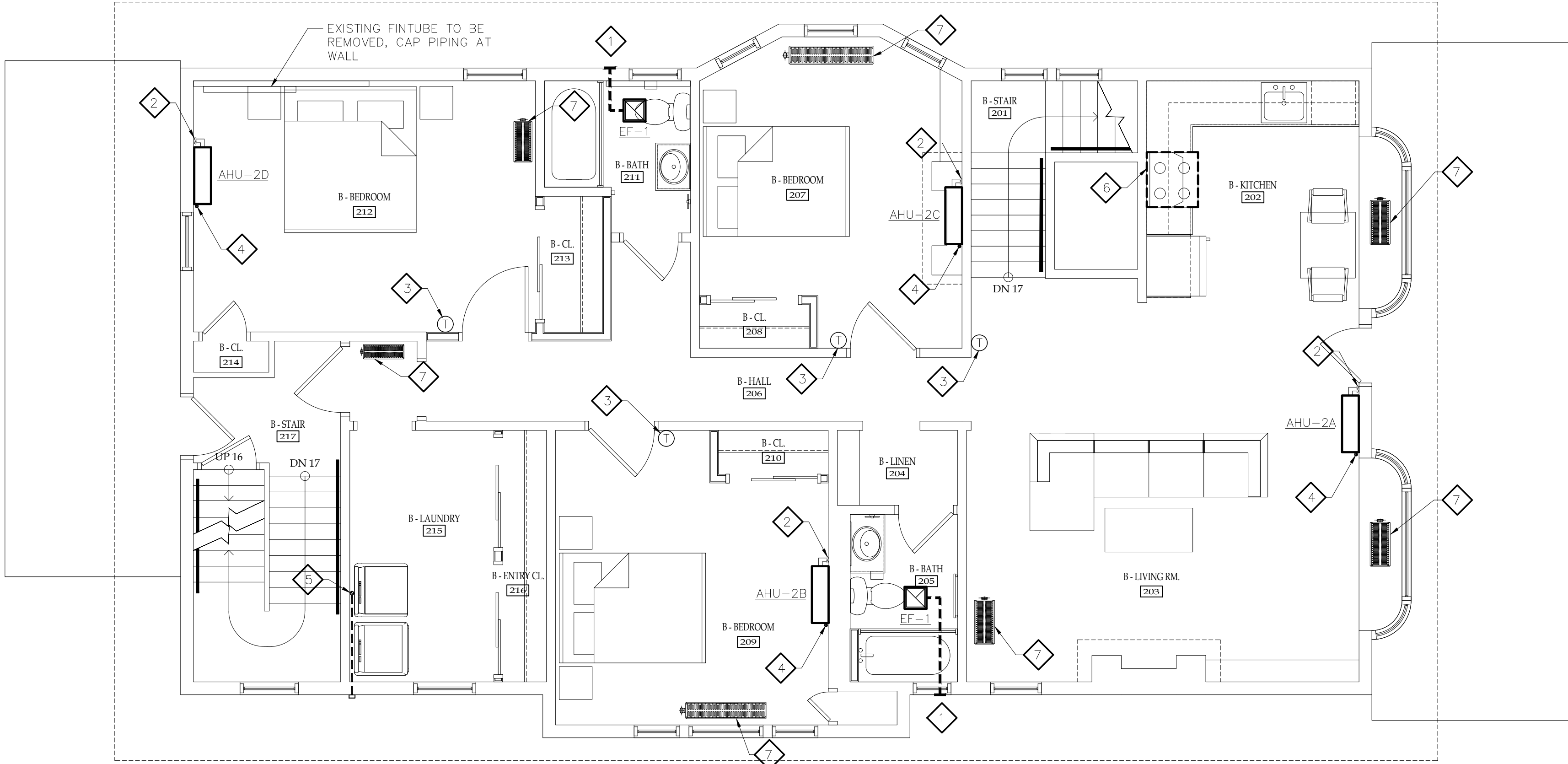
DATE:

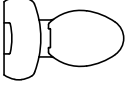

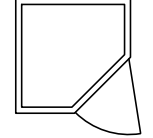
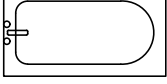
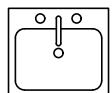

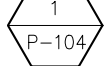






12-11-25

DRAWING #:

M-101

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

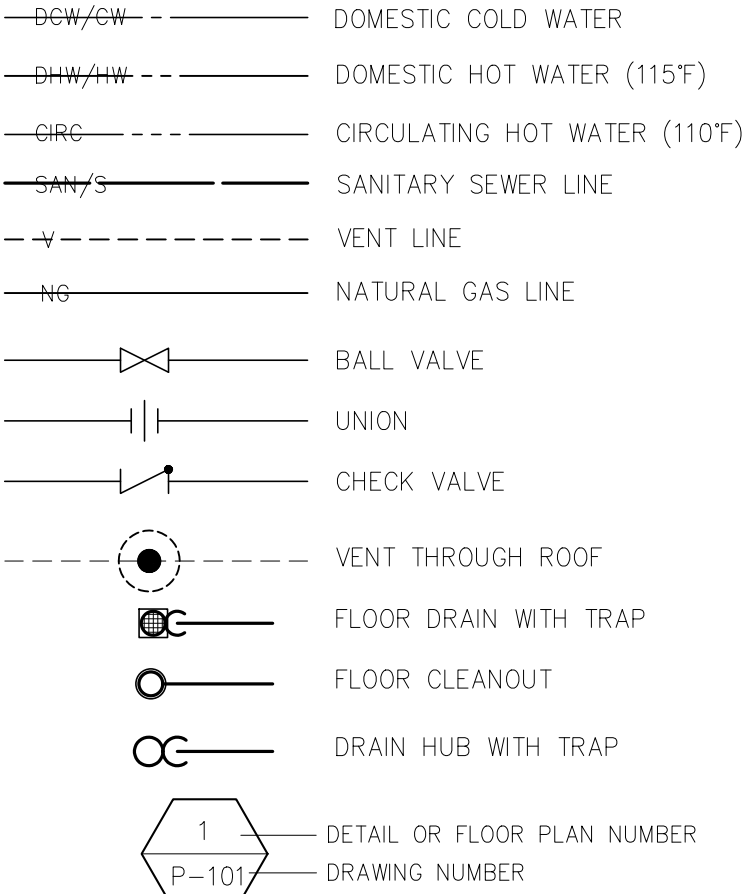


E	PLUMBING FIXTURE SCHEDULE									
	MARK	FIXTURE	SYMBOL	DRAINAGE		WATER			REMARKS	
				SAN	VENT	CW	HW	TW		
	WC1	WATER CLOSET -BATHROOM -10" ROUGH-IN -- -- --		3"	2"	1/2"	--	--	MANUFACTURER: MANSFIELD, GERBER, KOHLER MODEL: PER OWNER FLUSH TANK TYPE TOILET, 1.28 GPF WITH SLOW CLOSED SEAT AND CLOSED TOILET SEAT	
	LV1	LAVATORY -BATHROOM -COUNTER MOUNT -- -- --		1-1/2"	1-1/2"	1/2"	1/2"	--	MANUFACTURER: MANSFIELD, GERBER, KOHLER MODEL: PER OWNER, OVAL, COUNTER MOUNT FAUCET: 4" CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN)	
	SH1	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	--	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR, SIZE PER ARCHITECTURAL PLANS, FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)	
	BT1	TUB/SHOWER -- -- --		2"	1-1/2"	1/2"	1/2"	--	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), TUB-SHOWER, 60"x32"x72" HIGH, FAUCET: SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, TUB/SHOWER WITH STOPS AND DIVERTER SPOUT (SYMMONS, DELTA, MOEN)	
	KS1	KITCHEN SINK -KITCHEN -SINGLE BOWL --		2"	1-1/2"	1/2"	1/2"	--	MANUFACTURER: ELKAY, DAYTON, KOHLER MODEL: PER OWNER, SINGLE BOWL, COUNTER MOUNT FAUCET: SINGLE HANDLE WITH HOSE SPRAY, 8" CENTER, 1.5 GPM AND DRAIN (SYMMONS, DELTA, MOEN)	
	DW1	DISHWASHER -- -- --		1" DRAIN TO KST	--	--	1/2"	--	MANUFACTURER: PER OWNER MODEL: PER OWNER PROVIDED BY OWNER, INSTALLED BY PLUMBING CONTRACTOR	
	WMB	WASHER MACHINE BOX -PROVIDE WATER HAMMER ARRESTER (WHA) --		2"	2"	1/2"	1/2"	--	MANUFACTURER: OATEY WASHING MACHINE BOX (2) 1/4 TURN BALL VALVES AND ONE 2" CENTER DRAIN WITH DRAIN PAIN AND 1" DRAIN	
D	IMB	ICE MACHINE BOX -KITCHEN --		--	--	1/2"	--	--	MANUFACTURER: OATEY VALVE BOX (1) 1/4 TURN BALL VALVE	
	AAV	AIR ADMITTANCE VALVE -KITCHEN ISLAND SINK -- -- --		--	--	--	--	--	MANUFACTURER: OATEY SIZE PER DRAWING (PROVIDED AND INSTALLED BY PLUMBER)	
	WH1	WATER HEATER (EXISTING) -40 GAL. -ELECTRIC -FIRST FLOOR UNIT --		--	--	3/4"	3/4"	--	MANUFACTURER: BRADFORD WHITE MODEL: RE340S6+, 3.0 KW/3.0 KW 240V, 1 PHASE, 0.91 UEF, 40 GAL., SET TO 110°F, 14 GAL. REC. @ 90°F RISE, ELECTRIC HEATER (VITRAGLAS TANK LINING WITH MICROBAN) WITH INSULATED BLANKET AND DRAIN PAN (OATEY ALUMINUM) 1" CPVC DRAIN LINE TO FLOOR DRAIN WITH 2" AIR GAP AMTROL MODEL: ST-5 EXPANSION TANK	
	WH2	WATER HEATER (NEW) -40 GAL. -ELECTRIC -SECOND FLOOR UNIT --		--	--	3/4"	3/4"	--	MANUFACTURER: BRADFORD WHITE MODEL: RE340S6+, 3.0 KW/3.0 KW 240V, 1 PHASE, 0.91 UEF, 40 GAL., SET TO 110°F, 14 GAL. REC. @ 90°F RISE, ELECTRIC HEATER (VITRAGLAS TANK LINING WITH MICROBAN) WITH INSULATED BLANKET AND DRAIN PAN (OATEY ALUMINUM) 1" CPVC DRAIN LINE TO FLOOR DRAIN WITH 2" AIR GAP AMTROL MODEL: ST-5 EXPANSION TANK	
	MV1	MIXING VALVE -- -- --		--	--	3/4"	3/4"	3/4"	CALFEEL - MODEL 5213959A - HOT WATER TEMPERATURE CONTROL VALVE WITH BRONZE BODY CONSTRUCTION, SOLID WAX HYDRAULIC PRINCIPLE THERMOSTAT THAT CONTROLS BOTH HOT AND COLD WATER, INTEGRAL FILTER WASHERS AND CHECK VALVES, AND ADJUSTMENT CAP WITH LOCKING FEATURE SET TO PROVIDE MAXIMUM 110 DEG. F HOT WATER TO THE LAVATORY FAUCETS	
PLUMBING FIXTURE NOTE: ALL PLUMBING FIXTURES TO BE APPROVED BY BUILDING OWNER REPRESENTATIVE PRIOR TO ORDERING.										

PLUMBING FIXTURE NOTES:

1. ROUGH ACCORDING TO ABOVE SCHEDULE UNLESS OTHERWISE INDICATED ON DRAWINGS.
2. PROVIDE ALL ACCESSORIES REQUIRED FOR A COMPLETE PLUMBING INSTALLATION AS SPECIFIED IN SPECIFICATIONS AND ON DRAWINGS.
3. PROVIDE ACCESS PANEL ON ALL NON-ACCESSIBLE CEILINGS BELOW PLUMBING VALVES.
4. REFER TO DRAWINGS FOR ADDITIONAL PLUMBING EQUIPMENT SPECIFICATIONS.
5. PLUMBING FIXTURES (TOILETS, LAVATORIES, SHOWERS, TUB/SHOWERS, KITCHEN SINKS AND ACCESSORIES) TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.

LEGEND



ABBREVIATIONS

DCW/CW	DOMESTIC COLD WATER
DHW/HW	DOMESTIC HOT WATER
TW	TEMPERED WATER
CIRC	CIRCULATING HOT WATER
NG	NATURAL GAS
SAN/S	SANITARY SEWER
V/VT	VENT
VTR	VENT THROUGH ROOF
FCO	FLOOR CLEANOUT
WCO	WALL CLEANOUT
POC	POINT OF CONNECTION
SDV	SHUTOFF VALVE
AFF	ABOVE FINISHED FLOOR
BFF	BELOW FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BFG	BELOW FINISHED GRADE
CFH	CUBIC FEET PER HOUR
MEP	MECHANICAL-ELECTRICAL-PLUMBING
AAV	AIR ADMITTANCE VALVE
DFU	DRAINAGE FIXTURE UNIT
WSFU	WATER SUPPLY FIXTURE UNIT
WHY	WALL HYDRANT
IMB	ICE MACHINE BOX

GENERAL NOTES:

- A. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES.
- B. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN PIPING, EQUIPMENT LOCATIONS, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.
- C. ALL CUTTING AND PATCHING OF BUILDING COMPONENTS REQUIRED TO ACCOMMODATE THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THIS CONTRACT. ALL PATCHING SHALL MATCH THE EXISTING COMPONENTS AND FINISHES. CUTTING AND PATCHING WORK SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH SERVICES.
- D. PLUMBING CONTRACTOR TO PROVIDE ALL ACCESSORIES REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEM..

GENERAL PLUMBING NOTES

1. GENERAL NOTES ARE APPLICABLE TO ALL PLUMBING WORKING DRAWINGS.
2. THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH BASE BUILDING SPECIFICATION AND WITH THE LATEST EDITION OF THE PREVAILING LOCAL PLUMBING AND BUILDING CODES AND ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
3. ALL PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
4. NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION BY THE ENGINEER OF RECORD.
5. NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
6. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING RELATED FEES.
7. ROUGH-IN DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH CONTRACTOR AND FIELD SUPERVISOR.
8. INSTALL BALL VALVES ON ALL BRANCH SUPPLY LINES.
9. PROVIDE ACCESS PANELS ON ALL INACCESSIBLE VALVES AND CLEANOUTS. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION. MOUNT SHUT-OFF VALVES NO HIGHER THAN 12'-8" AFF.
10. ALL WORK SHALL BE PROPERLY TESTED, BALANCED AND CLEANED. PROVIDE A ONE (1) YEAR WARRANTY FROM DATE OF FINAL INSPECTION ON ALL PARTS AND LABOR.
11. FOLLOW PDI STANDARDS FOR WATER HAMMER ARRESTORS.
12. CONTRACTOR SHALL COORDINATE WATER METER LOCATION AND INSTALLATION WITH LOCAL AUTHORITIES AND CIVIL DRAWINGS IF NOT EXISTING
13. SANITARY SEWER PIPING SHOWN IS BASED ON 0.125"/FT FOR 3"-6" & 0.25"/FT FOR 2 1/2" OR LESS FOR ALL PIPING. COORDINATE BUILDING SEWER LOCATION AND INVERT ELEVATION WITH CIVIL DRAWINGS.
14. SURE SEAL WATERLESS TRAP PRIMERS ARE TO BE PROVIDED AT ALL FLOOR DRAIN.

PLUMBING SPECIFICATIONS:

DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

PLUMBING WORK SHALL BE AS INDICATED ON THE PLANS AND AS HEREIN SPECIFIED. WORK SHALL CONSIST OF PROVIDING A COMPLETE AND OPERATIONAL SYSTEM INCLUDING ALL FIXTURES, PIPING, VALVES, AND OTHER REQUIRED DEVICES, EQUIPMENT, ETC. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS. WHERE THERE ARE CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS, AND CODE REQUIREMENTS, THE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUIRED FOR COMPLIANCE WITH ALL CODES AND FOR APPROVAL OF THE SYSTEM. THE SYSTEM SHALL EXTEND TO AND CONNECT INTO THE EXISTING PROJECT WATER AND WASTE SYSTEM AS INDICATED ON THE DRAWINGS.

WHENEVER A MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT IS IDENTIFIED ON THE DRAWINGS BY REFERENCE TO MANUFACTURERS' OR VENDORS NAMES, TRADE NAMES, CATALOG NUMBERS, OR THE LIKE, IT IS SO IDENTIFIED FOR THE PURPOSE OF ESTABLISHING A STANDARD, AND ANY MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT OF OTHER MANUFACTURERS OR VENDORS WHICH WILL PERFORM ADEQUATELY THE DUTIES IMPOSED BY THE GENERAL DESIGN WILL BE CONSIDERED EQUALLY ACCEPTABLE PROVIDED THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SO PROPOSED IS, IN THE OPINION OF THE ARCHITECT/ENGINEER, OF EQUAL SUBSTANCE, APPEARANCE, AND FUNCTION. THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SHALL NOT BE PURCHASED OR INSTALLED BY THE CONTRACTOR WITHOUT THE ARCHITECT'S/ ENGINEER'S WRITTEN APPROVAL.

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL, SHOP DRAWINGS AND/OR MANUFACTURERS SUBMITTAL DATA WITH CAPACITY AND CHARACTERISTICS OF ALL MATERIAL AND EQUIPMENT FOR APPROVAL PRIOR TO PURCHASE AND OR INSTALLATION OF THE WORK. A MINIMUM OF FIVE (5) COPIES SHALL BE SUBMITTED. SUBMITTALS SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BEGINNING WORK FOR THE PURPOSE OF OBSERVING EXISTING CONDITIONS AND TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR PROVIDING ALL MATERIAL, EQUIPMENT, AND LABOR AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL CODE REQUIREMENTS.

ALL WATER PIPING SHALL BE TYPE "L" HARD COPPER WITH WROUGHT COPPER FITTINGS. JOINTS SHALL BE SOLDERED WITH LEAD FREE SOLDER. ALL EXPOSED PIPING SHALL BE COVERED, WASTE AND VENT SHALL BE SERVICE WEIGHT CAST IRON WITH EITHER NO-HUB OR "CHARLOTTE SEAL" JOINTS. NO-HUB JOINTS ARE NOT PERMITTED BELOW GRADE. ALL EQUIPMENT REQUIRING PLUMBING CONNECTIONS SHALL BE CONNECTED BY THE PLUMBER REGARDLESS OF WHO PROVIDES THE EQUIPMENT OR FIXTURE. UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER OR SCHEDULE 40 PVC. FORCED MAINS SHALL BE PVC OR APPROVED EQUAL.

ALL HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH (HOT/CIRCULATING WATER PIPING MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE), (COLD WATER PIPING 1/2"INSULATION UP TO 2" PIPE AND 1"INSULATION ON 2-1/2"PIPE AND ABOVE WITH 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE). ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER.

HORIZONTAL STORM/SEWER PIPING ABOVE GRADE SHALL BE INSULATED WITH MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE. ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER. (TO AVOID CONDENSATION) DRAIN HUBS TO BE INSULATED.

VACUUM BREAKERS SHALL BE PROVIDED FOR ALL HOSE CONNECTIONS AND OTHER POINTS WHERE GROSS CONTAMINATION CAN OCCUR. REDUCED PRESSURE BACKFLOW PREVENTERS SHALL BE PROVIDED WHERE REQUIRED BY CODE. ALL FIXTURES, HOSE BIBBS, FLOOR DRAINS, ETC., SHALL BE PROVIDED AS INDICATED AND SCHEDULED ON THE PLANS. THE SYSTEM SHALL BE TESTED, CLEANED, AND DISINFECTED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.

THE ENTIRE PLUMBING SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE (1) YEAR FROM ACCEPTANCE BY THE OWNER. ALL GUARANTEES SHALL BE WRITTEN, DATED, AND FORWARDED TO THE OWNER. ALL DEFECTIVE EQUIPMENT AND/OR MATERIAL SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

AT THE CONTRACTOR'S OPTION, PVC MAY BE UTILIZED ABOVE GRADE IN CONCEALED LOCATIONS FOR DWV SYSTEM, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED.

AT THE CONTRACTOR'S OPTION, PEX OR CPVC PIPING MAY BE UTILIZED ABOVE GRADE AND IN CONCEALED SPACES, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED. (HOT WATER PEX PIPING TO BE INSULATED)

PVC/CPVC PIPING SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DEVELOPMENT RATING LESS THAN 50.

GAS PIPING -- SCHEDULE 40 BLACK STEEL WITH MALLEABLE SCREWED FITTING IN SIZE UP TO 3" AND OVER 3" TO BE SCHEDULE 40 BLACK STEEL WITH WELDED FITTINGS.

NATURAL GAS PIPING -- COORDINATE ALL NEW GAS LINES ROUTING PER PLANS IN FIELD. PAINT EXTERIOR GAS PIPING AND SUPPORTS TWO COATS EXTERIOR ENAMEL.

INSTALL EQUIPMENT AND PIPING TO AVOID INTERFERENCE WITH THE OPERATION OR SERVICING AND MAINTENANCE OF EQUIPMENT.

PIPES PENETRATING FIRE WALLS AND FLOORS SHALL BE FIRESTOPPED AS SPECIFIED. REFER TO THE ARCHITECTURAL DRAWINGS FOR FIRE WALL AND FLOOR LOCATIONS.

ALL PHYSICAL ATTRIBUTES OF EQUIPMENT AND DEVICES ARE BASED ON THOSE MANUFACTURERS LISTED IN THE SPECIFICATIONS AND/OR THE EQUIPMENT SCHEDULES. THE RESPECTIVE CONTRACTORS ARE RESPONSIBLE FOR ALL CHANGES BROUGHT ABOUT BY USE OF ITEMS BY OTHER MANUFACTURERS. THE ARCHITECT/ENGINEER HAS RESERVED THE RIGHT TO REJECT ITEMS BY OTHER MANUFACTURERS IF THOSE ITEMS DO NOT MATCH THE PHYSICAL ATTRIBUTES OF THE MANUFACTURERS LISTED.

ALL PLUMBING SERVICE PIPING USE ON PROJECT TO MEET ALL STATE AND LOCAL CODES. COORDINATE USE OF PVC PIPING ABOVE AND BELOW GRADE WITH LOCAL AUTHORITIES PRIOR TO WORK START-UP. (NATURAL GAS, WASTE, STORM, VENT, DOMESTIC HOT, COLD AND CIRCULATING WATER LINES)

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

SCHEDULES AND SPECIFICATIONS



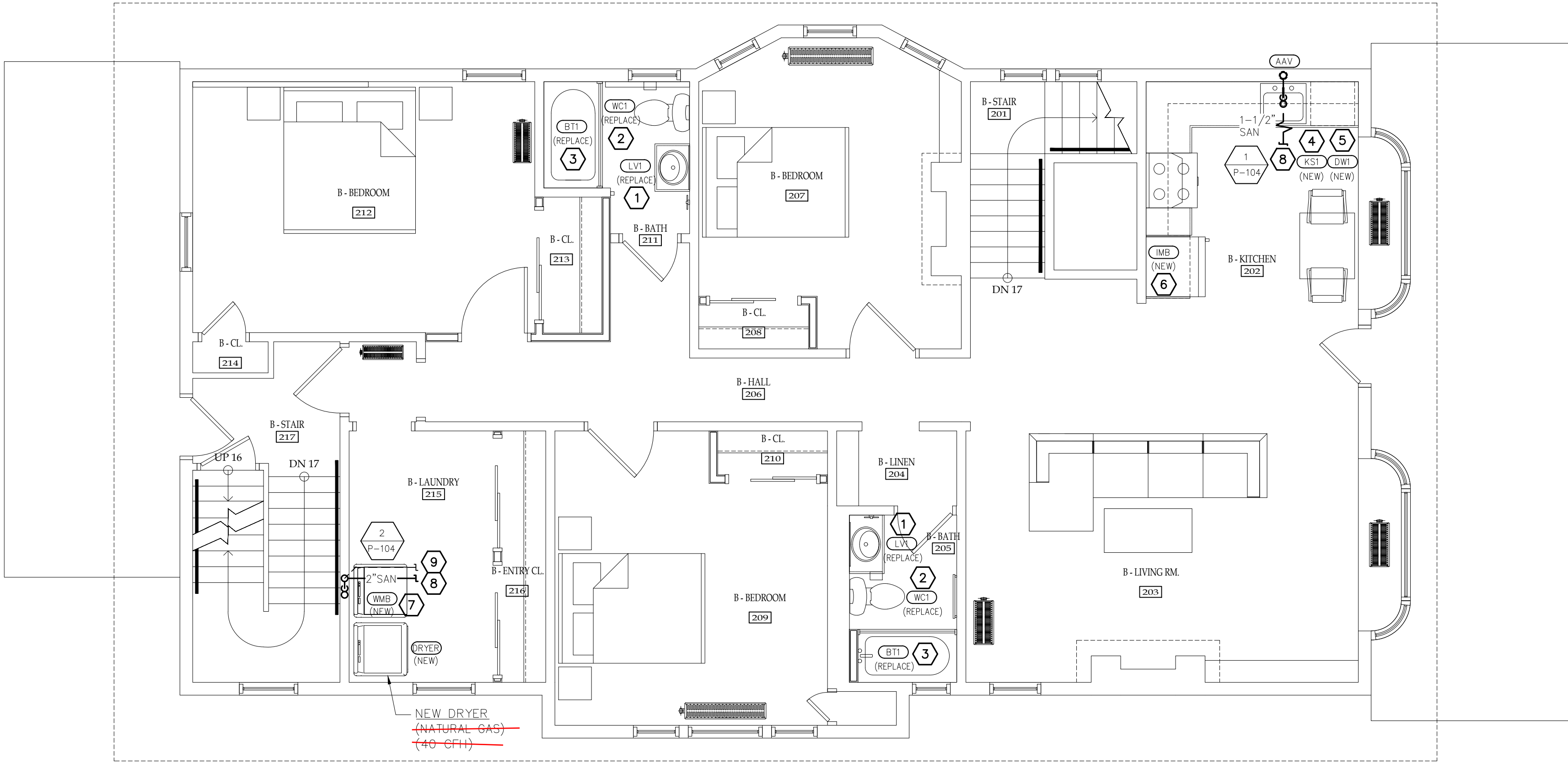
SILVESTRI
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

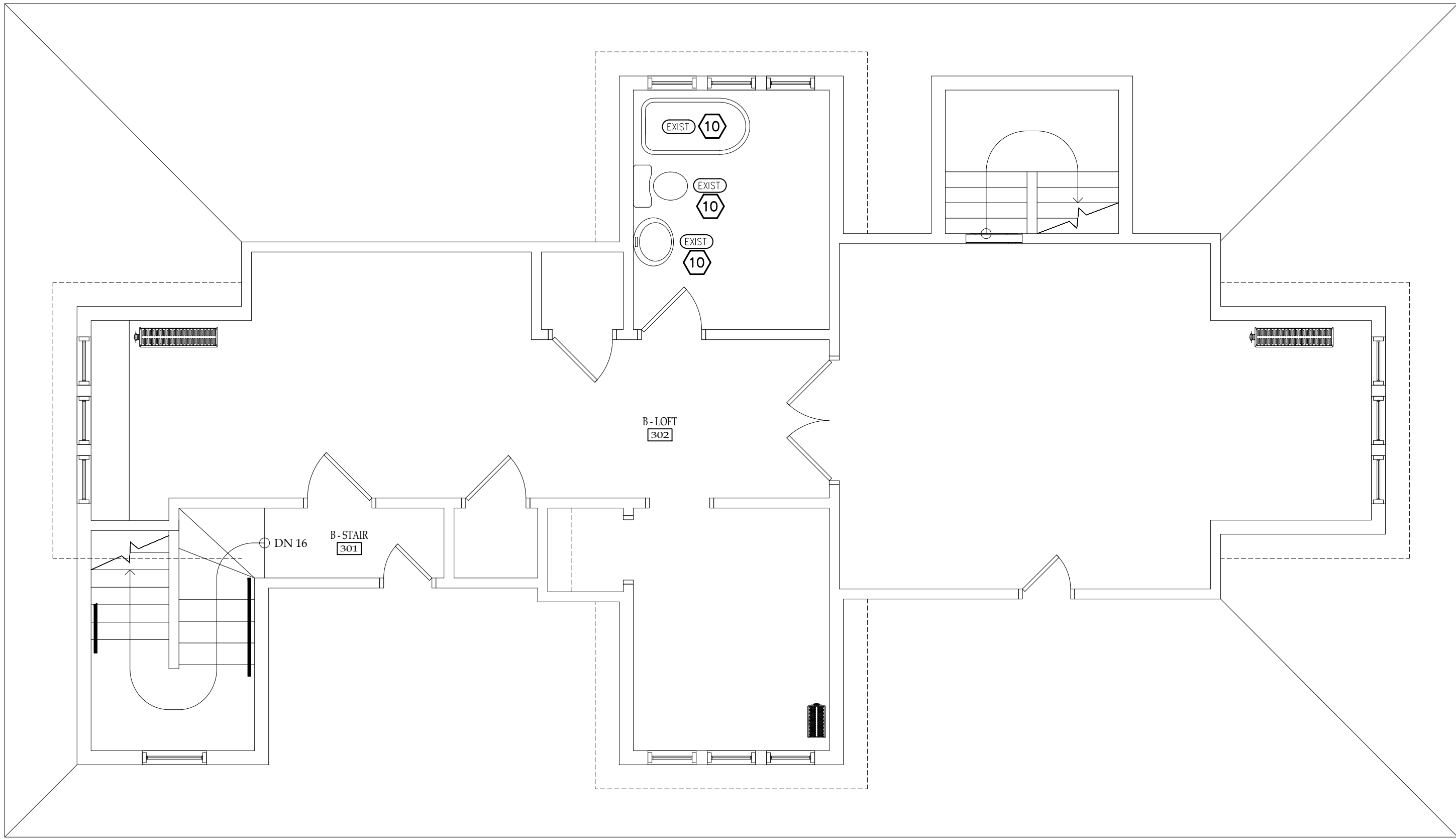
SA JOB #: 24101.01
DATE: 12-11-25

DRAWING #: P-100

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 108
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



1 SECOND FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- A. DOMESTIC WATER — REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS — REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS — REFER TO DETAILS ON DRAWING P-104.
- D. VERIFY PLUMBING FIXTURES AND EQUIPMENT TO BE REPLACED OR TO REMAIN AS IS PRIOR TO WORK STARTUP.

PLUMBING NOTES:

1. NEW LAVATORY (LV1) TO REPLACE EXISTING:
- 1.1. EXTEND/CUTBACK EXISTING 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 1.2. EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
2. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
- 2.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
- 2.2. EXTEND/CUTBACK EXISTING 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
3. NEW BATHTUB (BT1) TO REPLACE EXISTING:
- 3.1. EXTEND/CUTBACK EXISTING 1-1/2"DRAIN TO NEW BT1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 3.2. EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW BT1 WITH SHUT-OFF VALVES, CONNECT PER LOCAL AND STATE CODES.
4. NEW KITCHEN SINK (KS1):
- 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATION.
- 4.2. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.
5. NEW DISHWASHER (DW1):
- 5.1. EXTEND NEW 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER LOCAL AND STATE CODES.
- 5.2. EXTEND NEW 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTER, CONNECT PER LOCAL AND STATE CODES.
6. NEW ICE MACHINE BOX (IMB):
- 6.1. NEW 3/8"DCW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.
7. NEW WASHER MACHINE (WMB):
- 7.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
- 7.2. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.
8. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
9. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

SECOND AND
THIRD FLOOR
PLANS



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

DATE:

12-11-25

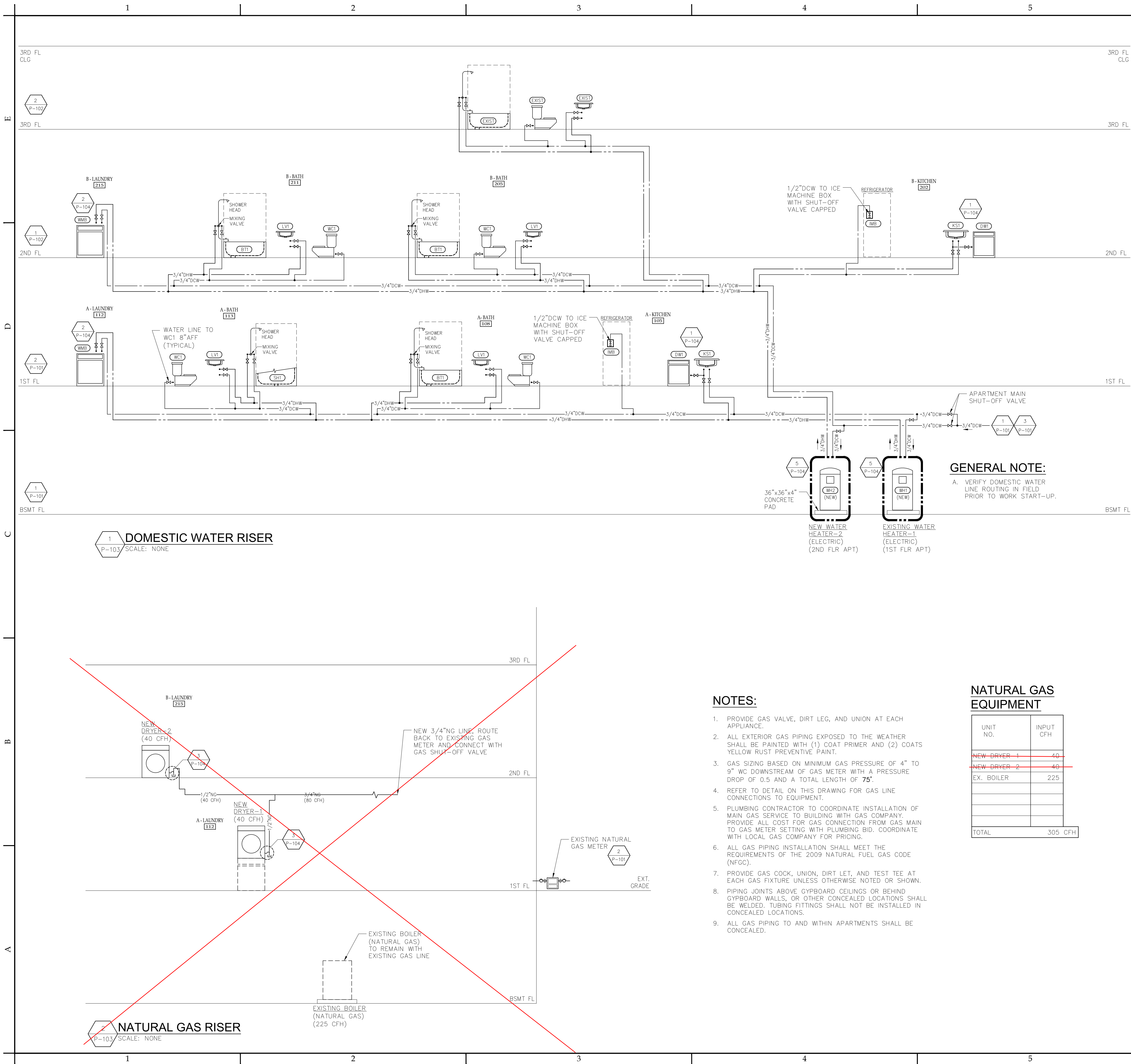
DRAWING #:

P-102

KROMAC Design Inc.

MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com

Project # 25-01-12



NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

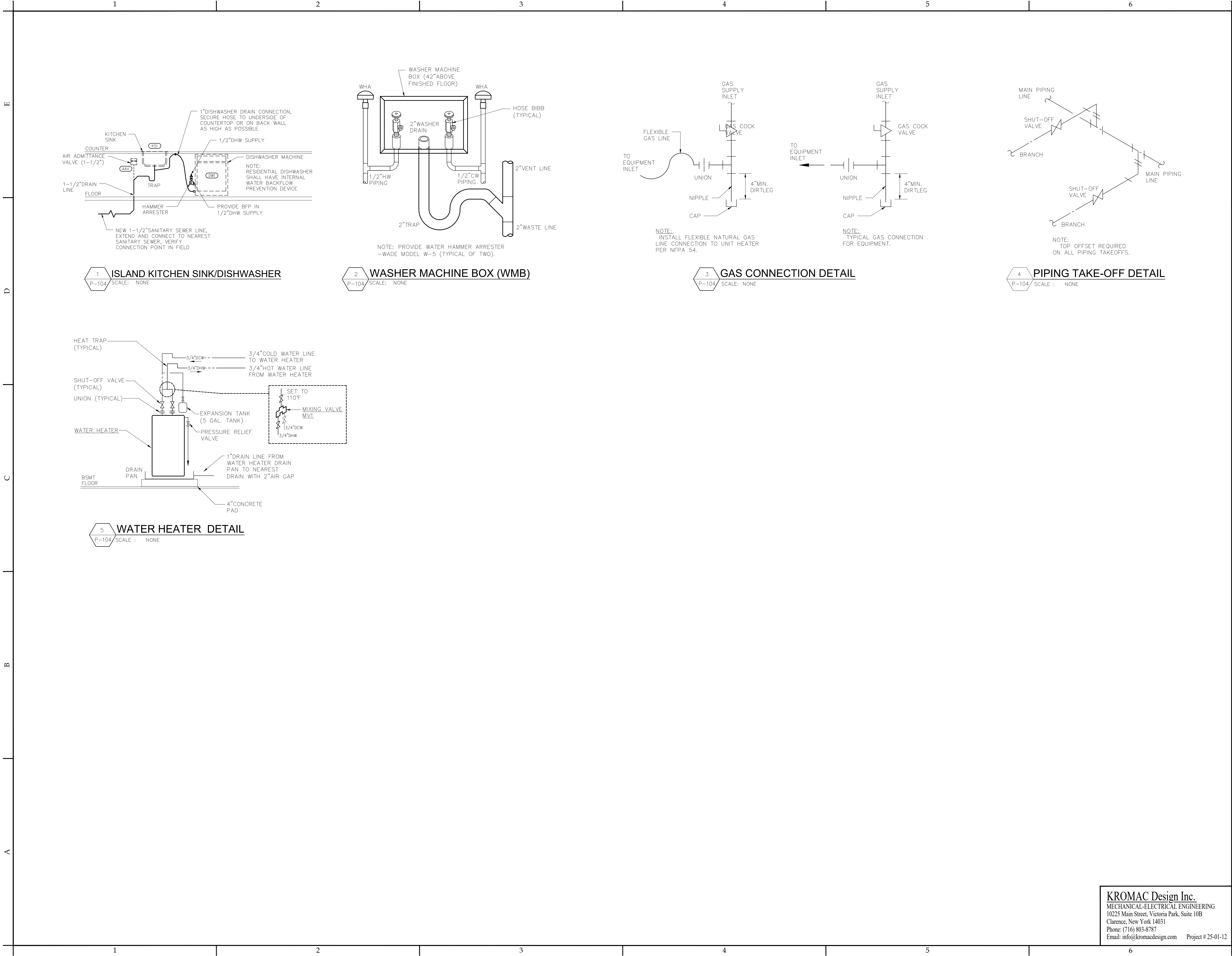
PLUMBING RISERS



SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **P-103**

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

DETAILS

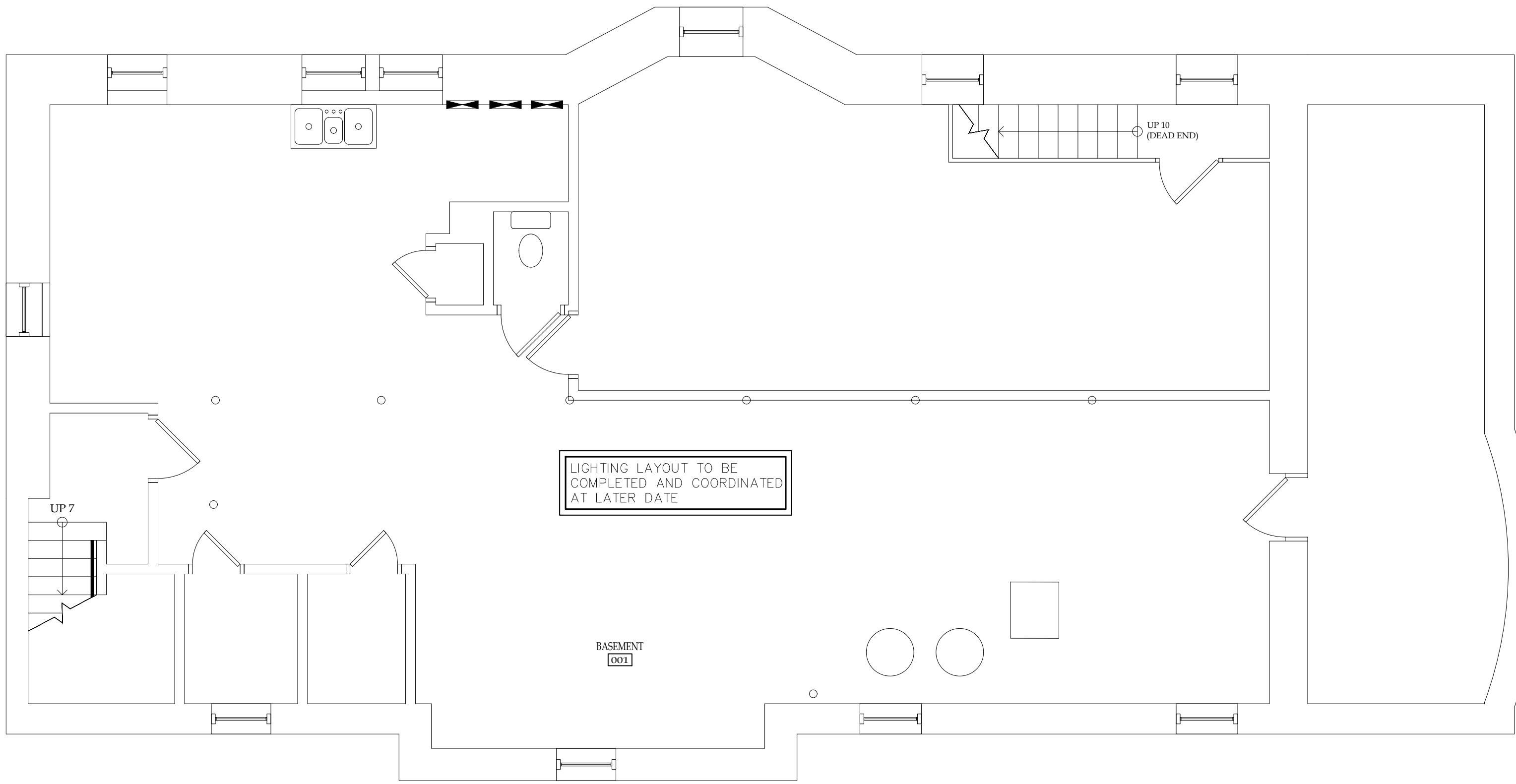
SILVESTRI ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

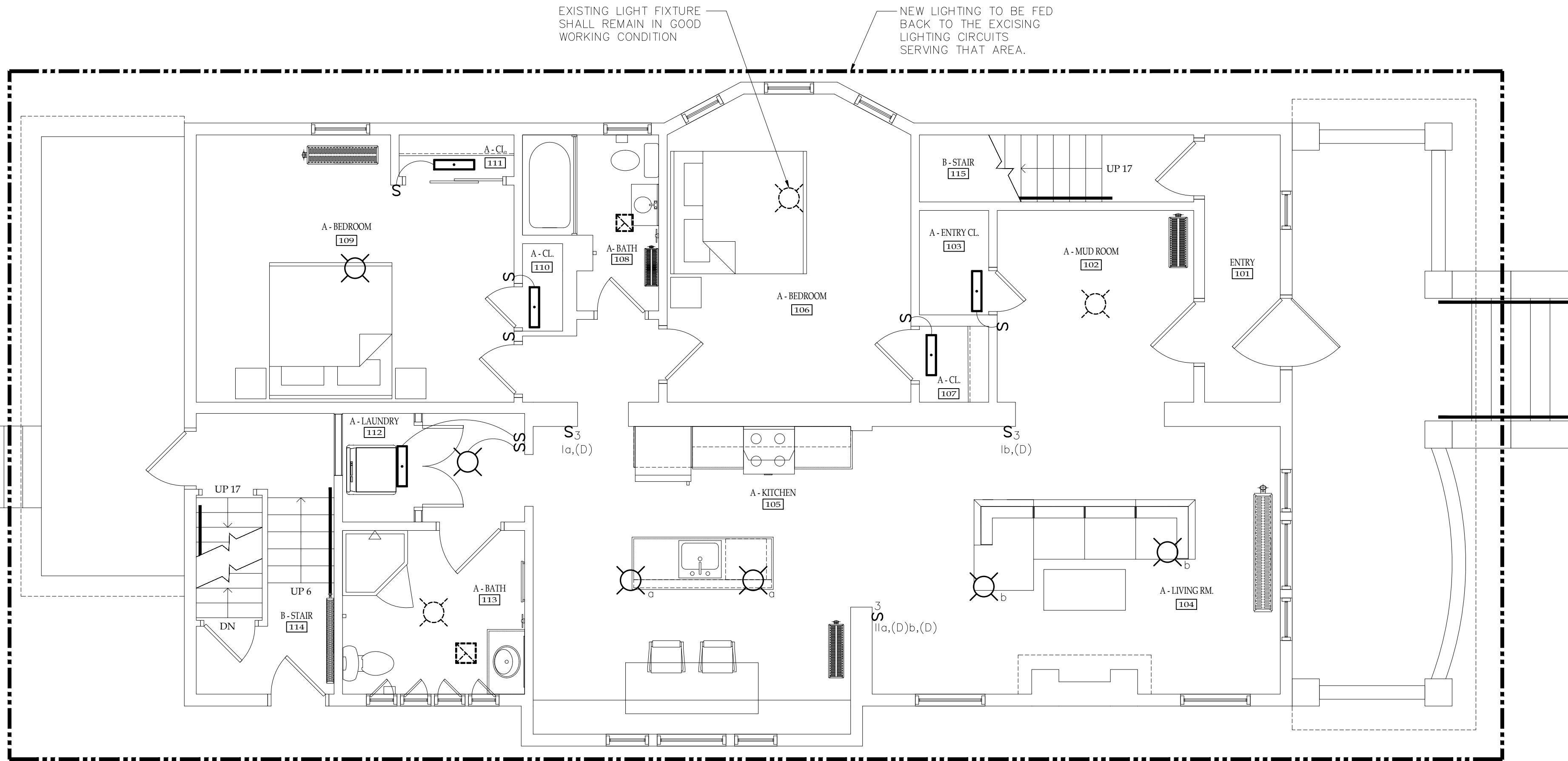
SA JOB #: 24101.01 **DATE:** 12-11-25

DRAWING #: P-104

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



1 BASEMENT PLAN - LIGHTING
E-101 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - LIGHTING
E-101 SCALE: 1/4" = 1'-0"



KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

ELECTRICAL FLOOR PLANS - LIGHTING



SILVESTRI
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

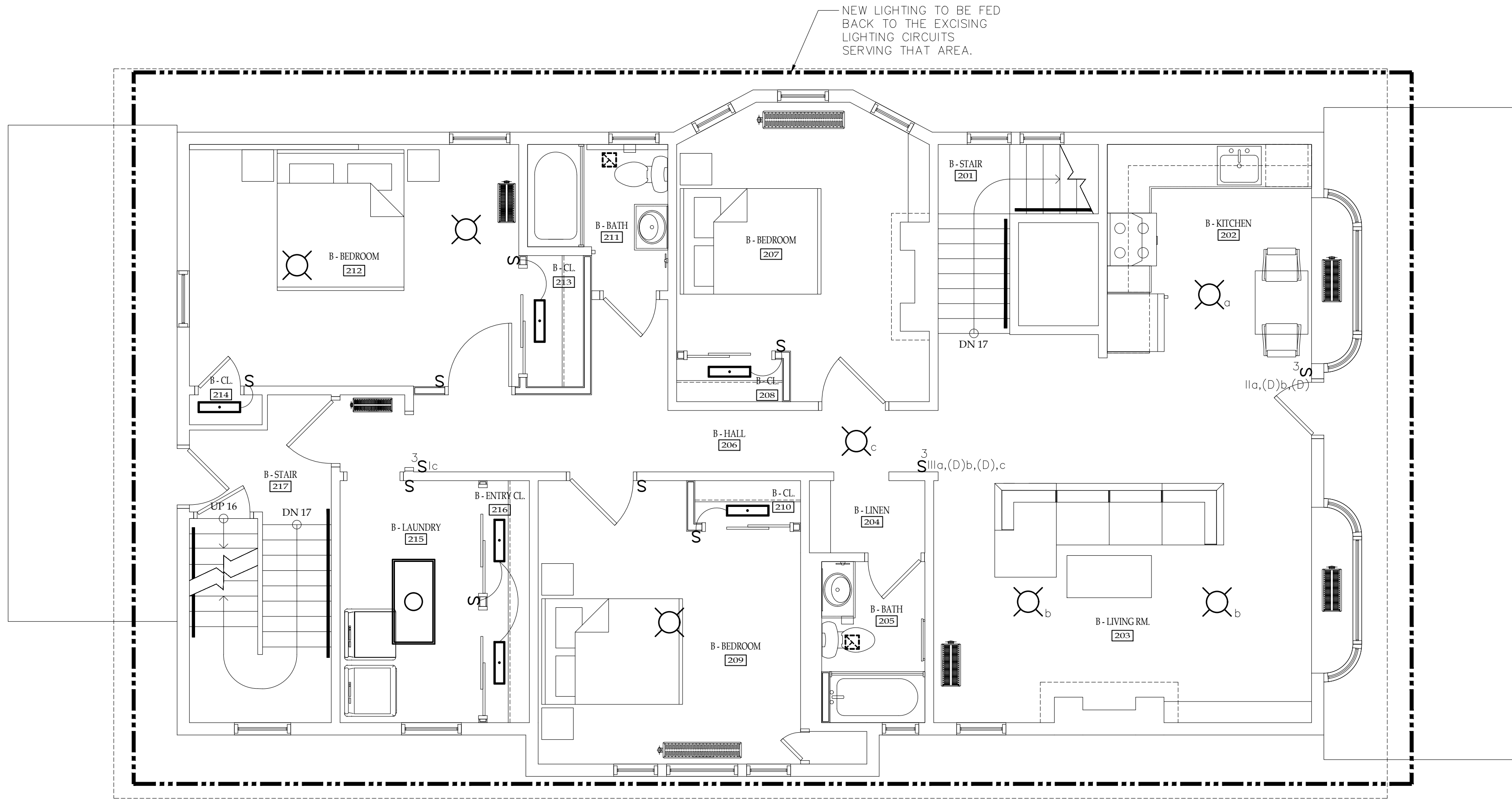
24101.01

DATE:

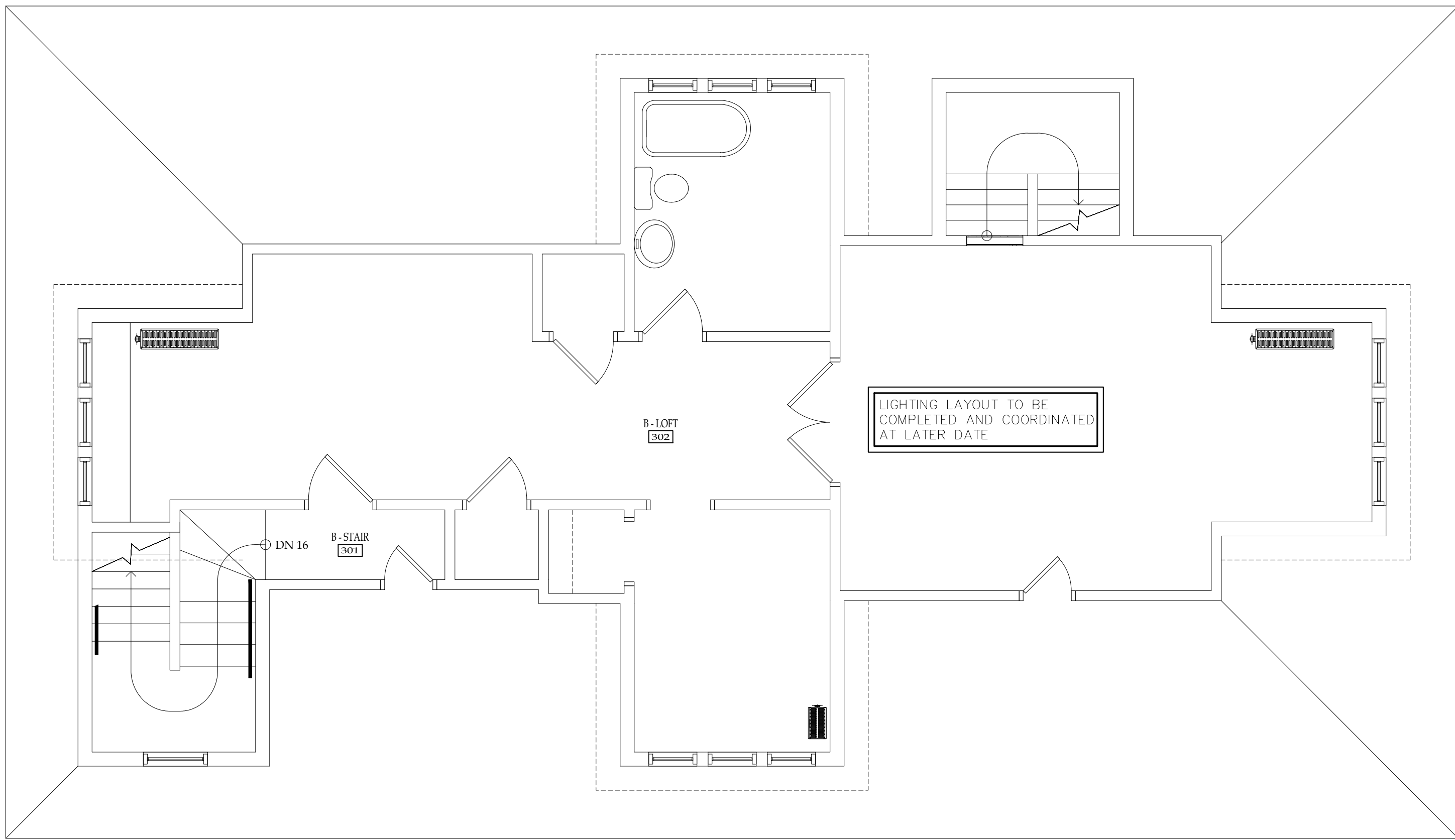
12-11-25

DRAWING #:

E-101



1 SECOND FLOOR PLAN - LIGHTING
E-102 SCALE: 1/4" = 1'-0" NORTH



2 THIRD FLOOR PLAN - LIGHTING
E-102 SCALE: 1/4" = 1'-0" NORTH

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

**ELECTRICAL
FLOOR PLANS -
LIGHTING**



**SILVESTRI
ARCHITECTS - PC**

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

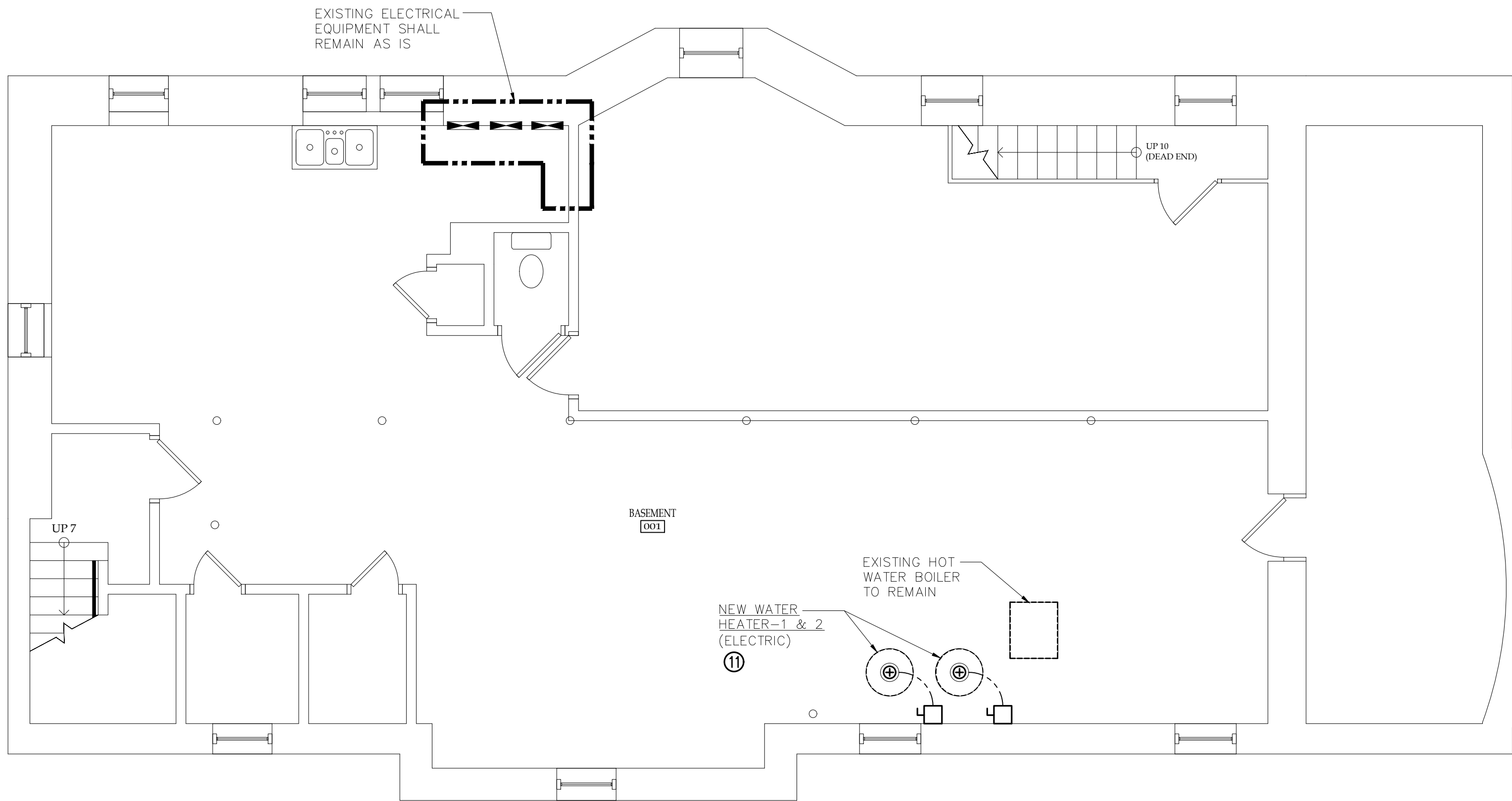
DATE:

12-11-25

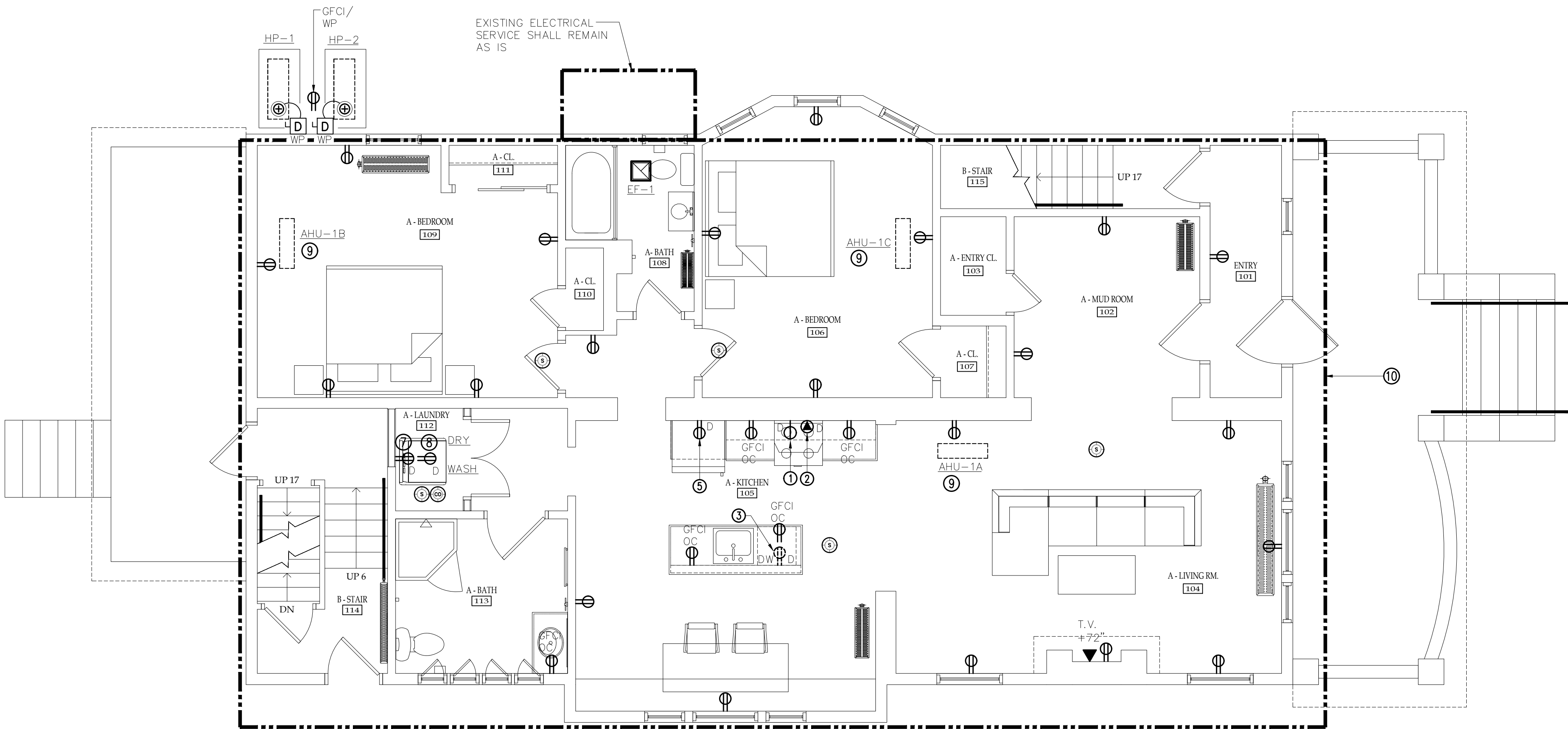
DRAWING #:

E-102

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



1 BASEMENT PLAN - POWER
E-101 SCALE: 1/4" = 1'-0" NORTH



2 FIRST FLOOR PLAN - POWER
E-101 SCALE: 1/4" = 1'-0" NORTH

GENERAL NOTES:

- PROVIDE #12 AWG. IN UNITS UNLESS SHOWN OTHER WISE.
- RECEPTACLES LOCATED IN THE DWELLING UNITS SHALL BE TAMPER RESISTANT.
- ALL BEDROOM, LIVING ROOM, KITCHEN, HALLWAY, LIVING SPACES BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 20A-1P RECEPTACLES IN APARTMENTS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- PROVIDE A (1) RG-6 COAXIAL CABLE FROM TV JACK TO THE HEAD END EQUIPMENT. TERMINATE TO TYPE F CONNECTOR WALL PLATES WHERE SHOWN ON PLANS.
- PROVIDE A TWISTED PAIR #24 AWG SOLID BARE COPPER WIRE FROM THE TELEPHONE JACK TO THE TELEPHONE DEMARK PANEL.
- ALL RECEPTACLE/DATA LOCATIONS SHALL BE VERIFIED WITH OWNER PRIOR TO ROUGH-IN. ALL CIRCUIT(NEW/EXISTING) SHALL BE VERIFIED WITH EXISTING FIELD CONDITIONS AND ADJUST CIRCUIT NUMBERS AS REQUIRED.

DRAWING NOTES:

- PROVIDE NEMA RECEPTACLE TO SUPPLY ELECTRIC RANGE. PROVIDE 2#8, 1#10GND WIRE BRANCH CIRCUIT. PROVIDE & MAKE FINAL CONNECTIONS TO A 50A-2P CIRCUIT BREAKER IN LOCAL APARTMENT PANEL. COORDINATE NEMA RECEPTACLE CONFIGURATION WITH EQUIPMENT MANUFACTURER PRIOR TO INSTALLING.
- PROVIDE 20A-1P CIRCUIT WITH A SINGLE RECEPTACLE LOCATED ABOVE FOR MICROWAVE/EXHAUST HOOD TO LOCAL APARTMENT PANEL. PROVIDE 2#12, 1#12GND.
- PROVIDE A 20A-1P DEDICATED BRANCH CIRCUIT WITH GFCI/AFCI BREAKER TO SERVE UNDERCOUNTER DISHWASHER. PROVIDE (2) #12 & 1 #12 GND.
- COORDINATE EXACT LOCATION OF EXISTING ELECTRIC PANEL IN FIELD.
- REFRIGERATOR SHALL BE PROTECTED BY A GFCI TYPE BREAKER.
- CONTRACTOR SHALL RECONNECT EXISTING MECH./PLUMBING EQUIPMENT BACK TO NEW HOUSE PANEL 'HP' AS REQUIRED. ELECTRICAL CONTRACTOR SHALL MAKE INSTALLATION COMPLETE AND OPERATIONAL. COORDINATE EXACT REQUIREMENTS IN FIELD.
- PROVIDE A 120V RECEPTACLE FOR WASHER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
- PROVIDE A 120V RECEPTACLE FOR GAS DRYER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
- INDOOR UNIT(AHU) IS TO BE FED FROM OUTDOOR UNIT(HP).
- ELECTRICAL CONTRACTOR SHALL FEED RECEPTACLES FROM AN EXCISING 20A/1P RECEPTACLE CIRCUIT SERVING THAT AREA. PROVIDE A NEW 20A/1P CIRCUIT IF REQUIRED. NO MORE THEN (8)EIGHT RECEPTACLES TO A 20A/1P CIRCUIT. ALL RECEPTACLES DESIGNATED WITH SUBSCRIPT 'D' ARE TO BE DEDICATED CIRCUITS.
- PROVIDE A 35A/1P DEDICATED BRANCH CIRCUIT TO SERVE WATER HEATER(S). PROVIDE 2#8 & 1#10 GND IN 3/4"øC.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

ELECTRICAL FLOOR PLANS - POWER



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

DATE:

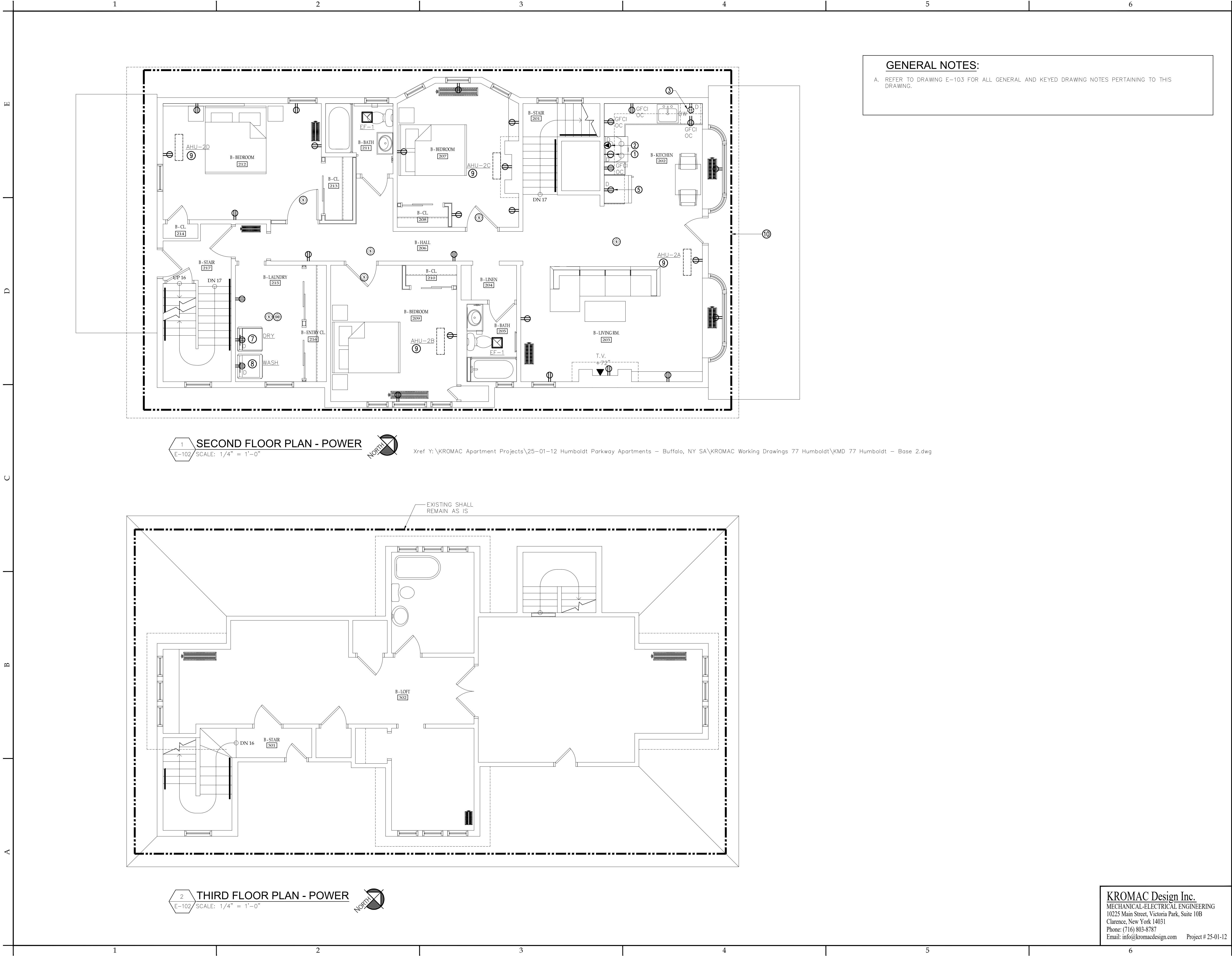
12-11-25

DRAWING #:

E-103

KROMAC Design Inc.

MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 108
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



GENERAL NOTES:

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

ELECTRICAL FLOOR PLANS - POWER

SILVESTRI ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **12-11-25**

DRAWING #: **E-104**

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

	1	2	3	4	5	6
	ELECTRICAL SPECIFICATIONS					
E	BASIC ELECTRICAL REQUIREMENTS					
	A. THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS WORK.					
	B. "THE CONTRACTOR", "THIS CONTRACTOR", "EC", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL," "SUPPLY," AND "INSTALL," AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.					
D	C. WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.					
	D. CODES AND STANDARDS:					
	1. NEW YORK STATE BUILDING CODE 2. NFPA STANDARDS 3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES 4. STATE CONSERVATION CONSTRUCTION CODE 5. LATEST ADOPTED NATIONAL ELECTRICAL CODE					
C	E. THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO:					
	1. BRANCH CIRCUIT WIRING AND RACEWAYS 2. WIRING DEVICES 3. DISCONNECTS 4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT 5. GROUNDING AND BONDING 6. LIGHTING FIXTURES AND LAMPS 7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT DEVICES, AND FEEDERS 8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK 9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, CONTROL PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS					
	F. PAY FOR ALL PERMITS, INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.					
B	G. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).					
	H. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).					
	I. ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).					
A	J. THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATIONS. WHERE STRUCTURAL CONDITIONS ENCOUNTERED NECESSITATE MINOR CHANGES, THESE SHALL BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT. WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.					
	K. NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING CONCRETE, ETC.					
	L. DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS. INSTALL ALL SLEEVES NECESSARY FOR THE WORK. WHEREVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR. RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATERTIGHT BY THIS CONTRACTOR.					
A	M. THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.					
	N. PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE SURFACES WITH THE WALLS. THIS CONTRACTOR SHALL PAY FOR ALL NECESSARY PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED TO:					
A	1. TEMPORARY POWER DISTRIBUTION 2. LAMP SOCKETS AND LAMPS 3. OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS 4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION					
	P. THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.					
	Q. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.					
A	R. PROVIDE PRODUCT DATA, CATALOG CUT SHEETS WITH MFG. SPECIFICATIONS FOR REVIEW BY ARCH./ENGR. FOR THE FOLLOWING ITEMS:					
	1. PANELBOARDS 2. SAFETY DISCONNECT SWITCHES 3. OUTLET BOXES 4. FITTINGS 5. LIGHTING FIXTURES 6. LAMPS 7. CONDUCTORS 8. DEVICES 9. TIME SWITCHES 10. TRANSFORMERS 11. FIRE ALARM SYSTEM					
	S. PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.					
A	T. MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB.					
	U. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75° C OPERATION.					
	RACEWAYS AND FITTINGS					
A	A. WHERE CALLED FOR ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE-THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR LEW.					
	B. WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.					
	C. ALL FEEDERS AND BRANCH CIRCUIT HOMERUNS SHALL BE INSTALLED IN EMT. WHERE ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.					
A	D. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	E. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
A	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
A	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	P. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Q. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	R. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	S. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	T. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	U. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	V. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	W. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	X. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Y. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Z. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.					
A	BB. SINGLE RUNS:					
	1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS					
	2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.					
A	3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.					
	WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.					
	CC. MULTIPLE RUNS:					
A	1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.					
	2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.					
	DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	P. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Q. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	R. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	S. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	T. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	U. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	V. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	W. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	X. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Y. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Z. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.					
	BB. SINGLE RUNS:					
A	1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS					
	2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.					
	3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.					
A	WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.					
	CC. MULTIPLE RUNS:					
	1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.					
A	2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.					
	DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
A	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	P. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Q. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	R. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	S. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	T. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	U. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	V. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	W. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	X. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Y. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Z. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.					
	BB. SINGLE RUNS:					
	1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS					
A	2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.					
	3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.					
	WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.					
A	CC. MULTIPLE RUNS:					
	1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.					
	2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.					
A	DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
A	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
A	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	P. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Q. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	R. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	S. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	T. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	U. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	V. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	W. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	X. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Y. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Z. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.					
A	BB. SINGLE RUNS:					
	1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS					
	2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.					
A	3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.					
	WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.					
	CC. MULTIPLE RUNS:					
A	1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.					
	2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.					
	DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	P. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Q. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	R. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	S. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	T. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	U. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	V. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	W. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	X. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	Y. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	Z. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.					
	BB. SINGLE RUNS:					
A	1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS					
	2. IN HOLLOW MASONRY: EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.					
	3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.					
A	WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.					
	CC. MULTIPLE RUNS:					
	1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.					
A	2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.					
	DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
A	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
A	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	J. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	K. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	L. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	M. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
	N. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
A	O. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO					