



S.A. PROJECT # 24101.01
DATE: 12-11-2025

Humboldt Pkwy Apartments

103 Humboldt Parkway

Buffalo, NY 14214

HHAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business



DOFI PROPERTIES

ARCHITECT:
SILVESTRI ARCHITECTS, P.C.

1321 MILLERSPORT HIGHWAY, SUITE 101
AMHERST, NY 14221
Phone: 716-691-0900
Fax: 716-691-4773
E-mail: davidg@silvestriarchitects.com
Contact: David Garry

STRUCTURAL ENGINEER:
PETRILLI STRUCTURAL & CONSULTING ENGINEERING, P.C.
245 KINSEY AVE, SUITE 100
KENMORE, NY 14217
Phone: 716-854-3508
E-mail: ajpetrilli@petrilliengineering.com
Contact: AJ Petrilli

M.E.P. ENGINEER:
KROMAC DESIGN, INC.
10225 MAIN STREET, SUITE 10B
CLARENCE, NY 14031
Phone: 716-803-8787
Fax: 716-407-0552
E-mail: kevin@kromacdesign.com
Contact: Kevin O'Donnell, PE, LEED AP

SHEET INDEX

TITLE SHEET

STRUCTURAL:

NONE REQUIRED THIS PROPERTY

ARCHITECTURAL:

A-001 GENERAL NOTES
A-002 PARTITION TYPES & DETAILS
AD-101 BASEMENT & FIRST FLOOR DEMOLITION PLANS
AD-102 SECOND & THIRD FLOOR DEMOLITION PLANS
AD-103 FIRST & SECOND FLOOR REFLECTED CEILING DEMOLITION PLANS
AD-201 EXTERIOR DEMOLITION ELEVATIONS
AD-202 EXTERIOR DEMOLITION ELEVATIONS
A-101 BASEMENT & FIRST FLOOR PLANS
A-102 SECOND & THIRD FLOOR PLANS
A-103 FIRST & SECOND FLOOR REFLECTED CEILING PLANS
A-201 EXTERIOR ELEVATIONS
A-202 EXTERIOR ELEVATIONS
A-401 ENLARGED PLANS & ELEVATIONS
A-402 ENLARGED PLANS & ELEVATIONS
A-501 MILLWORK DETAILS
A-502 MILLWORK DETAILS
A-601 DOOR & FRAME SCHEDULE, TYPES, & DETAILS
A-602 FINISH SCHEDULE
A-603 BASEMENT & FIRST FLOOR FINISH PLANS
A-604 SECOND & THIRD FLOOR FINISH PLANS

MECHANICAL:

M-100 SCHEDULES AND SPECIFICATIONS
M-101 BASEMENT & FIRST FLOOR PLANS
M-102 SECOND & THIRD FLOOR PLANS

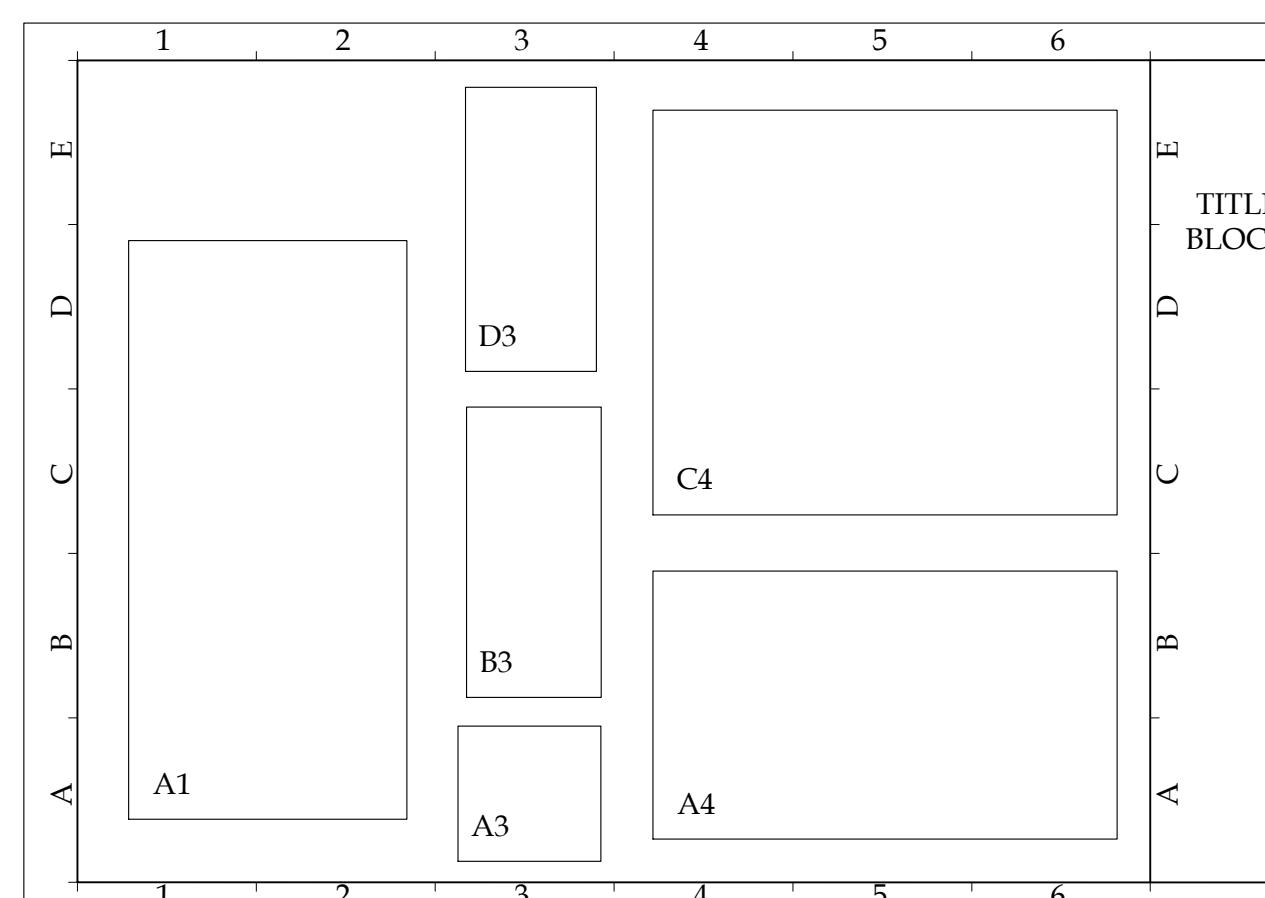
PLUMBING:

P-100 SCHEDULES AND SPECIFICATIONS
P-101 BASEMENT AND FIRST FLOOR PLANS
P-102 SECOND AND THIRD FLOOR PLANS
P-103 PLUMBING RISERS
P-104 DETAILS

ELECTRICAL:

E-100 ELECTRICAL LEGENDS AND NOTES
E-101 ELECTRICAL FLOOR PLANS - LIGHTING
E-102 ELECTRICAL FLOOR PLANS - LIGHTING
E-103 ELECTRICAL FLOOR PLANS - POWER
E-104 ELECTRICAL FLOOR PLANS - POWER
E-105 ELECTRICAL FLOOR PLANS - SPECIFICATIONS

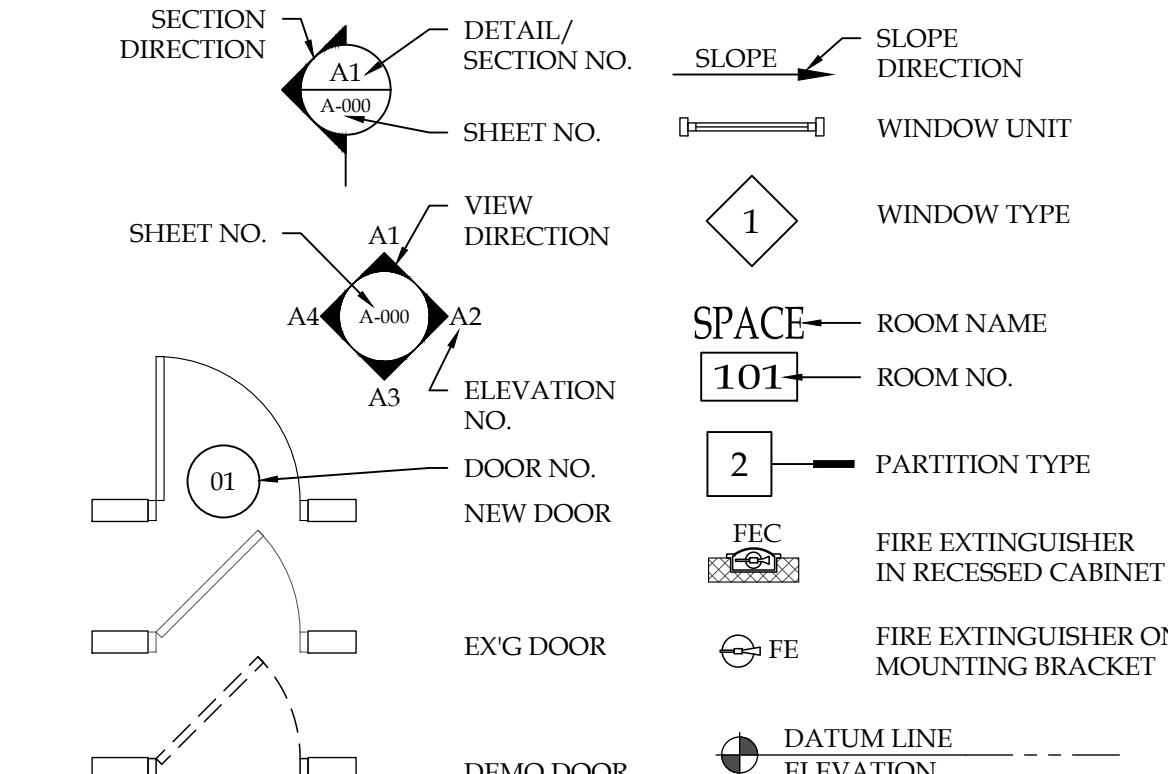
DRAWING AREA LOGIC



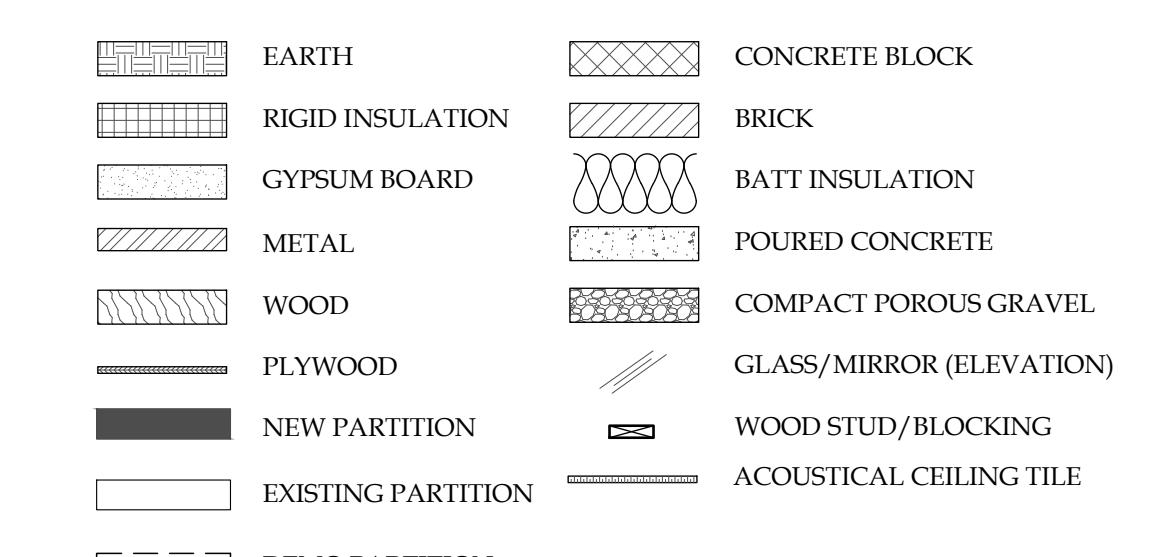
ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
AC	AIR CONDITION (ING)	MO	MASONRY OPENING
ALT	ALTERNATE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AUTO	AUTOMATIC	MEL	MELT
BM	BEAM	MTP	METAL TOILET PARTITION
BRG	BEARING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	MULL	MULLION
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOMS	NOM	NOMINAL
BRK	BRICK	NO	NUMBER
BEJ	BRICK EXPANSION JOINT	OC	ON CENTER
BC	BRICK COURSE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BUR	BUILT-UP ROOFING	OPPH	OPPOSITE HAND
CLG	CEILING	OH	OVERHEAD
CAB	CABINET	PMBC	PREENGINEERED METAL
CPT	CARPET	BUILDING CONTRACTOR	
CW	CASEWORK	PNT	PAINT (ED)
CB	CATCH BASIN	PNL	PANEL
CEM	CEMENT	PTD	PAPER TOWEL DISPENSER
CT	CERAMIC TILE	PTR	PAPER TOWEL RECEPTACLE
CHBD	CHALK BOARD	PVMT	PAVEMENT
CLR	CLEAR	PGBD	PEG BOARD
COM	COMIN	PLAS	PLASTIC
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PL	PLATE
CONT	CONTINUOUS	POL	POLISHED
CONTR	CONTRACTOR	PWD	PLYWOOD
CJ	CONTROL JOINT	PT	POINT
CG	CORNER GUARD	PSI	POUNDS PER SQ. INCH
CRS	COURSE	PSF	POUNDS PER SQ. FOOT
DEI	DETAIL	PREFAB	PREFABRICATED
DIA	DIAMETER	PREF	PREFINISHED
DIM	DIMENSION	PROJ	PROJECTION
DISP	DISPENSER	PL	PROPERTY LINE
DN	DOWN	QT	QUARRY TILE
DS	DOWNSPOUT	RAD	RADIUS
DWG	DRAWING	RWL	RAIN WATER LEADER
DF	DRINKING FOUNTAIN	RECPT	RECEPTACLE, ELECTRIC
DIFF	DIFFUSER	REC	RECESS
EA	EACH	REFR	REFRIGERATOR
EIPS	EXTERIOR INSULATION & FINISH SYSTEM	REG	REGISTER
ELEC	ELECTRICAL	REQ'D	REQUIRED
EL	ELEVATOR	RES	RECESS (ED)
ELEV	ELEVATION	REC'D	RECEIVED
EQ	EQUAL	RET	RETURN
EF	EXHAUST FAN	RA	RETURN AIR
EXIST	EXISTING	RVS	REVERSE
EXG	EXG	REV	REVISION
EL	EXPANSION JOINT	RH	RIGHT HAND
FB	FACE BRICK	ROW	RIGHT OF WAY
FIN	FINISH (ED)	RISER	RISER
FA	FIRE ALARM	RD	ROOF DRAIN
FEC	FIRE EXTINGUISHER CABINET	RFG	ROOFING
FHC	FIRE HOSE CABINET	RM	ROOM
FP	FIRE PROOFING	RND	ROUND
FL	FLOOR	SDL	SADDLE
FD	FLOOR DRAIN	STG	SEATING
FT	FOOT	SHTH	SHEATHING
FWC	FACE WALL COVERING	SHT	SHEET
FIG	FOOTING	SHTR	SHOWER
FDTN	FOUNDATION	SIM	SIMILAR
FUR	FURRING	SPKR	SPEAKER
GAL	GALLON	SPEC	SPECIFICATIONS
GA	GAGE	SQ	SQUARE
GC	GENERAL CONTRACTOR	SST	STAINLESS STEEL
GL	GLASS	SP	STANDPIPE
GB	GRAB BAR	STD	STANDARD
GWB	GYPSUM WALL BOARD	SD	STORM DRAIN
GYP	GYPSUM	SGT	STRUCTURAL GLAZED TILE
HDW	HARDWARE	STRUCT	STRUCTURAL
WD	HARDWOOD	SUSP	SUSPENDED
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SW	SWITCH
HT	HEIGHT	SV	SHEET VINYL
HC	HOLLOW CORE	TB	TACKBOARD
HM	HOLLOW METAL	TEL	TELEPHONE
HORIZ	HORIZONTAL	TEMP	TEMPERATURE
HB	HOSE BIB	TEX	TEXTURE
HW	HOT WATER	THK	THICK (NESS)
INSUL	INSULATE (D) (ION)	THR	THRESHOLD
INS GL	INSULATED GLASS	TP	TOILET PAPER HOLDER
INV	INVERT	T/O	TOP OF
JAN	JANITOR	TB	TOWEL BAR
JT	JOINT	TP	TYPICAL
KIT	KITCHEN	UCL	UNDER CABINET LIGHT
KO	KNOCK OUT	UC	UNDERCUT
LAM	LAMINATED	UR	URINAL
LAV	LAVATORY	VTR	VENT THRU ROOF
LH	LAUNDRY	VENT	VENTILATOR
LGT	LEAD	VERT	VERTICAL
LIT	LIGHT	VEST	VESTIBULE
LF	LINEAR FEET	VCT	VINYL COMPOSITE TILE
LTL	LINTEL	VIF	VERIFY IN FIELD
LL	LIVE LOAD	VWC	VINYL WALL COVERING
LLH	LONG LEG HORIZONTAL	WSC	WAINGRASS
LLV	LONG LEG VERTICAL	WS	WEATHER STRIP
LMF	LIGHT GAUGE METAL	WT	WEIGHT
FRAMING		WFW	WELDED WIRE FABRIC
LVR	LOUVER	WCFD	WHEELCHAIR DRINKING
LP	LOW POINT	FOUNTAIN	
LVT	LUXURY VINYL TILE	W/O	WITHOUT
MACH	MACHINE	W/	WITH
MH	MANHOLE	WD	WOOD

DRAFTING SYMBOLS



MATERIAL SYMBOLS



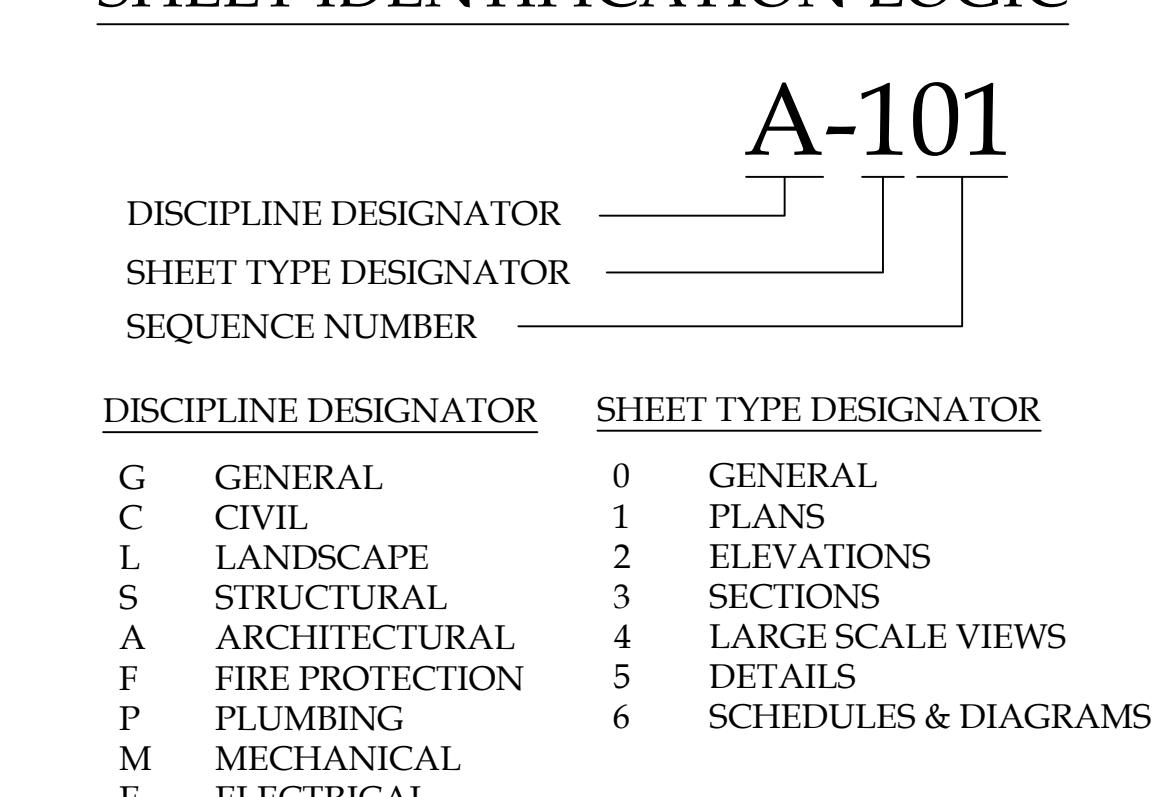
BUILDING DATA:

CONSTRUCTION TYPE: VB
OCCUPANCY: R3
SPRINKLERED: NO
STORIES: 3
GROSS FLOOR AREA: 2,880 SQ. FT.

ISSUE

2025-12-11 ISSUED FOR PERMIT

SHEET IDENTIFICATION LOGIC



1	2	3	4	5	6
<p>GENERAL NOTES:</p> <p>1. DO NOT SCALE DRAWINGS.</p> <p>2. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.</p> <p>3. CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.</p> <p>4. THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.</p> <p>6. THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS.</p> <p>7. THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.</p> <p>8. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.</p> <p>9. ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.</p> <p>10. THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/OWNER OF THE BUILDING.</p> <p>12. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.</p> <p>13. THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.</p> <p>14. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.</p> <p>15. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.</p> <p>16. CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.</p> <p>17. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.</p> <p>18. ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.</p> <p>19. PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.</p> <p>20. ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.</p> <p>21. CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.</p> <p>22. PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.</p> <p>23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.</p> <p>24. WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.</p> <p>25. ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.</p> <p>26. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJEKT MORE THAN 4" BEYOND THE FACE OF THE WALL. RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL.</p> <p>27. DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.</p> <p>28. BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.</p> <p>29. CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.</p> <p>30. ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.</p> <p>31. DO NOT SCALE DRAWINGS. THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.</p> <p>32. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.</p> <p>33. THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.</p> <p>34. DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.</p> <p>35. MECHANICAL, ELECTRICAL, AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.</p> <p>36. CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.</p> <p>37. ALL GYPSUM WALL BOARD TO BE TAPE AND SANDED AT INTERSECTION OF CONSTRUCTION (NO. "J" MOLD)</p> <p>38. PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.</p> <p>39. DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.</p> <p>40. CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.</p> <p>41. THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.</p> <p>42. CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.</p> <p>43. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.</p>					
<p>NOTICE This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.</p> <p>This document is the exclusive property of the architect, no rights to ownership are transferable, and shall not be lost or damaged. This document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.</p> <p>HAYES CONSTRUCTION SERVICES New York Certified Woman-Owned Business</p> <p>DOFI PROPERTIES Humboldt Pkwy Apartments 103 Humboldt Parkway Buffalo, NY 14214</p> <p>SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. _____ DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle</p> <p>SEAL:</p> <p>TITLE:</p> <p>GENERAL NOTES</p> <p>SILVESTRI ARCHITECTS • PC 1321 MILLERSPORT HWY PH. 716.691.0800 AMHERST, NY 14221 FAX 716.691.4773</p> <p>SA JOB #: 24101.01 DATE: 12-11-25 DRAWING #: A-001</p>					

GENERAL WALL NOTES

- SEE SPECIFICATIONS FOR APPLICATIONS OF GYPSUM PRODUCTS, UNLESS NOTED ON DRAWINGS. REFER TO SPECIFICATIONS FOR SPECIAL APPLICATIONS, THICKNESS, AND TYPES, (I.E. MOLD & MOISTURE RESISTANCE, TILE BACKER BOARDS, ETC.)
- REFER TO THE LATEST EDITION OF UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE DIRECTORY FOR ADDITIONAL REQUIREMENTS ON UL RATED ASSEMBLIES AS NOTED IN THE WALL SCHEDULE.
- USE ONLY PARTITIONS IDENTIFIED ON THE PLANS.
- STC = SOUND TRANSMISSION CLASS - REFER TO THE WALL SCHEDULE IN PLAN FOR WALLS THAT ARE SOUND RATED.
- ALL SEALANTS IN RATED WALL LOCATIONS REFERENCED IN THE WALL TYPE DETAILS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE UNDERWRITERS LABORATORIES INC FIRE RESISTANCE DIRECTORY. IN ADDITION TO FIRE RESISTANCE, WALL LOCATIONS CALLED OUT WITH REQUIRED ACOUSTICAL VALUE, AS NOTED IN WALL SCHEDULE, SHALL HAVE SEALANTS THAT MAINTAIN THE MINIMUM SOUNDS VALUE OF THE WALL PARTITION.
- FIRE CAULK ALL PENETRATIONS IN RATED WALL ASSEMBLIES.
- ASSEMBLIES SHOULD BE AIRTIGHT. HAIRLINE CRACKS AND HOLES ARE NOT ALLOWED.
- RECESSED WALL FIXTURES SUCH AS CABINETS, OUTLETS, AND OTHER ITEMS WHICH PENETRATE THE GYPSUM BOARD SURFACE SHOULD NOT BE LOCATED BACK TO BACK IN THE SAME STUD CAVITY.
- ANY OPENINGS CUT FOR ANY FIXTURES SHALL BE CAREFULLY CUT TO SIZE, PROPERLY FASTENED, INSULATED PER WALL ASSEMBLY AND PROPERLY CAULKED.
- THE ENTIRE PERIMETER OF A SOUND INSULATING ASSEMBLY MUST BE MADE AIRTIGHT TO PREVENT SOUND FROM "FLANKING".
- AN ACOUSTICAL SEALANT SHOULD BE USED TO SEAL BETWEEN THE SOUND INSULATING ASSEMBLY AND ALL DISSIMILAR ASSEMBLIES AND BETWEEN THE ASSEMBLY AND SIMILAR SURFACES WHERE PERIMETER RELIEF IS REQUIRED. TAPING AND CAULKING OF GYPSUM BOARD WALL AND WALL-CEILING INTERSECTIONS PROVIDES AN ADEQUATE AIR SEAL AT THESE LOCATIONS.
- ASTM RECOMMENDED PRACTICES E-497 SHOULD BE FOLLOWED FOR GOOD SOUND CONTROL. ALSO CONSULT THE MANUFACTURER OF THE GYPSUM BOARD FOR ANY SPECIAL RECOMMENDATIONS RELATING TO THEIR SYSTEM.

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, and shall not be sold. Copying of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

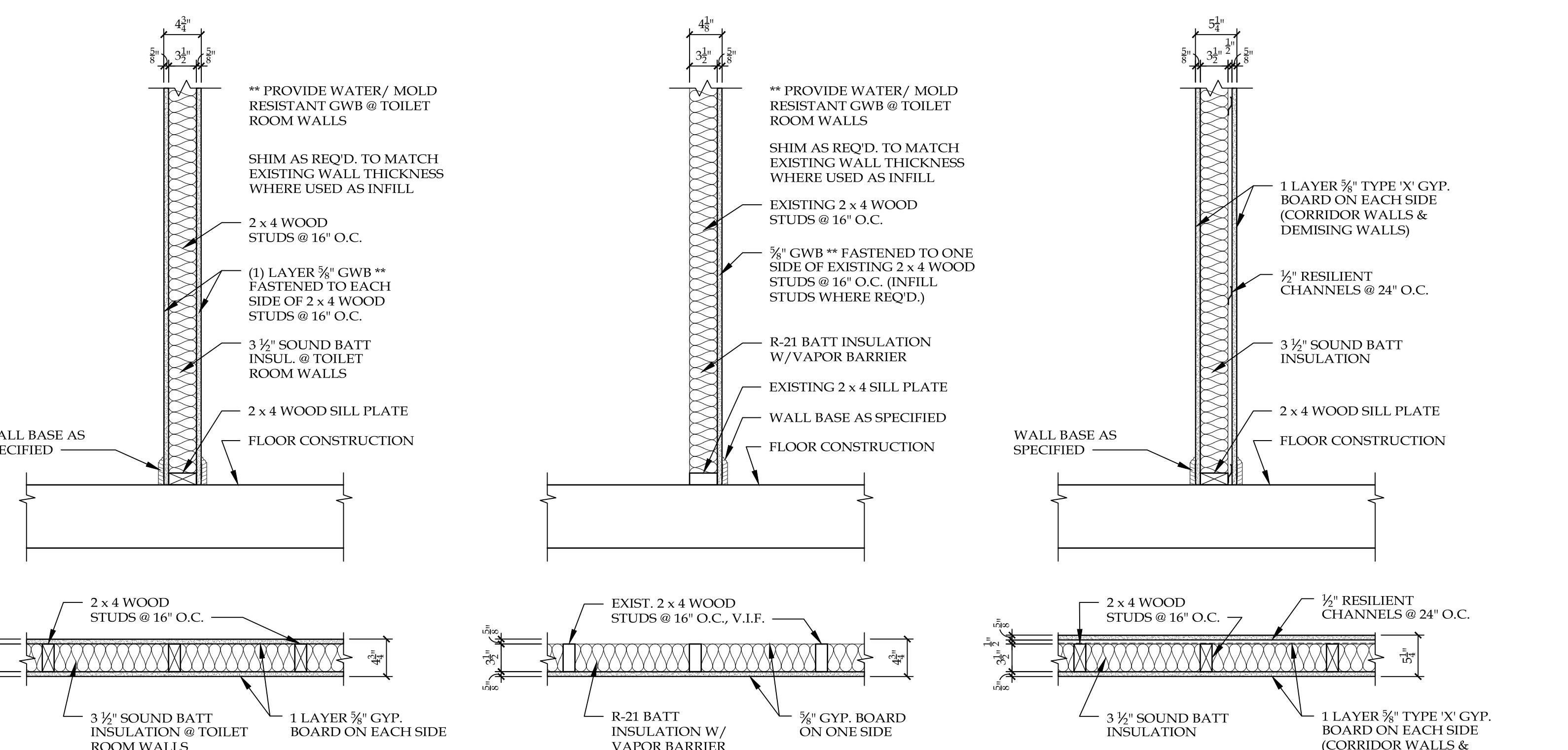
TITLE: PARTITION TYPES & DETAILS



SILVESTRI
ARCHITECTS • PC
1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-101



1 STANDARD ACOUSTICAL 2 x 4 PARTITION
NEW STUD WALL OR INFILL

USE MOISTURE & MOLD RESISTANT
GYP. BD. AT ALL WET LOCATIONS

1A STANDARD 2 x 4 PARTITION
NO SOUND BATT INSULATION REQ'D.

2 ONE-SIDED 2 x 4 PARTITION

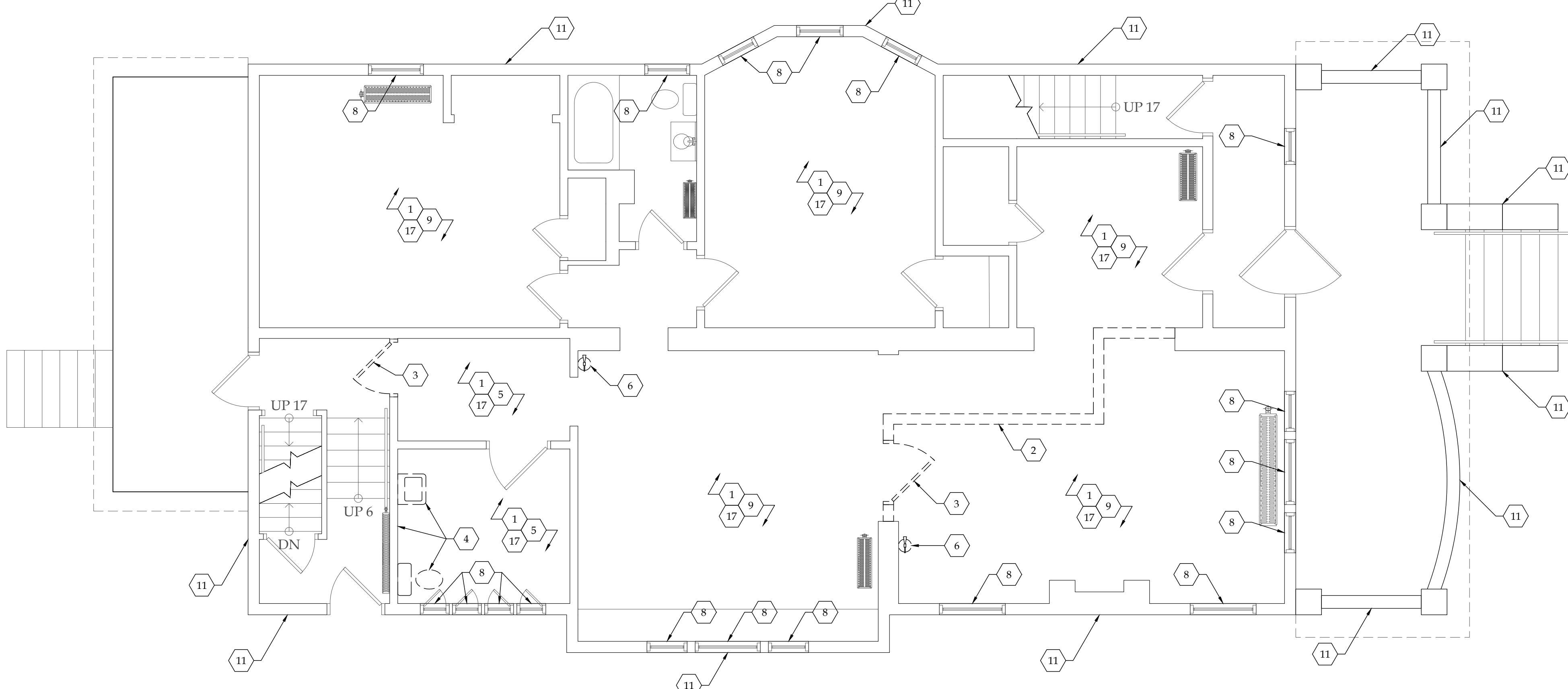
USE MOISTURE & MOLD RESISTANT
GYP. BD. AT ALL WET LOCATIONS

3 ONE-HOUR RATED DEMISING WALL

UL Design No. U305

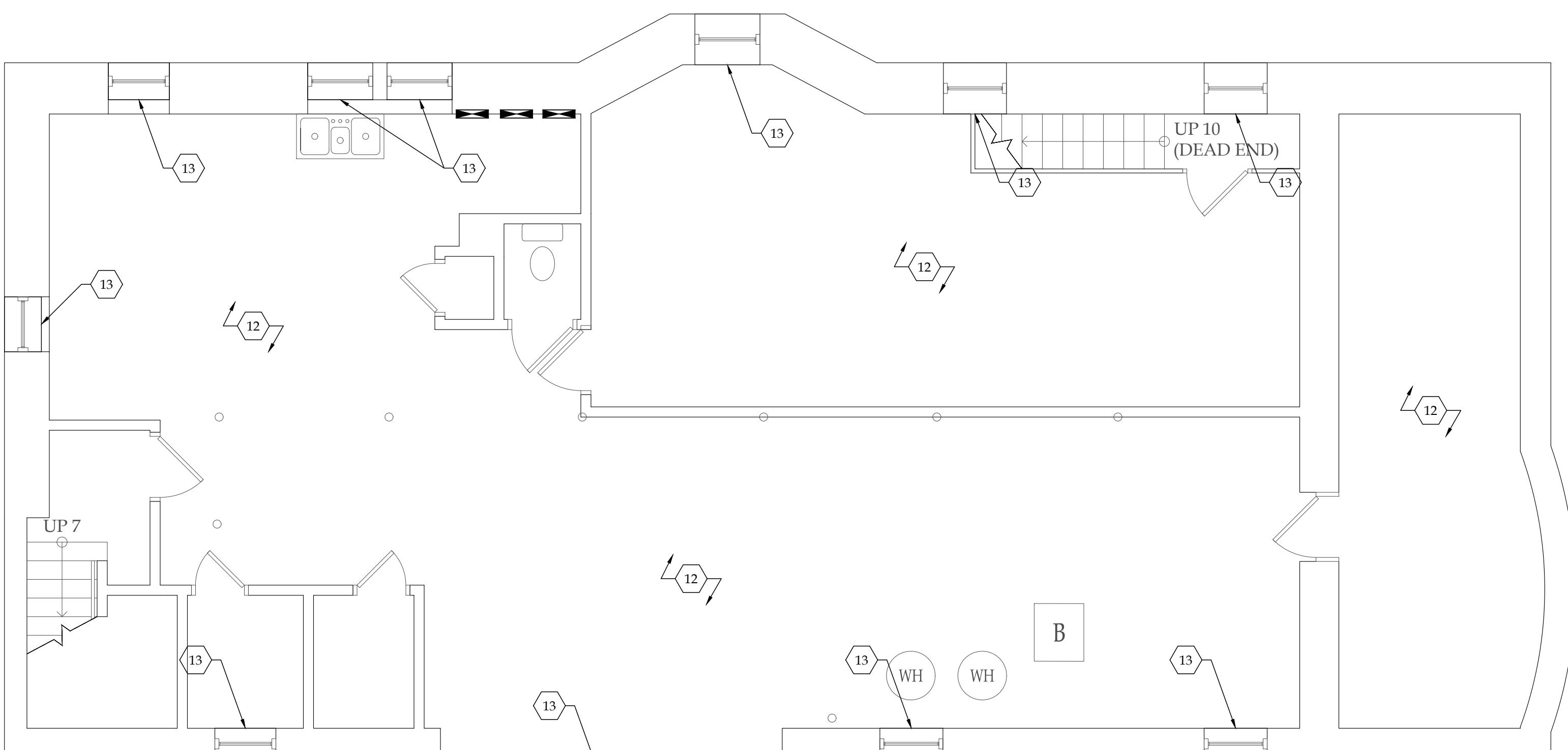
- BEARING WALL RATING - 1 HR.
- INSTALL ACOUSTICAL SEALANT AT TOP & BOTTOM OF ALL DEMISING WALLS.
- STC 50 MIN.

3A ONE-HOUR RATED DEMISING WALL
- EXISTING 2 x 4 STUDS



C1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



A1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES:

- ① REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE TRIM. REMOVE ALL EXISTING SURFACES, INCLUDING TAPE STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES. (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, THE CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- ② CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR IN TENEMENTS AS REQUIRED. BE SENSIBLE & ALLOW CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES, INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STRINGS, WATER SUPPLY & DRAIN LINES, ETC. BACK TO BOUNDARY. COORDINATE ALL DEMOLITION WORK TO MEP COORDINATION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- ③ REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
- ④ DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWER DASHER TEMPORARILY CAP OFF, REOPEN DRAIN AS NECESSARY TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/PLUMB & ELECTRICAL DWGS.)
- ⑤ CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING GLAZED, PEW, & TILE BASE INFIELD. CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).
- ⑥ REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTED HARNESS & SIGNAGE. COORD. SALVAGE & OR DISPOSAL WITH OWNER.
- ⑦ DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
- ⑧ REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.
- ⑨ DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
- ⑩ REMOVE & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
- ⑪ REMOVE PEELING MORTAR & EFFLUSION SCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
- ⑫ ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED ~~TO THE EXTENT REQUIRED FOR NEW FINISHES~~ COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
- ⑬ TROSING BASEMENT WINDOWS TO BE REPAID, RE-CAULKED, RE-GLAZED, MESH RE-FOOTED, OR REPLACED IN KIND. CONTRACTOR SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.
- ⑭ REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
- ⑮ DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- ⑯ DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY. (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- ⑰ REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES. (SEE ROOM FINISH PLAN & SCHEDULES).

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSITES & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

DEMO PLAN SYMBOL LEGEND:

- = EXISTING WALL TO BE REMOVED
- = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
- = EXISTING DOOR TO BE REMOVED
- = EXISTING DOOR TO REMAIN
- = EXISTING WINDOW TO BE REMOVED

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name. and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or destroyed. This document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

BASEMENT &
FIRST FLOOR
DEMOLITION
PLANS



1321 MILLERSPORT HWY PH. 716.691.0890
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: AD-101

1 2 3 4 5 6

E D C B A

1 2 3 4 5 6

E D C B A

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or modified in this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
SECOND & THIRD FLOOR DEMOLITION PLANS

SILVESTRI ARCHITECTS • PC
1321 MILLERSPORT HWY PH. 716.691.0890
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 **DATE:** 12-11-25
DRAWING #: AD-102

DEMOLITION PLAN NOTES:

- REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE TRIM. REMOVE ALL SURFACES, INCLUDING TAPE STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES. (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, THE CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT AS REQUESTED. BE SENSIBLE, ALL CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES, INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK TO MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWER DASHER TEMPORARILY REMOVED, RELOCATED OR DISCARDED) TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/PLUMB & ELECTRICAL DWGS.)
- CAREFULLY REMOVE EXISTING CERAMIC WALL TILE, INCLUDING GLASS, STONE & TILE BASE INFIELD. CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).
- REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTED HARDWARE & SIGNAGE. COORD. SALVAGE & DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
- REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.**
- DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
- REMOVES & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
- REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
- ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
- BRICK BASEMENT WINDOWS TO BE REPAVED, NO CALCED, NO SLATED, NO DAMP PROOF, OR REPLACED IN-KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.**
- REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
- DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY. (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES. (SEE ROOM FINISH PLAN & SCHEDULES).

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

DEMO PLAN SYMBOL LEGEND:

- = EXISTING WALL TO BE REMOVED
- = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
- = EXISTING DOOR TO BE REMOVED
- = EXISTING DOOR TO REMAIN
- = EXISTING WINDOW TO BE REMOVED

A1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

C1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 2 3 4 5 6

E D C B A

1 2 3 4 5 6

E D C B A

C1 SECOND FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

A1 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES:

- REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE TRIM. REMOVE ALL EXISTING CEILINGS, CEILING GRID, TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFLIL. CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES. (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, THE CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR IN PART AS INDICATED. BE SENSIBLE & ALLOW CONSTRUCTION TO REMAIN AS REQ'D. DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES, INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STRINGS, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK TO MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING DOOR & ASSOCIATED HARDWARE & EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE TOILET, SINK, SHOWER, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWER DASHER, TEMPORARILY CAP OFF, REPAIR, OPEN DRAIN) AS TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORD. ALL DEMOLITION W/PLUMB & ELECTR. DWGS.)
- CAREFULLY REMOVE EXISTING CERAMIC WALL TILE INCLUDING GLAZED, SPASH & TILE BASE INFLIL. CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).
- REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTED HARNESS & SIGNAGE. COORD. SALVAGE & OR DISPOSAL WITH OWNER.
- DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHT OR EXIT SIGN & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECTRICAL DRAWINGS.
- ~~REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.~~
- DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
- REMOV & DISPOSE OF EXIST. WALL-MOUNTED SHELVING.
- REMOVE PEELING MORTAR & FLUORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
- ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
- ~~FLASHING BASEMENT WINDOWS TO BE REPAIRED, RE-CALLED PRE-CALLED MASON TOOLS, OR REPLACED IN KIND. CSC SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.~~
- REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN SOME CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
- DISCONNECT & REMOVE EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS, DEVICES, ETC. W/ ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, BASE & WALL CABINETS IN THEIR ENTIRETY. (SEE MEP DEMOLITION DWGS.). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- REMOVE EXISTING WALL FINISHES (INCLUDING WALL PAPER, EXCLUDING WOOD PANELING) & ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES. (SEE ROOM FINISH PLAN & SCHEDULES).

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

NOTES:

- THESE FLOOR PLANS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL ITEMS WITHIN BUILDING.
- IN GENERAL, ALL EXISTING ELECTRICAL, MECHANICAL & PLUMBING SYSTEMS WILL REMAIN AND BE AUGMENTED AS NECESSARY.
- COORDINATE ALL DEMOLITION WORK WITH THE MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS

DEMO PLAN SYMBOL LEGEND:

- = EXISTING WALL TO BE REMOVED
- = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
- = EXISTING DOOR TO BE REMOVED
- = EXISTING DOOR TO REMAIN
- = EXISTING WINDOW TO BE REMOVED

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
FIRST & SECOND
FLOOR REFLECTED
CEILING
DEMOLITION
PLANS

SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

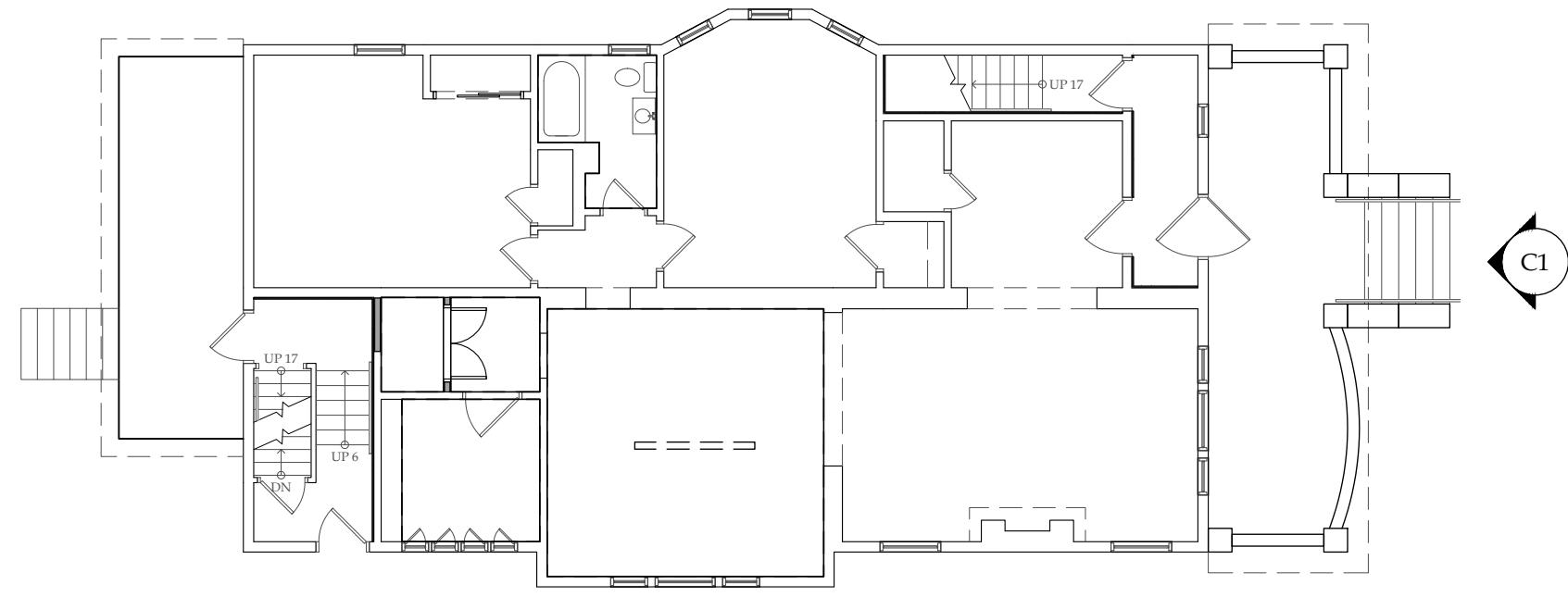
DRAWING #: AD-103



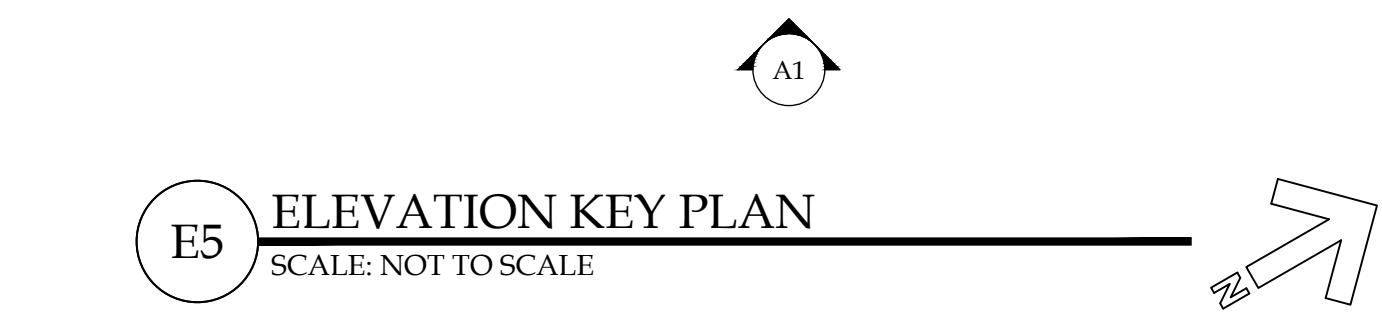
C1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



A1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



E5 ELEVATION KEY PLAN
SCALE: NOT TO SCALE



A1

(X) DEMOLITION ELEVATION NOTES:

1. REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING STONE VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, DRY, POWDER & CLEARED WHERE NECESSARY. EXISTING SCAFFOLDING PERMIT TO BE HELD, INCLUDING CHIMNEYS. G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.

2. EXISTING PAINTED WOOD WINDOWS, DOORS, SURROUND TRIM, PLASTER, SOFFITS, FASCIA, FRIEZE BOARDS, ETC. WILL BE FRESHLY PAINTED. REMOVE ALL LOOSE OR PEELING PAINT & CAULK FROM ALL AREAS AS REQUIRED TO PREPARE FOR REPAIRS & NEW PAINT FINISH, TYP. ALL AREAS.

3. EXISTING GUTTER & DOWNSPOUTS SHALL BE REPAIRED. EXISTING GUTTER & DOWNSPOUTS TO BE PLACED WHERE NEEDED. G.C. SHALL CONFIRM OR OTHERWISE ENSURE FUNCTIONALITY OF EXISTING GUTTERS, DOWNSPOUTS & HUBS FOR POSITIVE RAINWATER DRAINAGE.

4. EXISTING SHINGLED ROOF SHALL BE REPLACED. ROOFING DEMOLITION SHALL OCCUR WITHIN THE SCOPE OF THE ROOF REPLACEMENT CONTRACT.

5. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

6. EXISTING SIDING SHALL BE REPLACED.

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

EXTERIOR DEMOLITION ELEVATIONS



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: AD-201

HAYES
CONSTRUCTION SERVICES
New York Certified Woman-Owned Business

DOFI PROPERTIES

Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

SW

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
 This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
 Buffalo, NY 14214

ISSUE:
 12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. _____ DRAFTER B.Pacos
 JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE: EXTERIOR DEMOLITION ELEVATIONS



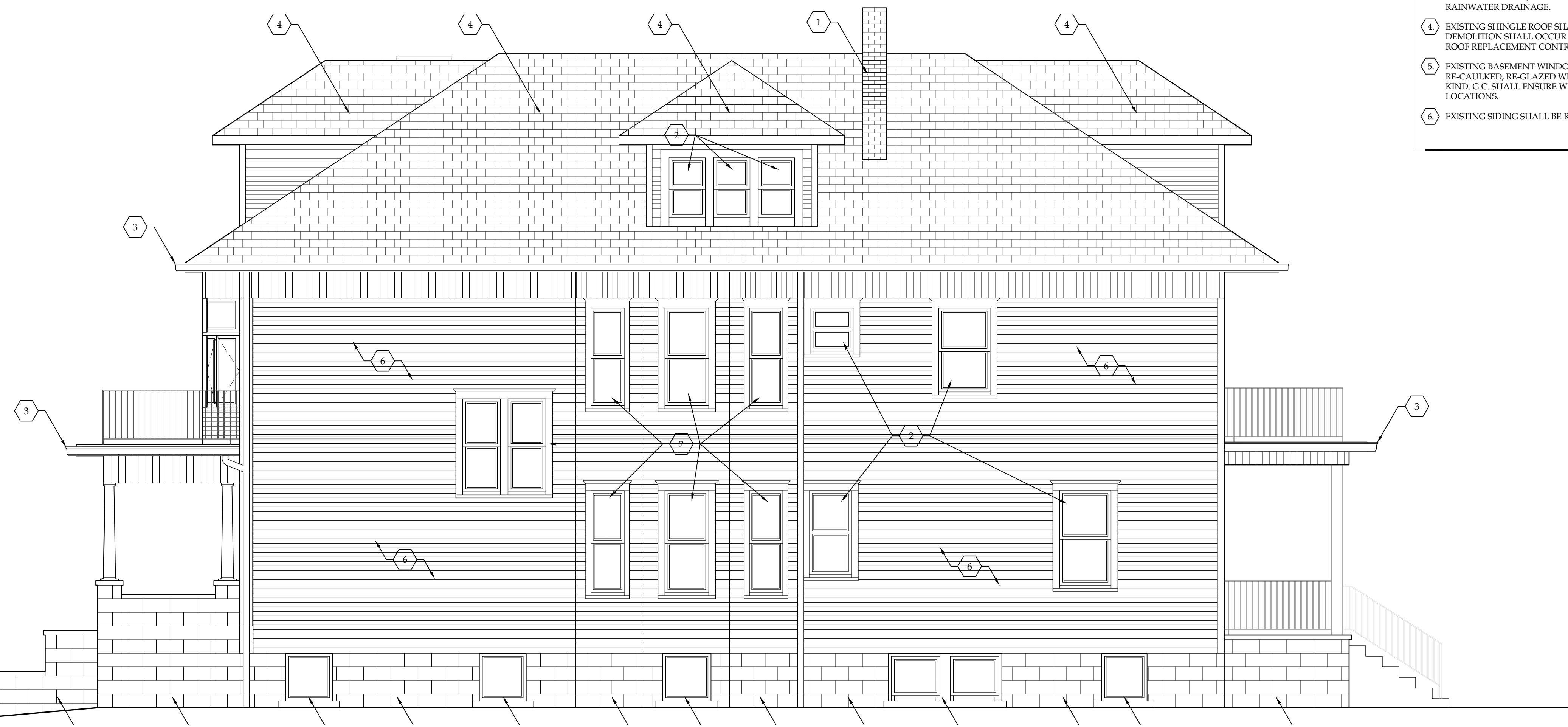
SILVESTRI
 ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25
 DRAWING #: AD-202



C1 SOUTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"



A1 NORTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"

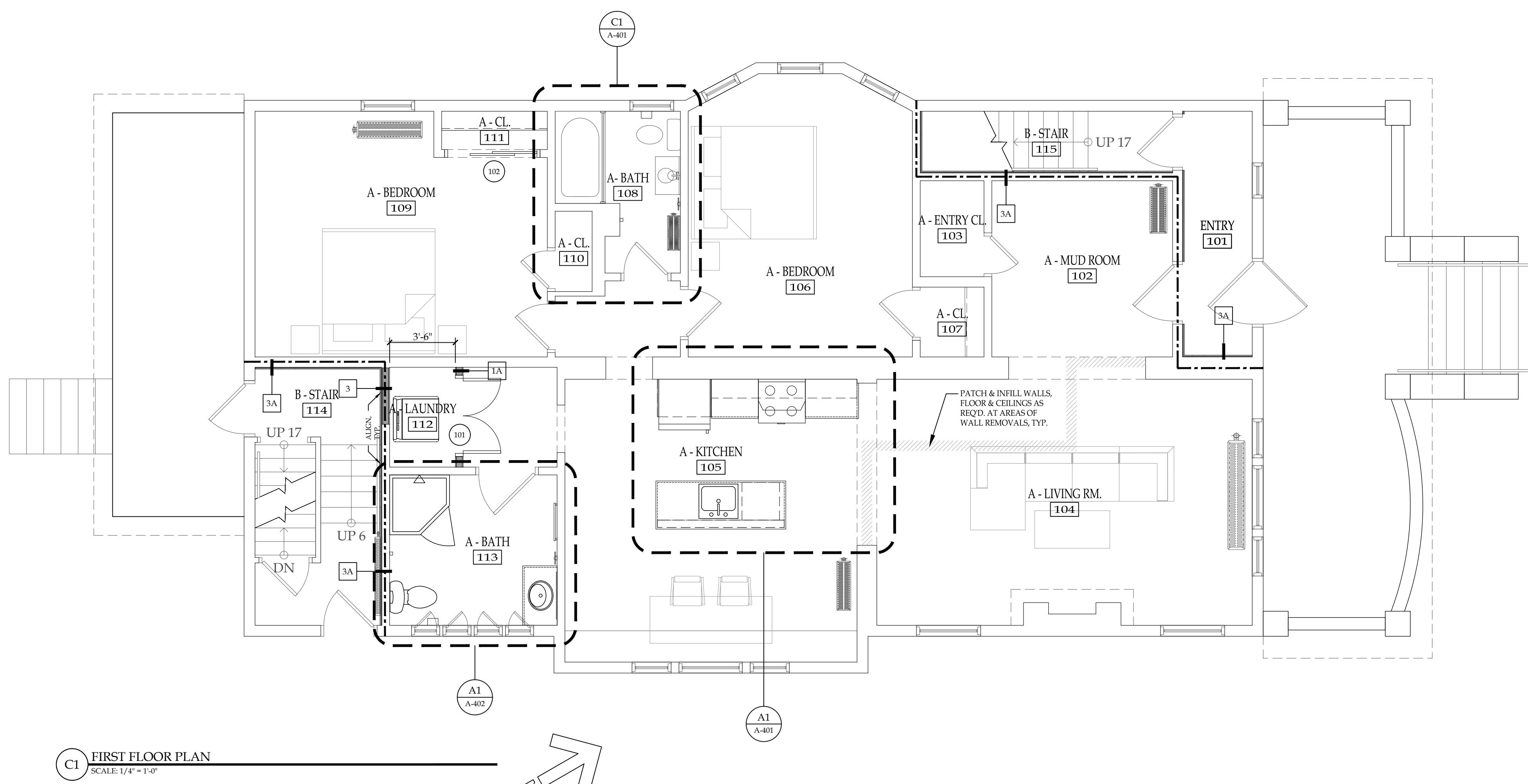


E5 ELEVATION KEY PLAN
 SCALE: NOT TO SCALE

(X) DEMOLITION ELEVATION NOTES:

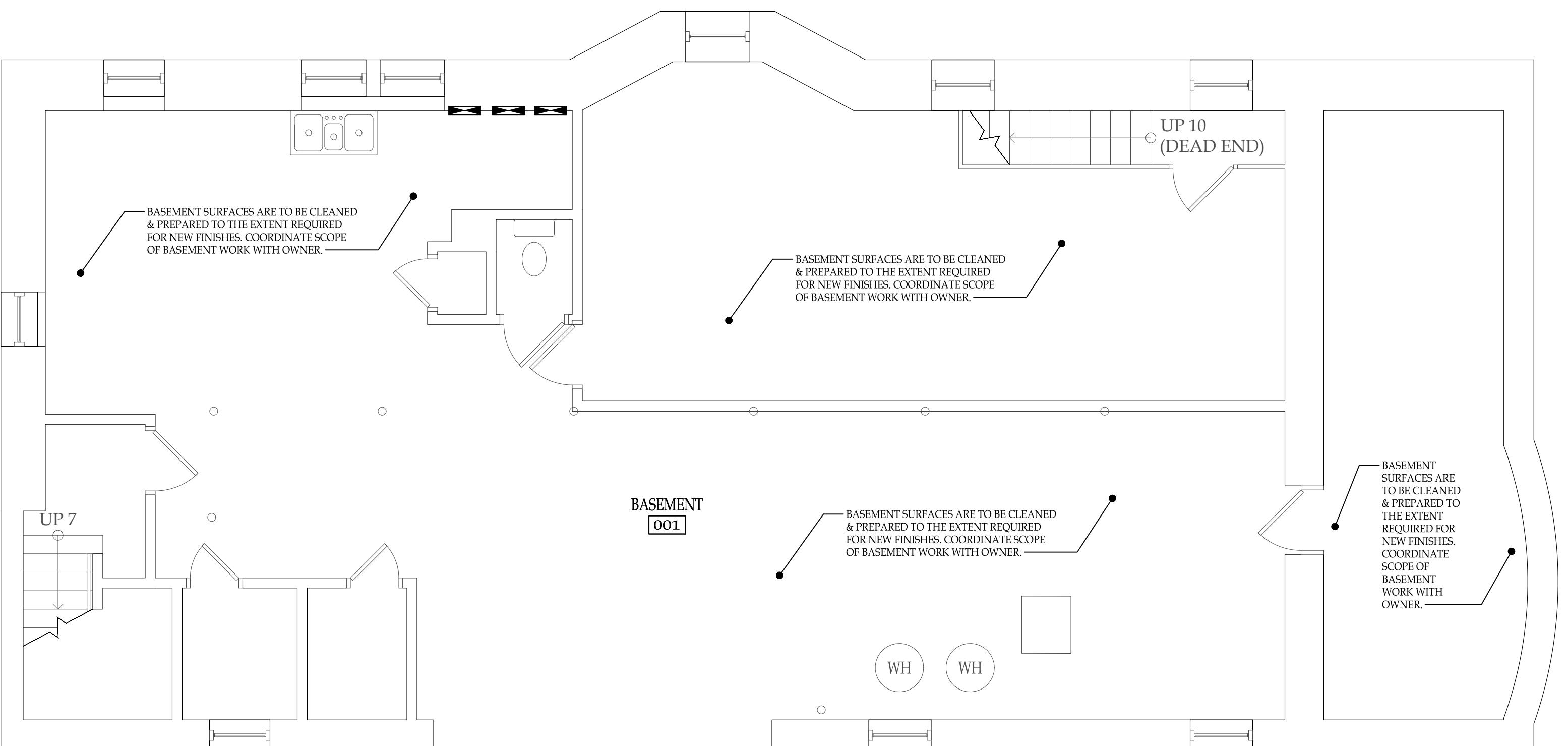
- ① REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING STONE VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, DRY, POWDER & CLEARED WHERE NECESSARY. EXISTING EXPOSED PERIMETER PIPES & REHANG, INCLUDING CHIMNEYS. G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.
- ② EXISTING PAINTED WOOD WINDOWS, DOORS, SURROUND TRIM, PLASTER, SOFFITS, FASCIA, FRIEZE BOARDS, ETC. WILL BE FRESHLY PAINTED. REMOVE ALL LOOSE OR PEELING PAINT & CAULK FROM ALL AREAS AS REQUIRED TO PREPARE FOR REPAIRS & NEW PAINT FINISH, TYP. ALL AREAS.
- ③ EXISTING GUTTER & DOWNSPOUTS SHALL BE REPAIRED. EXISTING GUTTER & DOWNSPOUTS TO BE PLACED WHERE NEEDED. G.C. SHALL CONFIRM OR OTHERWISE ENSURE FUNCTIONALITY OF EXISTING GUTTERS, DOWNSPOUTS & HUBS FOR POSITIVE RAINWATER DRAINAGE.
- ④ EXISTING SHINGLE ROOF SHALL BE REPLACED. ROOFING DEMOLITION SHALL OCCUR WITHIN THE SCOPE OF THE ROOF REPLACEMENT CONTRACT.
- ⑤ EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.
- ⑥ EXISTING SIDING SHALL BE REPLACED.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



C1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



A1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

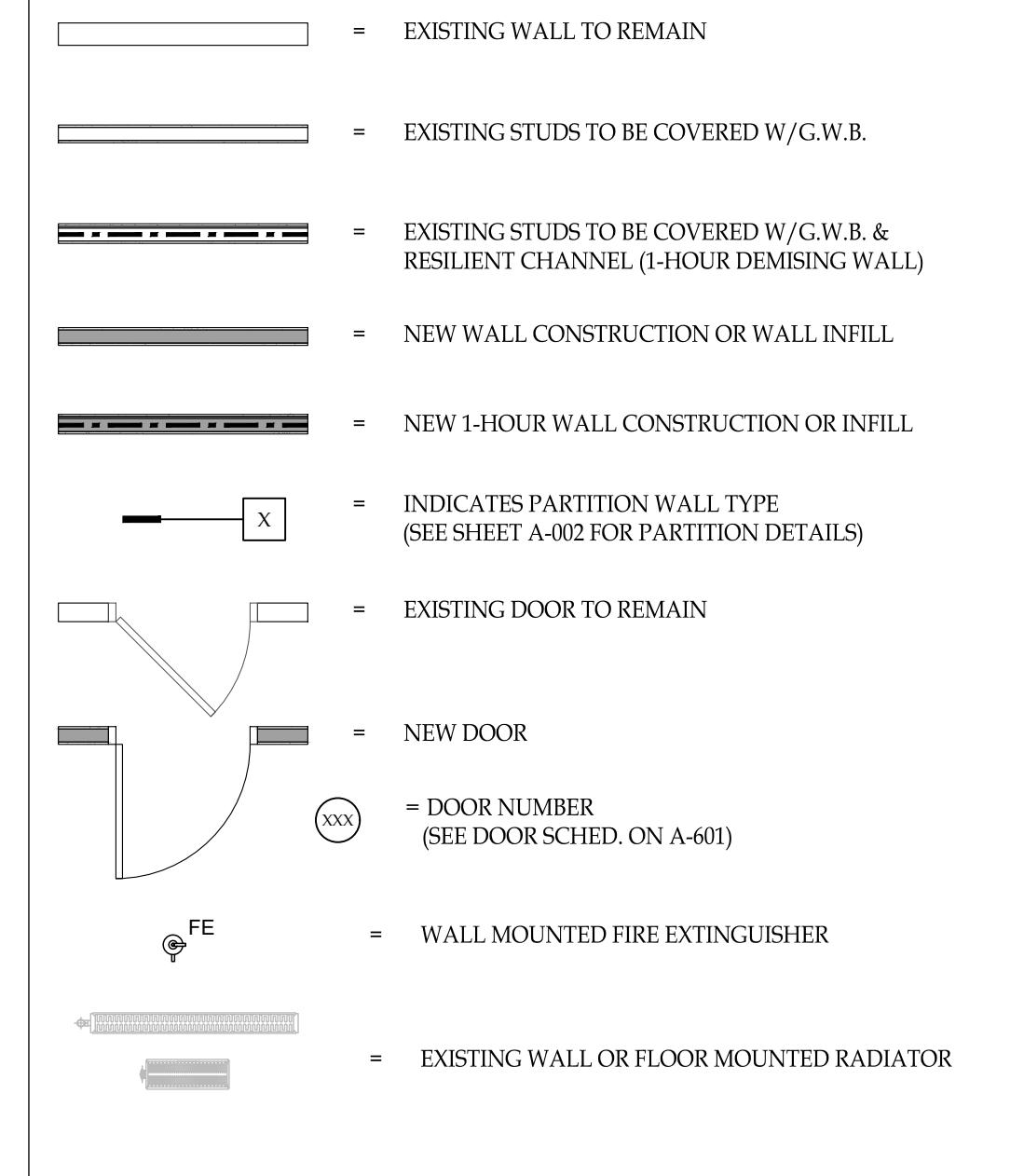
WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB FLOOR WHERE REQUIRED. PLYWOOD TO BE CLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MUSTURE-RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
5. REPLACE EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND.
6. ALL HALLWAYS TO RECEIVE WATER & MOLD-RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COAT'S FINISH). COLOR SELECTED BY OWNER/ ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THERE ARE PENETRATIONS, WALLS, DOORS OR CEILINGS THROUGH THE SAME BY LOCAL OR APPLICABLE CODES. FIREPROOFING DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOOR, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSEERDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy
Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
BASEMENT &
FIRST FLOOR
PLANS



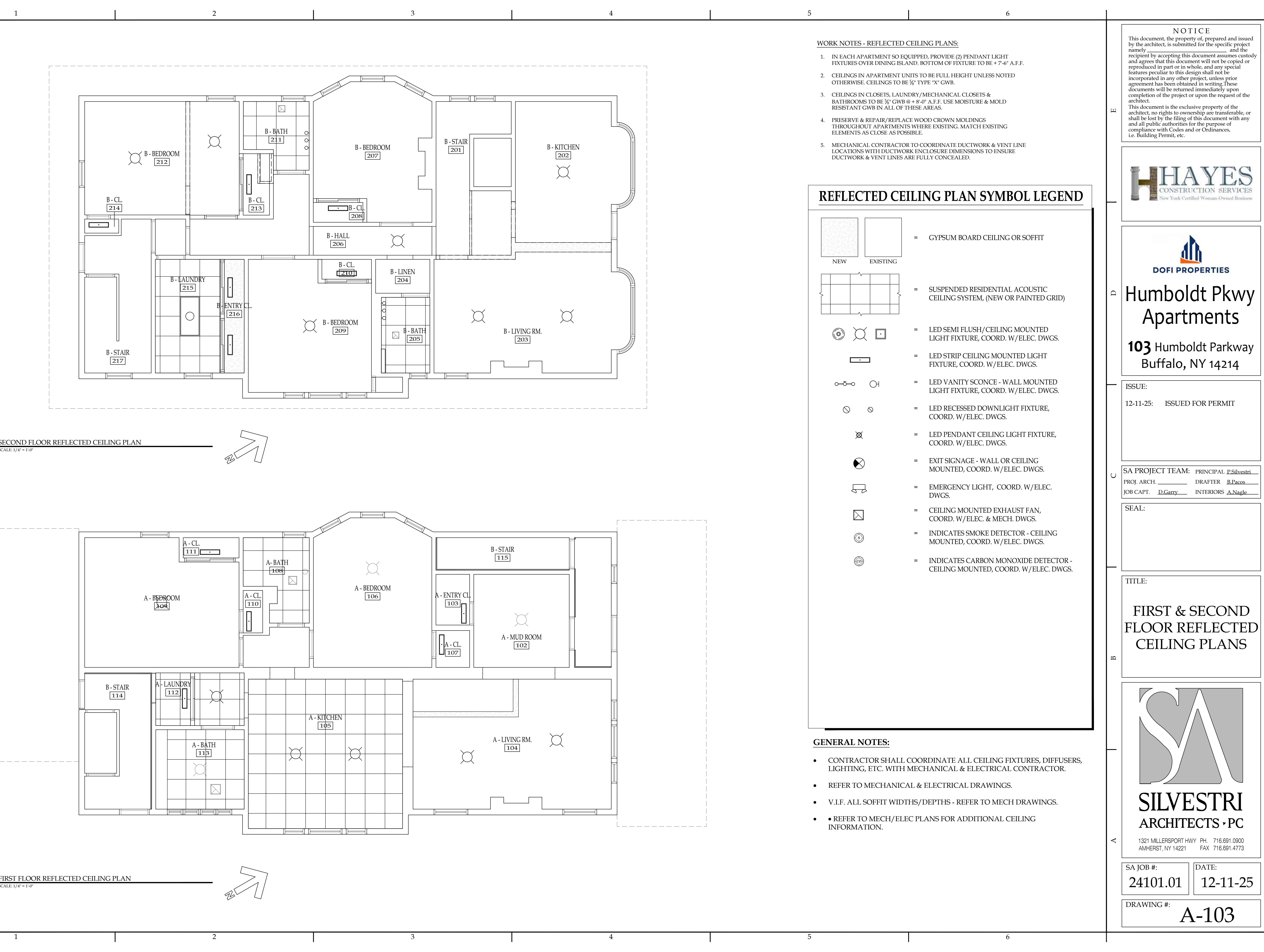
SILVESTRI
ARCHITECTS • PC

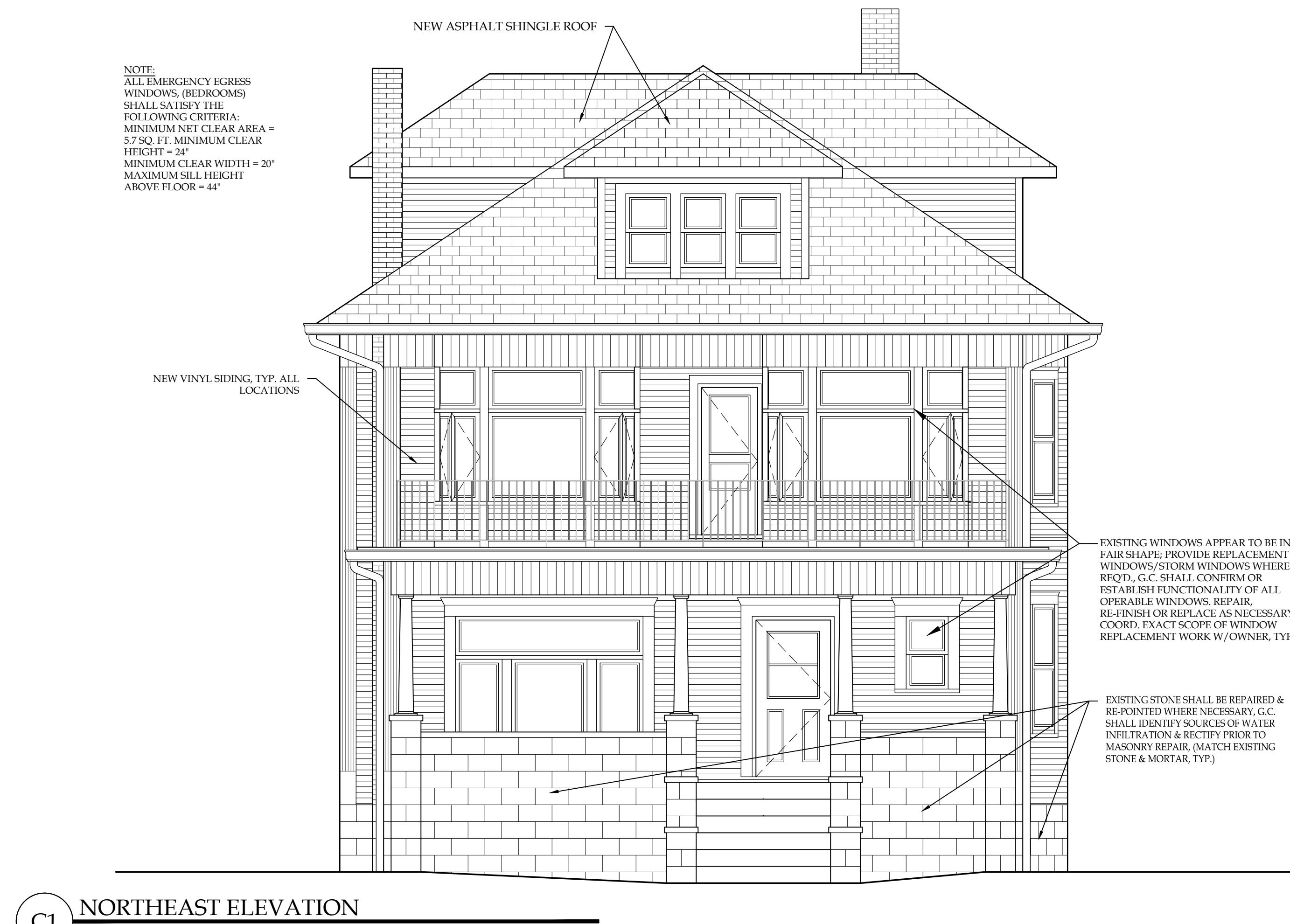
1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-101

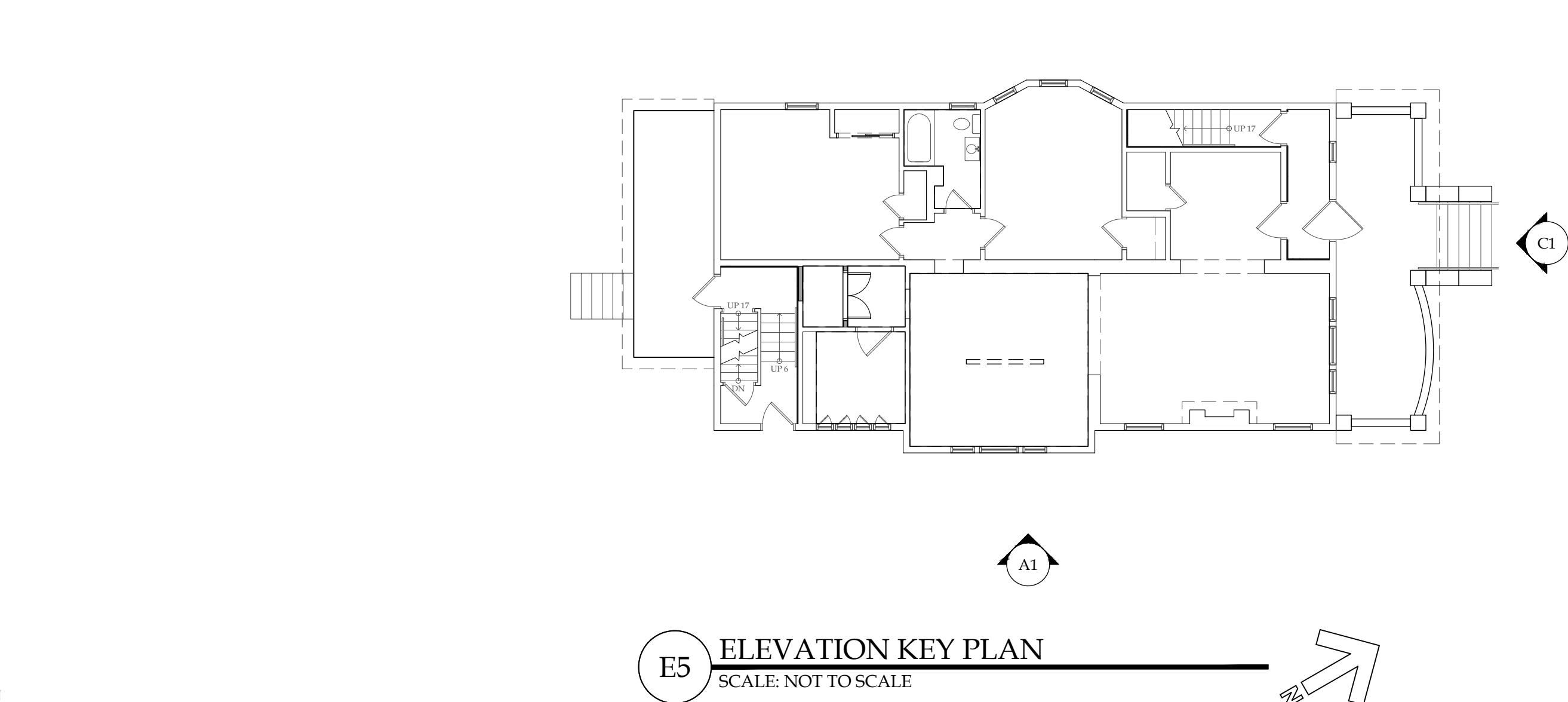
A-101





C1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

FRONT



NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

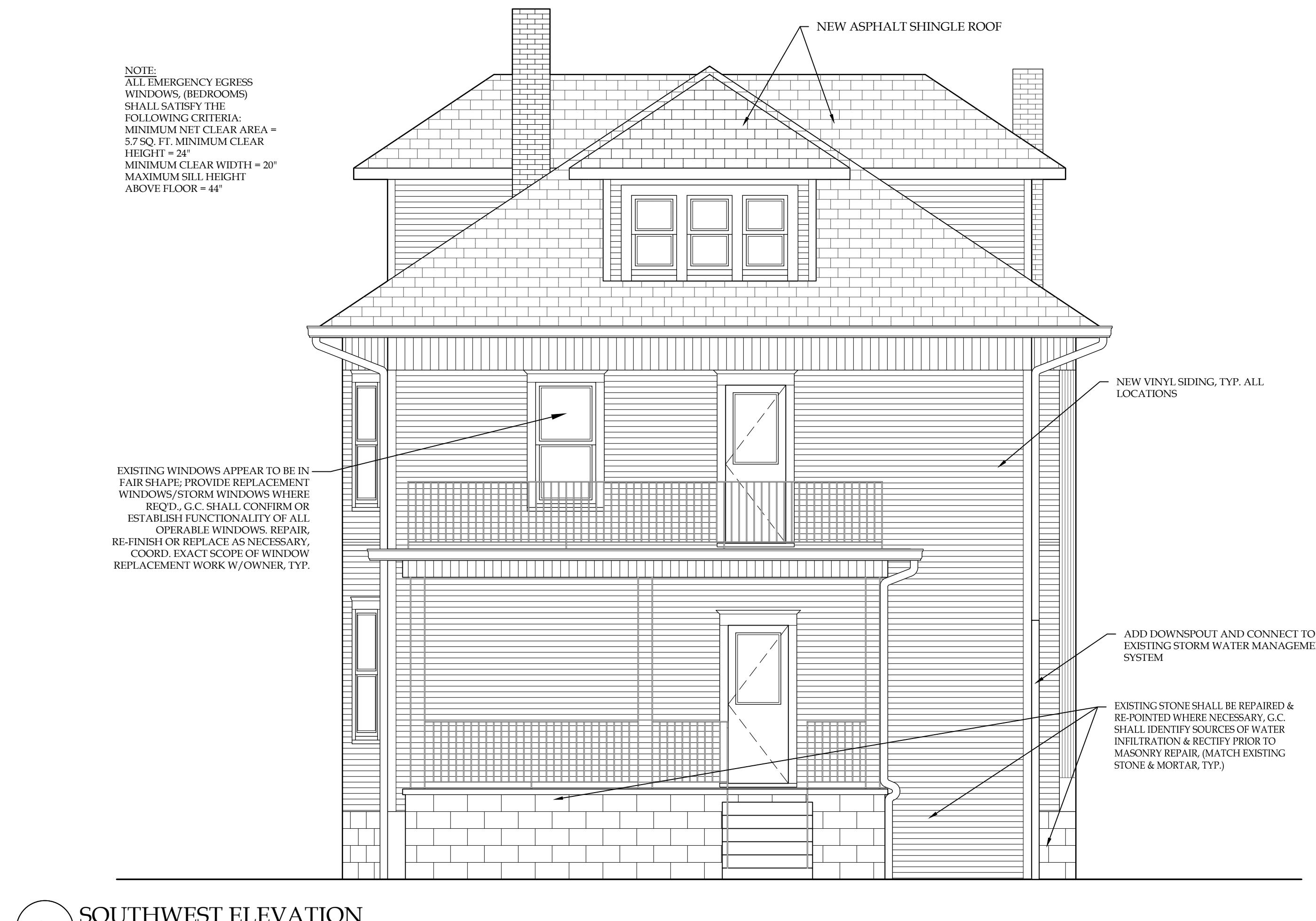
EXTERIOR ELEVATIONS



SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-201





C1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

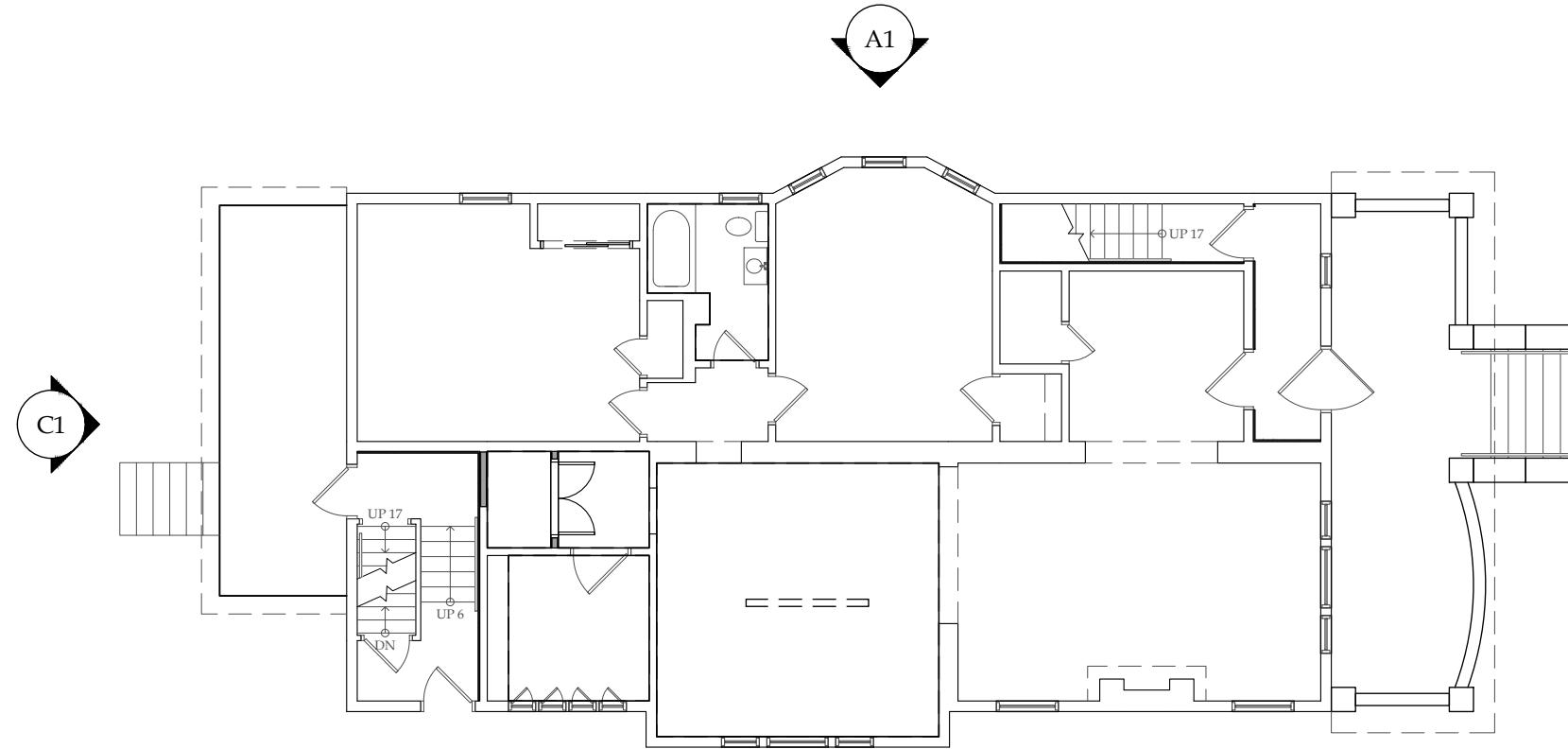
REAR

NOTE:
ALL EMERGENCY EGRESS WINDOWS, (BEDROOMS)
SHALL SATISFY THE FOLLOWING CRITERIA:
MINIMUM NET CLEAR AREA = 5.7 SQ. FT. MINIMUM
CLEAR HEIGHT = 24"
MINIMUM CLEAR WIDTH = 20"
MAXIMUM SILL HEIGHT ABOVE FLOOR = 44"



A1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

RIGHT SIDE



E5 ELEVATION KEY PLAN
SCALE: NOT TO SCALE

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient that this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

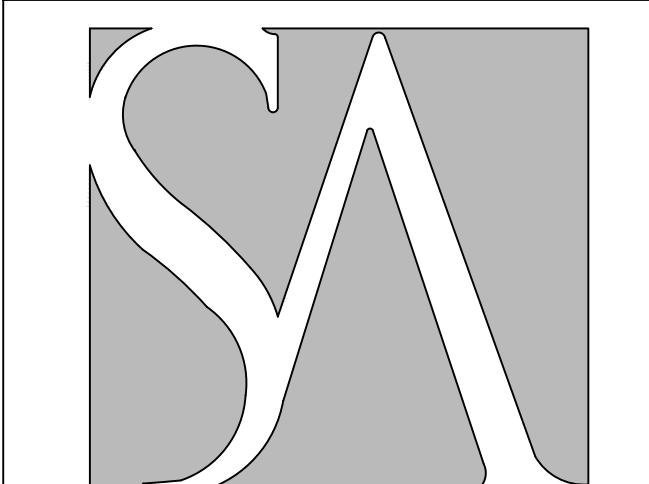
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

EXTERIOR ELEVATIONS



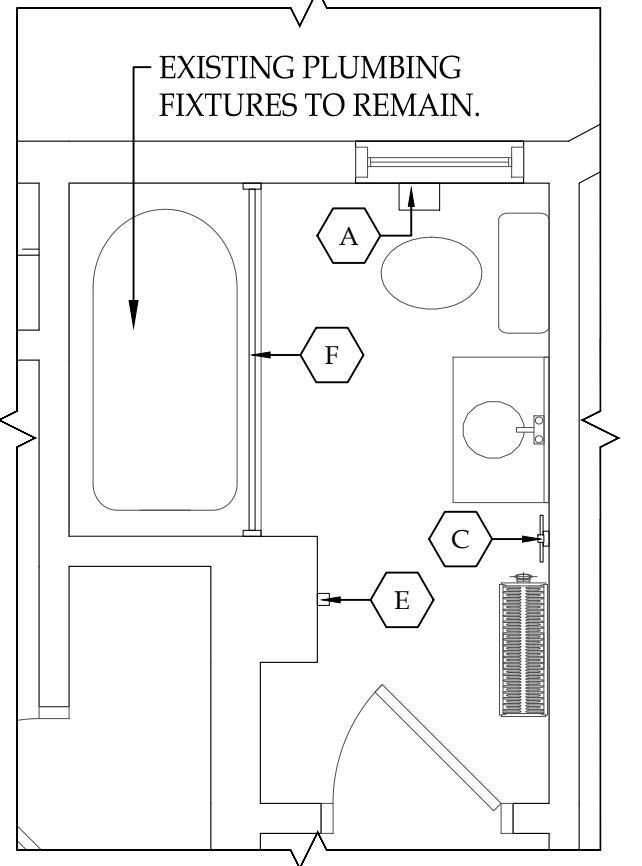
SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

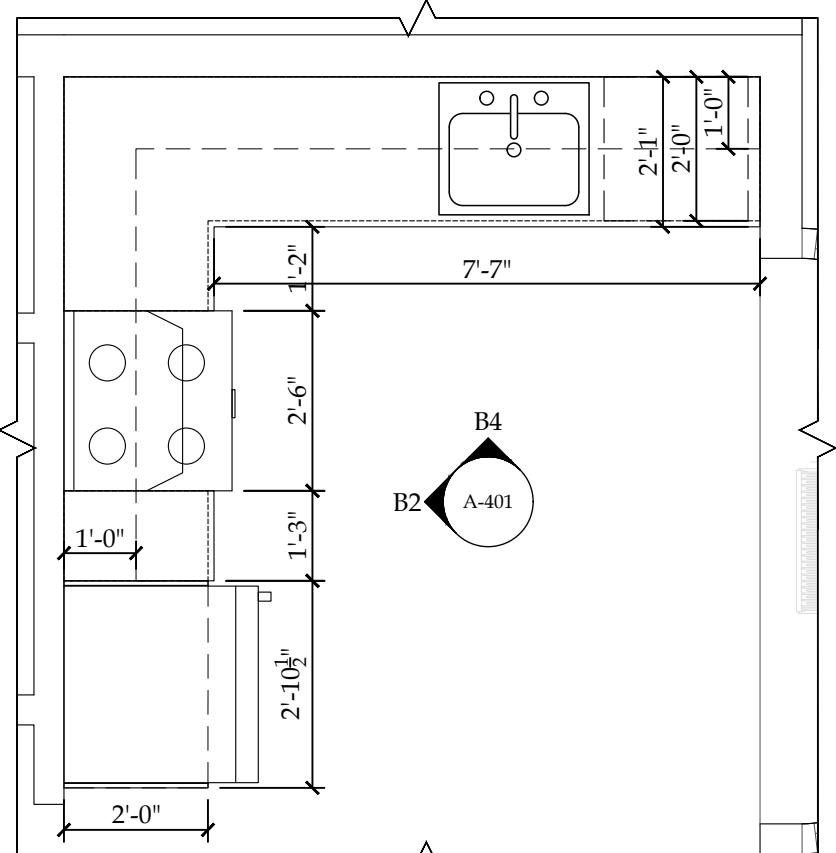
SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-202

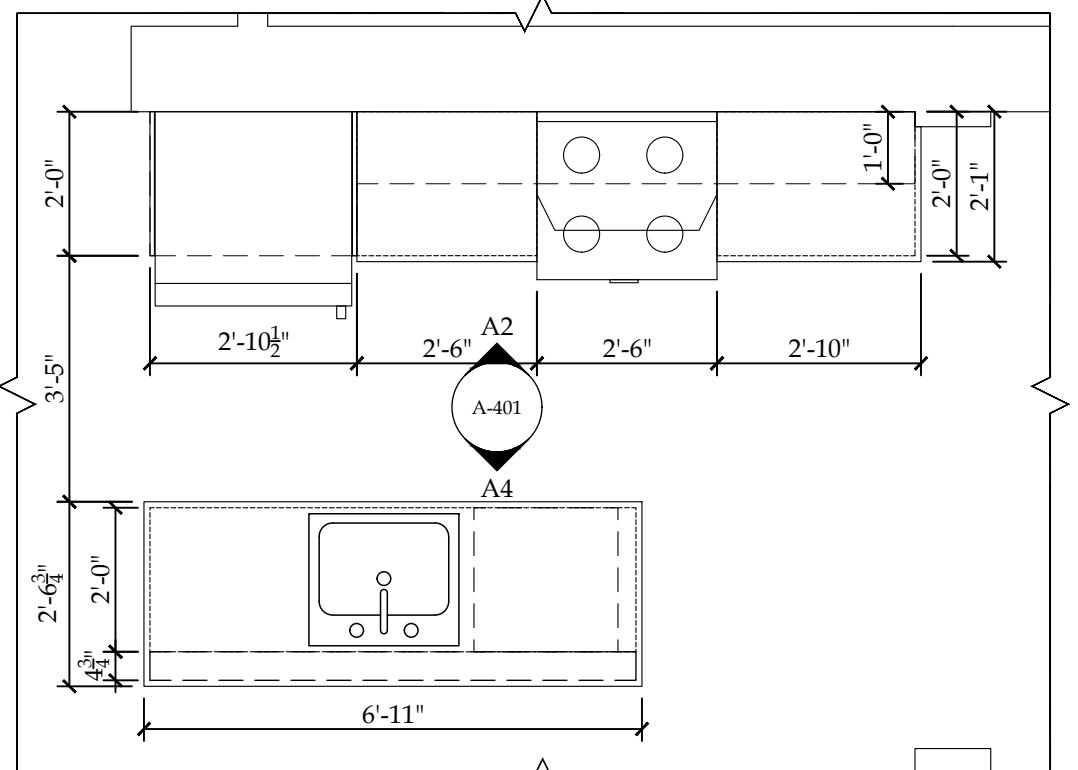
E



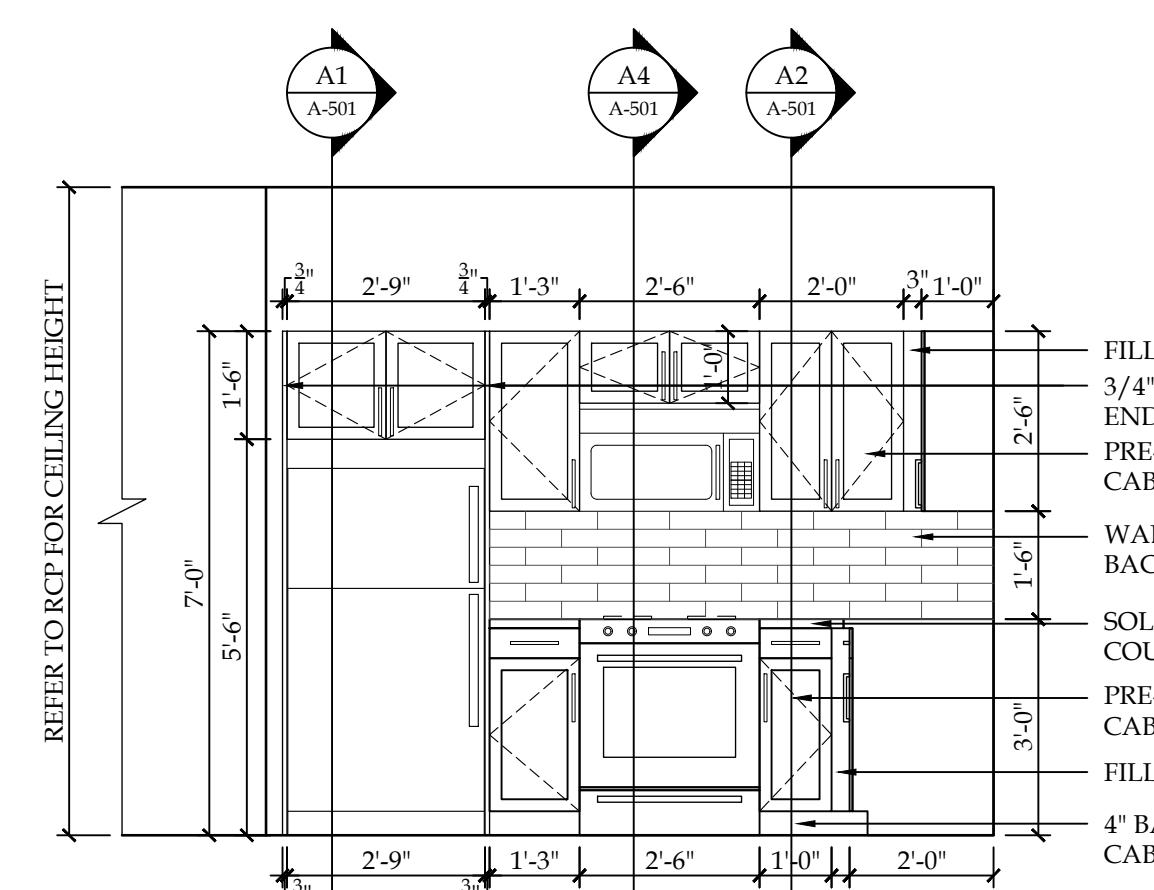
C1 A - BATH 108 | ENLARGED PLAN



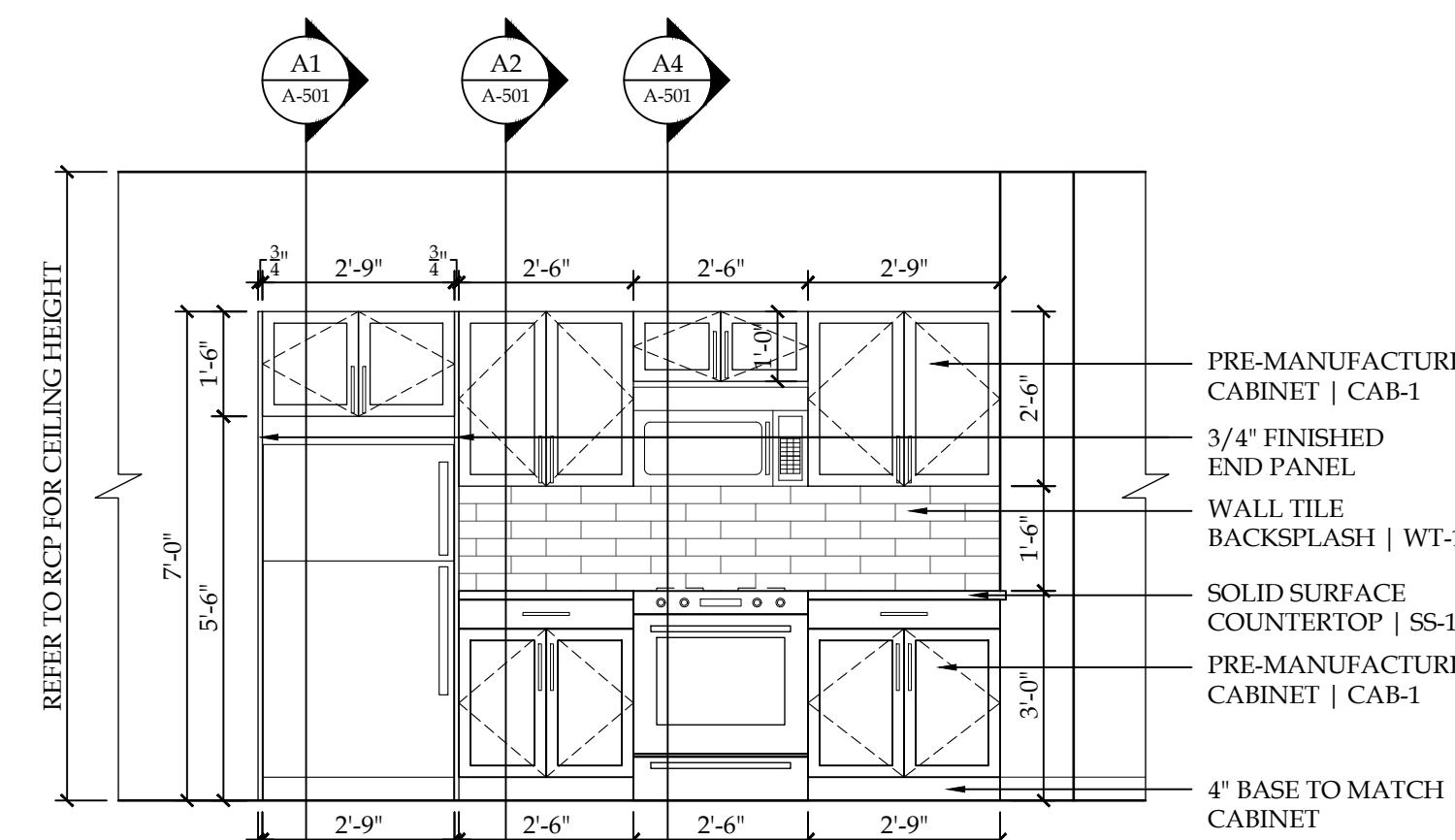
B1 B - KITCHEN 202 | ENLARGED PLAN



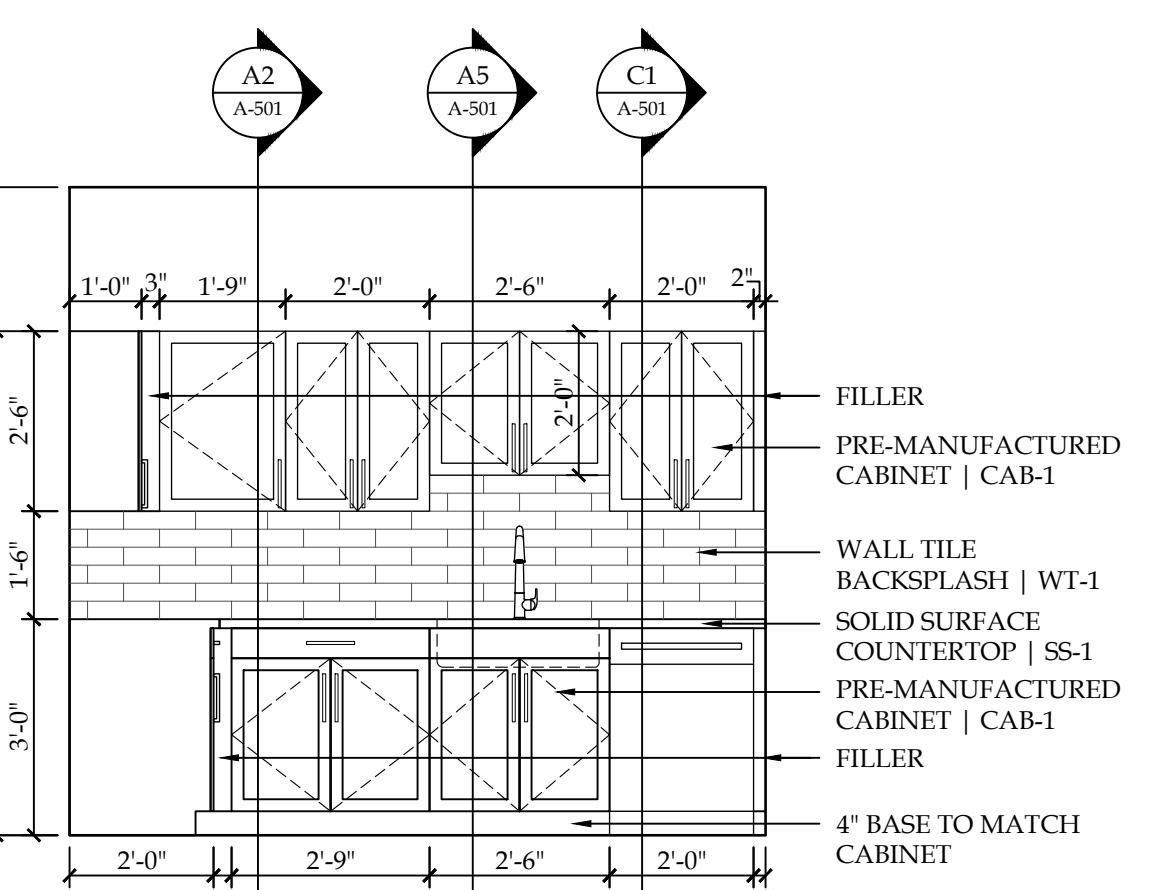
A1 A - KITCHEN 105 | ENLARGED PLAN



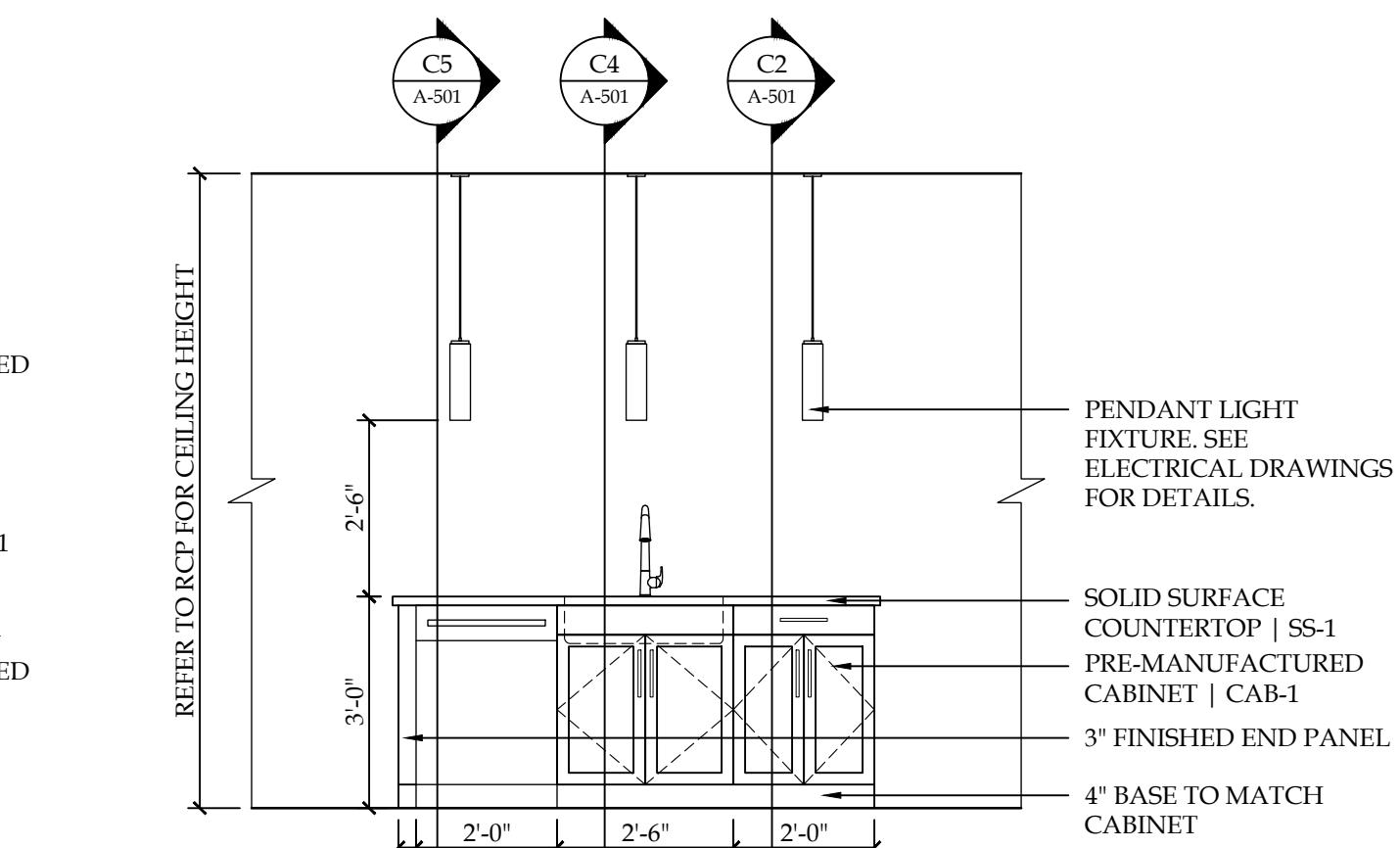
B2 B - KITCHEN 202 | ELEVATION



A2 A - KITCHEN 105 | ELEVATION



B4 B - KITCHEN 202 | ELEVATION



A4 A - KITCHEN 105 | ELEVATION

UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE J-MOLD AT BOTTOM OF MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 34" A.F.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F.F. IN ALL UNITS.
F	ADJUSTABLE SHOWER ROO	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION.

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



DOFI PROPERTIES
Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
 12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. _____ DRAFTER B.Pacos
 JOB CAPT. D.Garry INTERIORS A.Nagle

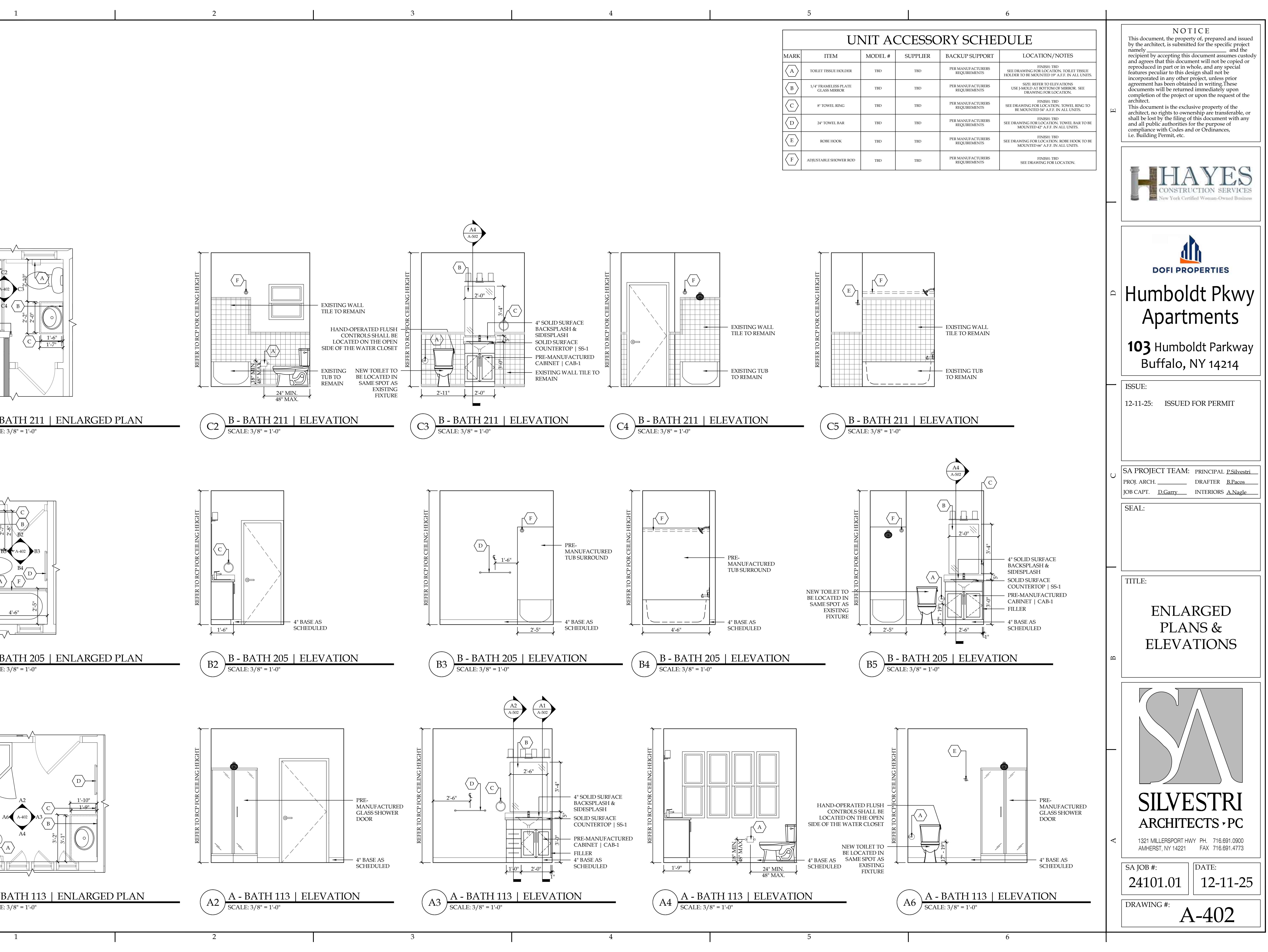
SEAL:

TITLE:
ENLARGED PLANS & ELEVATIONS



SILVESTRI
ARCHITECTS • PC
 1321 MILLERSPORT HWY PH. 716.691.0890
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25
 DRAWING #: A-401



E

E

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, and shall not be loaned or copied. This document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

MILLWORK DETAILS

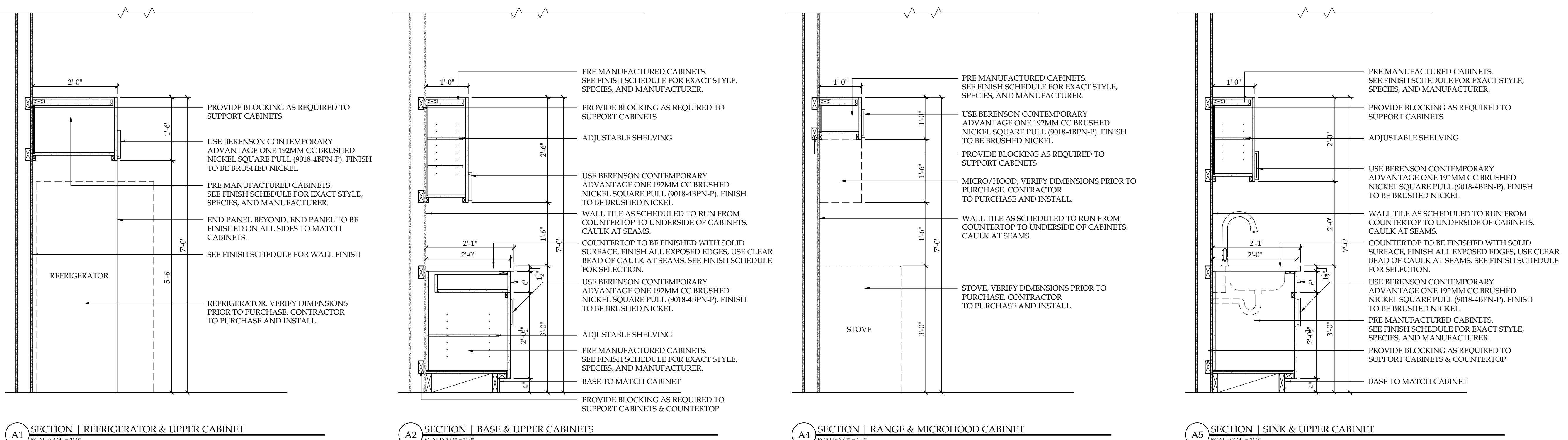
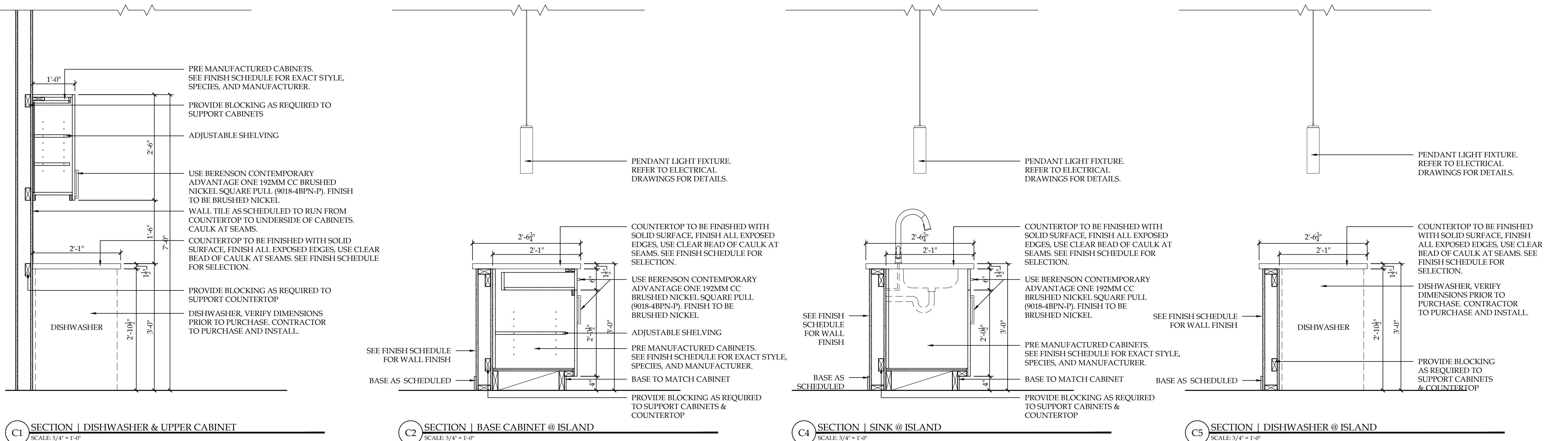


SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-501



E

E

D

D

C

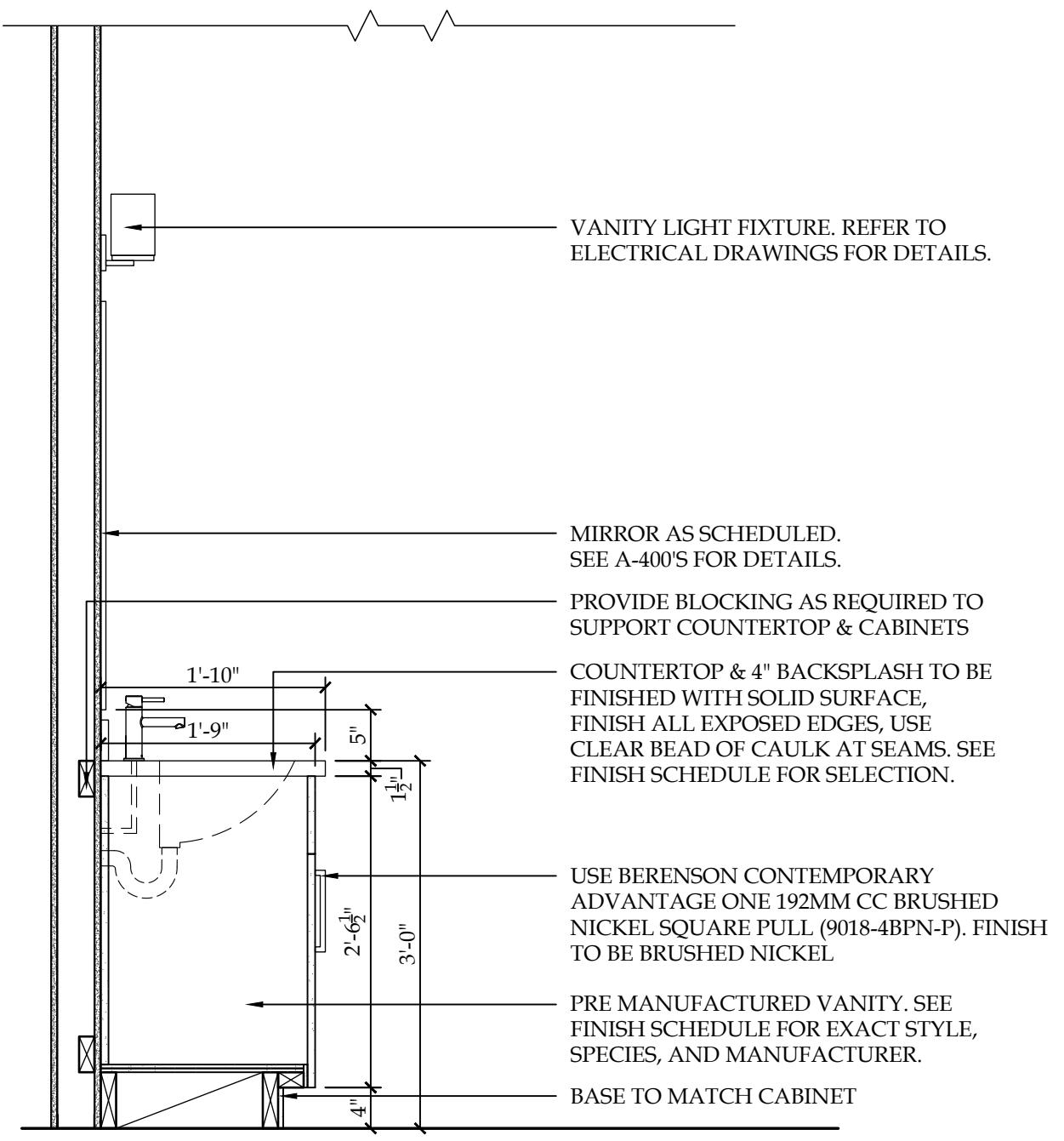
C

B

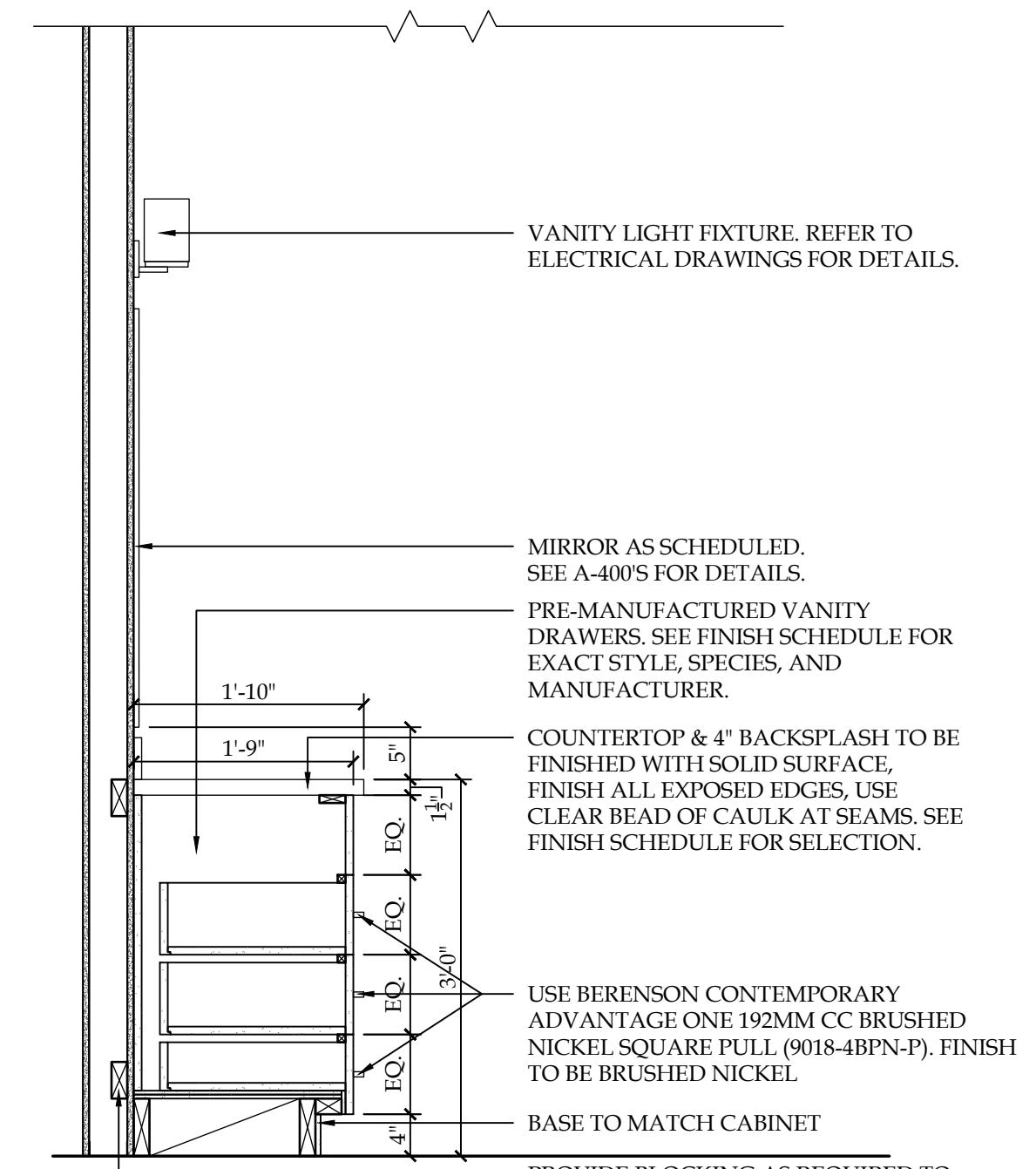
B

A

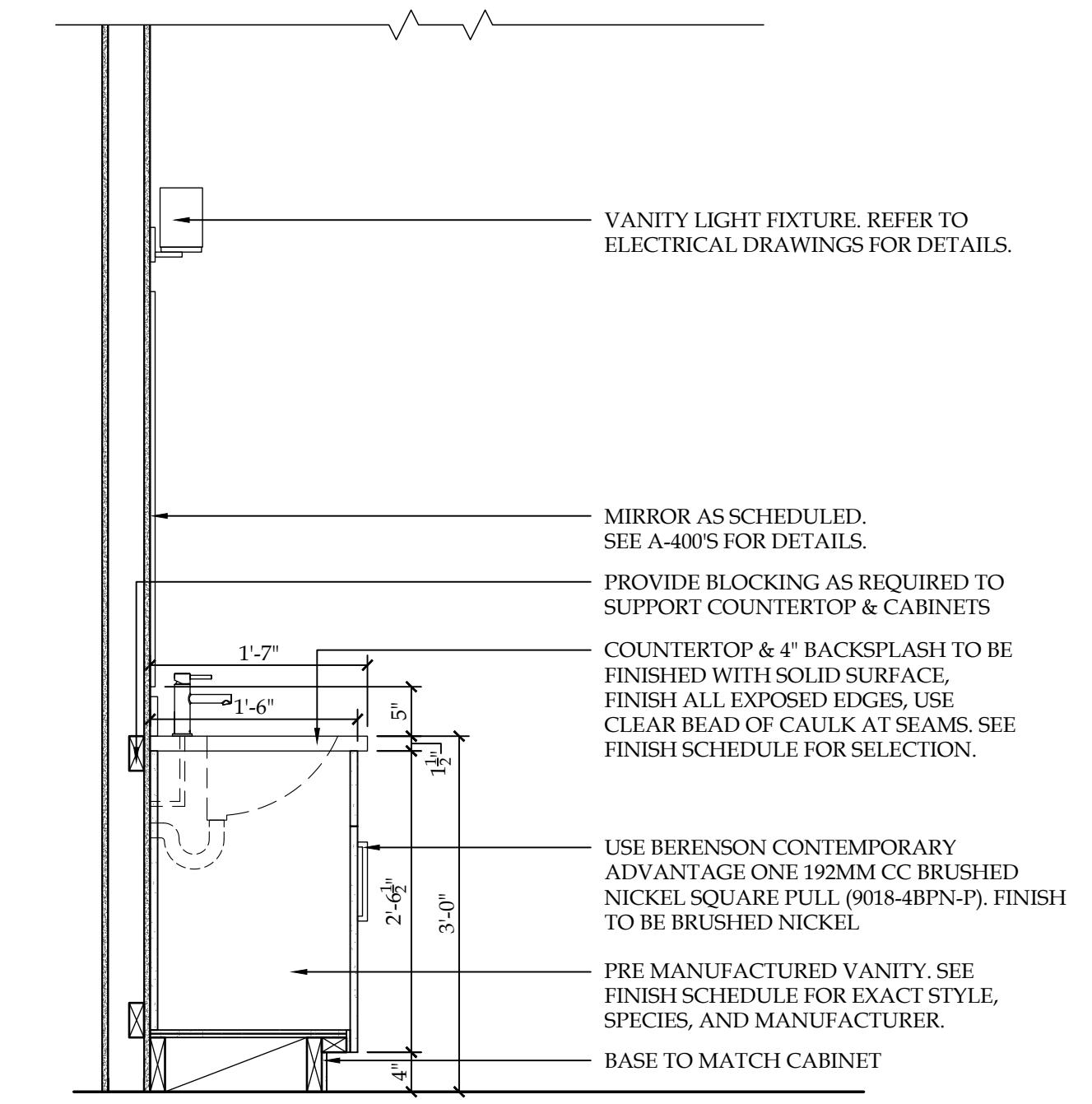
A



A1 SECTION | VANITY CABINET



A2 SECTION | VANITY DRAWERS



A4 SECTION | VANITY CABINET

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, and shall not be lost or damaged. This document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
 12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. _____ DRAFTER B.Pacos
 JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
MILLWORK DETAILS



1321 MILLERSPORT HWY PH. 716.691.0890
 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-502

ROOM	DOOR NUM.	DOOR				FRAME				FIRE RATING	HARDWARE SET NO.	REMARKS	
		TYPE	DOOR OPNG SIZE		THK	MATL	GLASS	MATL.	TYPE	DETAILS			
			WIDTH	HEIGHT	THK	MATL	GLASS	MATL.	TYPE	HEAD	JAMB		
FIRST FLOOR													
A - LAUNDRY [112]	101	1	(2) 2'-0"	6'-8"	1 1/8"	SCWD	-	WD	A	H1	J1	-	
A - CLOSET [111]	102	2	(2) 2'-4 1/2"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	
SECOND FLOOR													
B - ENTRY CLOSET [216]	201	2	(2) 2'-6"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	
B - ENTRY CLOSET [216]	202	2	(2) 2'-6"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	
B - BEDROOM [212]	203	1	3'-0"	6'-8"	1 1/8"	SCWD	-	WD	A	H1	J1	-	
B - CLOSET [213]	204	2	(2) 2'-6"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	
B - CLOSET [210]	205	2	(2) 2'-0"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	
B - CLOSET [208]	206	2	(2) 2'-0"	6'-8"	1 1/8"	SCWD	-	WD	A	-	-	-	

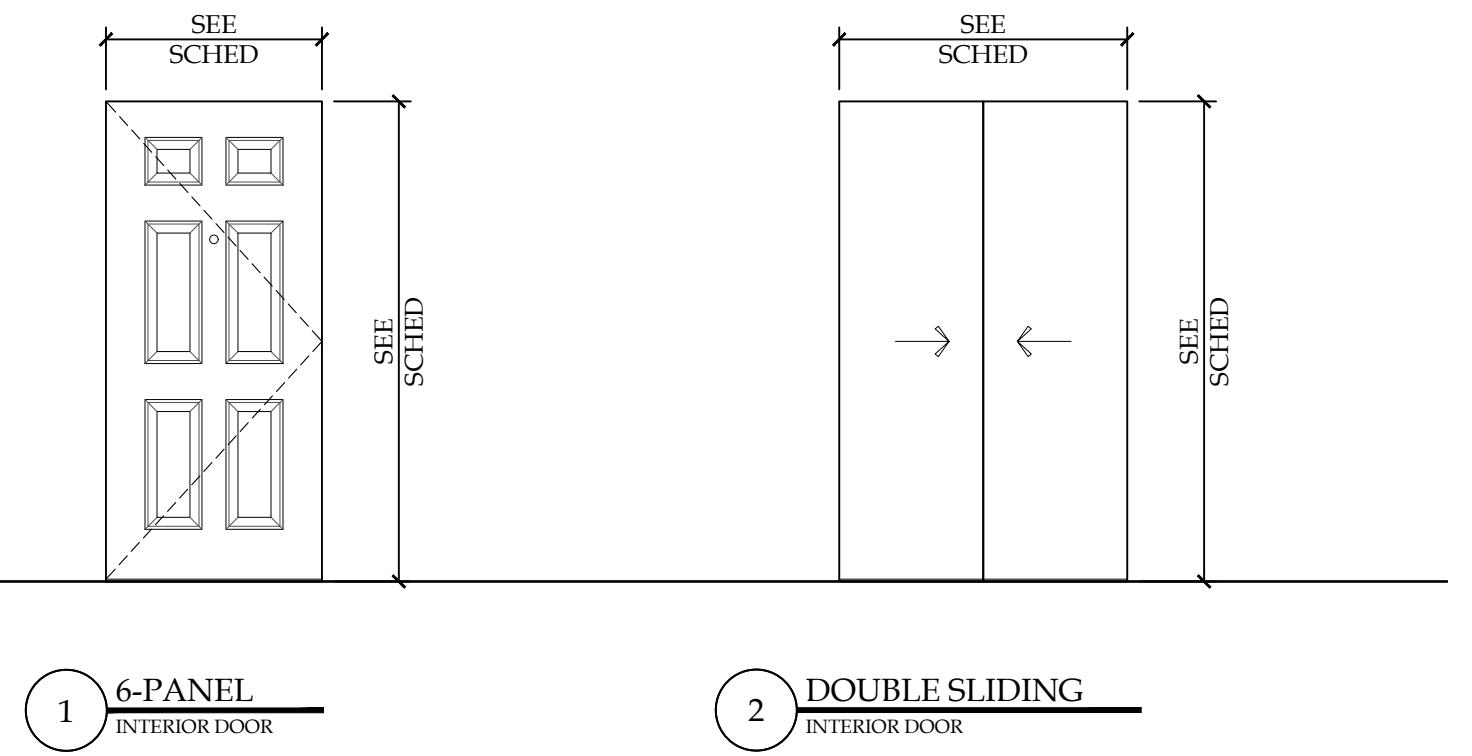
DOOR SCHEDULE NOTES:

- GENERAL CONTRACTOR SHALL UTILIZE EXISTING DOORS ON SITE (POTENTIALLY DEMO'D ELSEWHERE) TO THE EXTENT POSSIBLE, IF FEASIBLE.
- DIMENSIONS GIVEN ON PLANS AND SCHEDULES ARE NOMINAL. GENERAL CONTRACTOR AND MANUFACTURERS TO COORDINATE ALL DIMENSIONS IN FIELD CONCERNING FRAMES AND ROUGH OPENINGS, PRIOR TO FABRICATION AND CONSTRUCTION.
- DO NOT PAINT OVER ANY CODE REQUIRED LABELS SUCH AS UNDERWRITERS LABORATORIES PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES.

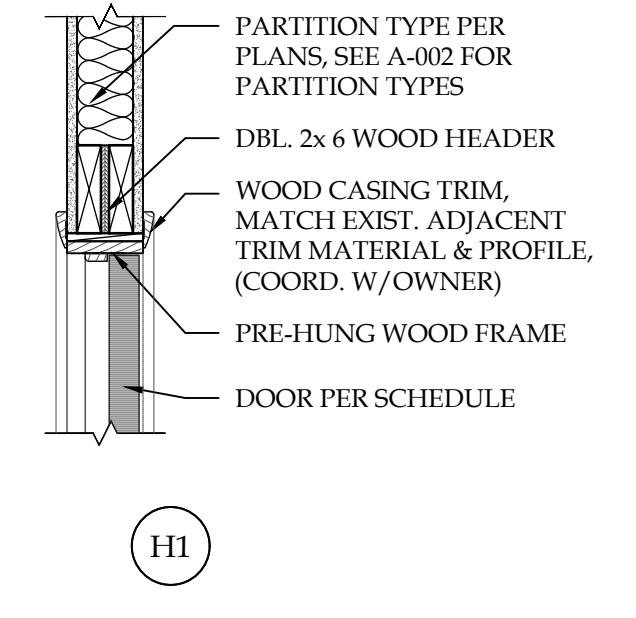
DOOR HARDWARE GROUPS:

1 3 HINGES
1 1 PRIVACY SET
1 1 DOOR STOP

2 6 HINGES
1 1 PASSAGE SET
2 2 DOOR STOPS



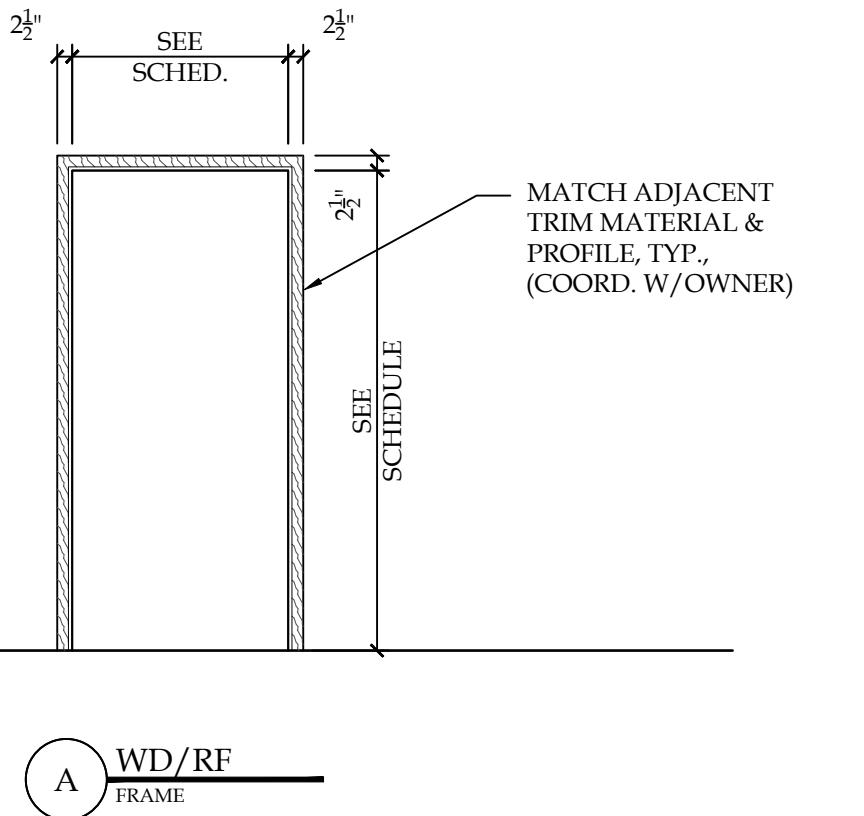
KEY
SCWD = SOLID CORE WOOD



H1

D4 DOOR TYPES

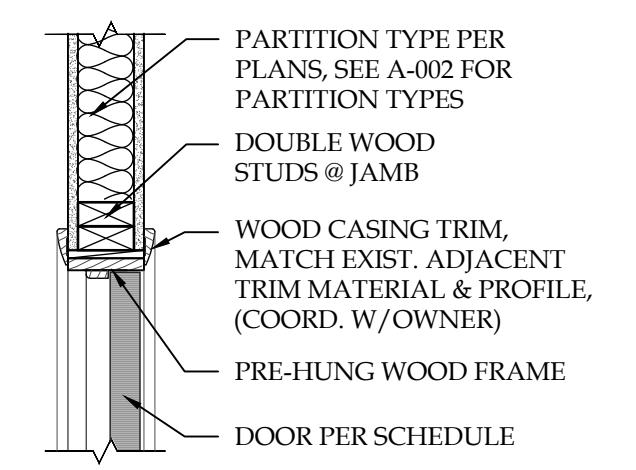
SCALE: 1/4" = 1'-0"



A WD/RF

C4 DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"



J1

C5 DOOR HEAD & JAMB DETAILS

SCALE: 1" = 1'-0"

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
DOOR & FRAME SCHEDULE, TYPES, & DETAILS



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-601

NOTICE

This document, the property of, prepared and issued by the architect, is submitted for the specific project name, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and Ordnances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

FINISH SCHEDULE



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0890
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-602

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING		MILLWORK/SHROUD	COUNTER TOP	REMARKS
					MATERIAL	HEIGHTS			
BASEMENT									
001	BASEMENT	EXIST	EXIST	EXIST	EXIST	EXIST			1
FIRST FLOOR									
101	ENTRY	EXIST	EXIST	EXIST/GYP-P-1	EXIST (P-3)	EXIST			4,7,8
102	A-MUD ROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
103	A- ENTRY CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
104	A- LIVING ROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,7,8
105	A- KITCHEN	LVT-1	EXIST	EXIST/GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	2,7
106	A- BEDROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,7,8
107	A- CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
108	A- BATH	T-1	TB-1	GYP-P-1	SCT-1	EXIST		EXIST	7
109	A- BEDROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,7,8
110	A- CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
111	A- CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
112	A- LAUNDRY	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			6
113	A- BATH	T-1	TB-1	GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	6,7
114	B- STAIR	LVT-1	EXIST	EXIST/GYP-P-1	EXIST (P-3)	EXIST			8,9
115	B- STAIR	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3,8
SECOND FLOOR									
201	B- STAIR	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3,7,8
202	B- KITCHEN	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	2,7,8
203	B- LIVING ROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,7,8
204	B- LINEN	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
205	B- BATH	T-1	TB-1	GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	6,7
206	B- HALL	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,8
207	B- BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,7,8
208	B- CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,8
209	B- BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,7,8
210	B- CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,8
211	B- BATH	EXIST	EXIST	EXIST/GYP-P-1	SCT-1	EXIST	CAB-1	SS-1	7,10
212	B- BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,7,8
213	B- CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			2,5,8
214	B- CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			2,8
215	B- LAUNDRY	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			7
216	B- ENTRY CLOSET	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			8
217	B- STAIR	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			7,8,9
THIRD FLOOR									
301	B- STAIR	EXIST	EXIST	GYP-P-1	EXIST	EXIST			7
302	B- LOFT	EXIST	EXIST	GYP-P-1	EXIST	EXIST			7

REMARKS

- CLEAN ALL BASEMENT WALLS, FLOORS, & CEILINGS THOROUGHLY.
- EXISTING CARPET TO BE REMOVED. AFTER DEMOLITION, CONDITION OF HARDWOOD FLOORS IS TO BE ASSESSED. ANY EXISTING HARDWOOD FLOORING IN ACCEPTABLE CONDITION IS TO REMAIN AND BE REPAIRED/REFINISHED AS NECESSARY. WHERE EXISTING HARDWOOD FLOORING IS NOT IN AN ACCEPTABLE CONDITION, LVT IS TO BE INSTALLED AS SCHEDULED.
- EXISTING CARPET ON STAIRS TO BE REMOVED. RESTORE EXISTING HARDWOOD STAIR TREADS & RISERS.
- REMOVE EXISTING WALLPAPER & PATCH WALL AS NECESSARY. WOOD WAINSCOTING TO REMAIN. PAINT WALL ABOVE WOOD AS SCHEDULED.
- ALL NEW WALLS/ WALLS WITH RUBBER BASE TO RECEIVE NEW WOOD BASE TO MATCH EXISTING WOOD BASE.
- REMOVE EXISTING TILE WAINSCOTING ON ALL WALLS. REPAIR WALL AS NECESSARY AND REPAINT AS SCHEDULED.
- PROVIDE NEW BLINDS ON ALL WINDOWS AS SCHEDULED.
- EXISTING CEILINGS TO BE PATCHED/REPAIRED AND PAINTED P-3 AS SCHEDULED. NEW GYP. CEILINGS TO BE PAINTED P-3 AS SCHEDULED.
- PAINT EXISTING WAINSCOTING & STAIR RISERS TO MATCH TRIM.
- EXISTING WALL & FLOOR TILE TO REMAIN IN BATHROOM. PAINT WALLS ABOVE EXISTING TILE.

DRYWALL FINISH LEVELS

LEVEL 0: NO TAPING, FINISHING, OR ACCESSORIES REQUIRED

LEVEL 1: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE SET IN JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE.

LEVEL 2: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND WIPE WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE. JOINT COMPOUND APPLIED OVER THE BODY OF THE TAPE AT THE TIME OF TAPE EMBEDMENT SHALL BE CONSIDERED A SEPARATE COAT OF JOINT COMPOUND AND SHALL SATISFY THE CONDITION OF THIS LEVEL.

LEVEL 3: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPE WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. ONE ADDITIONAL COAT OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.

LEVEL 4: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPE WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND TROWEL APPLIED, OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.

LEVEL 5: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPE WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.

UNIT FINISH SELECTIONS

LUXURY VINYL TILE (LVT-X): (LVT-1)	MANUFACTURER: PATCRAFT COLLECTION: NATURAL STATE STYLE: 1531V COLOR: SPICED CHESTNUT 00750 WEAR LAYER THICKNESS: 12 MIL INSTALLATION: FLOATING
TILE (T-X): (T-1)	
MANUFACTURER: UMORE CONTACT: TIM WESTER (585) 622-0753 TWISTER@SPARTANSURFACES.COM	
COLLECTION: PALERMO COLOR: HAZELWOOD SIZE: 12" X 24" INSTALL: BRICK LAY $\frac{1}{2}$ OFFSET GROUT: BOSTIK GROUT COLOR: MOBE PEARL H145 JOINT THICKNESS: $\frac{1}{8}$ "	
TILE BASE (TB-X): (TB-1)	
STYLE: TO MATCH T-1/ ONLY TO BE USED WITH T-1 SIZE: 4" NOTE: SCHLUTER EDGE TO BE PROVIDED	
WOOD BASE (WDB-X): (WDB-1)	
STYLE: TO MATCH ADJACENT EXISTING WOOD BASE FINISH: TO MATCH ADJACENT EXISTING WOOD BASE	
PAINT (P-X): (P-1) TYPICAL	
MANUFACTURER: SHERWIN WILLIAMS TYPE: PROMAR 200 COLOR: PACER WHITE SW 6098 EGGSHELL FINISH: SEMI-GLOSS	
(P-2) TRIM	
MANUFACTURER: SHERWIN WILLIAMS TYPE: PROMAR 200 COLOR: TO BE DETERMINED FINISH: SEMI-GLOSS	
(P-3) CEILINGS	
MANUFACTURER: SHERWIN WILLIAMS TYPE: PROMAR 200 COLOR: TO BE DETERMINED FINISH: FLAT	
WALL TILE (WT-X): (WT-1)	
MANUFACTURER: UMORE CONTACT: TIM WESTER (585) 622-0753 TWISTER@SPARTANSURFACES.COM	
COLLECTION: BOLOGNA COLOR: ADMIRAL SIZE: 3" X 12" GROUT: BOSTIK GROUT COLOR: TO BE DETERMINED JOINT THICKNESS: $\frac{1}{8}$ "	
CABINETS (CAB-X): (CAB-1)	
MANUFACTURER	

E

E

D

D

C

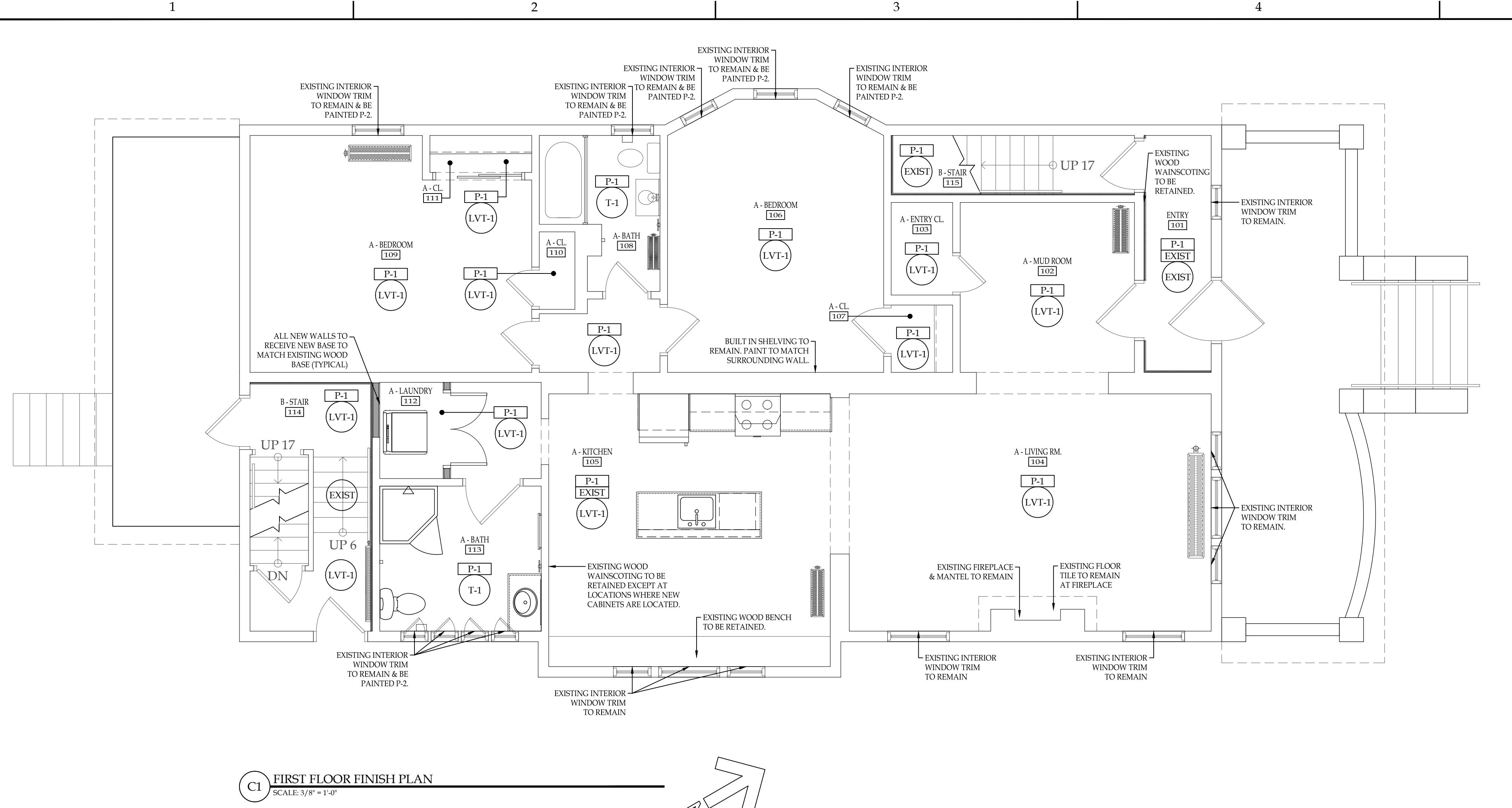
C

B

B

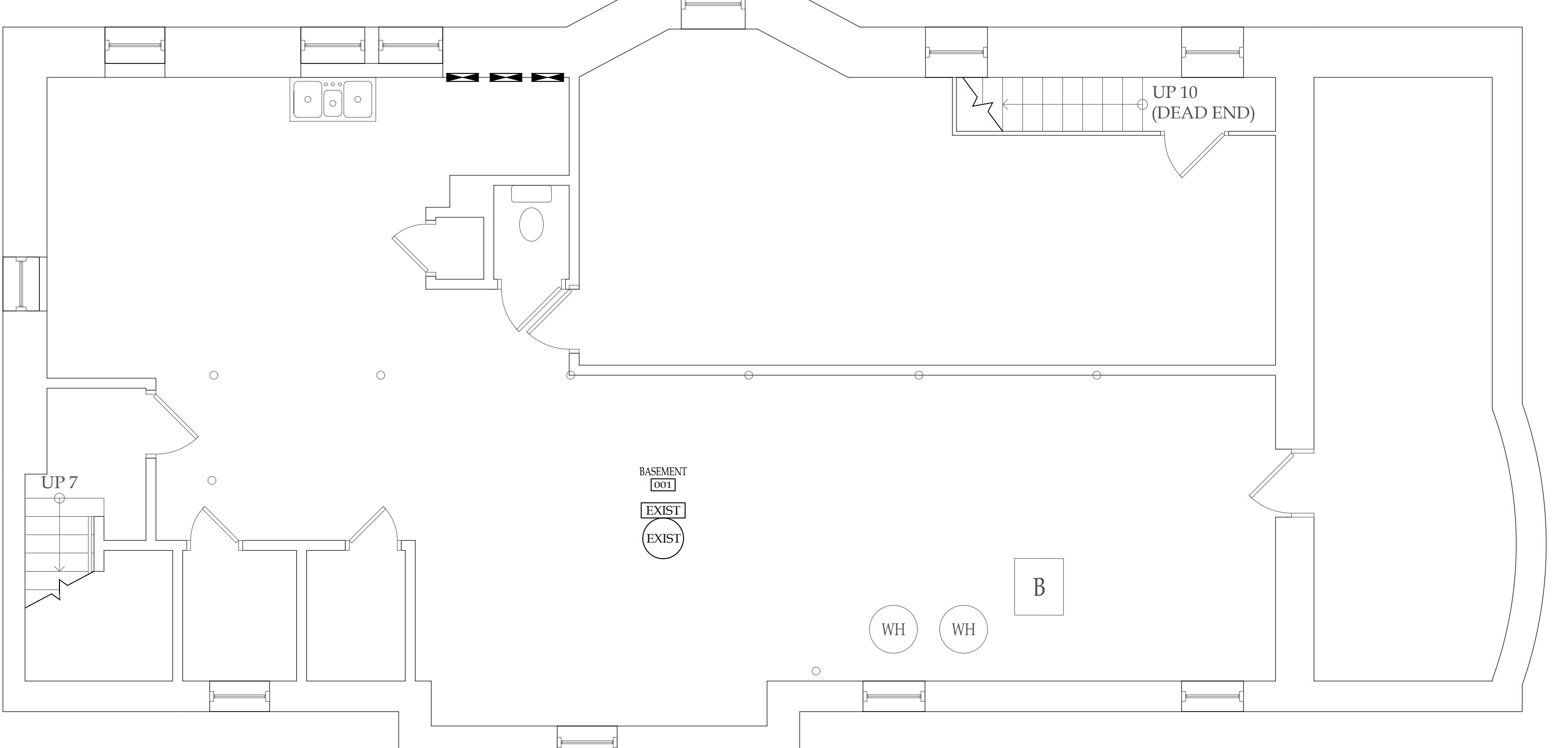
A

A



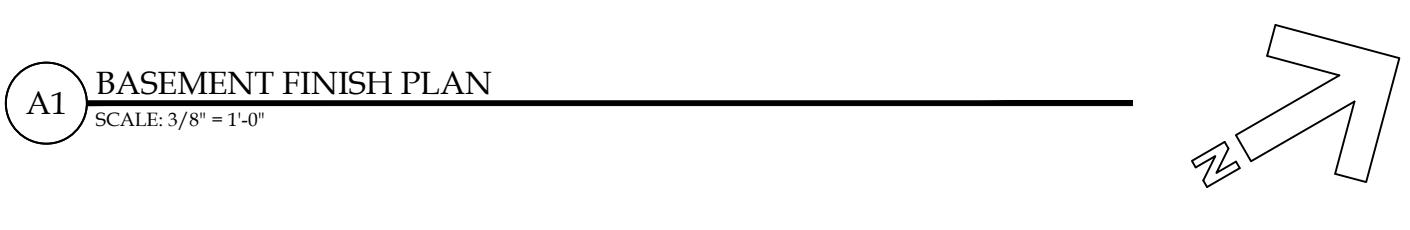
C1 FIRST FLOOR FINISH PLAN

SCALE: 3/8" = 1'-0"



A1 BASEMENT FINISH PLAN

SCALE: 3/8" = 1'-0"



NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project named, and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

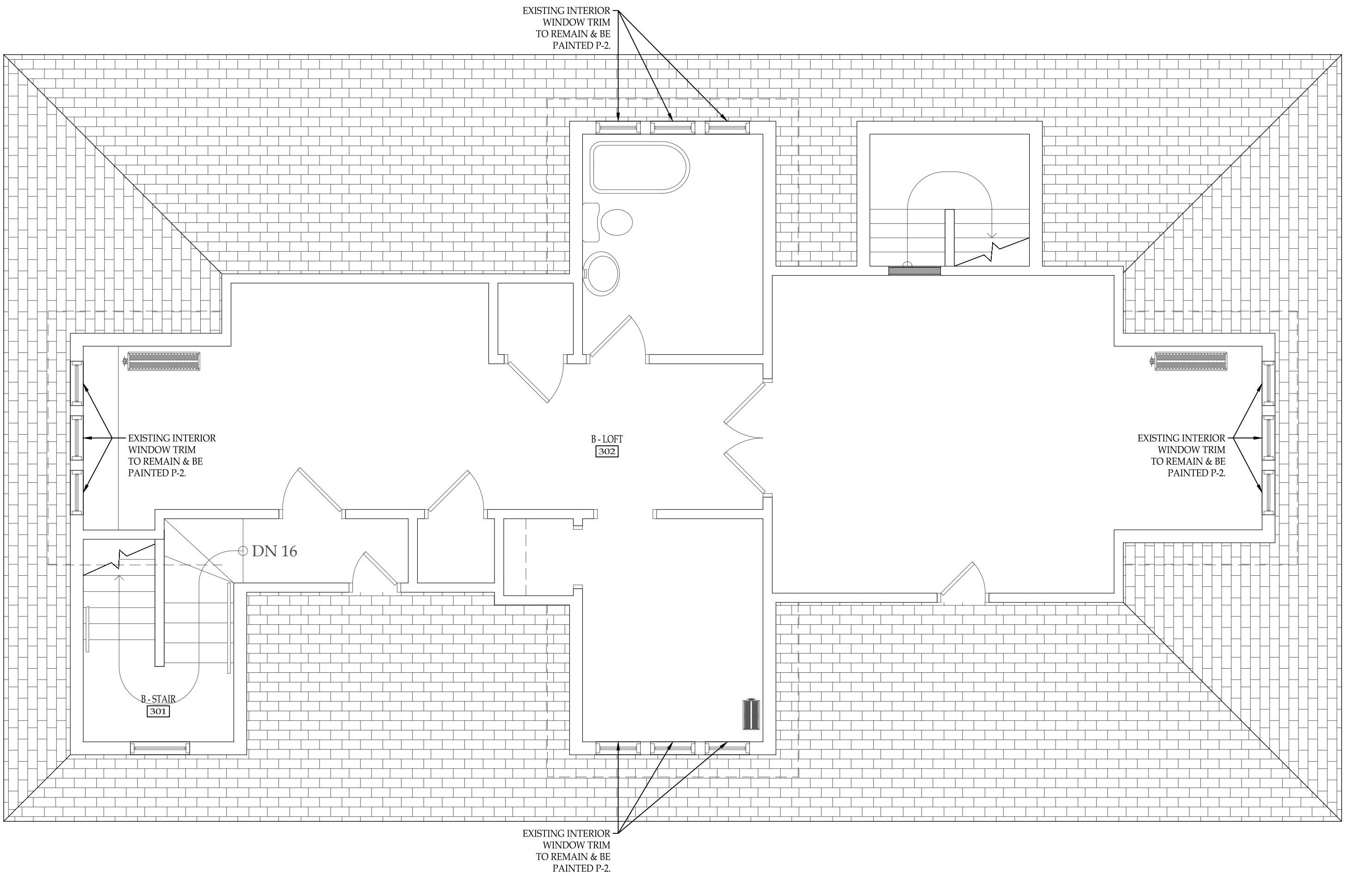
TITLE:
BASEMENT & FIRST FLOOR FINISH PLANS



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

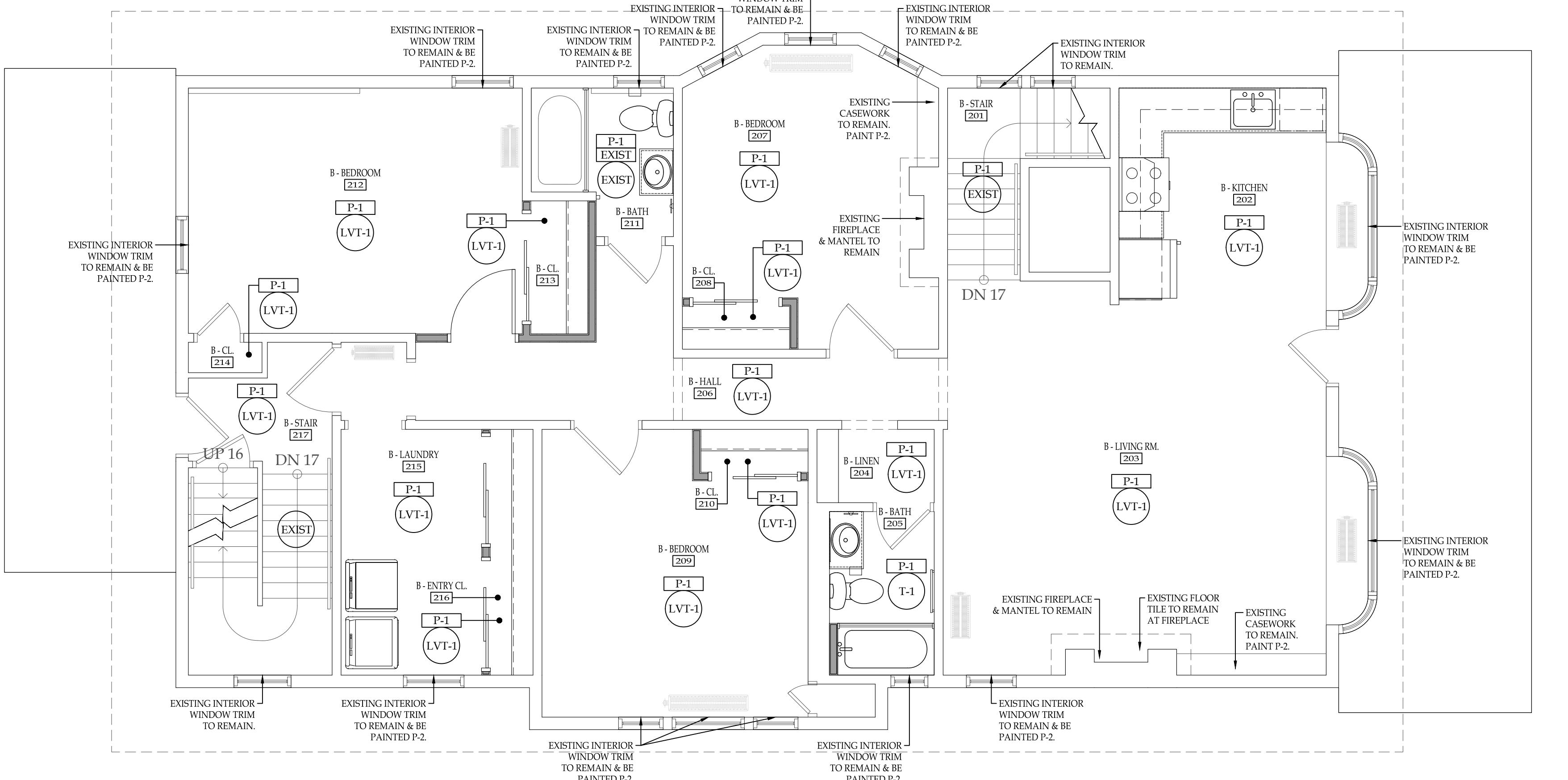
SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-603



C1 THIRD FLOOR FINISH PLAN

SCALE: 3/8" = 1'-0"



A1 SECOND FLOOR FINISH PLAN

SCALE: 3/8" = 1'-0"

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and/or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

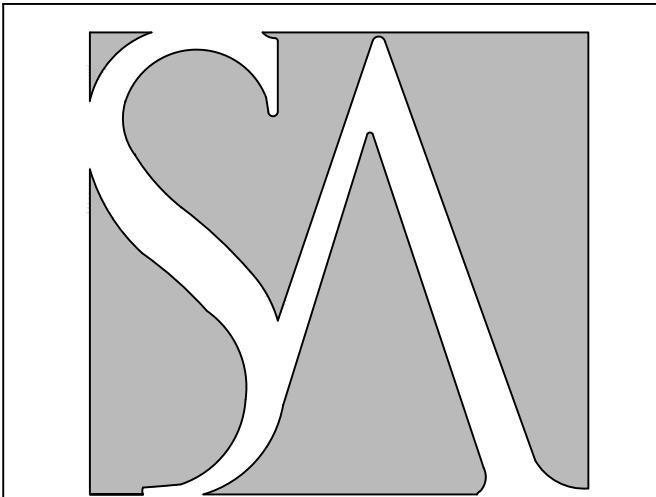
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
12-11-25: ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE: SECOND & THIRD FLOOR FINISH PLANS



SILVESTRI
ARCHITECTS • PC

1321 MILLERSPORT HWY PH. 716.691.0800
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: A-604

DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE

MARK	COND UNIT	SERVICE	COOLING CAPACITY		HEATING CAPACITY		INDOOR UNIT			OUTDOOR UNIT			TRANE MITSUBISHI MODEL			NOTES
			TOTAL (BTUH)	EAT (°F DB/WB)	TOTAL (BTUH)	CFM	ESP (IN WC)	COND. (GPH)	SEER2	HSFPF2	POWER	MCA	MOP	INDOOR	OUTDOOR	
AHU-1A	HP-1	LIVING/KIT	11400	80/67	11300	390	0	0.27	20	10	230/1	38	65	MSZ-GS12NA-U1	1,2,3,4,5,6	
AHU-1B		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1	1,2,3,4,5,6	
AHU-1C		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1	1,2,3,4,5,6	
AHU-2A	HP-2	LIVING AREA	11400	80/67	11300	390	0	0.27	21.5	11.1	230/1	51	86	MSZ-GS12NA-U1	1,2,3,4,5,6	
AHU-2B		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1	1,2,3,4,5,6	
AHU-2C		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1	1,2,3,4,5,6	
AHU-2D		BEDROOM	8500	80/67	8600	390	0	0.05						MSZ-GS09NA-U1	1,2,3,4,5,6	

ACCESSORIES

1. MICROPROCESSOR CONTROL.
2. LOW AMBIENT CONTROL (0°F) WITH REQUIRED OPTIONS.
3. WINTER START KIT.
4. DISCONNECT SWITCH.
5. MODEL TAC-YT53CRAU-J THERMOSTAT MOUNTED ON WALL.
6. PROVIDE CONDENSATE PUMP.

EXHAUST FAN SCHEDULE

UNIT NO.	AREA SERVED	GREENHECK MODEL NO.	TYPE	CFM	S.P. (IN WC.)	FAN RPM	LIGHT	OPERATING POWER	MOTOR INFORMATION	SONES	NOTES
EF-1*	RESTROOM	SP-B90	CEILING	80	0.125	700	NO	20 W	115/60/18 ODP	700	1.0
											1,2,3,4

NOTES:
1. CONTROLLED BY SWITCH
2. PROVIDE MANUFACTURER'S WALL CAP.
3. PROVIDE BACKDRAFT DAMPER
4. PROVIDE HANGING KIT WITH VIBRATION ISOLATORS.

* MULTIPLE UNITS, SEE FLOOR PLANS

LEGEND	
	EXHAUST FAN WITH AIR GRILLE
	UNDERCUT DOOR (3/4")
	EXHAUST AIR DUCTWORK
	REFRIGERANT PIPING
	PROGRAMMABLE THERMOSTAT

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ARCH	ARCHITECT
BMS	BUILDING MANAGEMENT SYSTEM
BTU	BRITISH THERMAL UNIT
CLG	CEILING
CFM	CUBIC FEET PER MINUTE
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EC	ELECTRICAL CONTRACTOR
FLR	FLOOR
G	GAS
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HT	HEIGHT
HTG	HEATING
HVAC	HEATING VENTILATING AND AIR COND
INV	INVEST
KW	KILOWATTS
MBH	THOUSAND BTU PER HOUR
MCA	MIN. CIRCUIT AMPACITY
MOP	MAX. OVERCURRENT PROTECTION
MTD	MOUNDED
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OUTSIDE AIR
ODP	OPEN DRIP PROOF
PVC	POLYVINYLCHLORIDE
RPM	REVOLUTIONS PER MIN.
S.P.	STATIC PRESSURE
TYP	TYPICAL
UTIL	UTILITY
WH	WATER HEATER
NG	NATURAL GAS

GENERAL HVAC NOTES

- CONTRACTOR SHALL MAINTAIN A MIN. OF 10 FEET CLEARANCE BETWEEN OUTSIDE AIR INTAKES AND EXHAUSTS, PLUMBING VENTS, ETC.
- CONTRACTOR SHALL MAINTAIN RECOMMENDED CLEARANCES FOR MAINTENANCE, OPERATION, ETC. ON ALL MECHANICAL EQUIPMENT.
- CONTRACTOR SHALL COORDINATE ALL HVAC WORK WITH OTHER TRADES, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.
- ALL WORK SHALL BE IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS.
- HVAC EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- COORDINATE EXACT LOCATION OF HVAC UNITS WITH ARCHITECTURAL DRAWINGS AND STRUCTURAL STEEL.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THERMOSTATS WITH OWNER.

HVAC SPECIFICATIONS

NOTE: MANUFACTURERS' NAMES ON WHICH THIS SPECIFICATION IS BASED INDICATE THE MINIMUM QUALITY OF PRODUCT REQUIRED. SUBSTITUTION MAY BE MADE TO THOSE SPECIFIED IF DEEMED EQUIVALENT BY THE OWNER'S REPRESENTATIVE. ALL WORK AND PRODUCTS SHALL MEET THE REQUIREMENTS OF GOVERNING CODES.

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE CODES.
2. SEE ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS. ALL CONDITION REQUIREMENTS SHALL APPLY UNLESS OTHERWISE NOTED.

3. ALL WORK SHALL BE PERFORMED AS INDICATED ON DRAWINGS UNLESS FIELD CONDITIONS REQUIRED MINOR CHANGES BE MADE. MINOR CHANGES SHALL BE MADE WITH NO ADDITIONAL COST.

4. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
5. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE OWNER AND THE LANDLORD. AS-BUILT DRAWINGS SHALL INDICATE THE ACTUAL MANUFACTURER OF THE EQUIPMENT THAT WAS INSTALLED, THE EXACT LOCATION OF THE EQUIPMENT AND PERTINENT CAPACITIES FOR HEATING, COOLING, ELECTRICAL, ETC.

6. DEFICIENCIES AND NON-COMFORMING ITEMS SHALL BE CORRECTED BY THE CONTRACTOR. FAILURE TO CORRECT SUCH ITEMS SHALL PERMIT THE OWNER TO CORRECT SAME AT A COST TO THE CONTRACTOR.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND PAYING FOR SAME. HE SHALL INCLUDE IN HIS BID CHARGES FOR ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE SPACE INCLUDING BUT NOT LIMITED TO LOCAL, COUNTY, OR STATE SERVICE CHARGES AND PERMIT FEES.

8. THE SCOPE OF WORK OF THIS CONTRACT INCLUDES, BUT SHALL NOT BE LIMITED TO:

 - A. PROVIDE AND INSTALL ALL EQUIPMENT, APPLIANCES, CONTROL DEVICES, ACCESSORIES, MATERIAL AND LABOR.
 - B. PROVIDE AND INSTALL ALL DUCTWORK, INSULATION, AIR DEVICES DUCT ACCESSORIES, MATERIAL AND LABOR
 - C. PROVIDE AND INSTALL ALL PIPING, FITTINGS, VALVES, INSULATION, ACCESSORIES, MATERIAL AND LABOR
 - D. PROVIDE AND INSTALL TOILET EXHAUST SYSTEM INDICATED.
 - E. CLEAN, TEST AND PUT INTO SERVICE ALL SYSTEMS SPECIFIED.
 - F. PROVIDE A BALANCE REPORT PREPARED BY AN INDEPENDENT AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR.
 - G. WARRANTY ALL WORK AND MATERIALS HEREIN SPECIFIED FOR A PERIOD OF NOT LESS THAN ONE YEAR.

9. MATERIALS

9.1. ALL MATERIALS SHALL BE NEW AND OF RECOGNIZED COMMERCIAL QUALITY. USED MATERIALS WILL NOT BE PERMITTED.

- 9.2. PIPING AND FITTINGS

CONDENSATE DRAIN PIPING SHALL BE TYPE L COPPER WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS.

10. EQUIPMENT

HVAC EQUIPMENT SHALL BE AS SCHEDULED ON THE DRAWINGS AND/OR SPECIFIED HEREIN. EQUIVALENT EQUIPMENT AND/OR COMPONENTS THEREOF MAY BE SUBSTITUTED FOR SPECIFIED EQUIPMENT ONLY AS APPROVED BY THE OWNER AND/OR THE PROJECT ENGINEER.

11. EXECUTION

- 11.1. GENERAL

ACCESSIBILITY - ALL EQUIPMENT SHALL BE INSTALLED IN SUCH A MANNER THAT ALL COMPONENTS REQUIRING ACCESS ARE LOCATED AND INSTALLED THAT THEY MAY BE SERVICED, RESET, REPLACED, OR RECALIBRATED, ETC., BY SERVICE PEOPLE WITH NORMAL SERVICE TOOLS AND EQUIPMENT.

WORK BY OTHER TRADES - FOR THE WORK REQUIRED BY OTHER TRADES FOR CHANGES MADE BY THIS CONTRACTOR IN TYPE OR SIZE OF EQUIPMENT PURCHASED, ANY CUTTING, PATCHING, FURNING, PAINTING, ELECTRICAL OR PLUMBING WORK SHALL BE DONE BY THE AFFECTED TRADE AT THIS CONTRACTOR'S EXPENSE.

EARLY START-UP - THIS CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS CONNECTED WITH ELECTRICAL POWER AS EARLY AS POSSIBLE SO THAT BALANCING AND TESTING CAN BEGIN AT THE EARLIEST DATE AVAILABLE.

CLEANING AND PAINTING - THOROUGHLY CLEAN ALL EQUIPMENT AND REMOVE ALL TRASH, CARTONS, ETC., FROM THE WORK AREA. MAKE ANY NECESSARY CORRECTIONS OR REPAIR/ REPLACE ANY DAMAGED MATERIALS OR EQUIPMENT. LEAVE THE ENTIRE SPACE IN A THOROUGHLY CLEAN AND ORDERLY MANNER. ANY FINISHED SURFACES THAT HAVE BEEN SCRATCHED OR DISCOLORED SHALL BE REPAINTED OR REPAINTED TO MATCH THE ORIGINAL COLOR. IF ANY PART HAS BEEN BENT, BROKEN OR OTHERWISE DAMAGED, IT SHALL BE REPLACED PRIOR TO PROJECT CLOSE-OUT. ALL METAL ITEMS INSIDE THE BUILDING SUBJECT TO RUSTING, AND ALL FERROUS METAL EXPOSED TO THE WEATHER SHALL BE GIVEN ONE COAT OF RUST PREVENTIVE PRIMER AS SOON AS INSTALLED.

- 11.2. EQUIPMENT INSTALLATION

ALL EQUIPMENT AND RELATED PIPING, DUCTWORK, CONTROL WIRING AND ACCESSORIES SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING LINES AND, IF INSTALLED AS HIGH AS POSSIBLE TO ALLOW THE MAXIMUM AMOUNT OF HEADROOM. EQUIPMENT THAT REQUIRES ROUTINE MAINTENANCE SUCH AS FILTER REPLACEMENT SHALL BE INSTALLED AND ARRANGED TO BE ACCESSIBLE. PROVIDE ACCESS PANEL(S) AS REQUIRED AND/OR AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER. ALL EQUIPMENT SHALL BE INSTALLED WITH THE REQUIRED CLEARANCES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER OR AS REQUIRED BY GOVERNING CODES, WHICHEVER IS GREATER.

12. INSTALL ROOF MOUNTED EQUIPMENT SUPPORT RAILS OR ROOF CURB AS REQUIRED FOR THE JOB CONDITIONS AND AS RECOMMENDED BY THE MANUFACTURER FOR THE INSTALLATION OF ROOF MOUNTED EQUIPMENT.

ALL ROOF PENETRATIONS FOR POWER AND CONTROL WIRING CONDUITS AND GAS, CONDENSATE, OR REFRIGERANT PIPING SHALL BE MADE WITH WATERPROOF PIPE SLEEVES OR CURB(S).

13. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTOR'S EXPENSE.

FOR THE SAME PERIOD, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE PREMISES BY DEFECTS IN HIS WORKMANSHIP OR WORK AND/OR EQUIPMENT INSTALLED BY OTHERS UNDER HIS CONTRACT.

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

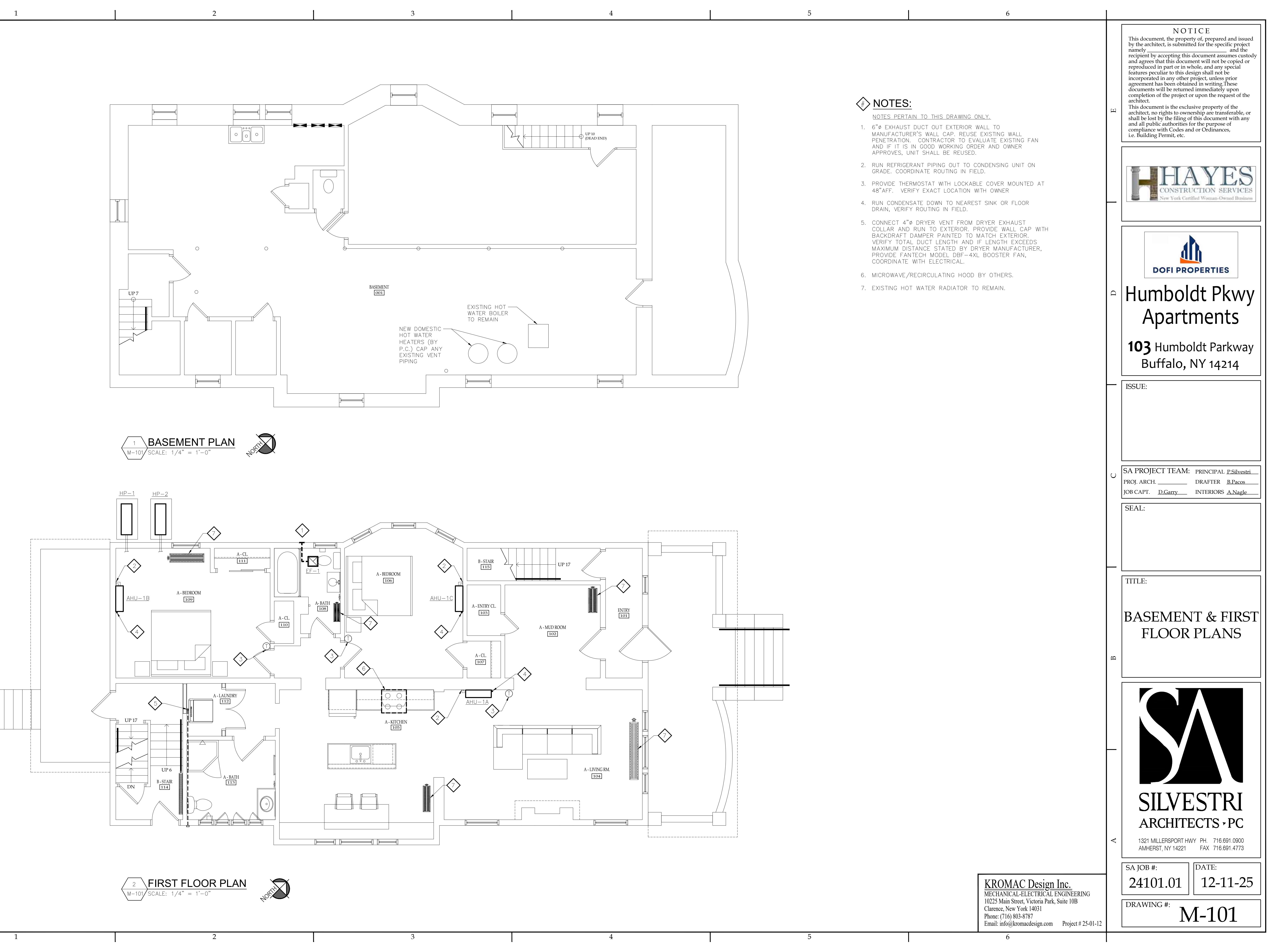
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged during this document with any and all public authorities for the purpose of compliance with Codes and/or Ordinances, i.e. Building Permit, etc.

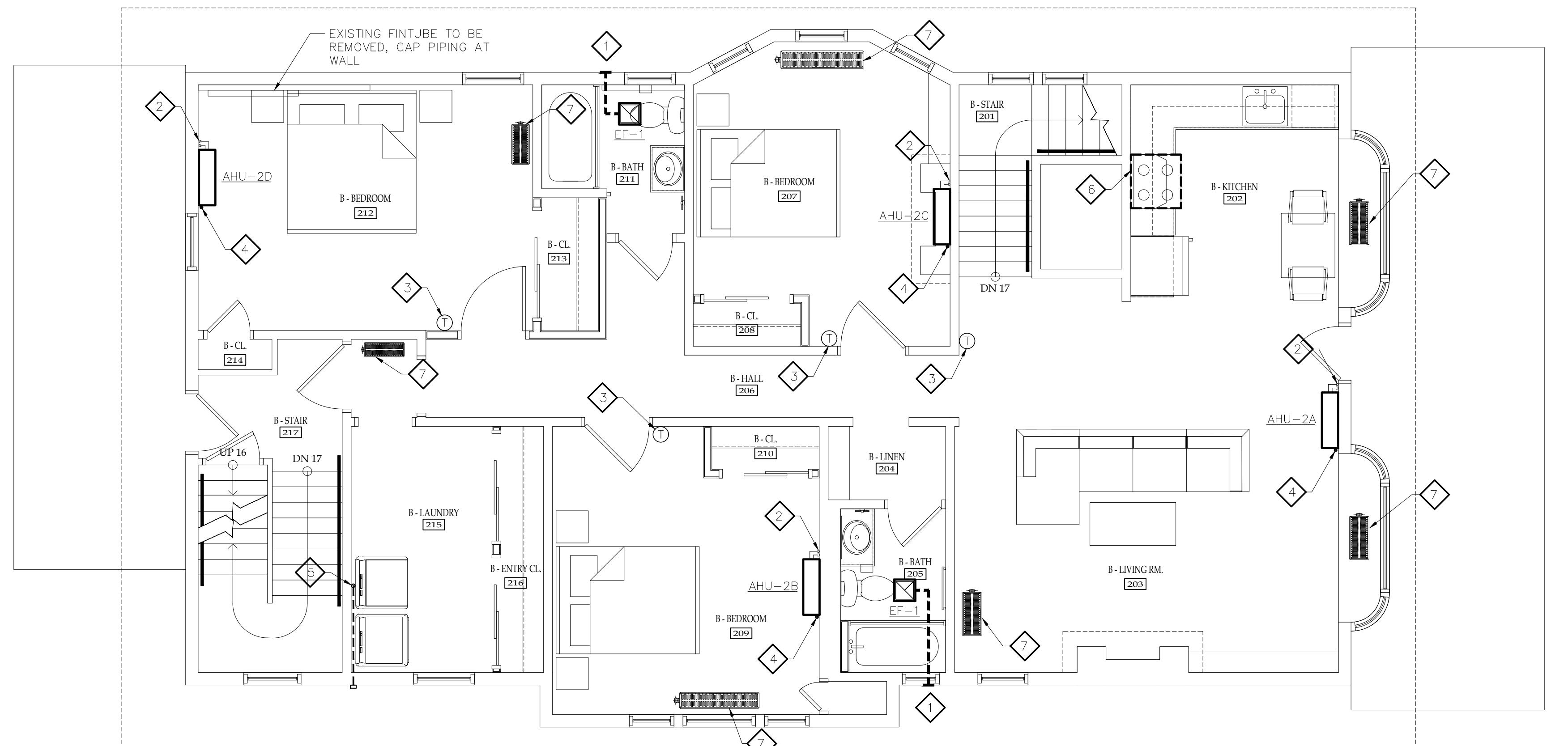
DOFI PROPERTIES
Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

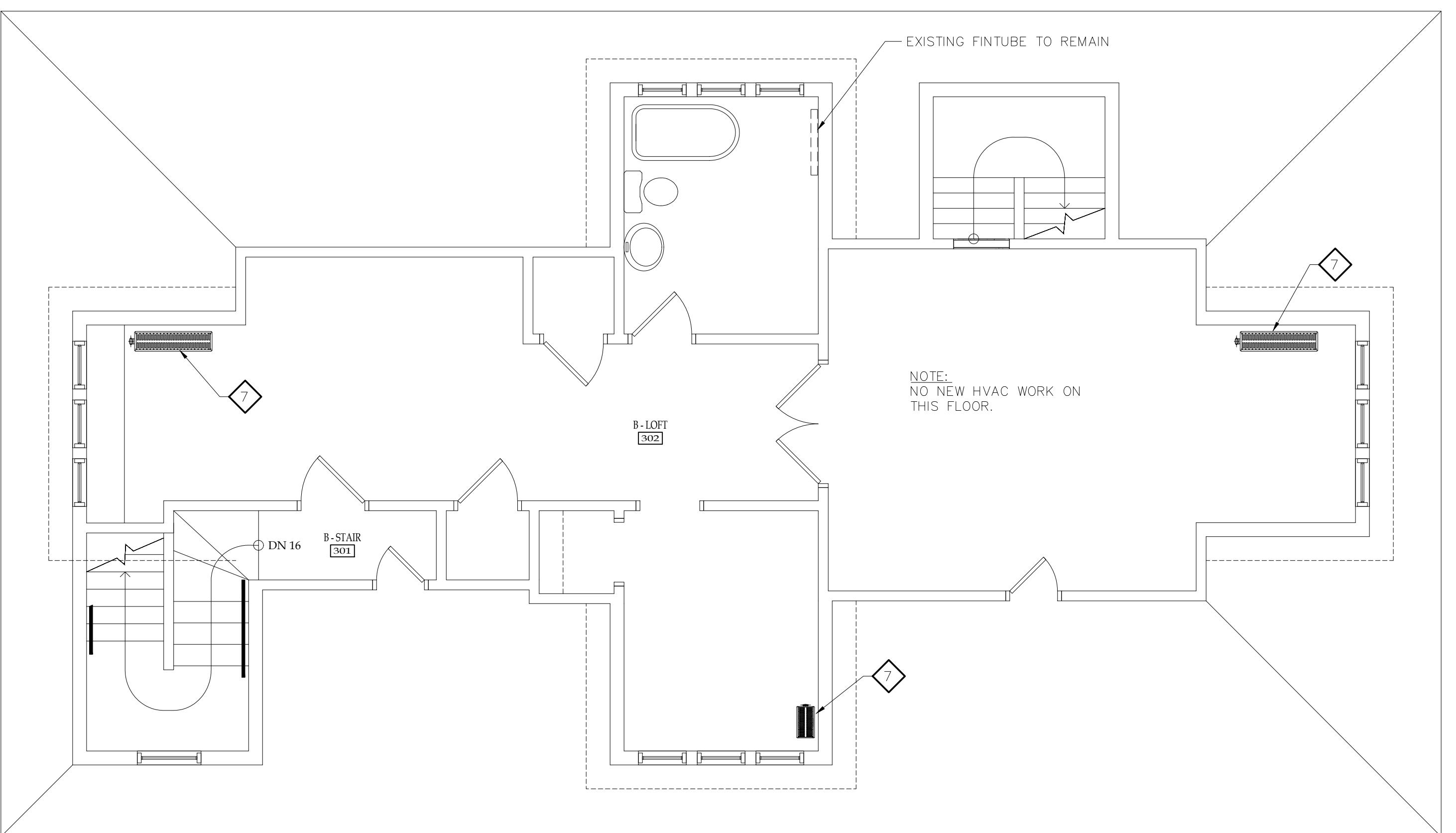
SEAL:
TITLE:
SCHEDULES AND SPECIFICATIONS

SILVESTRI ARCHITECTS • PC
1321 MILLERSPORT





1 SECOND FLOOR PLAN
M-102 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN
M-102 SCALE: 1/4" = 1'-0"



NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

1. 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP- REUSE EXISTING WALL PENETRATION. CONTRACTOR TO EVALUATE EXISTING FAN AND IF IT IS IN GOOD WORKING ORDER AND OWNER APPROVES, UNIT SHALL BE REUSED.
2. RUN REFRIGERANT PIPING OUT TO CONDENSING UNIT ON GRADE. COORDINATE ROUTING IN FIELD.
3. PROVIDE THERMOSTAT WITH LOCKABLE COVER MOUNTED AT 48" AFF. VERIFY EXACT LOCATION WITH OWNER.
4. RUN CONDENSATE DOWN TO NEAREST SINK OR FLOOR DRAIN. VERIFY ROUTING IN FIELD.
5. CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR AND RUN TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR. VERIFY TOTAL DUCT LENGTH AND IF LENGTH EXCEEDS MAXIMUM DISTANCE STATED BY DRYER MANUFACTURER, PROVIDE FANTECH MODEL DBF-4XL BOOSTER FAN, COORDINATE WITH ELECTRICAL.
6. MICROWAVE/RECIRCULATING HOOD BY OTHERS.
7. EXISTING HOT WATER RADIATOR TO REMAIN.

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
SECOND & THIRD FLOOR PLANS

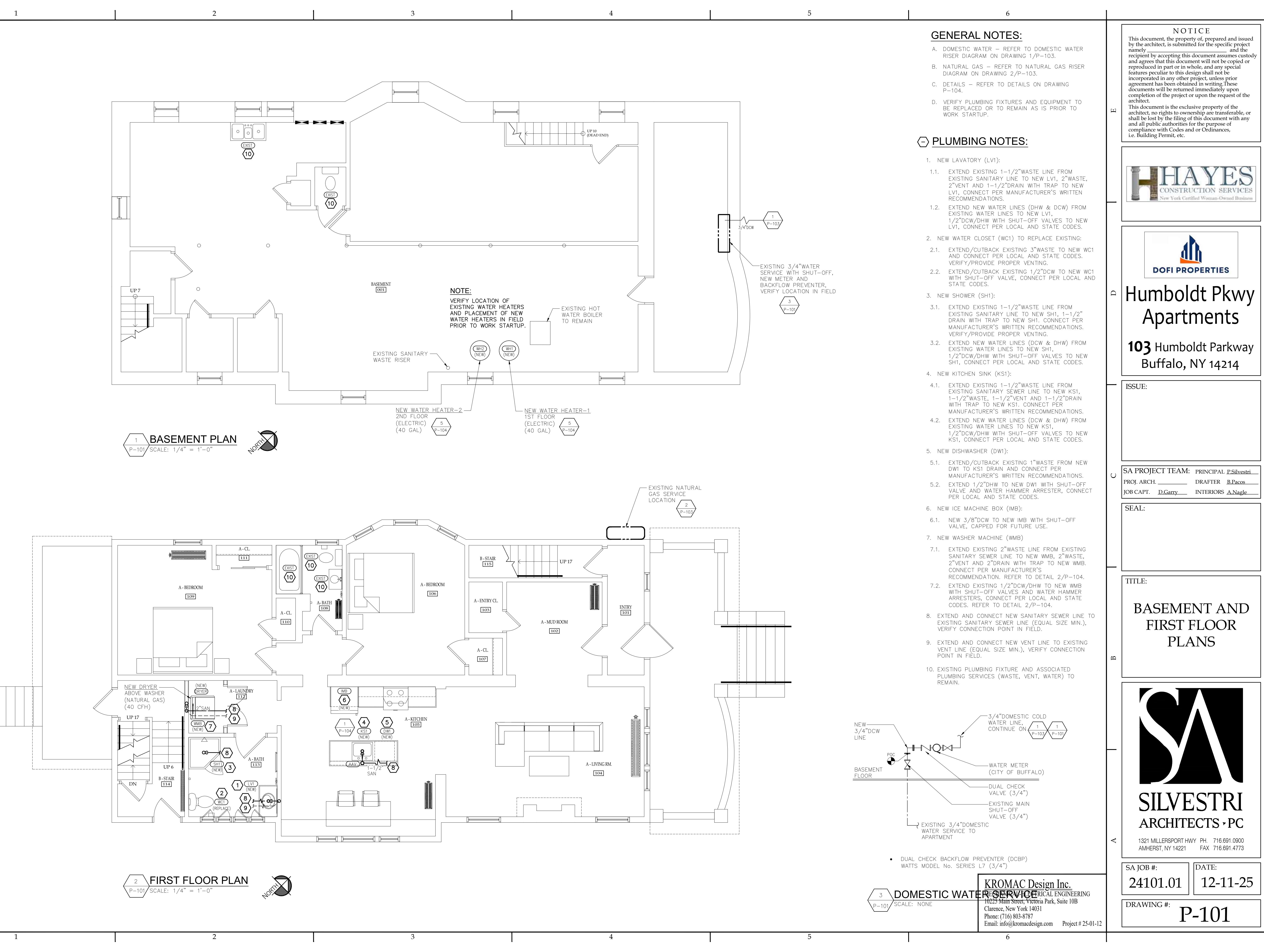


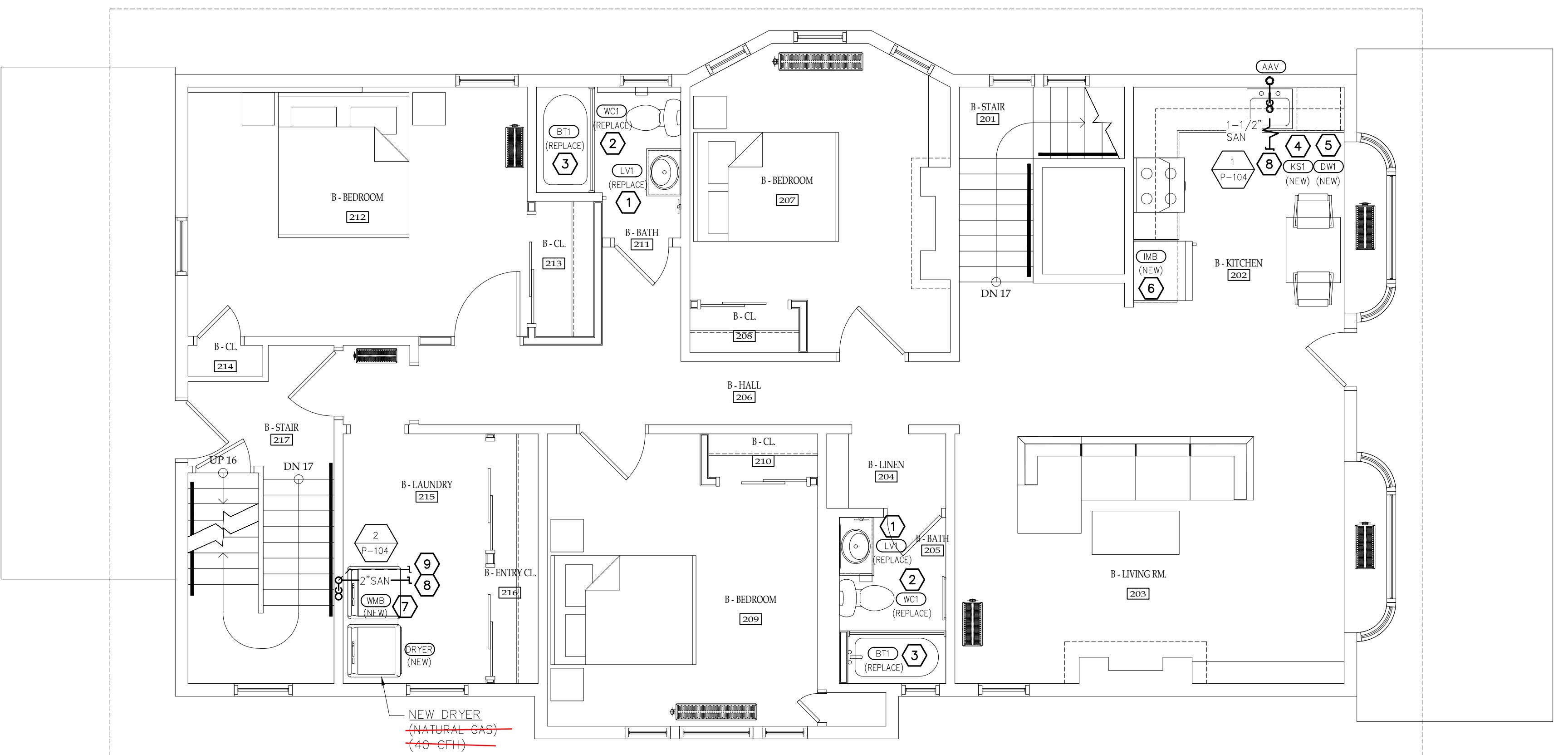
SILVESTRI
ARCHITECTS • PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

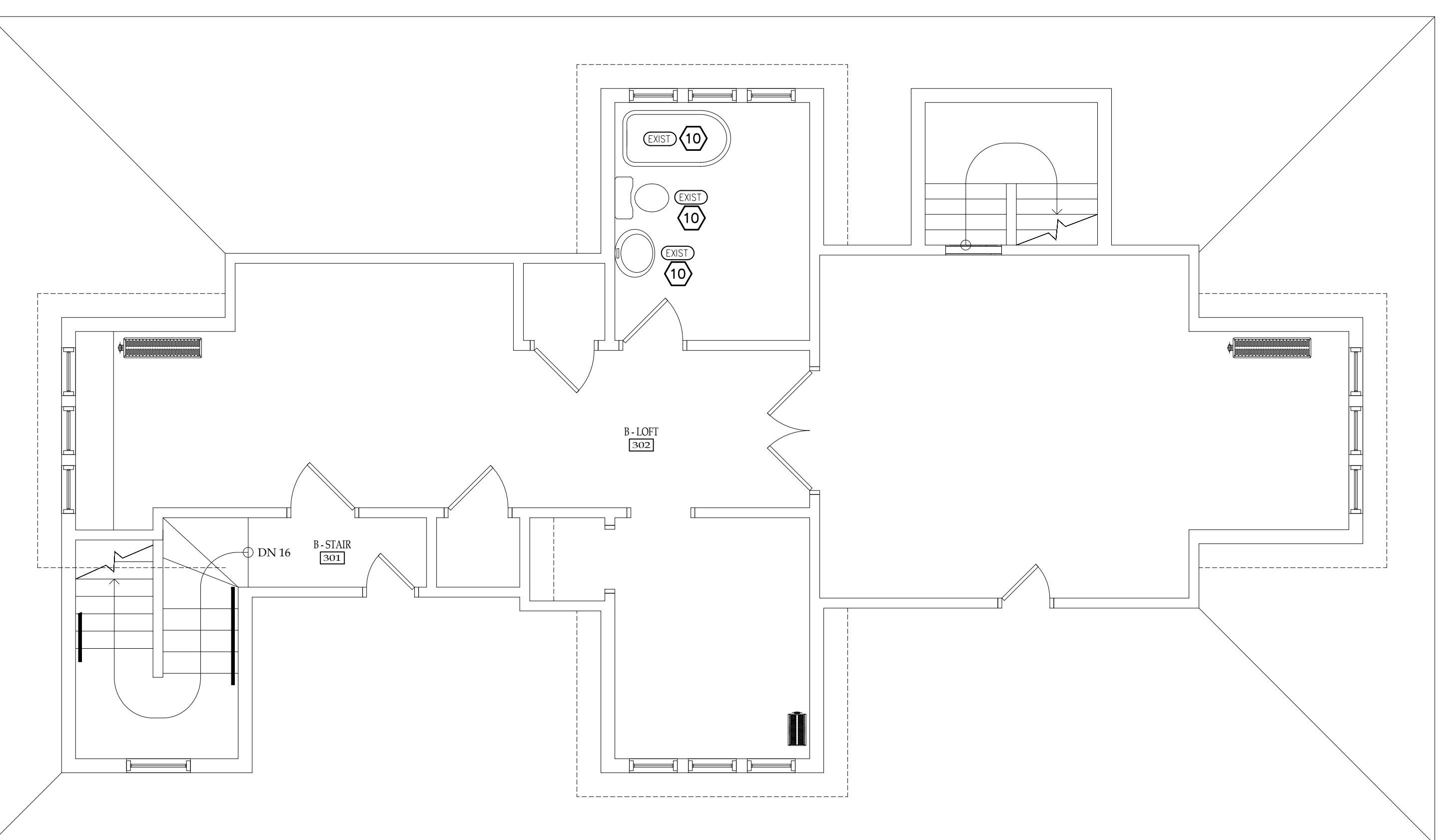
DRAWING #: M-102

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12





1 SECOND FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN
P-102 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- A. DOMESTIC WATER – REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS – REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS – REFER TO DETAILS ON DRAWING P-104.
- D. VERIFY PLUMBING FIXTURES AND EQUIPMENT TO BE REPLACED OR TO REMAIN AS IS PRIOR TO WORK STARTUP.

PLUMBING NOTES:

1. NEW LAVATORY (LVI) TO REPLACE EXISTING:
 - 1.1. EXTEND/CUTBACK EXISTING 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LVI. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 1.2. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES.
2. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
 - 2.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
 - 2.2. EXTEND/CUTBACK EXISTING 1/2"DCW/DHW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
3. NEW BATHTUB (BT1) TO REPLACE EXISTING:
 - 3.1. EXTEND/CUTBACK EXISTING 1-1/2"DRAIN TO NEW BT1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 3.2. EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW BT1 WITH SHUT-OFF VALVES, CONNECT PER LOCAL AND STATE CODES.
4. NEW KITCHEN SINK (KS1):
 - 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATION.
 - 4.2. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.

5. NEW DISHWASHER (DW1):

- 5.1. EXTEND NEW 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER LOCAL AND STATE CODES.
- 5.2. EXTEND NEW 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES.

6. NEW ICE MACHINE BOX (IMB):

- 6.1. NEW 3/8"DOW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.

7. NEW WASHER MACHINE (WMB):

- 7.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
- 7.2. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.

8. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

9. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features or conditions to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
SECOND AND THIRD FLOOR PLANS

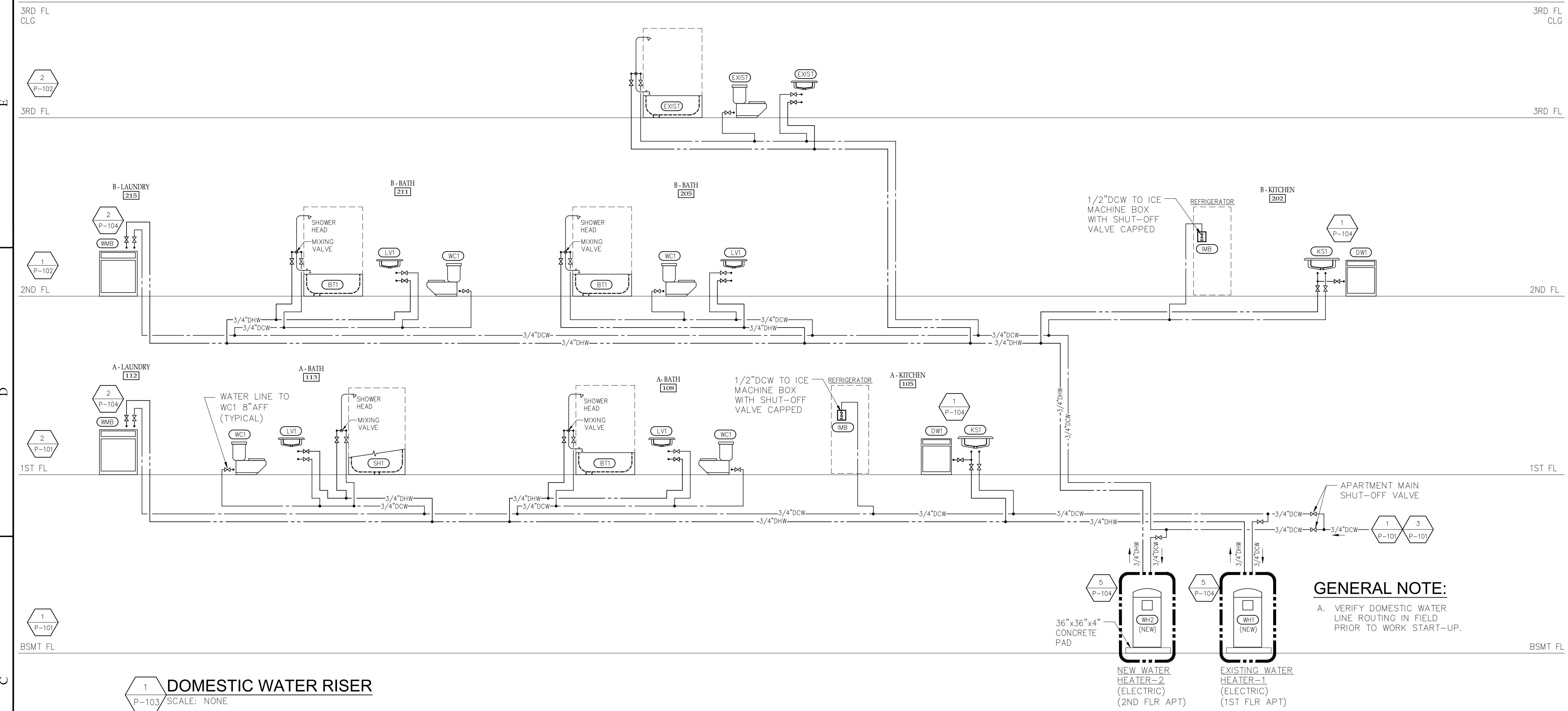


1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

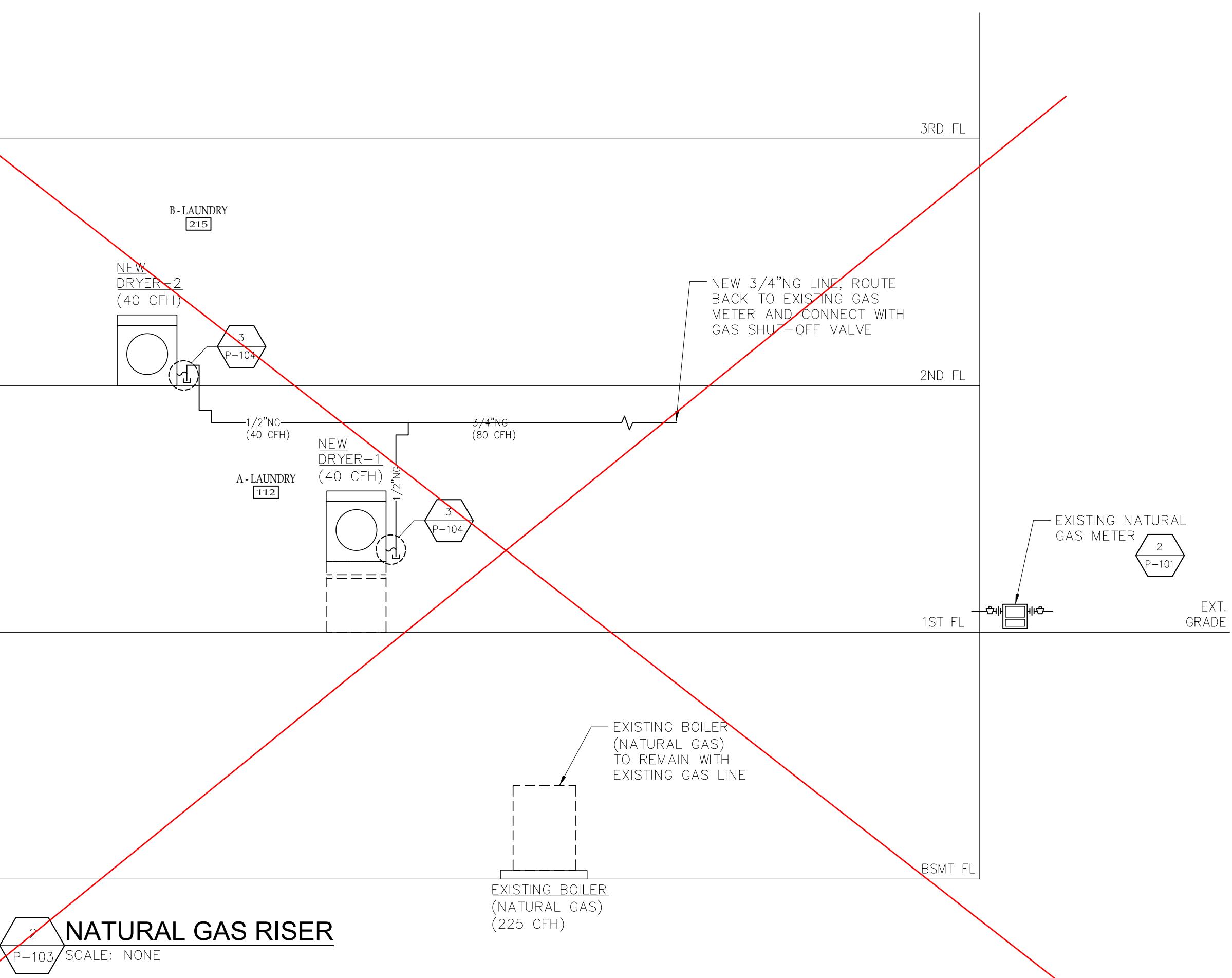
SA JOB #: 24101.01 DATE: 12-11-25

DRAWING #: P-102 Project # 25-01-12

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



DOMESTIC WATER RISER
P-103 SCALE: NONE



NOTES:

1. PROVIDE GAS VALVE, DIRT LEG, AND UNION AT EACH APPLIANCE.
2. ALL EXTERIOR GAS PIPING EXPOSED TO THE WEATHER SHALL BE PAINTED WITH (1) COAT PRIMER AND (2) COATS YELLOW RUST PREVENTIVE PAINT.
3. GAS SIZING BASED ON MINIMUM GAS PRESSURE OF 4" TO 9" WC DOWNSTREAM OF GAS METER WITH A PRESSURE DROP OF 0.5 AND A TOTAL LENGTH OF 75'.
4. REFER TO DETAIL ON THIS DRAWING FOR GAS LINE CONNECTIONS TO EQUIPMENT.
5. PLUMBING CONTRACTOR TO COORDINATE INSTALLATION OF MAIN GAS SERVICE TO BUILDING WITH GAS COMPANY. PROVIDE ALL COST FOR GAS CONNECTION FROM GAS MAIN TO GAS METER SETTING WITH PLUMBING BID. COORDINATE WITH LOCAL GAS COMPANY FOR PRICING.
6. ALL GAS PIPING INSTALLATION SHALL MEET THE REQUIREMENTS OF THE 2009 NATURAL GAS CODE (NFCC).
7. PROVIDE GAS COCK, UNION, DIRT LEG, AND TEST TEE AT EACH GAS FIXTURE UNLESS OTHERWISE NOTED OR SHOWN.
8. PIPING JOINTS ABOVE GYPOBOARD CEILINGS OR BEHIND GYPOBOARD WALLS, OR OTHER CONCEALED LOCATIONS SHALL BE WELDED. TUBING FITTINGS SHALL NOT BE INSTALLED IN CONCEALED LOCATIONS.
9. ALL GAS PIPING TO AND WITHIN APARTMENTS SHALL BE CONCEALED.

NATURAL GAS EQUIPMENT

UNIT NO.	INPUT CFH
NEW DRYER-1	40
NEW DRYER-2	40
EX. BOILER	225
TOTAL	305 CFH

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12

SA JOB #: 24101.01 DATE: 12-11-25
DRAWING #: P-103

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments
103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:
PLUMBING RISERS



SILVESTRI
ARCHITECTS • PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

1 2 3 4 5 6

NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

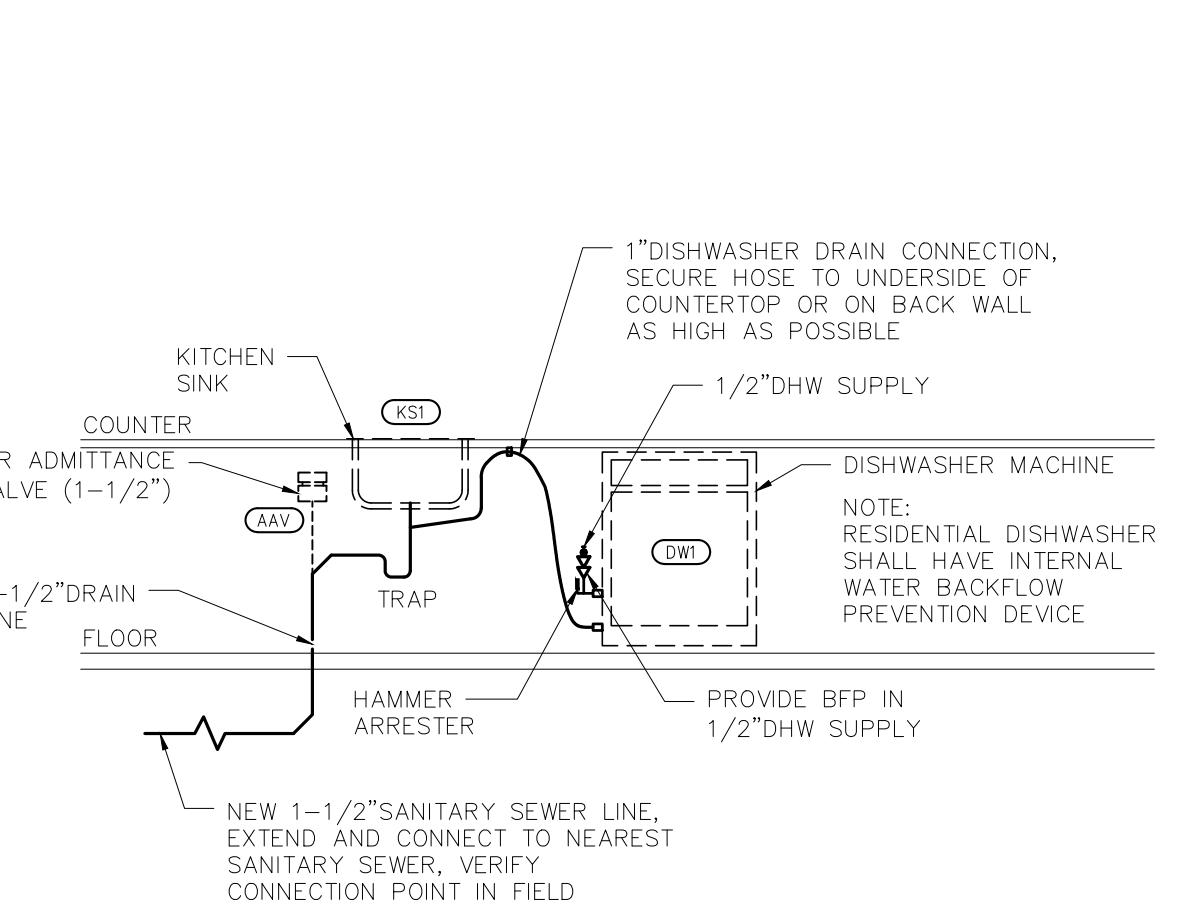
DETAILS



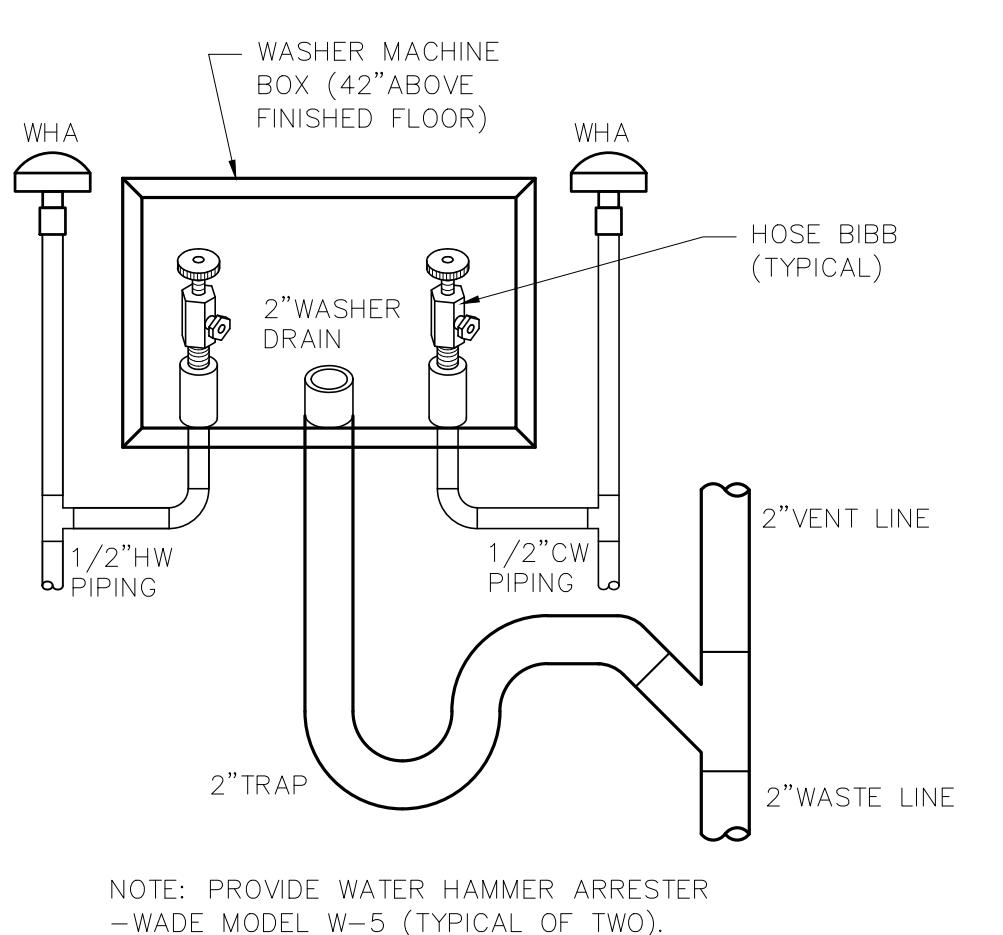
SILVESTRI
ARCHITECTS • PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 12-11-25

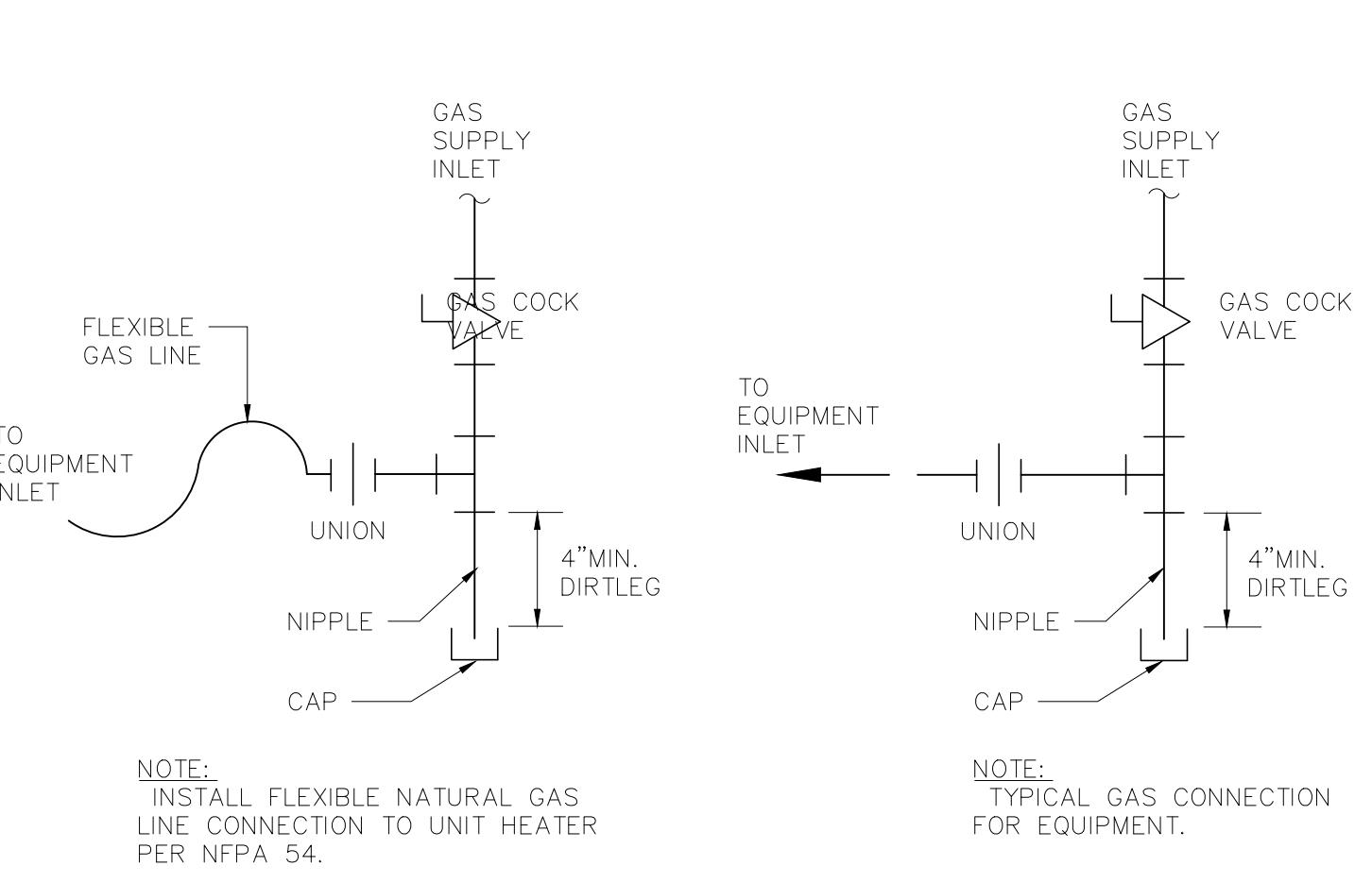
DRAWING #: P-104



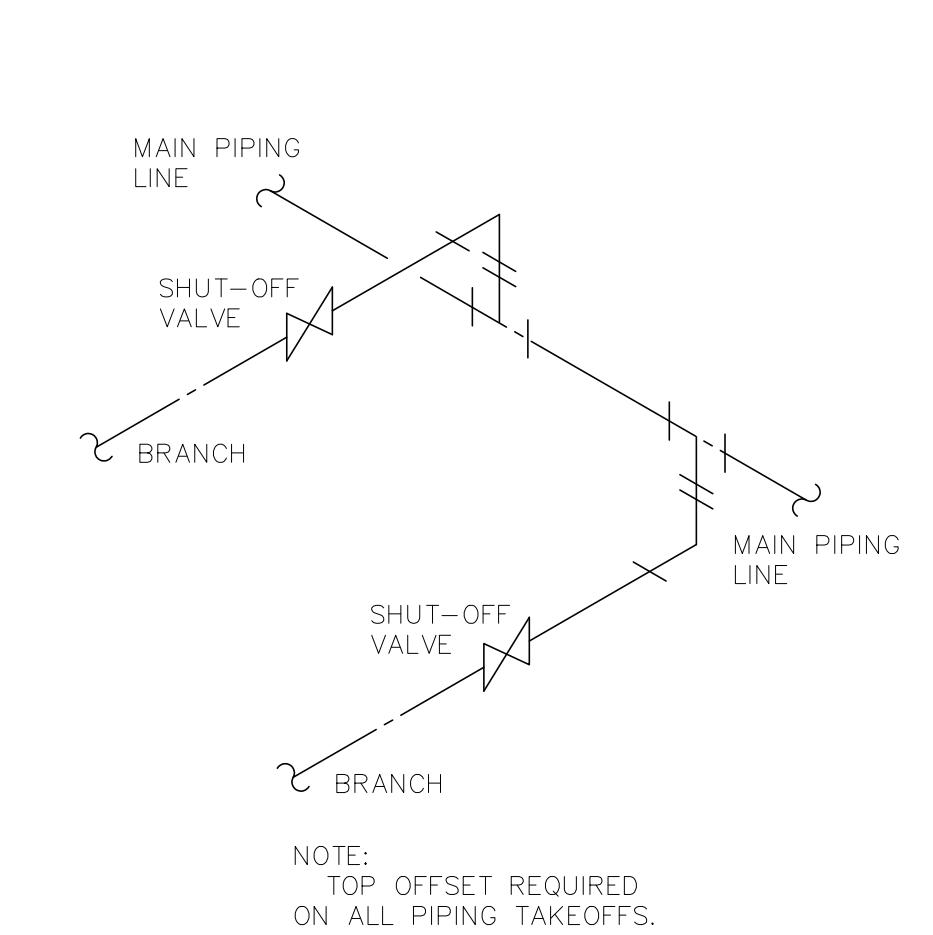
1 ISLAND KITCHEN SINK/DISHWASHER
P-104 SCALE: NONE



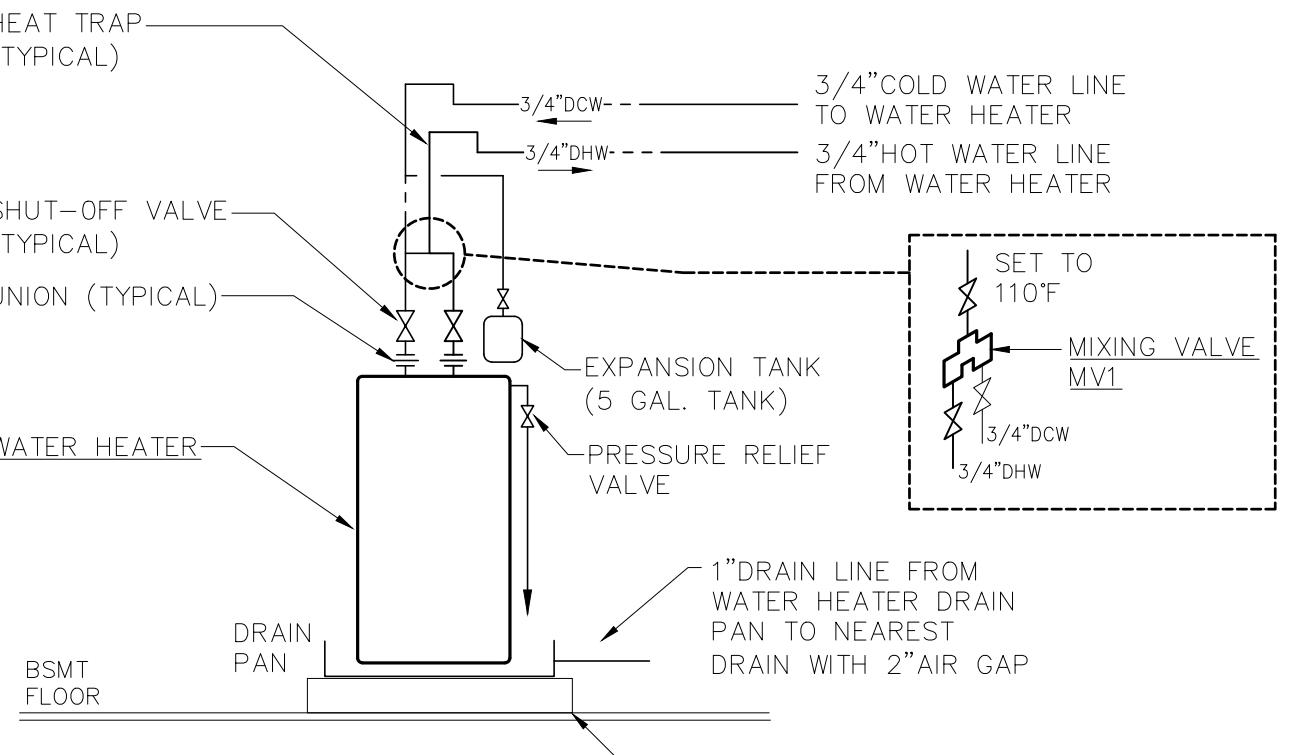
2 WASHER MACHINE BOX (WMB)
P-104 SCALE: NONE



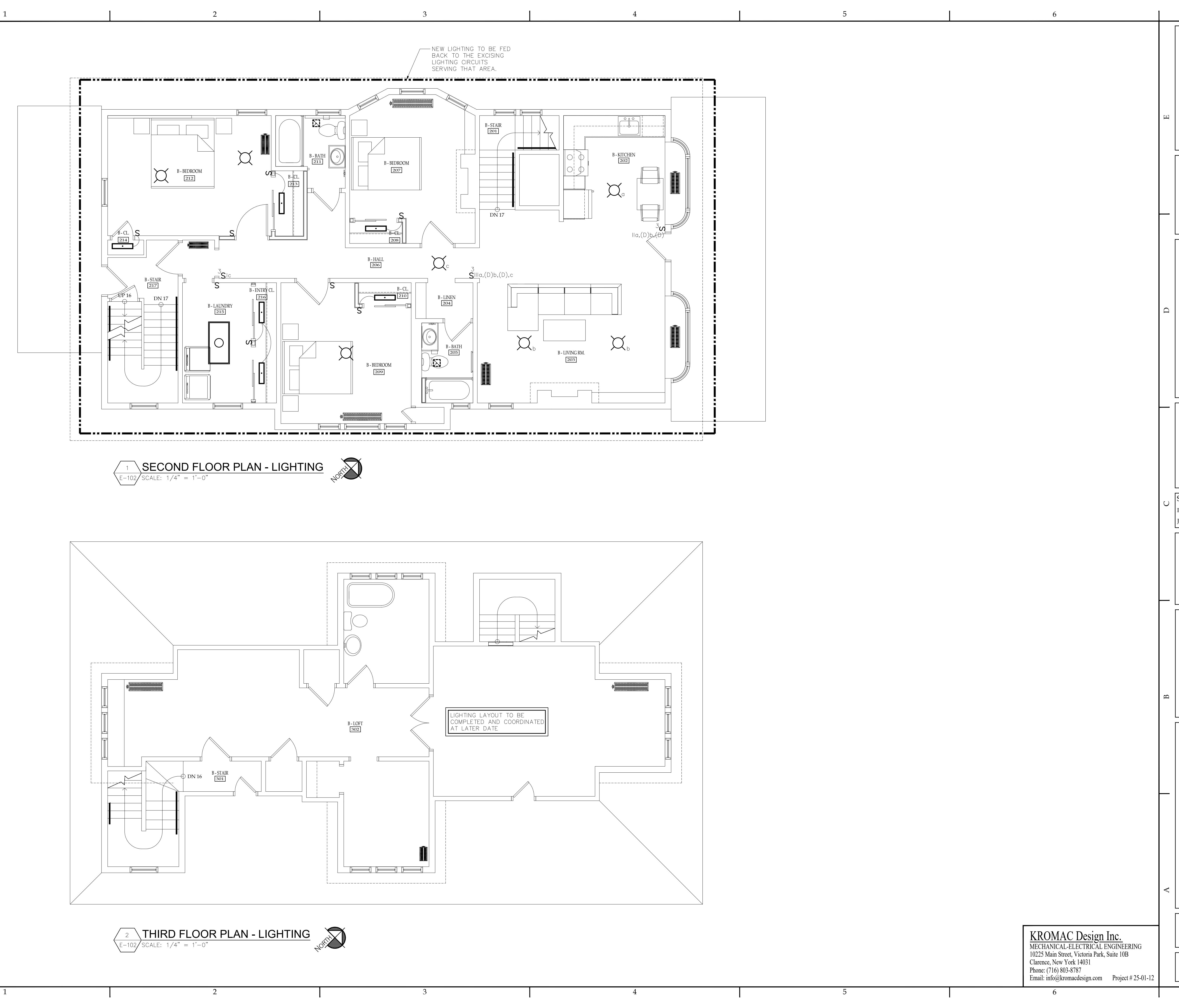
3 GAS CONNECTION DETAIL
P-104 SCALE: NONE

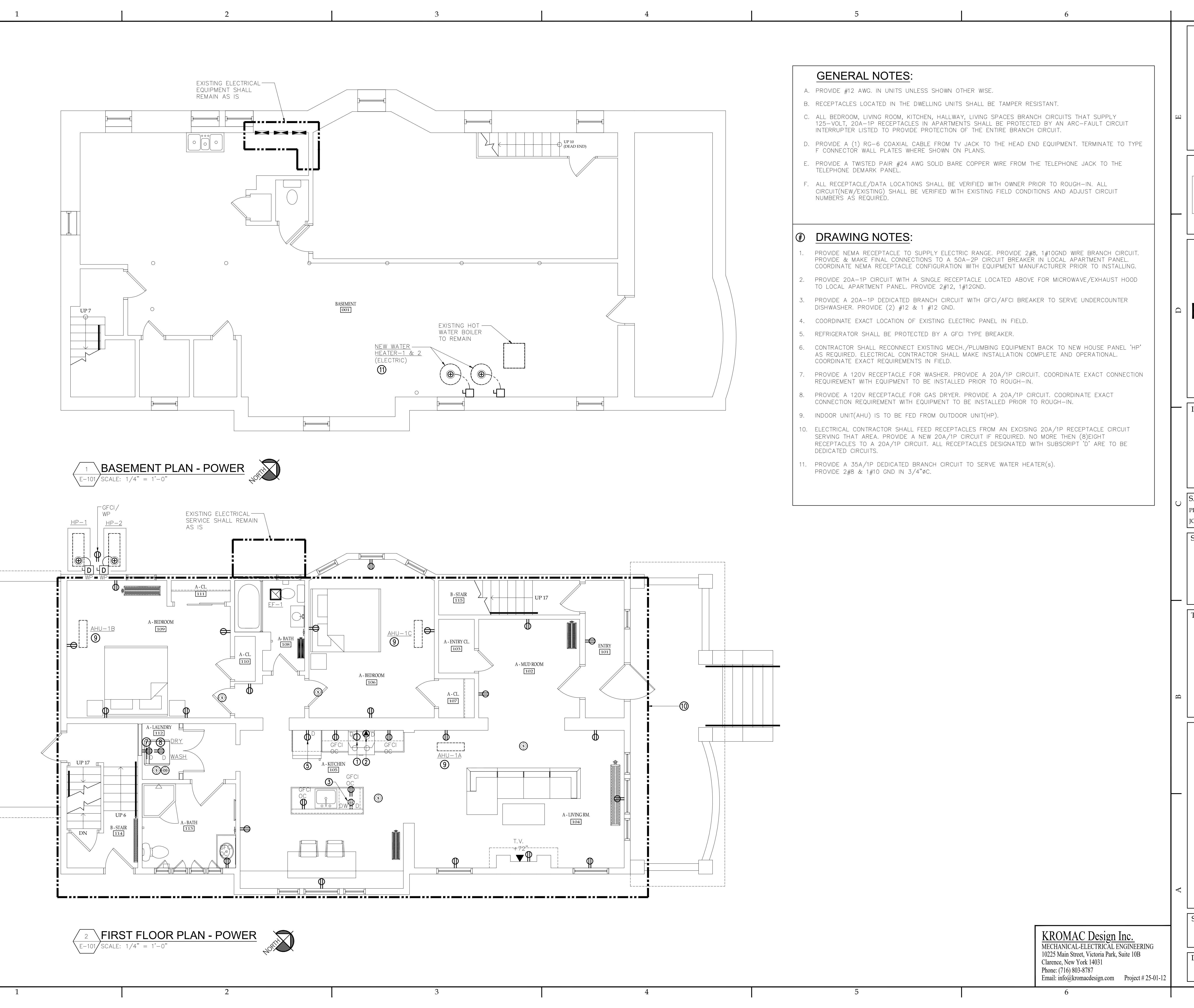


4 PIPING TAKE-OFF DETAIL
P-104 SCALE: NONE



5 WATER HEATER DETAIL
P-104 SCALE: NONE





NOTICE
This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.
This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

103 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

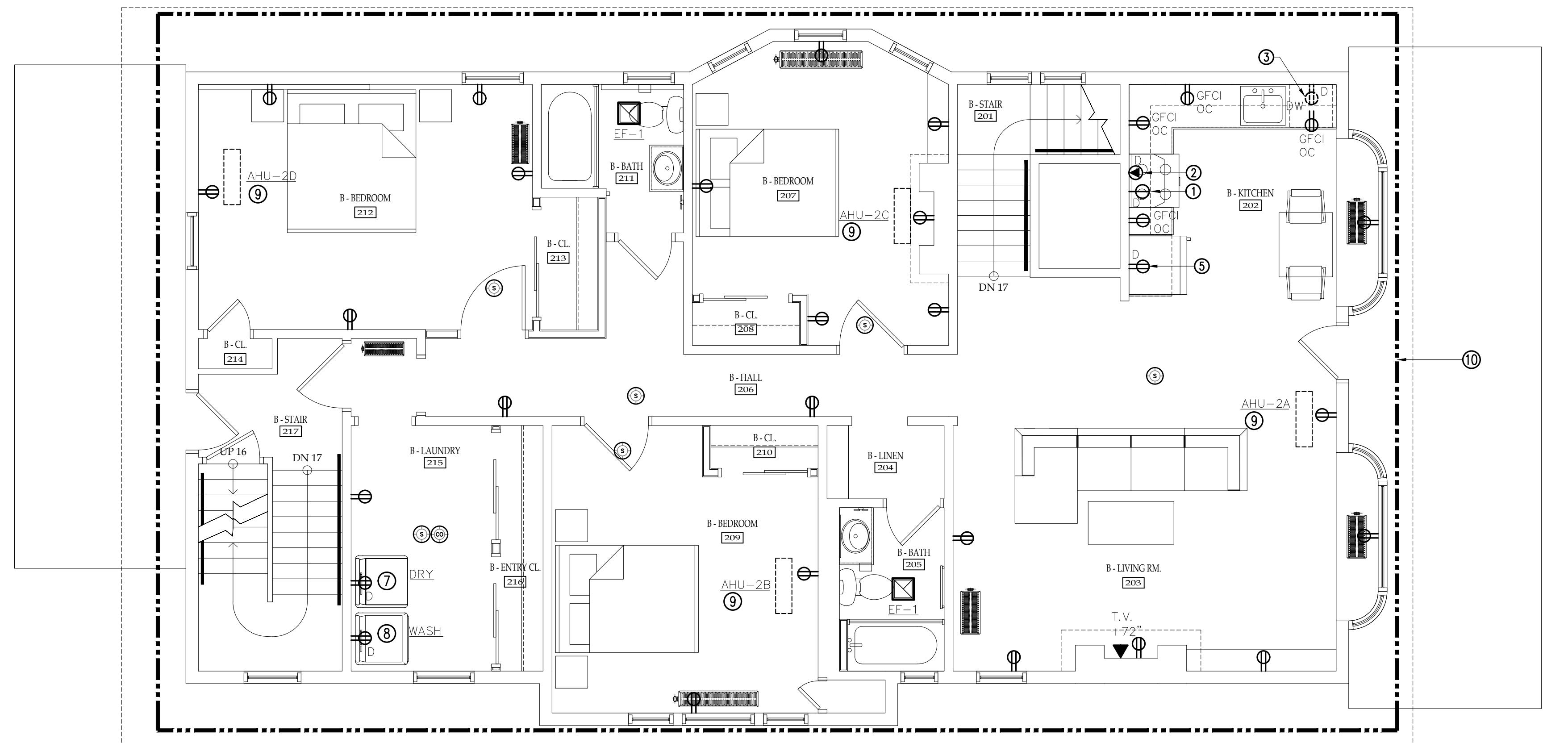
TITLE:
ELECTRICAL FLOOR PLANS - POWER



1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 **DATE:** 12-11-25
DRAWING #: E-103

E



1 SECOND FLOOR PLAN - POWER

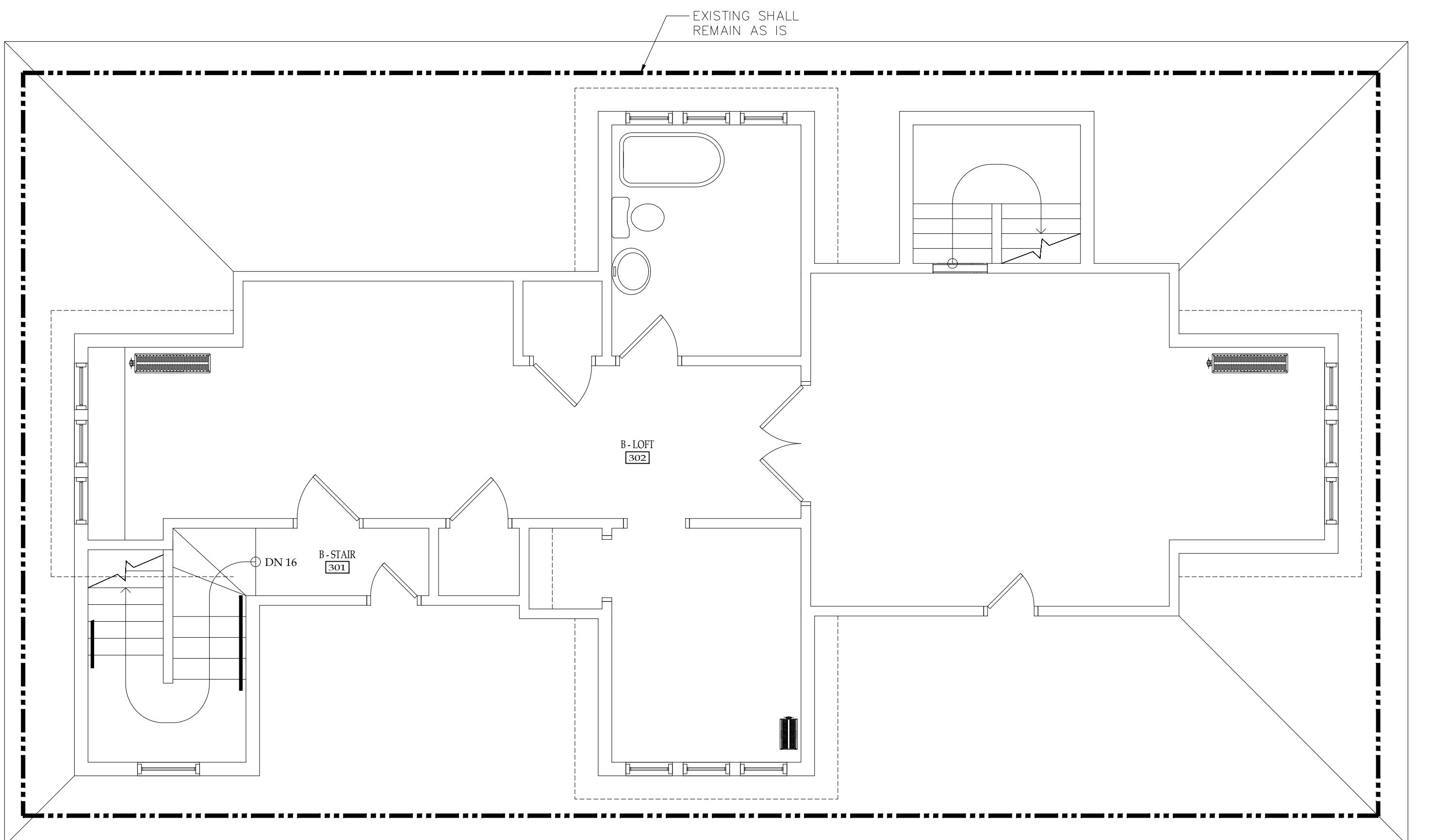
E-102

SCALE: 1/4" = 1'-0"



Xref Y:\KROMAC Apartment Projects\25-01-12 Humboldt Parkway Apartments - Buffalo, NY SA\KROMAC Working Drawings 77 Humboldt\KMD 77 Humboldt - Base 2.dwg

C



2 THIRD FLOOR PLAN - POWER

E-102

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

NOTICE
 This document, the property of, prepared and issued by the architect, is submitted for the specific project name _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or whole, and any special features unique to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.

This document is the exclusive property of the architect, no rights to ownership are transferable, or shall it be lost or damaged, this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.



Humboldt Pkwy Apartments

**103 Humboldt Parkway
Buffalo, NY 14214**

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
 PROJ. ARCH. _____ DRAFTER B.Pacos
 JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

ELECTRICAL FLOOR PLANS - POWER



**SILVESTRI
ARCHITECTS PC**

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

12-11-25

DRAWING #:

E-104

KROMAC Design Inc.
 MECHANICAL-ELECTRICAL ENGINEERING
 10225 Main Street, Victoria Park, Suite 10B
 Clarence, New York 14031
 Phone: (716) 803-8787
 Email: info@kromacdesign.com Project # 25-01-12

ELECTRICAL SPECIFICATIONS

BASIC ELECTRICAL REQUIREMENTS

A. THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY, GENERAL CONDITIONS, AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS WORK.

B. "THE CONTRACTOR", "THIS CONTRACTOR", "E.C.", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL", "SUPPLY", AND "INSTALL", AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.

C. WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.

D. CODES AND STANDARDS:

1. NEW YORK STATE BUILDING CODE
2. NFPA STANDARDS
3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES
4. STATE CONSERVATION CONSTRUCTION CODE
5. LATEST ADOPTED NATIONAL ELECTRICAL CODE

E. THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO:

1. BRANCH CIRCUIT WIRING AND RACEWAYS
2. WIRING DEVICES
3. OUTLETS
4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT
5. GROUNDING AND BONDING
6. LIGHTING FIXTURES AND LAMPS
7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT DEVICES AND FEEDERS
8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK
9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS

F. PAY FOR ALL PERMITS, INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.

G. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).

H. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).

I. ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).

J. THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATION WHERE STRUCTURAL CONDITIONS ENCOURAGE OR REQUIRE MINOR CHANGES. THESE CHANGES MAY BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT. WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

K. NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING CONCRETE, ETC.

L. DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS. INSTALL ALL SLEEVES NECESSARY FOR THE WORK. WHEREVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR. RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATERTIGHT BY THIS CONTRACTOR.

M. THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.

N. PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE SURFACES WITH THE WALLS. THIS CONTRACTOR SHALL PAY FOR ALL NECESSARY PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.

O. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED TO:

1. TEMPORARY POWER DISTRIBUTION
2. LAMP JACKETS AND LAMPS
3. OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS
4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION

P. THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.

Q. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. THE INFORMATION WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

R. PROVIDE PRODUCT DATA, CATALOG CUT SHEETS WITH MFG. SPECIFICATIONS FOR REVIEW BY ARCH./ENGR. FOR THE FOLLOWING ITEMS:

1. PANELBOARDS
2. SAFETY DISCONNECT SWITCHES
3. OUTLET BOXES
4. FITTINGS
5. LIGHTING FIXTURES
6. LAMPS
7. CONDUCTORS
8. CIRCUITS
9. TIME SWITCHES
10. TRANSFORMERS
11. FIRE ALARM SYSTEM

S. PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.

T. MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB.

U. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75°C OPERATION.

RACEWAYS AND FITTINGS

A. WHERE CALLED FOR ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE-THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR LEW.

B. WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.

C. ALL FEEDERS AND BRANCH CIRCUIT HOMERUNS SHALL BE INSTALLED IN EMT. WHERE ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.

D. FOR USE IN UNFINISHED AREAS: WIRE IN SURFACE MOUNTED RGS CONDUIT.

E. FOR OUTDOOR USE: WIRE IN THREADED, RIGID STEEL CONDUIT.

F. FOR UNDERGROUND USE: WIRE IN SCHEDULE 80 RIGID PVC NONMETALLIC CONDUIT.

G. FOR FINAL CONNECTION IN DAMP OR WET LOCATIONS: LIQUID TIGHT FLEXIBLE METAL CONDUIT, WITH LISTED FITTINGS.

H. NOT USED

I. IN ALL INSTANCES, INCLUDE A SEPARATE GROUNDING CONDUCTOR IN EACH FEEDER AND BRANCH CIRCUIT, SIZE PER NEC.

J. FURNISH ALL FITTINGS REQUIRED, BUT NOT LIMITED TO: BUSHINGS TO PREVENT WIRE ABRASION, SLEEVES AND MULTIPLE-GANG BOXES, ACCOMMODATE DEVICE INSTALLATION; ADAPTERS FROM CONDUIT TO RACEWAY; TRANSITIONS TO BOTH LARGER AND SMALLER SURFACE METAL RACEWAYS; 90 DEGREE ELBOWS, TEES, FIXTURE BOXES, AND FLEXIBLE SECTIONS.

K. SURFACE METAL RACEWAY AND FITTINGS SHALL MEET ALL REQUIREMENTS OF NEC ARTICLE 352A AND SHALL BE UL LISTED.

L. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION, INSTALLATION, AND LOCATION OF ALL NECESSARY AND REQUIRED INSERTS, SUPPORTS, AND ANCHOR BOLTS, AND FOR A SATISFACTORY RACEWAY SYSTEM UPON COMPLETION OF THE PROJECT.

M. WHERE ANY COMPONENT OF THE RACEWAY SYSTEM IS DAMAGED PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE SAME OR PROVIDE A NEW RACEWAY SYSTEM, AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

N. CONDUITS SHALL BE RUN TO AVOID ADVERSE CONDITIONS SUCH AS HEAT AND MOISTURE AND TO AVOID ALL MATERIALS AND EQUIPMENT OF OTHER TRADES. CONDUITS SHALL MAINTAIN A MINIMUM CLEARANCE OF SIX INCHES FROM ALL HOT WATER PIPES, FLUES, OR HIGH TEMPERATURE PIPING OR DUCTWORK. SHOULD IT BE FOUND NECESSARY TO INSTALL CONDUIT CLOSER THAN THIS TO HOT WATER PIPES AN INSULATING COVER SHALL BE USED TO PROTECT THE CONDUIT FROM HIGH TEMPERATURE.

O. RACEWAYS SHALL NOT BE SMALLER THAN THE SIZE REQUIRED BY THE NATIONAL ELECTRICAL CODE FOR THE CONDUCTORS ENCLOSED AND SHALL BE LARGER WHERE SO SPECIFIED OR INDICATED ON THE PLANS.

P. ALL EXPOSED RUNS OF CONDUIT SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO WALLS OR CEILINGS. SUPPORTS SHALL BE FROM THE MASONRY OR STEEL STRUCTURE RATHER THAN FROM OTHER MECHANICAL WORK SUCH AS DUCTS, PIPING, ETC., IN ACCORDANCE WITH GOOD INDUSTRY PRACTICE IN A MANNER ACCEPTABLE TO THE ARCHITECT.

Q. SUPPORTS AND ATTACHMENTS PROVIDED SHALL BE SPECIFICALLY DESIGNED FOR THE APPLICATIONS. PERFORATED HANGERS OR WIRE TIE SUPPORTS ARE NOT ACCEPTABLE. ALL HANGERS AND SUPPORTS SHALL HAVE CORROSION RESISTANT FINISH.

R. ALL CONDUITS AND RACEWAYS PASSING THROUGH WALLS, FLOORS, AND CEILINGS SHALL BE SLEEVED WITH A PIECE OF SCHEDULE 40 GALVANIZED STEEL PIPE WITH ENDS. ALL SLEEVES SHALL BE SEALED WATERTIGHT USING A MATERIAL SIMILAR IN APPEARANCE TO THE SURROUNDING AREA OR APPROVED MATERIAL.

S. CONDUITS EXTENDING THROUGH ROOFS SHALL BE EQUIPPED WITH PITCH POCKETS.

T. ALL EMPTY RACEWAYS SHALL BE PROVIDED WITH A NYLON PULLWIRE.

U. ALL CONDUIT PASSING THROUGH A FIRE ZONE SHALL HAVE A FIRE RATED INSTALLATION.

V. CONDUIT SHALL BE INSTALLED SO THAT A CONTINUOUS GROUNDING SYSTEM WILL BE MAINTAINED FROM THE FURTHEST OUTLET TO THE ESTABLISHED WATER PIPE GROUND.

W. CONDULETS, UNILETS, OR SIMILAR APPROVED TYPE FITTINGS SHALL BE USED ON EXPOSED WORK WHERE CONDUIT CHANGES DIRECTION AND WHERE BENDS WILL NOT MAKE A NEAT JOB.

X. EXPOSED CONDUIT SHALL BE SECURELY FASTENED TO THE BUILDING AT 12-FOOT MINIMUM INTERVALS; USING APPROVED HANGERS, STRAP, CLAMPS, OR SCREWS. WOOD PLUGS SHALL NOT BE USED FOR FASTENING PURPOSES. CONDUIT RUN ABOVE HUNG CEILING OR IN CRAWL SPACES SHALL BE SUPPORTED IN THE SAME MANNER AS FOR EXPOSED RUNS. WIRE TIES ARE NOT ACCEPTABLE SUPPORTS.

Y. CARE SHALL BE EXERCISED TO MAKE CERTAIN THAT THE CONDUIT SYSTEM NOW PLANNED WILL PERMIT REMOVAL OF CONDUCTORS FOR FUTURE CHANGES AS MAY BE REQUIRED. ALTHOUGH UP TO FOUR 90 DEGREE BENDS ARE PERMITTED BY THE NATIONAL ELECTRICAL CODE, THE PRACTICE OF USING MORE THAN THREE 90 DEGREE BENDS PER RUN SHALL BE AVOIDED. PULL BOXES SHALL BE USED IF AT ALL FEASIBLE.

Z. PULLBOXES SHALL BE INSTALLED AT 100 FOOT INTERVALS IN LONG STRAIGHT RUNS. CLOSE NIPPLES WILL NOT BE PERMITTED.

AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.

BB. SINGLE RUNS:

1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TGGLE BOLTS
2. IN HOLLOW MASONRY; EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS; CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.
3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.
4. WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.

CC. MULTIPLE RUNS:

1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.
2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.

DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.

EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.

FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.

GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.

WIRE AND CABLE

A. ACCEPTABLE MANUFACTURERS SHALL BE ANACONDA, GENERAL ELECTRIC, CERRO, OR BRAND RX.

B. ALL CONDUCTORS SHALL BY COPPER, WITH 800 VOLT INSULATION, UNLESS OTHERWISE NOTED; STRANDING AND INSULATION TYPES AS FOLLOWS:

C. BRANCH CIRCUIT FEEDERS

1. #10 AWG AND SMALLER (SOLID) - TYPE THHN/THWN INSULATION.

2. #8 AWG AND LARGER (STRANDED) - TYPE THHN/THWN INSULATION.

D. ALL WIRE AND CABLE SHALL BE NEW, WITHIN ONE YEAR OF MANUFACTURE WHEN DELIVERED TO THE SITE AND BEAR THE UL LABEL, INSULATION TYPE, VOLTAGE, AND MANUFACTURER'S NAME AT REGULAR INTERVALS ON THE INSULATION.

E. ALL WIRING SHALL BE DONE SO THAT THE SYSTEM WILL BE CONTINUOUSLY POLARIZED THROUGHOUT, FOLLOWING THE COLOR CODING INDICATED IN THE NEC.

F. ALL CONNECTIONS USING COPPER SHALL BE MADE WITH CONNECTORS THAT ARE DESIGNED AND APPROVED FOR COPPER.

G. JOINTS, TAPS AND SPLICES OF WIRES OF SIZES #10 AWG AND SMALLER SHALL BE MADE BY MEANS OF "SCOTCHLOK" SPRING CONNECTORS.

H. JOINTS, TAPS AND SPLICES OF WIRES OF SIZE #8 AWG AND LARGER SHALL BE MADE WITH THOMAS AND BETTS ALUMINUM/COPPER COLOR -KEYED COMPRESSION CONNECTORS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

I. WIRE SIZES SHALL BE AS SHOWN ON THE DRAWINGS OR SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

J. ALL FEEDER CABLES SHALL BE CONTINUOUS FROM ORIGIN TO EQUIPMENT TERMINATION, WITHOUT RUNNING SPLICES IN INTERMEDIATE PULL OR SPLICE BOXES AS FAR AS PRACTICABLE. NO SPLICES ARE ALLOWED IN "C" CONDUITS.

K. CONDUCTORS SHALL NOT BE SMALLER THAN CODE SIZE FOR THE LOADS BEING HANDLED AND SHALL BE LARGER IF SO INDICATED IN THE PLANS OR SPECIFICATIONS. NO CONDUCTOR SHALL BE LESS THAN #12 AWG EXCEPT FOR CONTROL CIRCUITS, WHICH MAY BE #14 WIRE WHEN INDICATED.

L. PROVIDE SEPARATE GREEN GROUND (EQUIPMENT GROUND) CONDUCTOR WITH EACH FEEDER AND BRANCH CIRCUIT.

M. WIRING IN DUCTS, PLENUMS, AND OTHER AIR HANDLING SPACES SHALL BE PROVIDED PER NEC ART. 300.22 AND ALL OTHER APPLICABLE CODE SECTIONS. WHERE PROVIDED, PLENUM CABLE SHALL BE LISTED AS BEING SUITABLE FOR USE IN DUCTS, PLENUMS, AND OTHER SPACES USED FOR ENVIRONMENTAL AIR AND SHALL ALSO BE LISTED AS HAVING ADEQUATE FIRE-RESISTANT AND LOW SMOKE-PRODUCING CHARACTERISTICS. WIRING SHALL INCLUDE BUT NOT LIMITED TO POWER, LIGHTING, TELEPHONE, DATA, FIRE, ALARM, SECURITY, ETC.

N. ALL WIRING IN TREATMENT ROOMS MUST COMPLY WITH 2008 NEC SECTION 517.

PLAIN CABINETS, BOXES, AND FITTINGS

A. USE SHEET STEEL JUNCTION, OUTLET AND PULL BOXES SIZED PER NEC IN ALL DRY LOCATIONS.

B. USE CAST BOXES FOR EXTERIOR USE, WHERE IN CONCRETE FLOORS, AND IN ALL DAMP OR WET LOCATIONS.

C. NOT USED.

D. USE STEEL OR MALLEABLE IRON FITTINGS SPECIFICALLY DESIGNED FOR EACH RACEWAY TYPE, AS DICTATED BY GOOD PRACTICE.

E. IN ALL CASES, ALL CABINETS, JUNCTION AND OUTLET BOXES SHALL BE ACCESSIBLE.

ELECTRICAL CONNECTIONS FOR EQUIPMENT

A. FIXED EQUIPMENT REQUIRING ATTACHMENT PLUGS SHALL BE PROVIDED WITH APPROPRIATE RECEPTACLE TO MATCH PLUG.

B. FIXED EQUIPMENT REQUIRING DIRECT WIRED CONNECTIONS SHALL BE PROVIDED WITH LOCAL JUNCTION BOX, AND FLEXIBLE NONMETALLIC CONDUIT, OR LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT CONNECTIONS TO EQUIPMENT.

C. PROVIDE SEPARATE FUSIBLE DISCONNECT FOR EQUIPMENT NOT FURNISHED WITH INTEGRAL OR FACTORY FURNISHED DISCONNECTING MEANS.

D. PROVIDE MOTOR STARTER FOR EQUIPMENT NOT FURNISHED WITH FACTORY STARTER.

WIRING DEVICES

A. FOR FINISHED AREAS, USE SPECIFICATION GRADE DEVICES, COLOR AS SELECTED BY ARCHITECT, WITH SMOOTH THERMOPLASTIC WALL PLATE, COLOR TO MATCH DEVICE.

B. FOR UNFINISHED DRY INTERIOR SPACES, USE SPECIFICATION GRADE DEVICE IN STEEL UTILITY BOXES WITH MATCHING STEEL DEVICE COVERS.

C. FOR INTERIOR AND EXTERIOR WET LOCATIONS, USE SPECIFICATION GRADE DEVICES INSTALLED WITH AN OUTLET ENCLOSURE CLEARLY MARKED "SUITABLE FOR WET LOCATIONS WHILE IN USE", AS MANUFACTURED BY TAYMAC CORP., WITH PUSH-BUTTON RELEASE.

D. RECEPTACLES:

20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) 5362

20A, 125V GFI RECEPTACLE: GF20 (NON TAMPER) / TRGF20 (TAMPER)

20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) IG5362RN (ORANGE)

E. SWITCHES:

20A, 120/277V A