

	<u>SECTION TAG</u>
	<u>ELEVATION TAG</u>
	<u>NORTH ARROW</u>
	<u>STRUCTURAL GRID TAG</u>
	<u>ROOM TAG</u>
	<u>DOOR TAG</u>
	<u>WALL TAG</u>
	<u>WINDOW / LOUVER TAG</u>
	<u>REFER TO DRAWING NOTE</u>
	<u>FINISH FACE OF SURFACES ALIGN</u>

PROJECT LOCATION
2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

1. CONTRACT DOCUMENTS — ALL CONTRACTORS SHALL EXAMINE THE CONTRACT DOCUMENTS, AND REFERENCED, NON-CONTRACTUAL DOCUMENTS, AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO SUBMISSION OF PROPOSAL. ANY ERRORS OR AMBIGUITIES NOTED DURING SAID EXAMINATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. PRIOR TO THE SUBMISSION OF A BID, THE ARCHITECT WILL ISSUE AN ADDENDUM OF INTERPRETATION OF THE CITED ERROR OR AMBIGUITY.

NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OF ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERRABLE FROM, SAID CONTRACT DOCUMENTS AS FURNISHED FOR BIDDING. CONTRACTORS PROPOSE TO PROVIDE ALL REQUIRED MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK.

2. CODES — ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO THE 2020 BUILDING CODES OF NEW YORK STATE, IGCANS 117.1-2017, OSHA REGULATIONS, AND ALL AGENCIES HAVING JURISDICTION OF THIS PROJECT.

3. EXISTING CONDITIONS — ALL CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AT THE SITE PRIOR TO BID, COMMENCING WORK, AND FABRICATION OF ANY MATERIALS. CONTRACTORS SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT PRIOR TO CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, EXISTING UTILITIES.

4. SAFETY — IMPLEMENTING JOB SITE SAFETY CONSTRUCTION PROCEDURES AND COMPLIANCE WITH ALL (OSHA) RELATED SAFETY REGULATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTORS AND THEIR SUBCONTRACTORS.

THE FOLLOWING SHALL BE MAINTAINED AND/OR PROVIDED IN COMPLIANCE WITH CURRENT OSHA STANDARDS IN ADDITION TO ALL OTHER GOVERNING CODES AND ORDINANCES:

- ADEQUATE EXITS AND UNOBSTRUCTED ACCESS TO SUCH SHALL BE MAINTAINED
- VISIBLE EXIT SIGNAGE SHALL BE PROVIDED OR MAINTAINED
- FIRE PROTECTION PROGRAM AS WELL AS EQUIPMENT SHALL BE PROVIDED BY CONTRACTOR
- ACCESS TO A SUFFICIENT WATER SUPPLY SHALL BE AVAILABLE UPON ACCUMULATION OF COMBUSTIBLE MATERIAL
- FIRE EXTINGUISHING DEVICES AND EQUIPMENT OF PROPER RATING, STANDARD, AND LOCATION
- SERVICE OF FIRE RESPONSE SYSTEMS SHALL BE MAINTAINED AND CHECKED DAILY TO INSURE THAT PROTECTION IS IN SERVICE
- INSIDES OF ALL ELECTRICAL AND TELEPHONE ROOMS.

5. MEANS AND METHODS — THE MEANS AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTORS AND THEIR SUBCONTRACTORS. ALL CONTRACTORS ARE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FORMWORK, STAGING, BRACING, SHEETING AND SHORING, RESHORING, ETC. — THIS INCLUDES THAT REQUIRED FOR THE CONTRACTOR VEHICLES, FORKFULS, MOBILE CRANES, MATERIALS STORAGE, ETC.

6. COORDINATION — ALL CONTRACTORS AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR THE THOROUGH COORDINATION OF THE WORK WITH EACH OTHER. OBTAIN ALL NECESSARY INFORMATION REQUIRED FOR A WELL-COORDINATED INSTALLATION OF THE WORK. NO CLAIMS FOR ADDITIONAL WORK WILL BE ACCEPTED FOR WORK RELATED TO SUCH COORDINATION.

7. JOB SITE — EACH CONTRACTOR SHALL KEEP THE JOB SITE FREE OF DEBRIS AND IS RESPONSIBLE FOR DAILY CLEAN UP. ROADWAYS AND SIDEWALKS SHALL BE KEPT FREE OF DEBRIS. TRASH CONTAINMENT SHALL BE EMPTIED IN A TIMELY MANNER.

8. PROTECTION AND RESTORATION — ALL CONTRACTORS AND THEIR SUBCONTRACTORS SHALL PROTECT AND NOT DAMAGE EXISTING FINISHES, EQUIPMENT, PROPERTY, ETC. DURING THE WORK. ALL DAMAGED AREAS SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITIONS.

ALL CONTRACTORS SHALL RESTORE EXISTING WALL ASSEMBLIES TO MATCH EXISTING CONSTRUCTION AND FINISH AS REQUIRED AT ALL NEW PENETRATIONS AND OPENINGS. ALL ABANDONED OPENINGS AT WALLS, ROOF, OR FLOOR SHALL BE INFILLED WITH PERMANENT CONSTRUCTION.

WHERE REMOVAL OF EXISTING CONSTRUCTION RESULTS IN DEPRESSIONS AND/OR UNEVEN CONDITIONS, PATCH LEVEL, AND FEATHER AREAS AS REQUIRED TO PROVIDE UNIFORMITY OF NEW CONSTRUCTION.

9. FACILITY OPERATIONS — CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF ADJACENT FUNCTIONINGBUILDINGS. ALL WORK, DELIVERIES AND OTHER CONSTRUCTION RELATED ACTIVITIES SHALL ADHERE IN STRICT ACCORDANCE TO LOCAL RESTRICTIONS AND CONDITIONS. CONTRACTORS ARE TO HAVE A COPY OF SAID REQUIREMENTS AND CONDITIONS AVAILABLE AT THE JOB SITE AT ALL TIMES FOR REVIEW.

11. QUALITY — ALL CONTRACTORS SHALL PROVIDE ALL MATERIALS INDICATED GRAPHICALLY OR AS NOTED. ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND FREE FROM DEFECTS. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND TO ACCEPTABLE PROFESSIONAL TRADE INDUSTRY STANDARDS FOR WORK OF SIMILAR SCOPE AND CHARACTER. WORK SHALL NOT VOID ANY WARRANTIES OR IMPEDE THE PERFORMANCE OF ANY INSTALLED SYSTEM.

ALL WORK OF THE PROJECT SHALL BE PERFORMED CAREFULLY AND SKILLFULLY BY WORKERS ADEPT IN THEIR TRADES. SHOULD ANY MATERIAL OR WORKSMANSHIP BE FOUND TO BE DEFECTIVE, IT SHALL BE REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

12. DRAWINGS — DO NOT SCALE DRAWINGS. ALL WALL, PARTITION, AND STRUCTURAL DIMENSIONS ARE ACTUAL, AND ARE DIMENSIONED TO THE FACE OF THE PARTITION, UNLESS OTHERWISE NOTED. ALL DIMENSIONS, NOTES, AND DETAILS SHOWING A PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD AS REQUIRED FOR THE SCOPE OF WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

13. INCIDENTAL BLOCKING — PROVIDE ALL INCIDENTAL WOOD BLOCKING AS REQUIRED FOR ATTACHMENT OF FINISHES, AND ACCESSORIES, INCLUDING BUT NOT LIMITED TO MILLWORK, CASEWORK, AND COUNTERTOPS.

14. INSPECTIONS — CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS.

15. OWNER-PROVIDED EQUIPMENT — ALL CONTRACTORS SHALL OBTAIN ALL REQUIREMENTS FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT FROM OWNER PRIOR TO INSTALLATION.

16. HAZARDOUS MATERIALS — TESTING WAS PERFORMED PRIOR TO THE PROJECT TO IDENTIFY HAZARDOUS MATERIALS THAT MAY BE DISTURBED BY THE PLANNED DEMOLITION.

REFER TO THE SURVEY REPORT BY REQUEST TO THE OWNER FOR A LIST OF BUILDING COMPONENTS ASSOCIATED WITH THE PROPOSED RENOVATIONS IDENTIFIED TO BE ASBESTOS OR LEAD-CONTAINING, IF ANY.

FURNISHING OF THIS INFORMATION IS NOT INTENDED TO RELIEVE THE CONTRACTOR OF ITS RESPONSIBILITIES UNDER OSHA TO DETERMINE THE PRESENCE, LOCATION, AND QUANTITY OF EXISTING LEAD-CONTAINING MATERIALS THAT THEIR EMPLOYEES MAY BE EXPOSED TO, AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF THE DISTURBANCE OF ASBESTOS OR LEAD-CONTAINING MATERIALS.

ALL CONTRACTORS ARE RESPONSIBLE FOR MAKING THEMSELVES AND THEIR EMPLOYEES AWARE OF THE PRESENCE, LOCATION, AND QUANTITY OF EXISTING ASBESTOS CONTAINING BUILDING MATERIALS, AND TO WARN THEIR EMPLOYEES OF THE POTENTIAL DANGERS OF EXPOSURE TO ASBESTOS. ANY DISTURBANCE OF ASBESTOS CONTAINING MATERIALS SHALL BE PERFORMED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR, EMPLOYING CERTIFIED WORKERS.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OSHA 29 CFR 1926.62 LEAD EXPOSURE IN CONSTRUCTION, INTERIM FINAL RULE FOR ALL ACTIVITIES DURING WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD.

ANY QUESTIONABLE MATERIAL OR MATERIAL SUSPECTED TO CONTAIN ASBESTOS SHALL NOT BE DISTURBED AND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE FOR AN ACCURATE INTERPRETATION AND/OR SAMPLING AND ANALYSIS. ASBESTOS TESTING REPORTS ARE AVAILABLE BY REQUEST TO THE OWNER.

11/06/2025

NUM		SHEET NAME	ISSUE DATE	REVISION HISTORY
01 GENERAL				
G001	TITLE SHEET		11/6/25	
G002	PARTITON TYPES & PHASING		11/6/25	
G003	TYPICAL DETAILS		11/6/25	
G004	BUILDING CODE INFORMATION		11/6/25	
02 ARCHITECTURAL				
AD101	DEMO FIRST FLOOR PLAN		11/6/25	
AD110	DEMO ROOF PLAN		11/6/25	
AD121	DEMO FIRST FLOOR REFLECTED CEILING PLAN		11/6/25	
A101	PROPOSED FIRST FLOOR PLAN		11/6/25	
A110	PROPOSED ROOF CONSTRUCTION PLAN		11/6/25	
A121	PROPOSED FIRST FLOOR REFLECTED CEILING PLAN		11/6/25	
A401	ENLARGED PLANS & INT. ELEVATIONS - PHASE 2 CHEESE SHOP & MAIL ROOM ALTERATIONS		11/6/25	
A402	ENLARGED PLANS & DETAILS - PHASE 3 EXEC. SUITE RENOVATION		11/6/25	
A403	ENLARGED PLANS & INT. ELEVATIONS - PHASE 3 MAIN CONFERENCE ROOM		11/6/25	
A404	ENLARGED PLANS & INT. ELEVATIONS - PHASE 3 RESTROOMS		11/6/25	
A405	ENLARGED PLANS & INT. ELEVATIONS - PHASE 4 HR & OPEN OFFICE		11/6/25	
A500	DOOR & WINDOW INFORMATION		11/6/25	
A530	ROOF DETAILS		11/6/25	
A540	CEILING DETAILS		11/6/25	
A800	FINISH INFORMATION		11/6/25	
A801	FIRST FLOOR FINISH PLAN		11/6/25	
A802	FINISH DETAILS		11/6/25	
A803	RECEPTION DESK INFORMATION		11/6/25	
A851	PROPOSED FURNITURE PLAN		11/6/25	
03 ELECTRICAL				
E001	ELECTRICAL SYMBOL LEGEND, DETAILS & SCHEDULES		11/6/25	
E002	ELECTRICAL DETAILS		11/6/25	
ED101	FIRST FLOOR ELECTRICAL DEMOLITION PLAN		11/6/25	
E101	FIRST FLOOR POWER & SYSTEMS PLAN		11/6/25	
E201	FIRST FLOOR LIGHTING PLAN		11/6/25	
E701	ELECTRICAL SPECIFICATIONS		11/6/25	
04 MECHANICAL				
M001	MECHANICAL SYMBOL LEGEND & SCHEDULES		11/6/25	
MD101	FIRST FLOOR MECHANICAL DEMOLITION PLAN		11/6/25	
M101	FIRST FLOOR MECHANICAL PLAN		11/6/25	
M102	FIRST FLOOR MECHANICAL PLAN - PHASE 1		11/6/25	
M103	FIRST FLOOR MECHANICAL PLAN - PHASE 2 & 3		11/6/25	
M104	FIRST FLOOR MECHANICAL PLAN - PHASE 4		11/6/25	
M201	MECHANICAL ROOF PLAN - PHASE 4		11/6/25	
05 PLUMBING				
P001	PLUMBING SYMBOL LEGEND & SCHEDULES		11/6/25	
PD101	FIRST FLOOR PLUMBING DEMOLITION PLAN		11/6/25	
P101	FIRST FLOOR PLUMBING PLAN		11/6/25	



BUILDING CODE REQUIREMENT

PROJECT IS DESIGNED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF 2020 BUILDING CODE OF NEW YORK STATE

ZONING	N-3E MIXED-USE EDGE	
CONSTRUCTION TYPE:	II-B	
PROJECT TYPE:	EXISTING BUILDING ALTERATION LEVEL 2	
OCCUPANCY CLASSIFICATION:	B - BUSINESS	
OCCUPANCY SEPARATIONS:	N/A	
AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED, NOT PROVIDED	

<u>OCCUPANT LOAD:</u>		
<u>BUSINESS (B)</u>	181 OCCUPANTS	
<u>MEANS OF EGRESS:</u>		
MAX TRAVEL DISTANCE (TABLE 1017.2)	B	200 FT
MAX COMMON PATH (NS, OL < 30) (TABLE 1006.2.1)	B	100 FT
<u>EGRESS PATH WIDTH:</u>		
<u>BUSINESS (B)</u>	<u>REQUIRED</u> 44"	<u>ACTUAL</u> 72" MIN.
<u>BUILDING AREAS:</u>		
<u>BUSINESS (B)</u>	<u>ALLOWABLE GSF</u> 31,625 SF*	<u>ACTUAL GSF</u> 27,075 SF

*50% FRONTAGE INCREASE
1. PERIMETER ON PUBLIC WAY OR OPEN SPACE = 62.5%
2. MINIMUM DISTANCE (W) = 30'
3. AREA FACTOR INCREASE (I) = 0.375
BUSINESS (B) STANDARD ALLOWABLE AREA = 23,000 SF
ALLOWABLE AREA WITH FRONTAGE INCREASE = 31,625 SF

PLUMBING FIXTURES:		
BUSINESS (B)	REQUIRED	ACTUAL
WATER CLOSETS	5	10
LAVATORIES	4	8
DRINKING FOUNTAINS	2	2
MOP SINK	1	1

SYMBOLS

	FIRE EXTINGUISHER
	EXIT PATH

FIRE EXTINGUISHER NOTES

- LOCATE FIRE EXTINGUISHERS IN THE FOLLOWING PLACES:
 - WITHIN 30' OF COOKING EQUIPMENT
 - WHERE FLAMABLE/ COMBUSTIBLE LIQUIDS ARE STORED OR DISPENSED.
 - AT EACH FLOOR UNDER CONSTRUCTION.
 - WHERE REQUIRED BY IFC INDICATED IN TABLE 906.1.
 - SPECIAL HAZARDOUS AREAS, BUT NOT LIMITED TO LABORATORIES, COMPUTER ROOMS, GENERATOR ROOMS OR WHERE REQUIRED BY CODE OFFICIALS.
- REFER TO G002 FOR TYPICAL DETAILS



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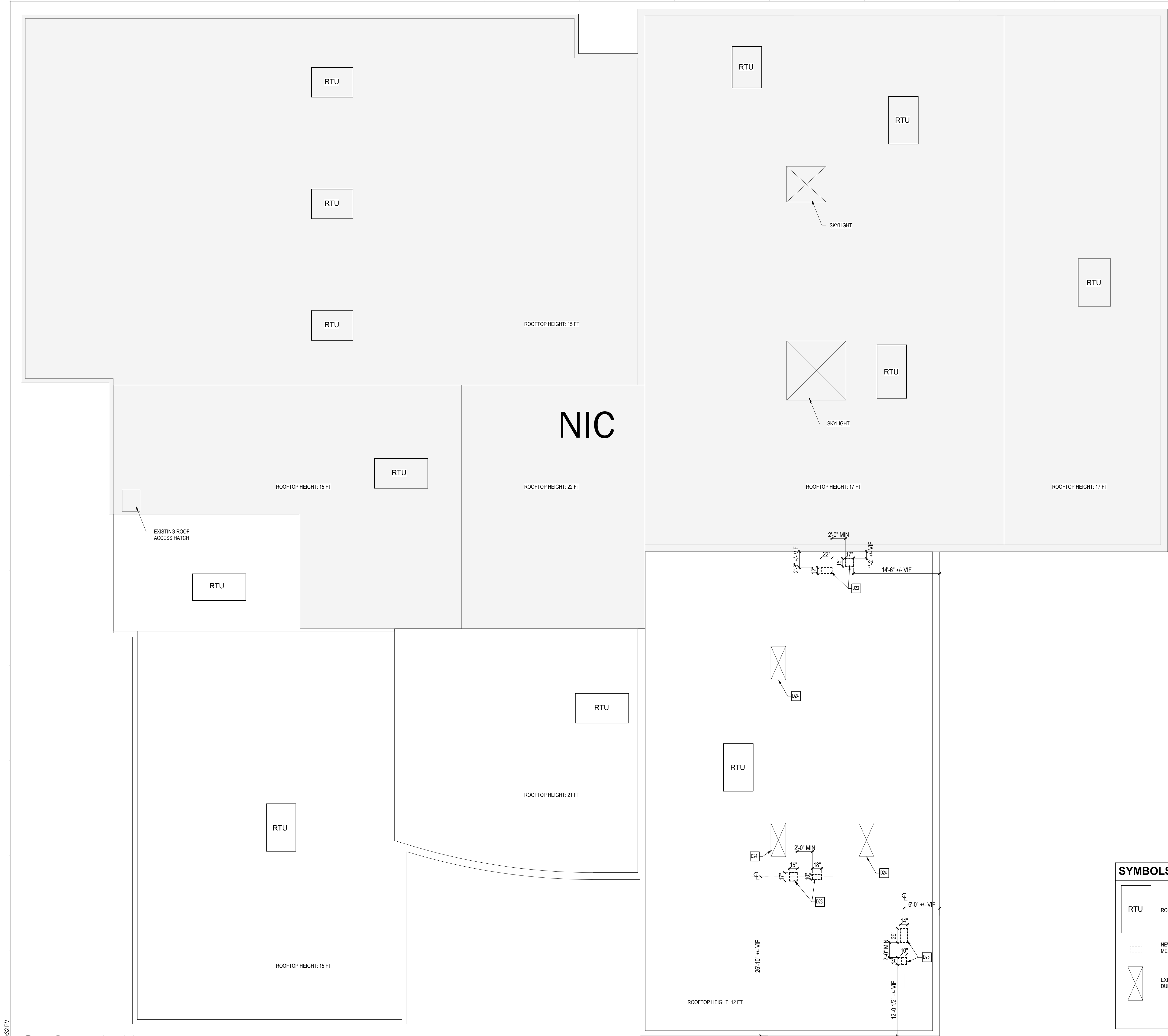
Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/6/25
Project Number: 25042
Sheet Title: BUILDING CODE
INFORMATION

Sheet Number: G004



GENERAL DEMO NOTES:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS.
- B. THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN TRADES AND SHALL REVIEW ALL TRADE DRAWINGS FOR COORDINATION PURPOSES.
- C. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL NOTES.
- D. COORDINATE WITH OWNER TO SHUT OFF UTILITY SERVICE (WATER, ELEC, ETC.) AS REQUIRED FOR THE REMOVAL OF AFFECTED ITEMS.
- E. EXISTING STRUCTURAL COLUMNS, BEAMS, OPEN WEB JOISTS, AND LOAD BEARING MASONRY TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.
- F. SAW CUT PORTIONS OF EXISTING CMU WALL THAT ARE TO BE REMOVED. PATCH AND PREP ADJACENT WALLS AS REQUIRED.
- G. EXISTING EXTERIOR WINDOWS AND DOORS TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION. REMOVE AND DISPOSE OF ANY EXISTING WINDOW COVERINGS WITHIN THE WORK AREA.

DEMO ROOF PLAN KEYNOTES

- D# KEYNOTES
- D23 PROVIDE NEW PENETRATION THROUGH EXISTING ROOF ASSEMBLY. COORDINATE WITH NEW MECHANICAL WORK AND EXISTING STRUCTURE. PATCH AND THOROUGHLY SEAL NEW OPENING. REFER TO ROOF AND DUCT PENETRATION DETAILS ON A530.
- D24 EXISTING SKYLIGHT TO REMAIN. PROTECT AS REQUIRED DURING CONSTRUCTION.

SYMBOLS

- RTU ROOF TOP UNIT, EXISTING OR TO BE INSTALLED BY OWNER
- NEW ROOF DUCT PENETRATION, COORDINATE WITH NEW MECHANICAL WORK, REFER TO DETAILS ON A530
- EXISTING SKYLIGHT TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION



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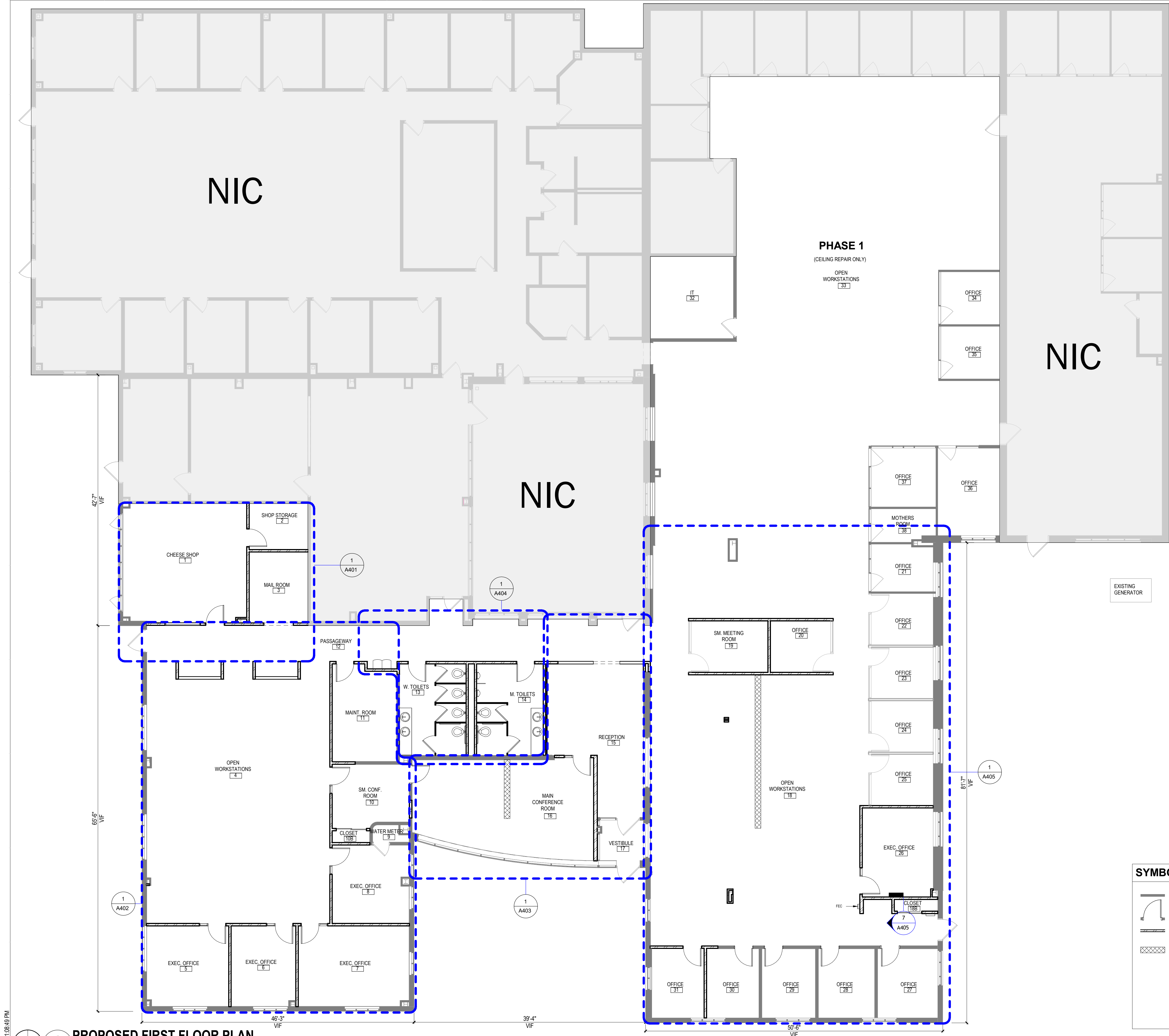
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Drawing History: # Date Description

Date: 11/6/25
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Sheet Title: DEMO ROOF PLAN

Sheet Number: AD110



GENERAL FLOOR PLAN NOTES:

- A. PROVIDE FLUSH TRANSITIONS BETWEEN NEW WALLS AND EXISTING WALLS.
- B. ALL DIMENSIONS INDICATED ON PLAN ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- C. PROVIDE WOOD BLOCKING AND STEEL SUPPORTS WITHIN ALL NEW PARTITIONS, AS REQUIRED, TO ACCOMMODATE AND ALL ALL FIXTURES, SIGNAGE, SYSTEMS, FURNITURE, ETC.
- D. PATCH ALL AFFECTED AREAS WHERE PARTITIONS/FINISHES/EQUIPMENT HAVE BEEN REMOVED, INCLUDING BUT NOT LIMITED TO FLOOR SLAB, EXISTING EXTERIOR WALLS AND INTERIOR PARTITIONS TO REMAIN, EXISTING SOFFITS TO REMAIN, REFER TO DEMO DRAWINGS FOR LOCATIONS OF AFFECTED AREAS. PREPARE SURFACES FOR NEW FINISHES.
- E. PAINT ALL NEW AND EXISTING TO REMAIN GWB WALLS AND SOFFITS. REFER TO FINISH SCHEDULE.

SYMBOLS

- EXISTING WALL TO REMAIN
- NEW DOOR, REFER TO OPENING SCHEDULE A500
- NEW METAL STUD PARTITION, REFER TO PARTITION TYPES G002
- AREA OF FLOOR SLAB TO BE PATCHED, COORDINATE WITH ELECTRICAL AND PLUMBING WORK, REFER TO DETAIL



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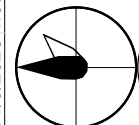
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Drawing History: # Date Description
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Date: 11/6/25
Project Number: 25042
Sheet Title: PROPOSED FIRST
FLOOR PLAN

Sheet Number: A101

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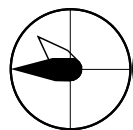


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PROPOSED FIRST FLOOR PLAN

1/8" = 1'-0"

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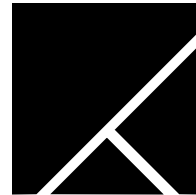
NEW ROOF PLAN

1/8" = 1'-0"



SYMBOLS

-  ROOF TOP UNIT, EXISTING OR TO BE INSTALLED BY OWNER
-  ROOF DUCT PENETRATION, REFER TO ROOF DETAILS ON A530
-  INSULATED ROOF TOP DUCTWORK, REFER TO ROOF DETAILS AND COORDINATE WITH MECHANICAL DRAWINGS
-  EXISTING SKYLIGHT TO REMAIN, PROTECT AS REQUIRED DURING CONSTRUCTION



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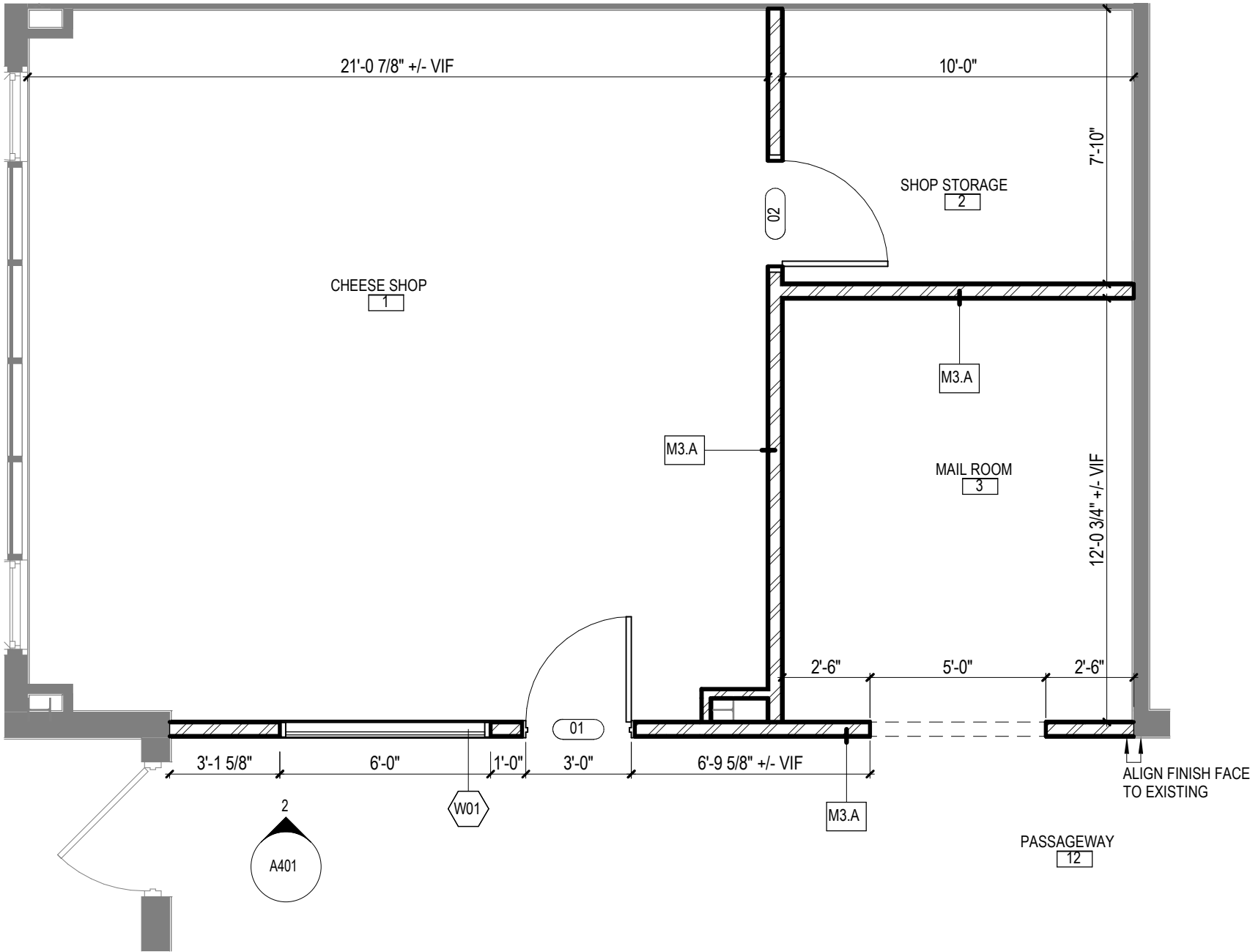
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Sheet Title: PROPOSED ROOF
CONSTRUCTION
PLAN

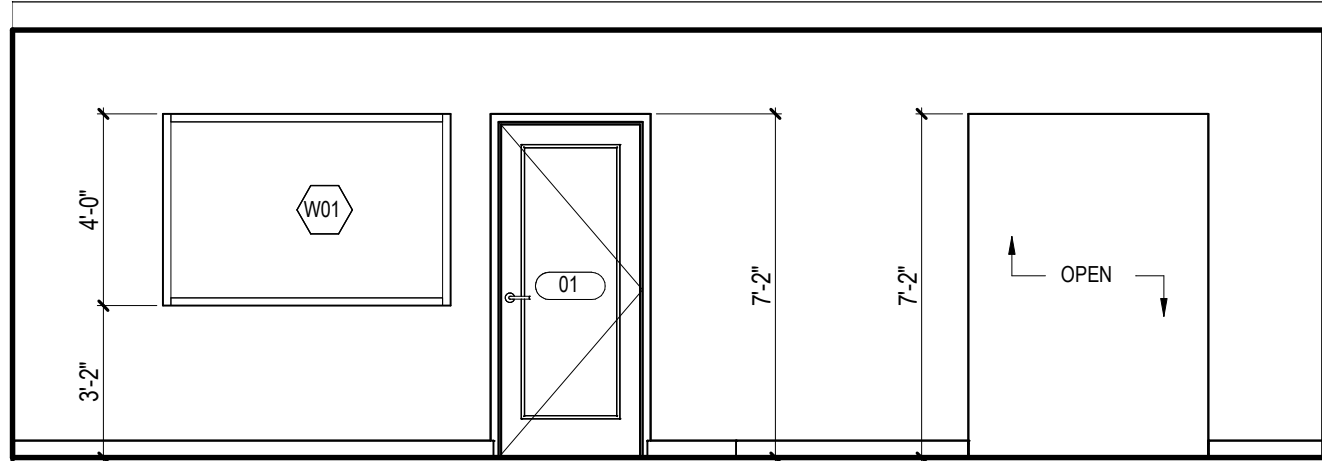
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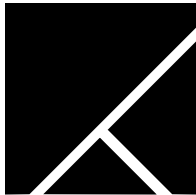
$$1/8'' = 1'-0''$$



1 3.2 A404 PHASE 8 CALLOUT
1/4" = 1'-0"



2 4.6 A404 CHEESE SHOP ENTRANCE
1/4" = 1'-0"



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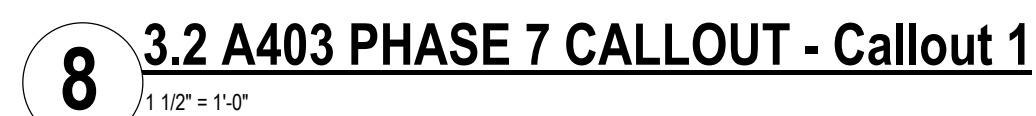
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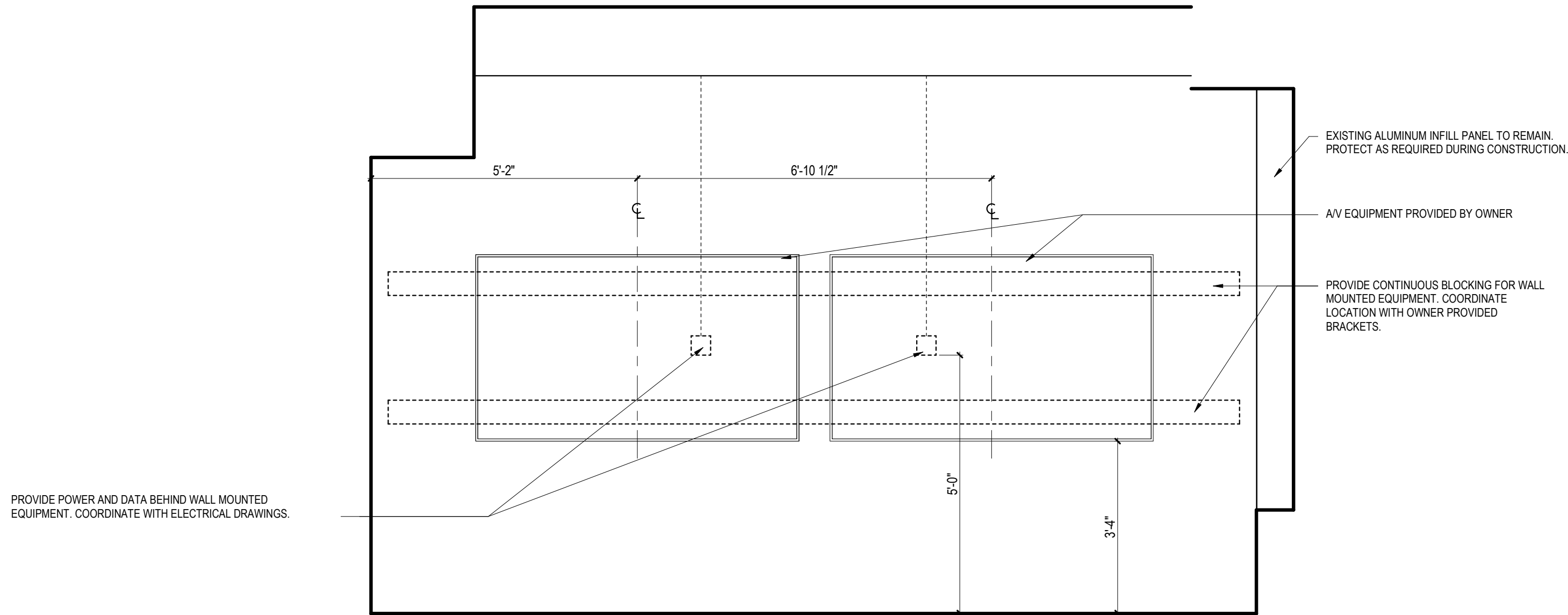
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**ENLARGED PLANS
& INT. ELEVATIONS -
PHASE 2 CHEESE
SHOP & MAIL ROOM
ALTERATIONS**

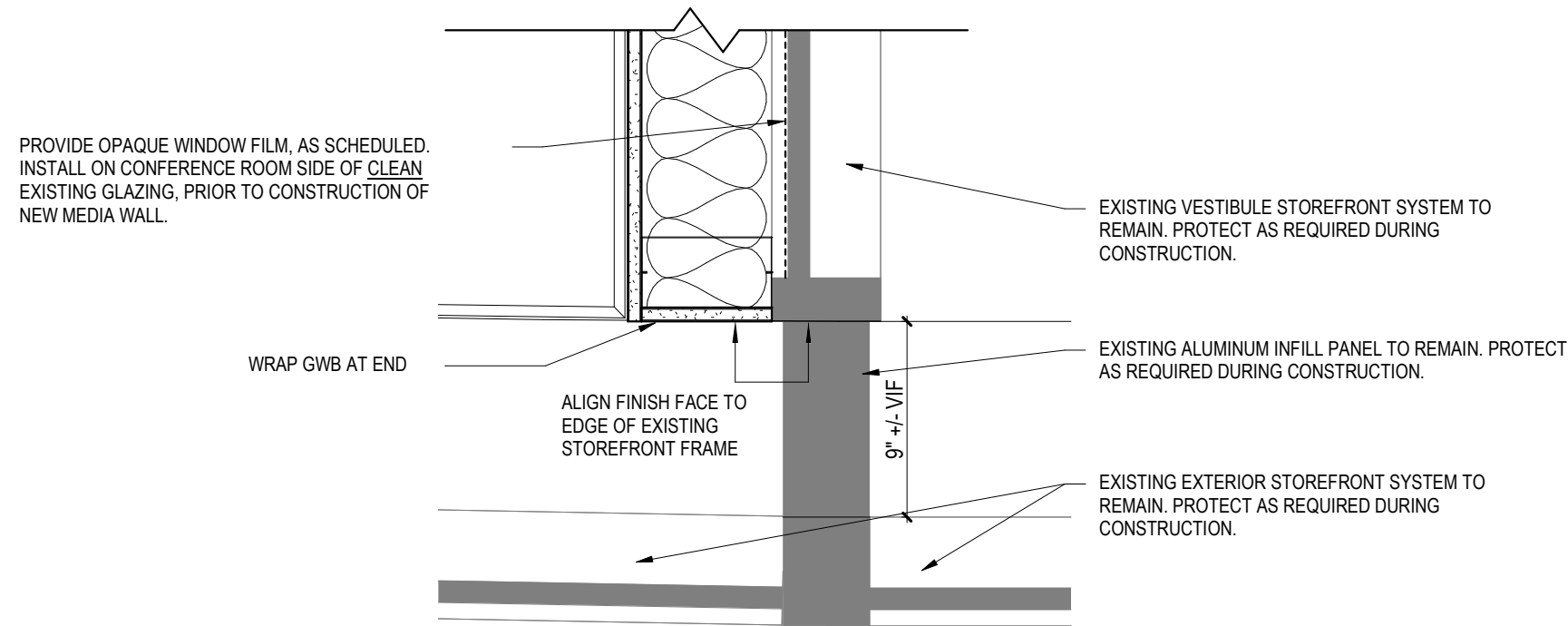
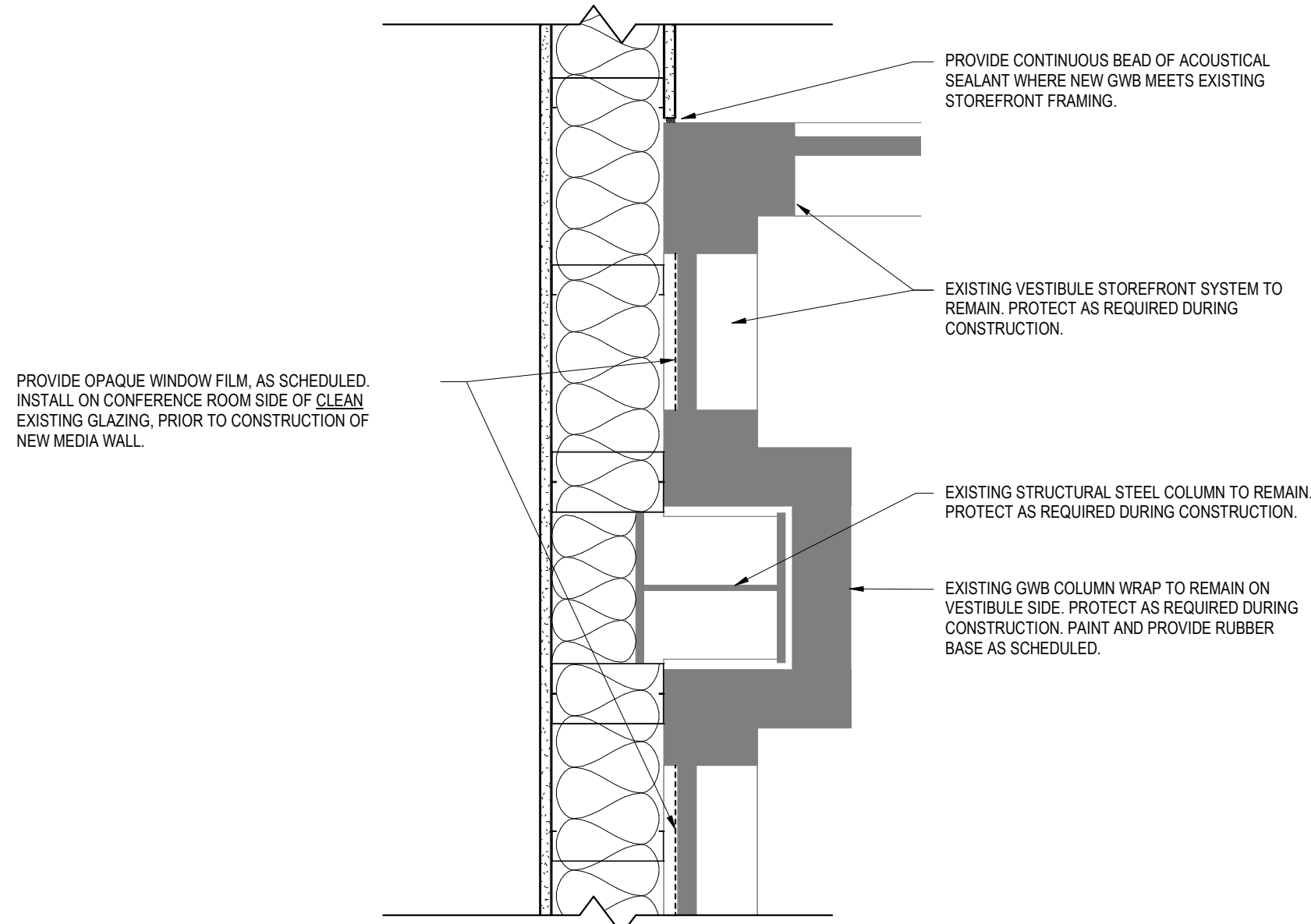
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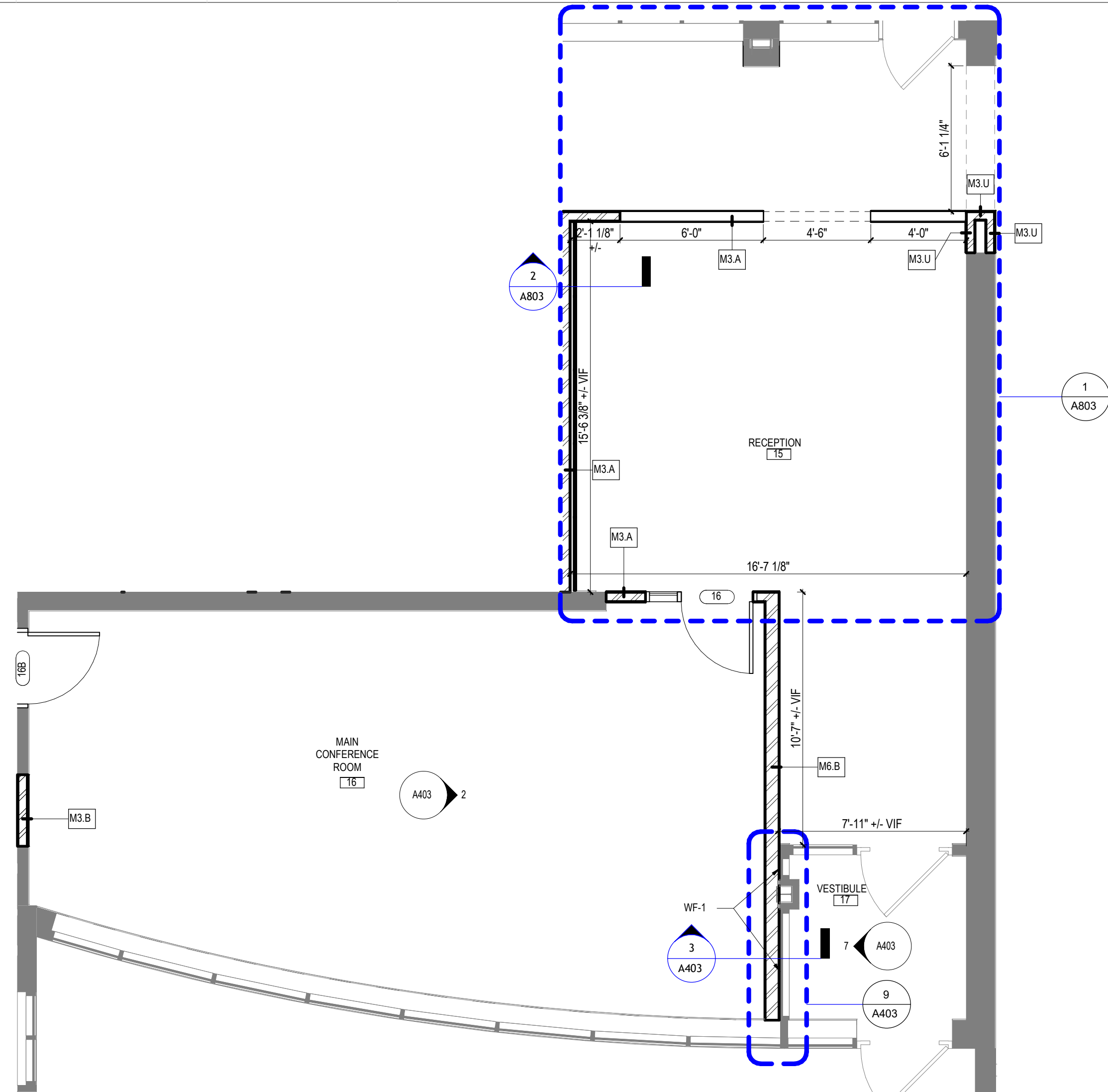




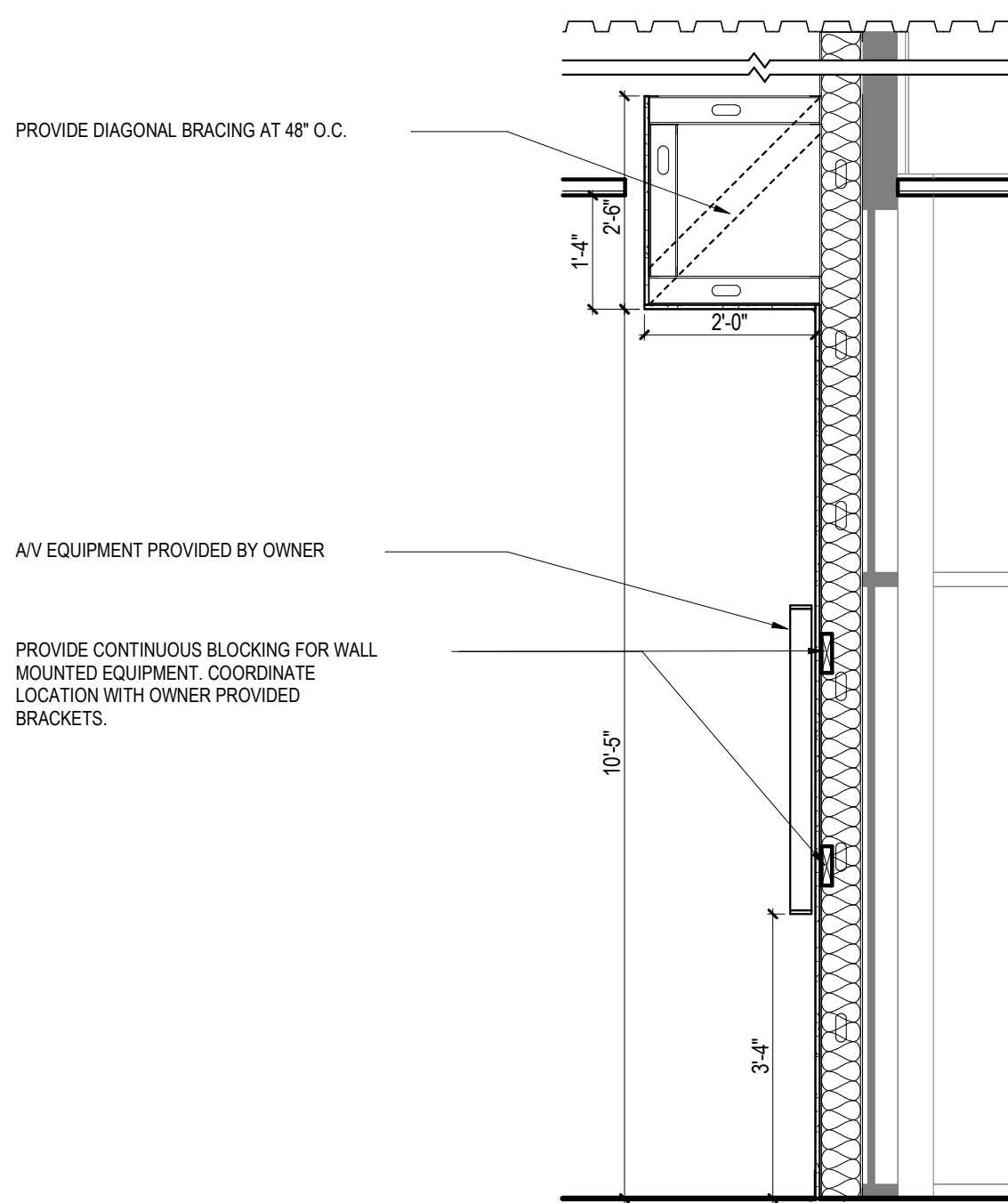
2 CONFERENCE - SOUTH
1/2" = 1'-0"



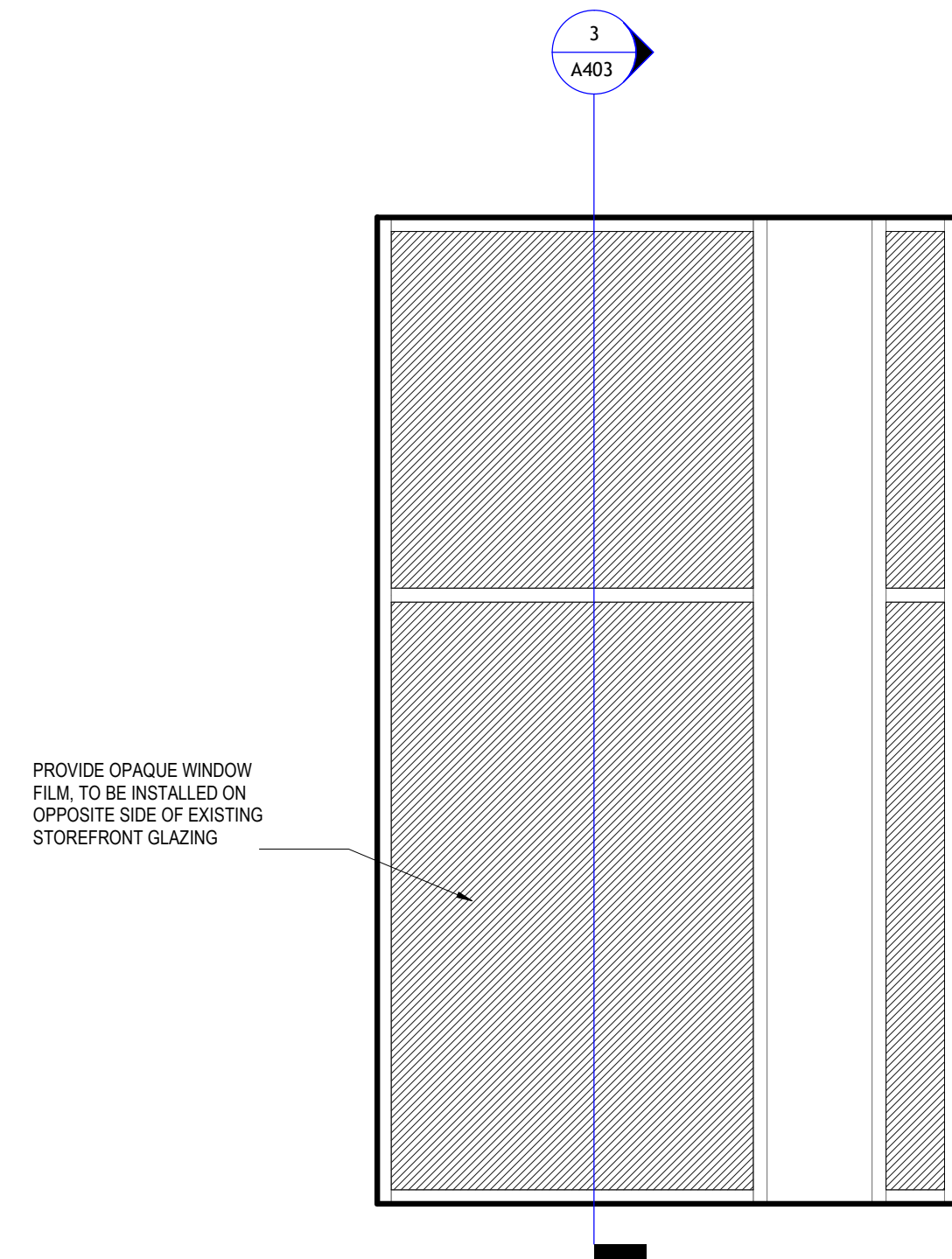
9 NEW WALL DETAIL AT EXTERIOR STOREFRONT
1 1/2" = 1'-0"



3.2 A401 PHASE 6 CALLOUT
1/4" = 1'-0"



3 WALL SECTION AT VESTIBULE
1/2" = 1'-0"



7 VESTIBULE - NORTH
1/2" = 1'-0"



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Client: LACTALIS
AMERICAN GROUP
INC.

Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

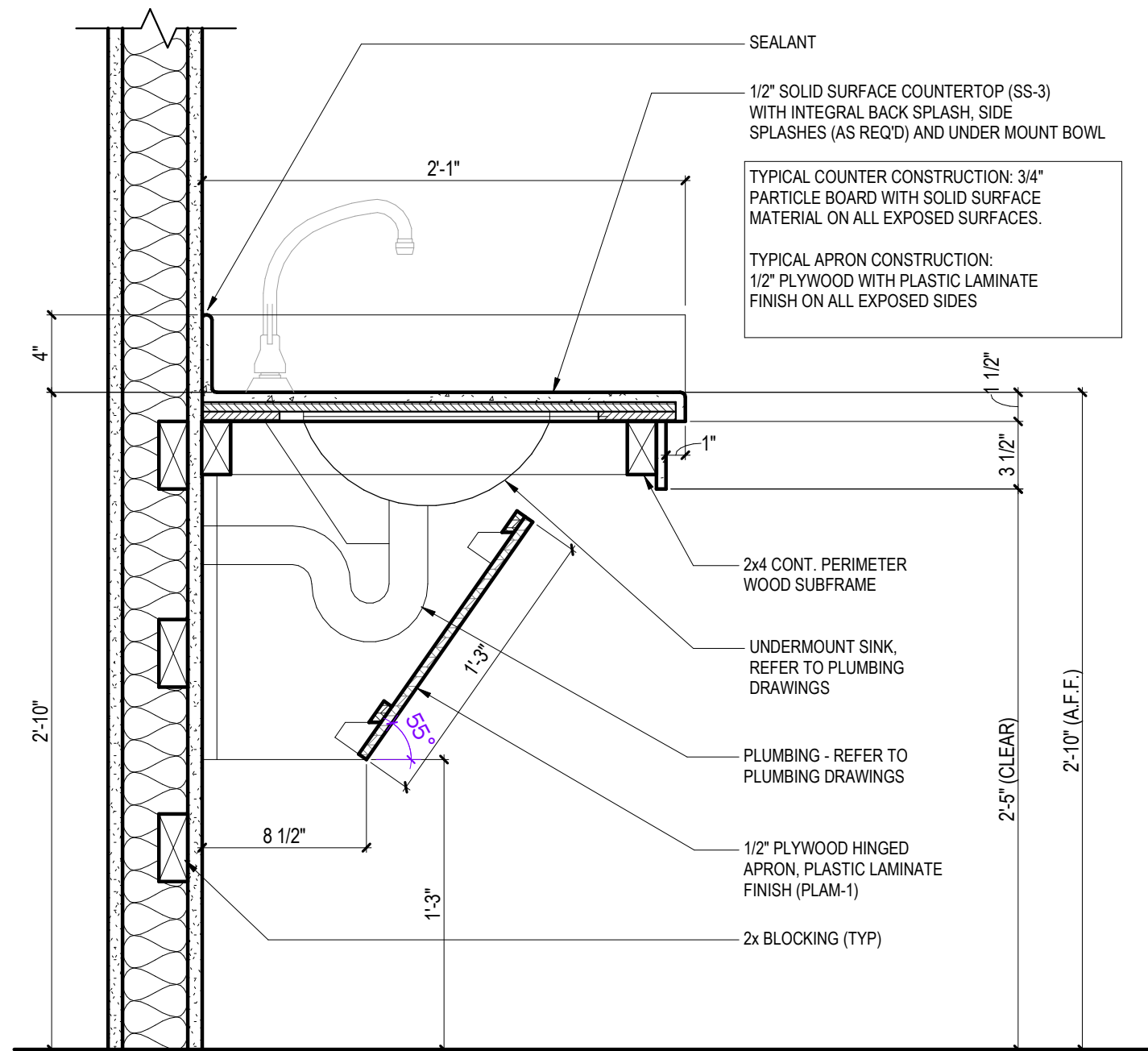
Date: 11/6/25

Project Number: 25042

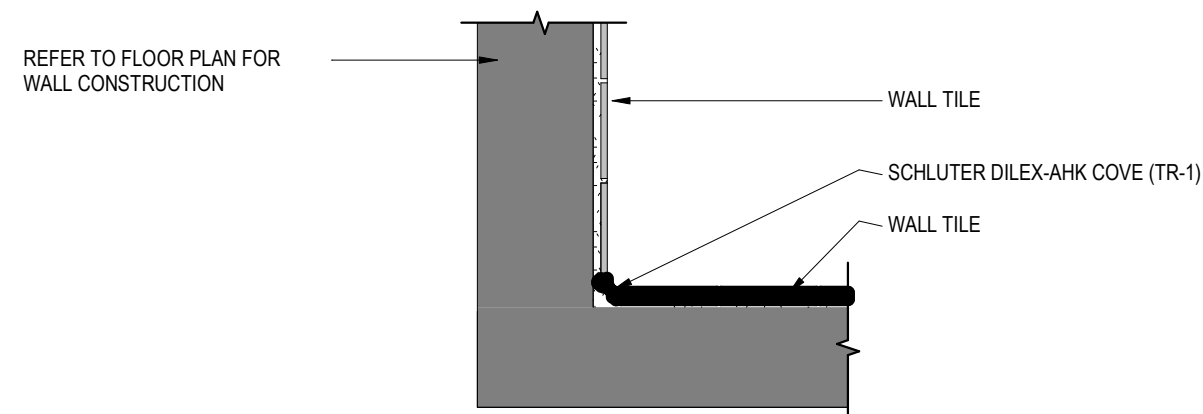
Sheet Title: ENLARGED PLANS
& INT. ELEVATIONS -
PHASE 3 MAIN
CONFERENCE
ROOM

Sheet Number:

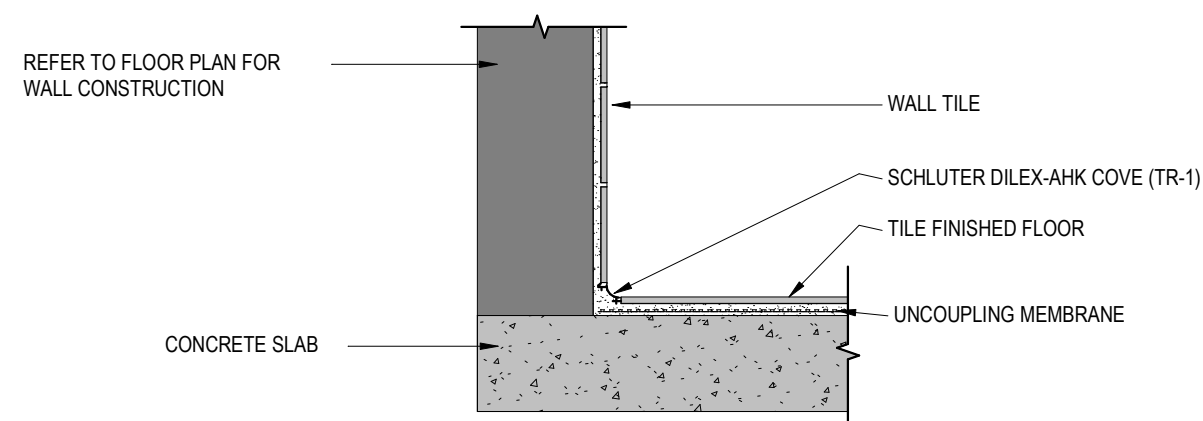
A403



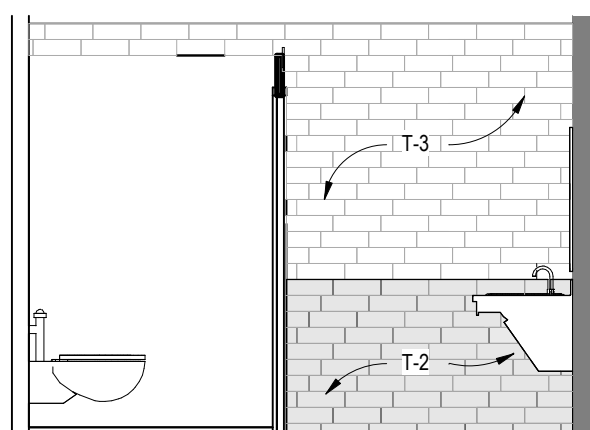
13 Drafting 1
1 1/2" = 1'-0"



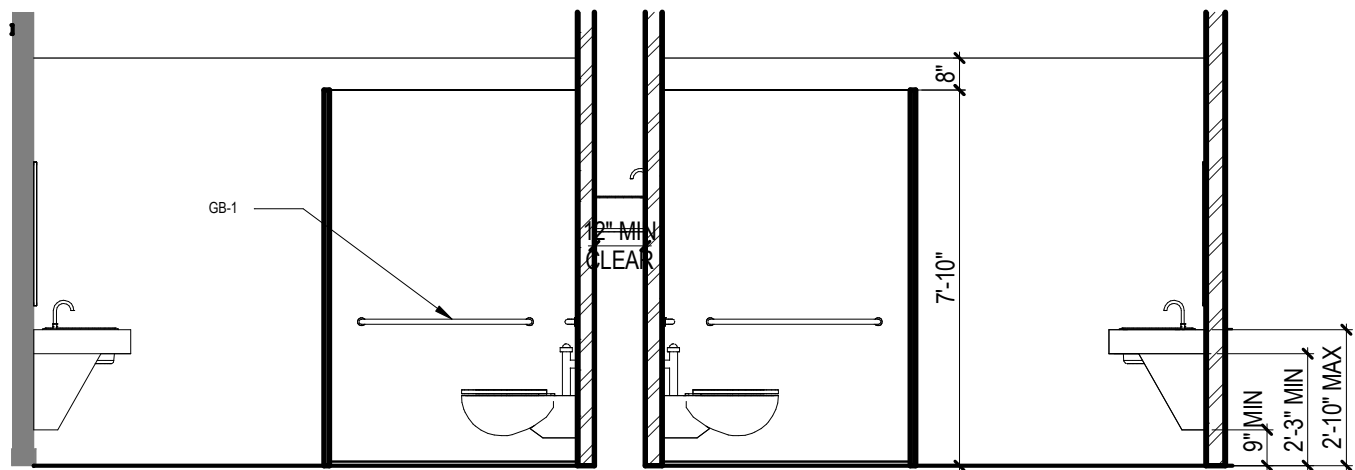
12 WALL COVE - DETAIL
1" = 1'-0"



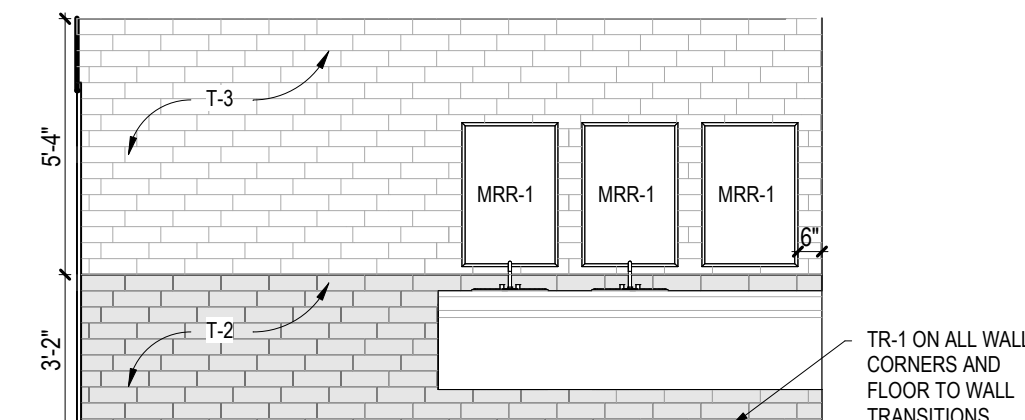
11 COVE - DETAIL
1" = 1'-0"



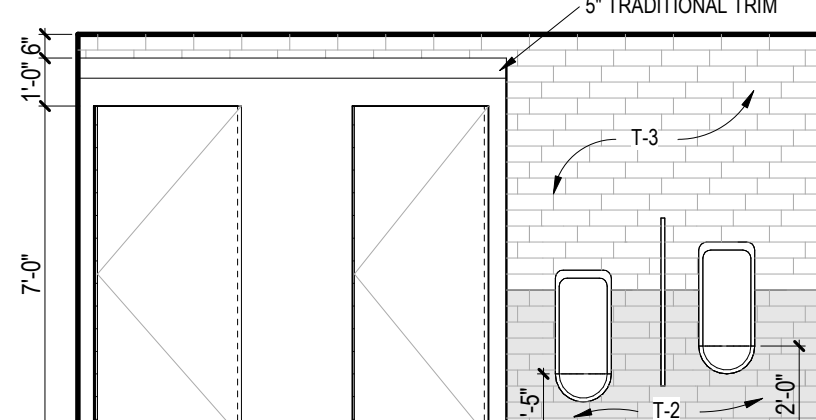
10 WOMEN'S RESTROOM - WEST
1/4" = 1'-0"



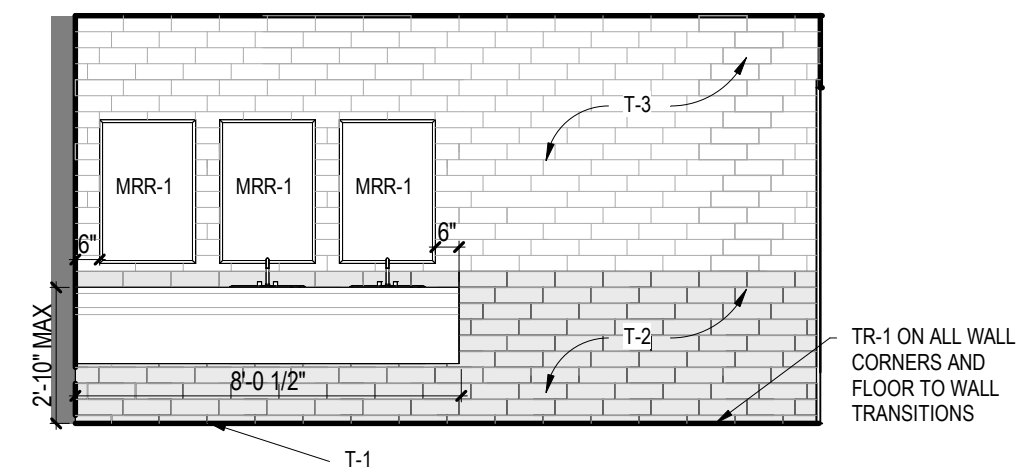
4 4.3 A402 PARTITION SECTION 1
1/4" = 1'-0"



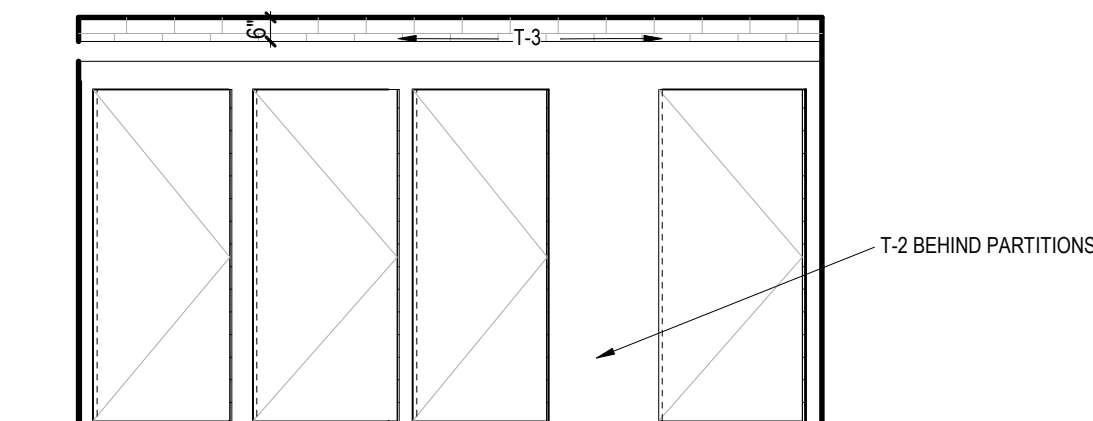
5 MEN'S RESTROOM - SOUTH
1/4" = 1'-0"



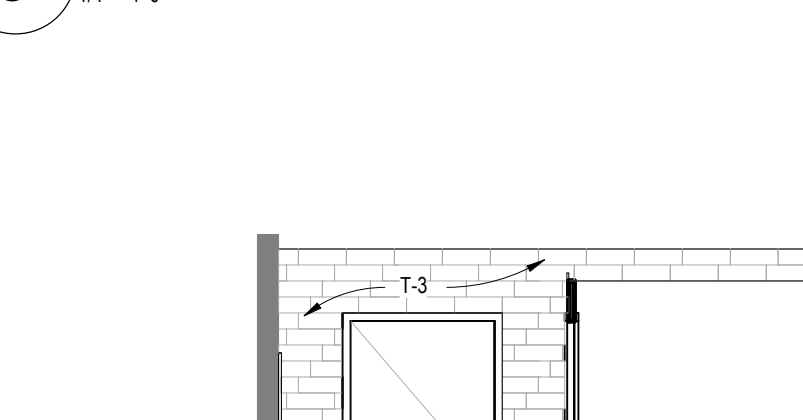
6 MEN'S RESTROOM - NORTH
1/4" = 1'-0"



7 WOMEN'S RESTROOM - NORTH
1/4" = 1'-0"



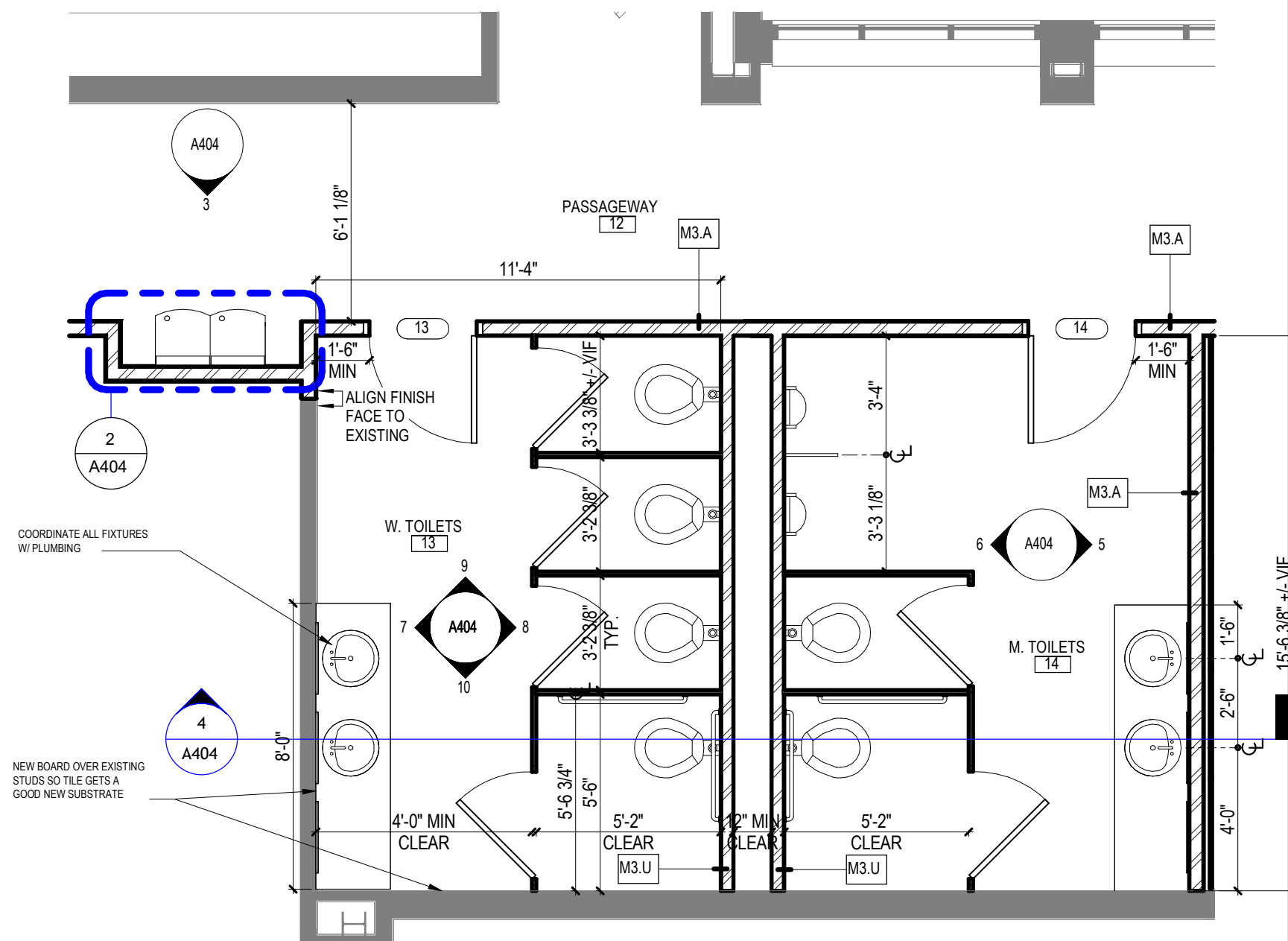
8 WOMEN'S RESTROOM - SOUTH
1/4" = 1'-0"



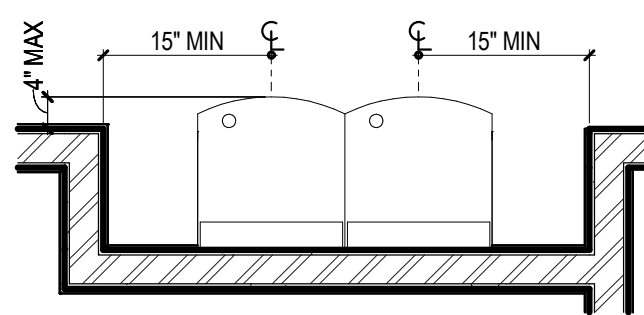
9 WOMEN'S RESTROOM - EAST
1/4" = 1'-0"

TOILET ROOM ACCESSORIES SCHEDULE

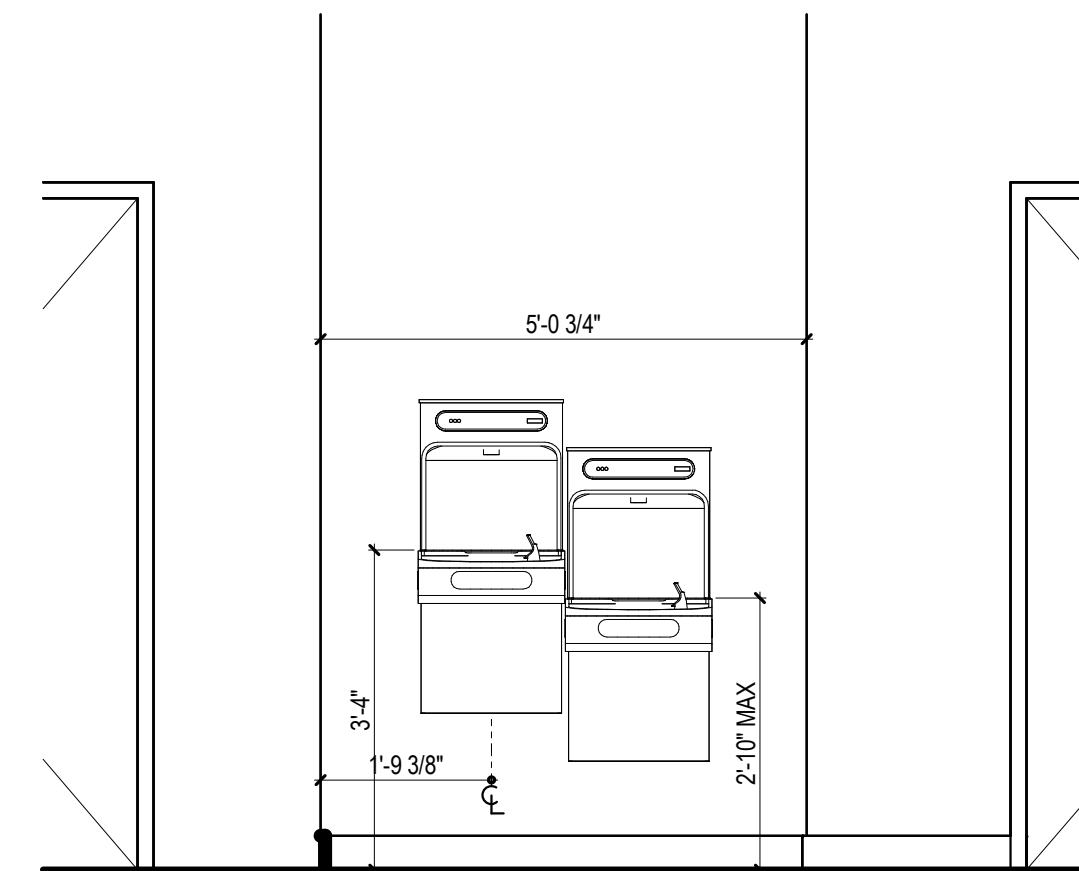
F-1	FAUCET 1 MANUFACTURER: ELKAY MODEL: LK8736C FINISH: CHROME PLATED BRASS	TP-1	TOILET PARTITION 1 MANUFACTURER: SCRANTON PRODUCTS MODEL: ARIA PARTITIONS TRADITIONAL SERIES 1000 FINISH: MIDNIGHT
SD-1	SOAP DISPENSER 1: OWNER TO PROVIDE	UP-1	URINAL PARTITION 1 MANUFACTURER: SCRANTON PRODUCTS MODEL: ECLIPSE PARTITIONS WALL MOUNTED FINISH: MIDNIGHT
MRR-1	MIRROR 1 MANUFACTURER: BRADLEY CORP MODEL: 781 SIZE: 24"x36" FRAME FINISH: STAINLESS STEEL	TTH-1	TOILET TISSUE HOLDER 1: OWNER TO PROVIDE
GB-1	GRAB BAR 1 MANUFACTURER: BOBRICK MODEL: 8-6809 SERIES FINISH: STAINLESS STEEL SIZE: REFER TO G003	SND-1	SANITARY NAPKIN DISPOSAL 1: OWNER TO PROVIDE
		TC-1	PAPER TOWEL DISPENSER 1: OWNER TO PROVIDE
		PTD-1	



1 PHASE 3 - RESTROOM CALLOUT
1/4" = 1'-0"



2 4.2 A402 DRINKING FOUNTAIN
1/2" = 1'-0"



3 4.2 A402 WATER FOUNTAIN
1/2" = 1'-0"



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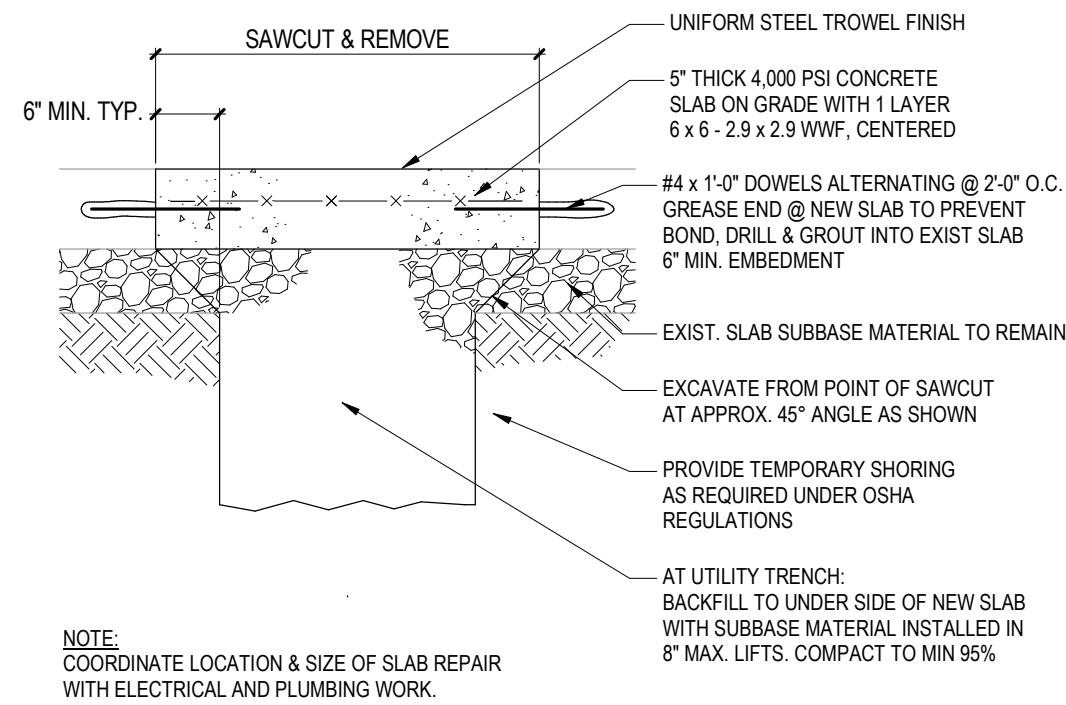
Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

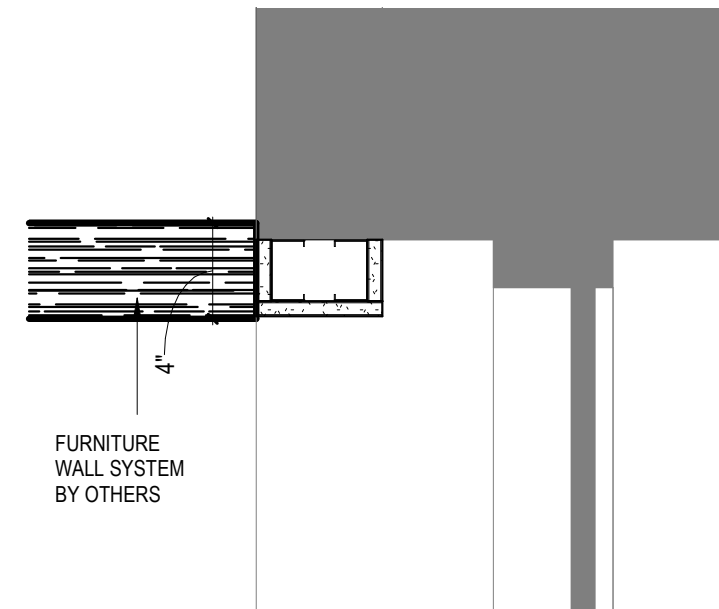
Drawing History: # Date Description

Date: 11/6/25
Project Number: 25042
Sheet Title: ENLARGED PLANS
& INT. ELEVATIONS -
PHASE 3
RESTROOMS

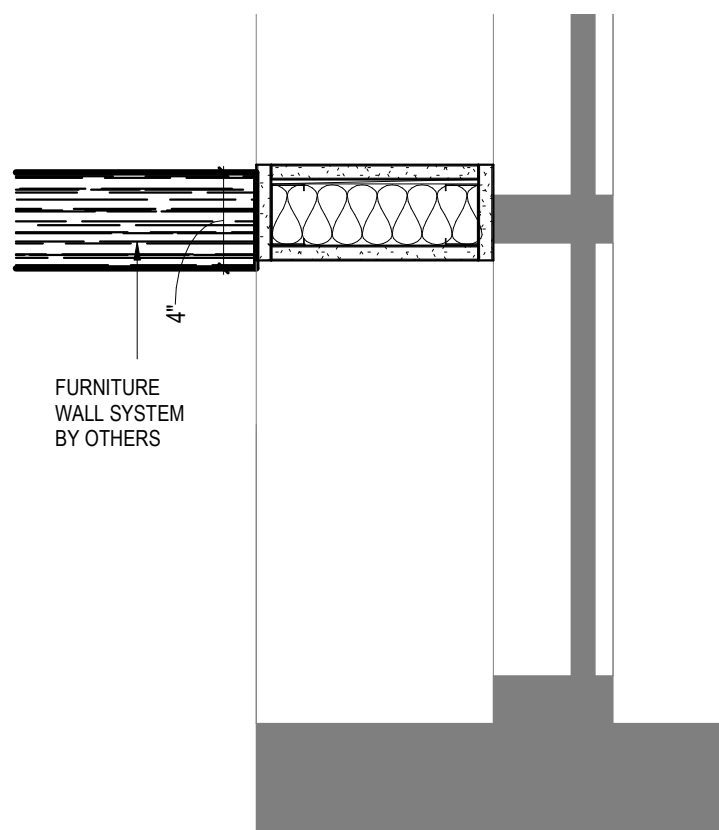
Sheet Number: **A404**



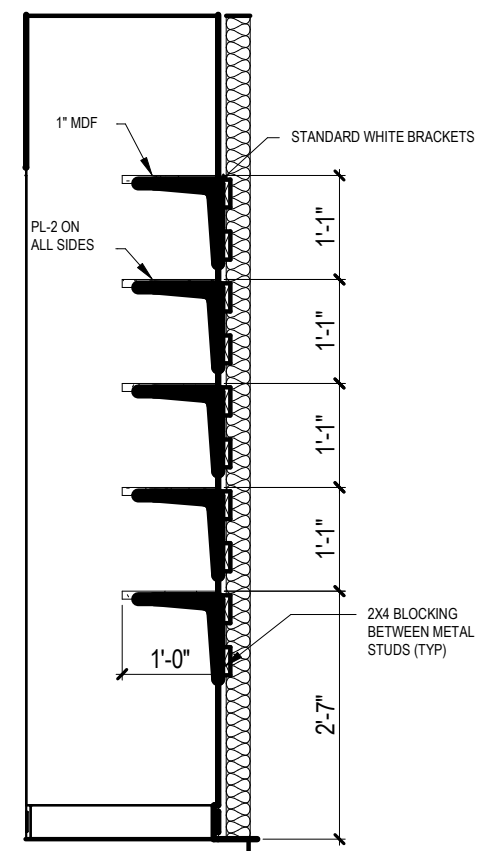
8 TYP. CONCRETE SLAB REPAIR
1" = 1'-0"



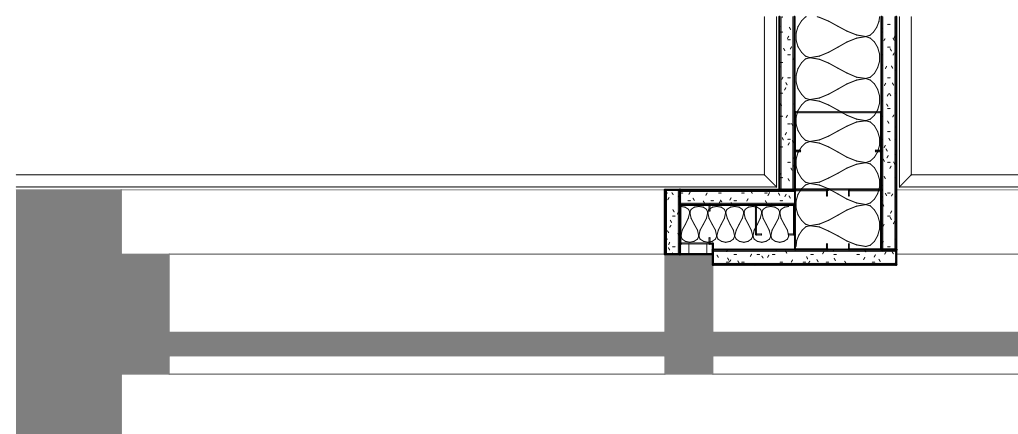
2 FURN. WALL AT WINDOW - S4
1 1/2" = 1'-0"



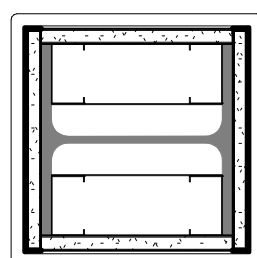
3 FURN. WALL AT WINDOW - S3
1 1/2" = 1'-0"



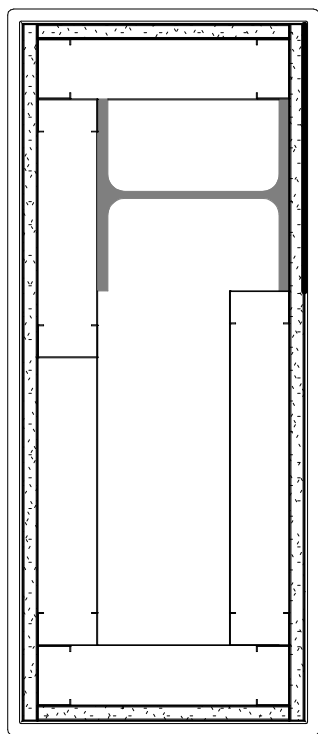
7 SHELVING DETAIL
1/2" = 1'-0"



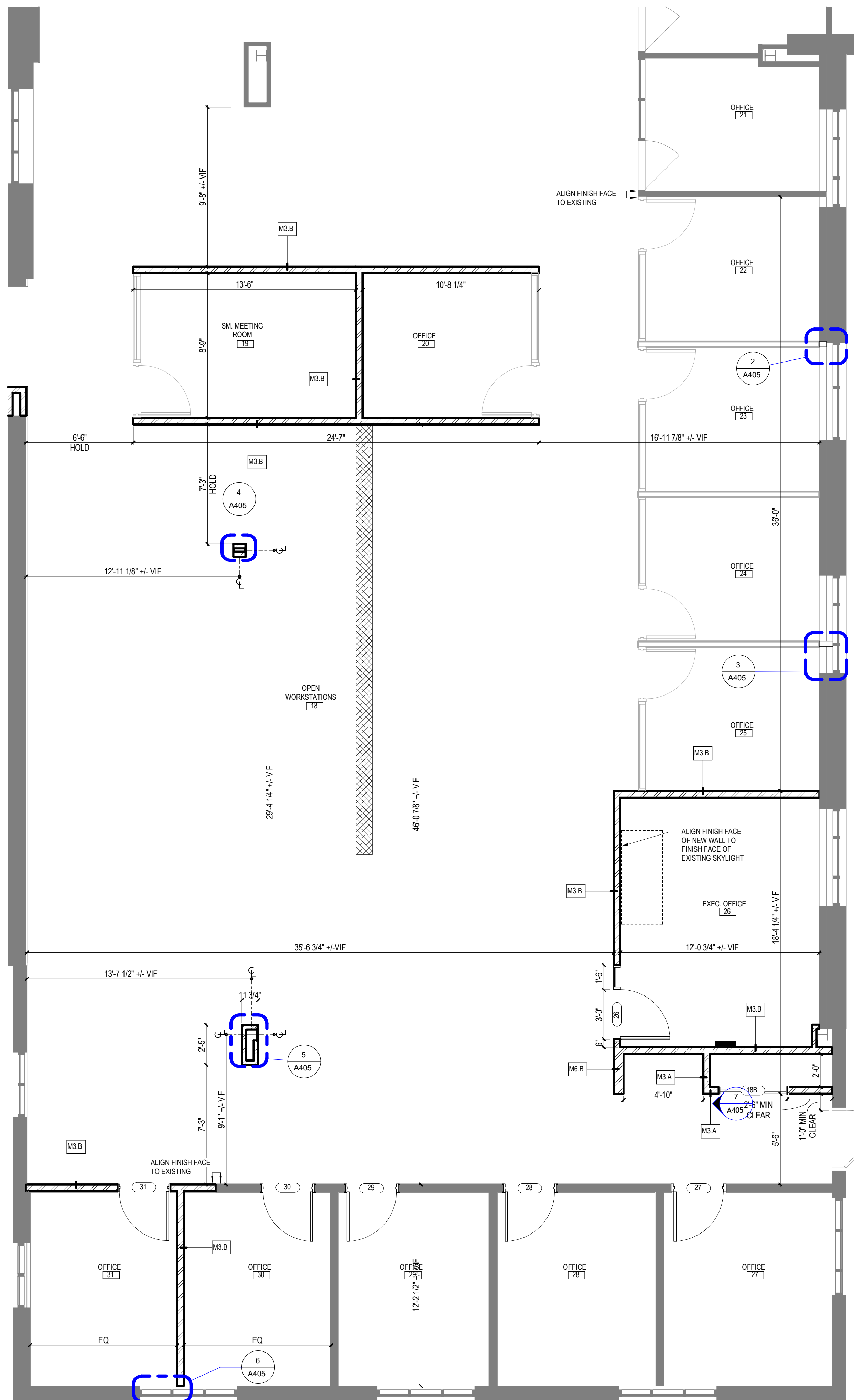
6 STUD WALL AT WINDOW - W1
1 1/2" = 1'-0"



4 COLUMN WRAP DETAIL - TIGHT
1 1/2" = 1'-0"



5 COLUMN WRAP DETAIL
1 1/2" = 1'-0"



1 3.2 A400 PHASE 1/5 CALLOUT
1/4" = 1'-0"



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Client: LACTALIS
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INC.

Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/6/25
Project Number: 25042
Sheet Title: ENLARGED PLANS
& INT. ELEVATIONS -
PHASE 4 HR & OPEN
OFFICE

Sheet Number: A405

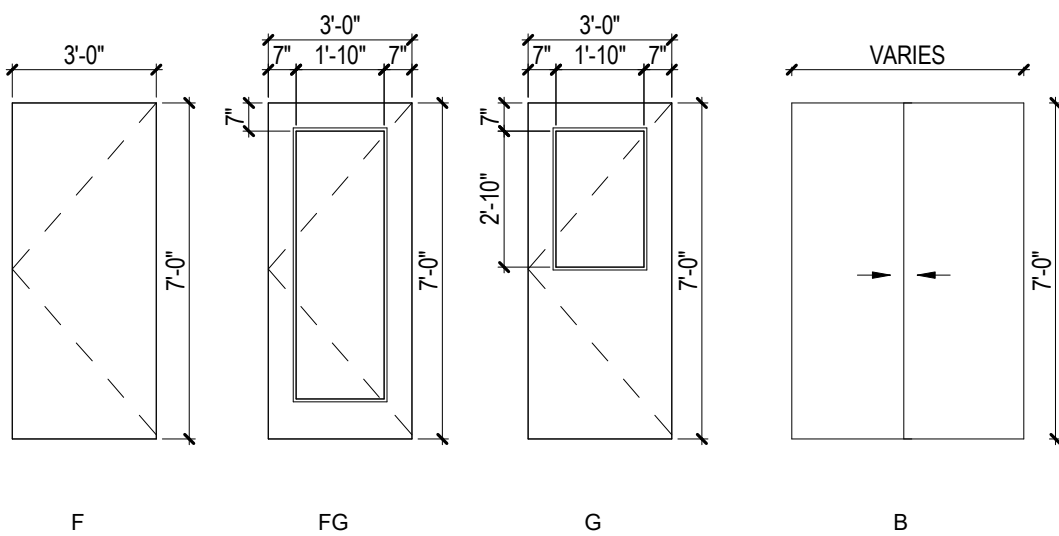
DOOR HARDWARE SETS

SET #01 - CHEESE SHOP					
DOORS: 01					
3	HINGES	BB1279 4 1/2 x 4 1/2	US26D	HA	
1	STOREROOM LOCKSET	3480 WTN SFC	US26D	HA	
1	SFC CORE	3982	US26D	HA	
1	CLOSER	5100 HDHCS	ALM	HA	
1	WALL STOP	232W	US26D	HA	
3	SILENCERS	307D	GREY	HA	
SET #02 - STORAGE & MAINTENANCE					
DOORS: 02, 11					
3	HINGES	BB1279 4 1/2 x 4 1/2	US26D	HA	
1	STOREROOM LOCKSET	3480 WTN SFC	US26D	HA	
1	SFC CORE	3982	US26D	HA	
1	CLOSER	5100	ALM	HA	
1	KICK PLATE	190S 10" x 2" LDW	US26D	HA	
1	WALL STOPHOLDER	327W	US26D	HA	
3	SILENCERS	307D	GREY	HA	
SET #03 - OFFICES					
DOORS: 05, 06, 07, 08, 10, 26, 27, 28, 29, 30, 31					
3	HINGES	BB1279 4 1/2 x 4 1/2	US26D	HA	
1	OFFICE LOCKSET	3480 WTN SFC	US26D	HA	
1	SFC CORE	3982	US26D	HA	
1	WALL STOP	232W	US26D	HA	
1	COAT & HAT HOOK	BL6510	US26D	HA	
3	SILENCERS	307D	GREY	HA	
SET #04 - CLOSETS					
DOORS: 10B, 16B					
1	BYPASS DOOR HARDWARE	9611CS	NONE	HA	
1	BYPASS DOOR LOCK	9268	US26D	HA	
SET #05 - TOILET ROOMS					
DOORS: 13, 14					
3	HINGES	BB1168 4 1/2 x 4 1/2	US26D	HA	
1	PUSH PLATE	30S 8 x 16	US26D	HA	
1	PULL PLATE	H 33J 4 x 16	US26D	HA	
1	CLOSER	5100	ALM	HA	
1	KICK PLATE	190S 10" x 2" LDW	US26D	HA	
1	MOP PLATE	190S 8" x 1" LDW	US26D	HA	
1	WALL STOP	232W	US26D	HA	
3	SILENCERS	307D	GREY	HA	
SET #06 - CONFERENCE ROOM					
DOORS: 16					
3	HINGES	BB1279 4 1/2 x 4 1/2	US26D	HA	
1	OFFICE LOCKSET	3480 WTN SFC	US26D	HA	
1	SFC CORE	3982	US26D	HA	
1	WALL STOP	232W	US26D	HA	
3	SILENCERS	307D	GREY	HA	
SET #07 - CONFERENCE ROOM TO SMALL MEETING ROOM					
DOORS: 16B					
3	HINGES	BB1279 4 1/2 x 4 1/2	US26D	HA	
1	PRIVACY SET W/ INDICATOR	3886 SECT WTN ADA TURN	US26D	HA	
1	WALL STOP	232W	US26D	HA	
3	SILENCERS	307D	GREY	HA	

DOOR FINISH

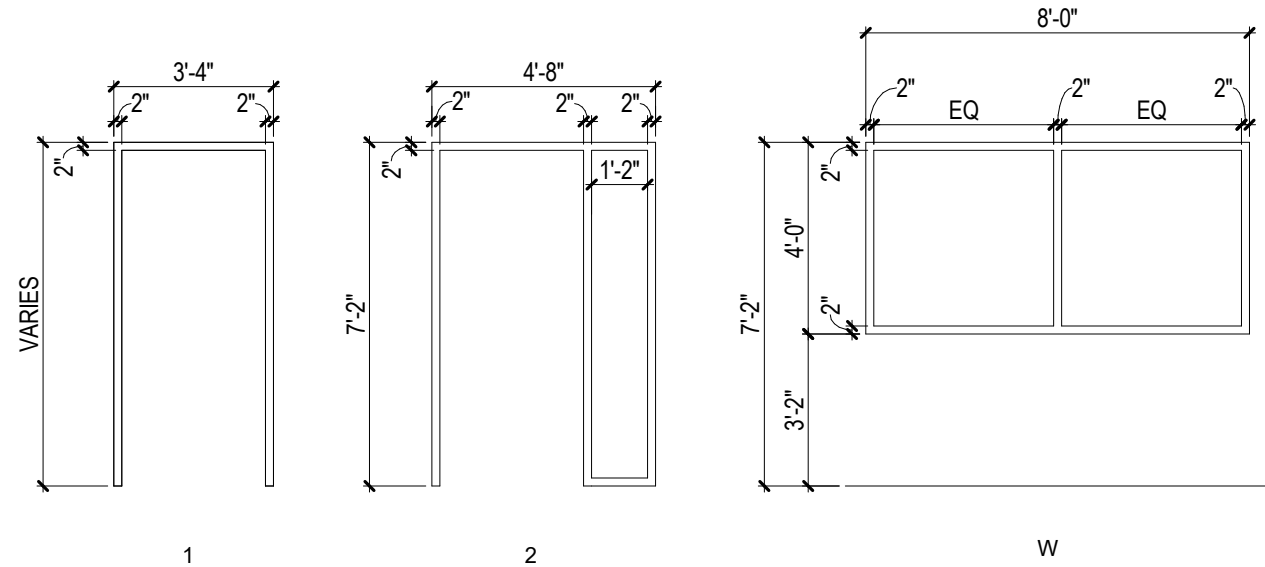
V-1 MANUFACTURER: VT INDUSTRIES
PRODUCT: FLUSH WOOD VENEER
SPECIES: SELECT WHITE BIRCH
COLOR: RIVERSTONE R118

OPENING SCHEDULE										
OPENING NO.	WIDTH	HEIGHT	DOOR		FRAME			HARDWARE GROUP	REMARKS	OPENING NO.
			TYPE	MATERIAL	TYPE	MATERIAL	FINISH			
01	3'-0"	7'-0"	FG	WD	1	KDHM	PT-1	#01	PT-1 ON NORTH SIDE OF FRAME, PT-4 ON SOUTH SIDE OF FRAME	01
02	3'-0"	7'-0"	F	WD	1	KDHM	PT-1, PT-3	#02		02
05	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		05
06	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		06
07	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		07
08	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		08
10	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		10
10B	5'-0"	7'-0"	B	WD	---	---	PT-1	#04		10B
11	3'-0"	7'-0"	F	WD	1	KDHM	PT-1	#02		11
13	3'-0"	7'-0"	F	WD	1	KDHM	PT-1	#05		13
14	3'-0"	7'-0"	F	WD	1	KDHM	PT-1, PT-2	#05		14
16	3'-0"	7'-0"	FG	WD	2	WHM	PT-1, PT-2	#06	PT-1 ON WEST SIDE OF FRAME, PT-2 ON EAST SIDE OF FRAME	16
16B	3'-0"	7'-0"	F	WD	1	KDHM	PT-1	#07		16B
18B	4'-0"	7'-0"	B	WD	---	---	PT-1	#04		18B
26	3'-0"	7'-0"	F	WD	2	WHM	PT-1	#03		26
27	3'-0"	6'-8"	G	WD	EXISTING	EXISTING	PT-1	#03	CLEAN AND PAINT EXISTING FRAME	27
28	3'-0"	6'-8"	G	WD	EXISTING	EXISTING	PT-1	#03	CLEAN AND PAINT EXISTING FRAME	28
29	3'-0"	6'-8"	G	WD	EXISTING	EXISTING	PT-1	#03	CLEAN AND PAINT EXISTING FRAME	29
30	3'-0"	6'-8"	G	WD	EXISTING	EXISTING	PT-1	#03	CLEAN AND PAINT EXISTING FRAME	30
31	3'-0"	6'-8"	G	WD	1	KDHM	PT-1	#03		31
W01	8'-0"	4'-0"	---	---	W	WHM	---	---		W01



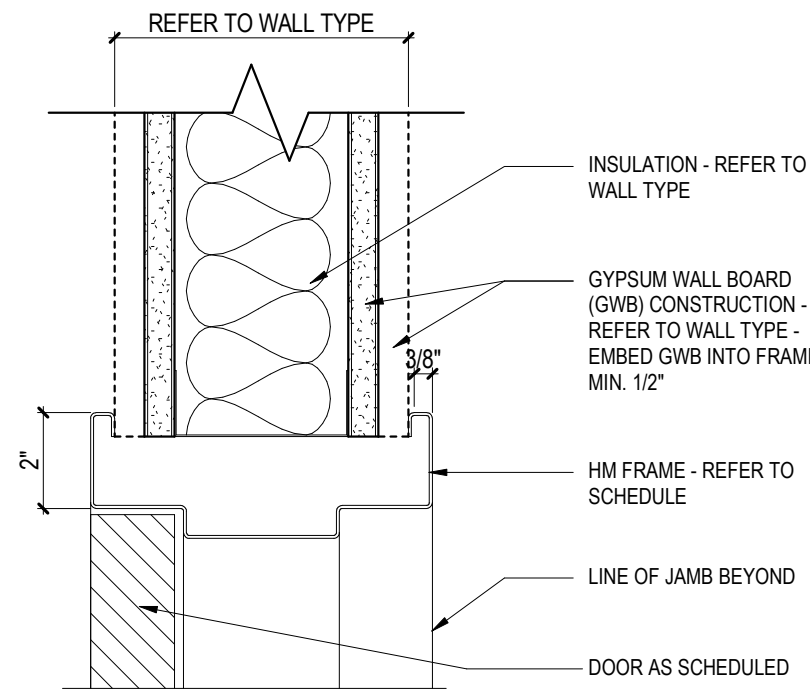
DOOR TYPES

1/4" = 1'-0"



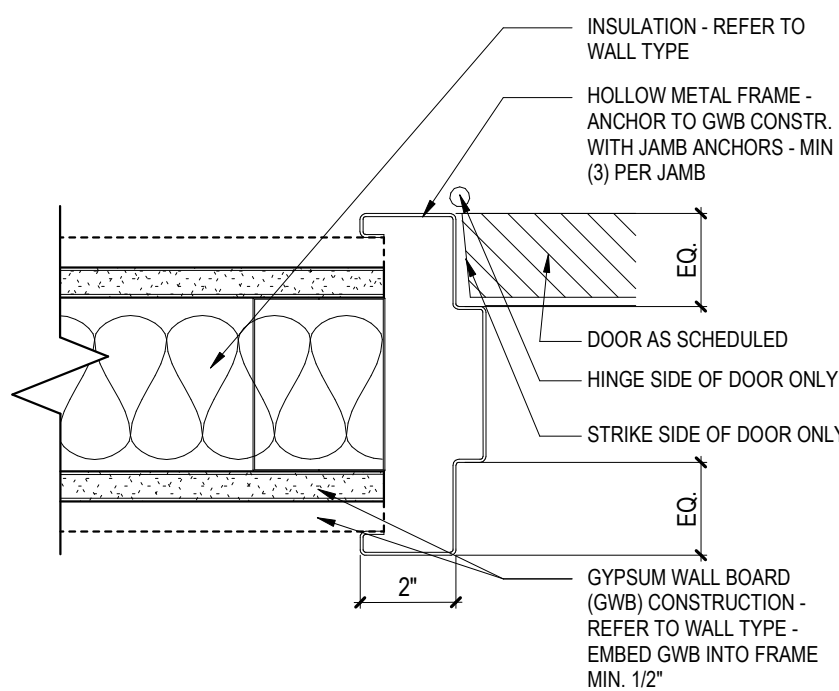
FRAME TYPES

1/4" = 1'-0"



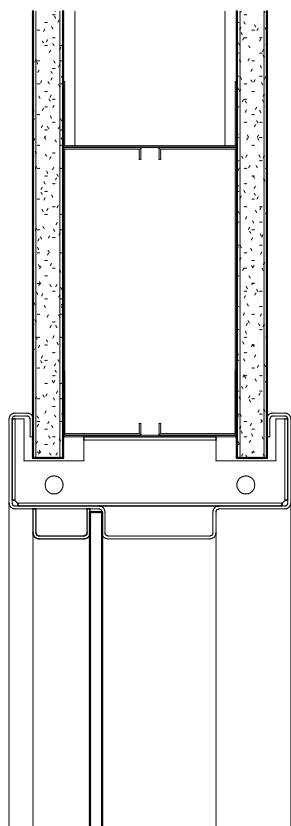
1 DOOR HEAD

3" = 1'-0"



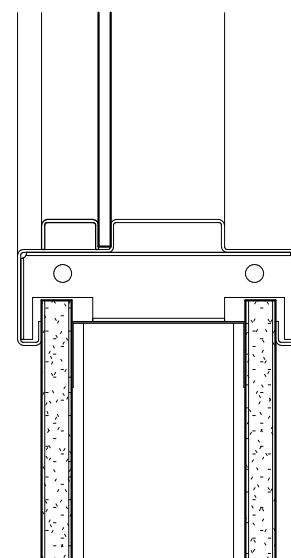
2 DOOR JAMB

3" = 1'-0"



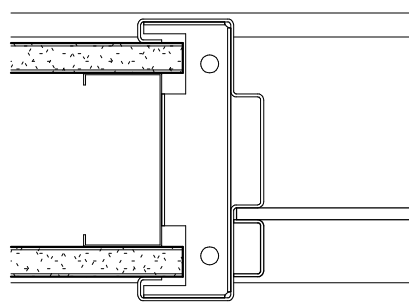
3 WINDOW HEAD

3" = 1'-0"



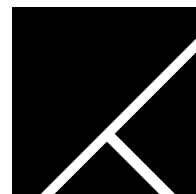
4 WINDOW SILL

3" = 1'-0"



5 WINDOW JAMB

3" = 1'-0"



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Client: LACTALIS
AMERICAN GROUP
INC.

Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/6/25

Project Number: 25042

Sheet Title: DOOR & WINDOW
INFORMATION

Sheet Number:

A500

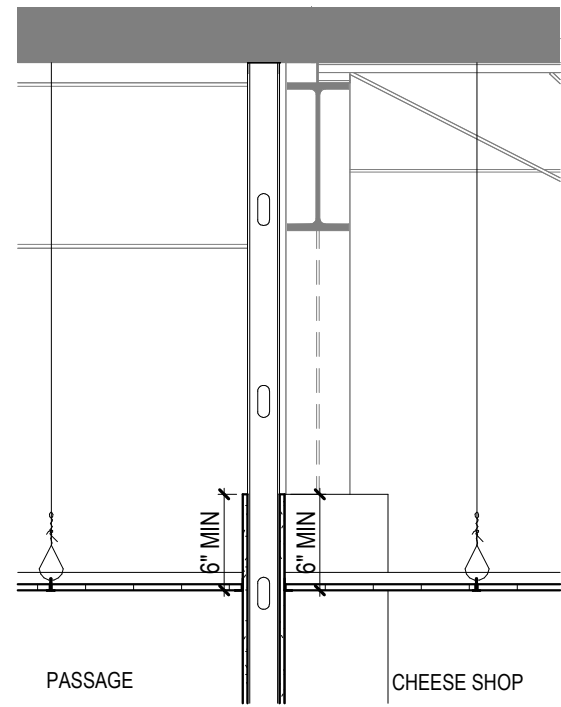


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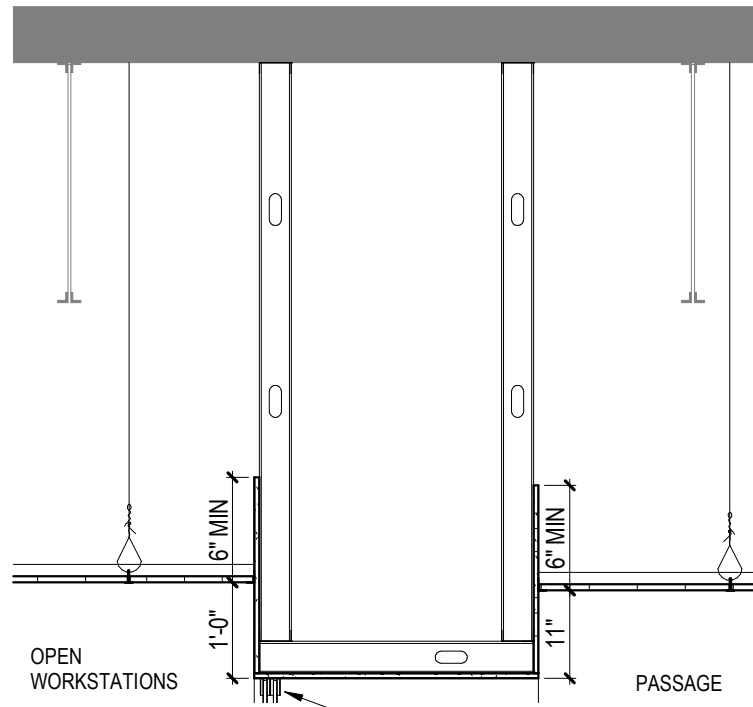
Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History:	#	Date	Description
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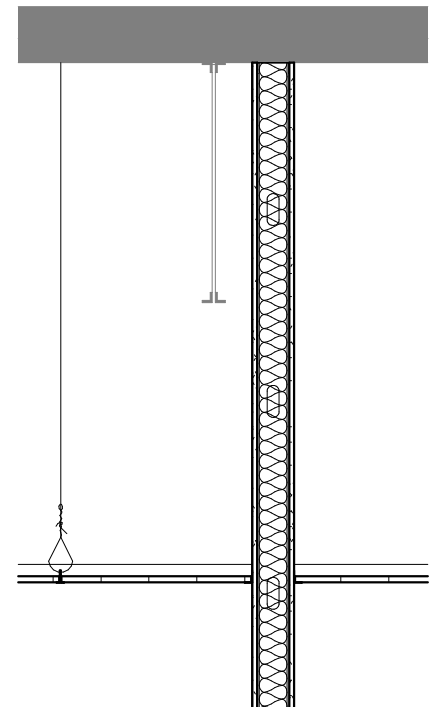
Sheet Number: **A530**



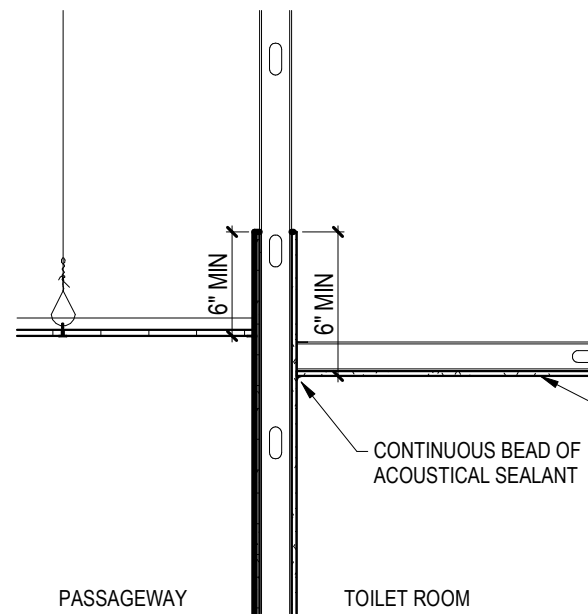
1 **CHEESE SHOP**
1/2" = 1'-0"



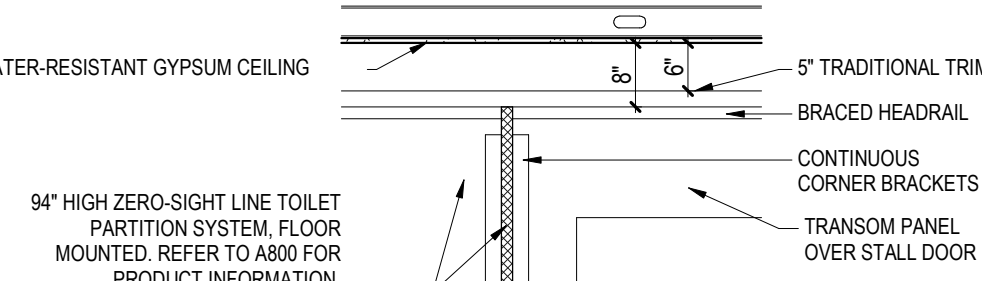
2 **COPY STATION SOFFIT**
1/2" = 1'-0"



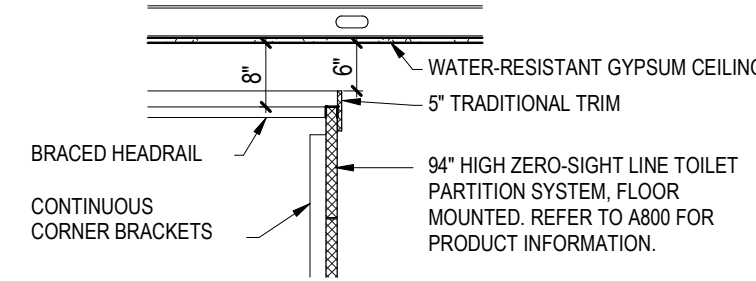
3 **NEW EXEC. OFFICE**
1/2" = 1'-0"



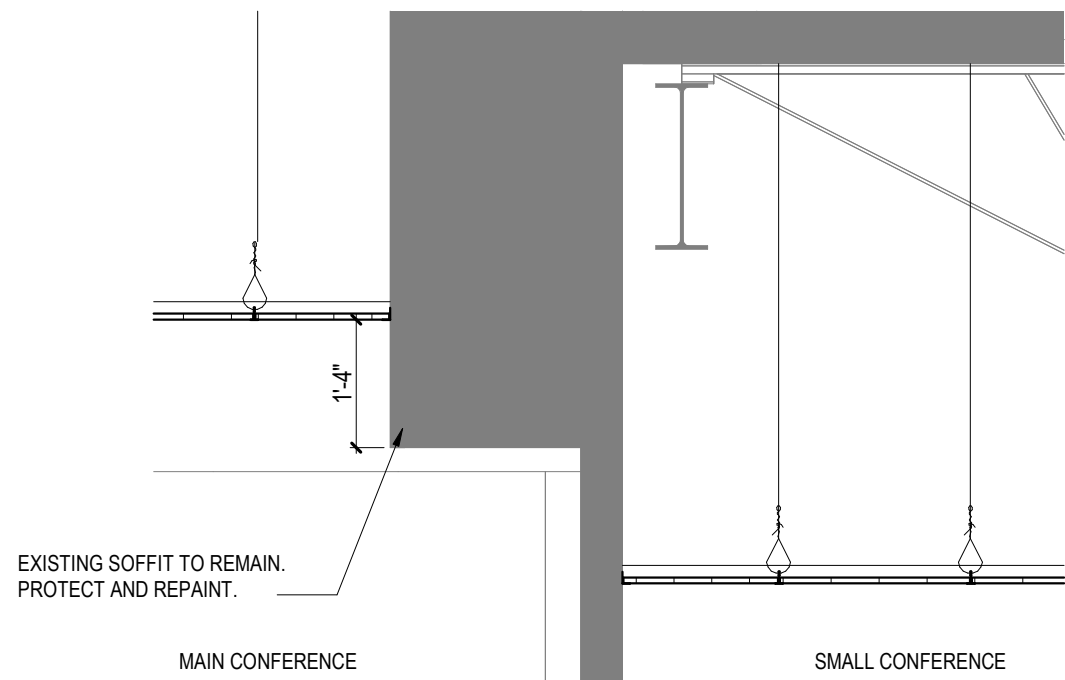
4 **TOILETS TO PASSAGE**
1/2" = 1'-0"



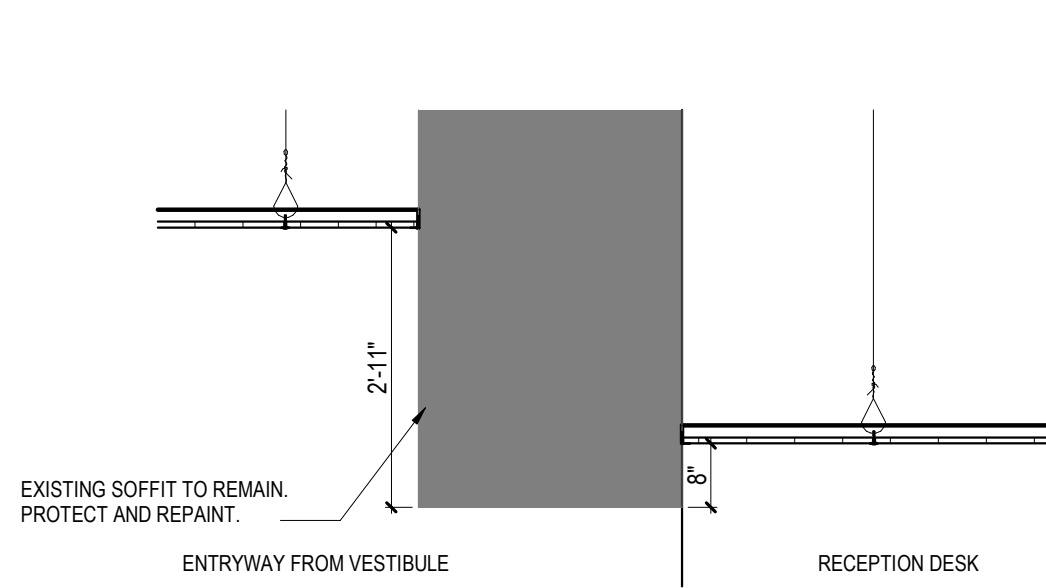
5 **TOILET PARTITION E-W**
1/2" = 1'-0"



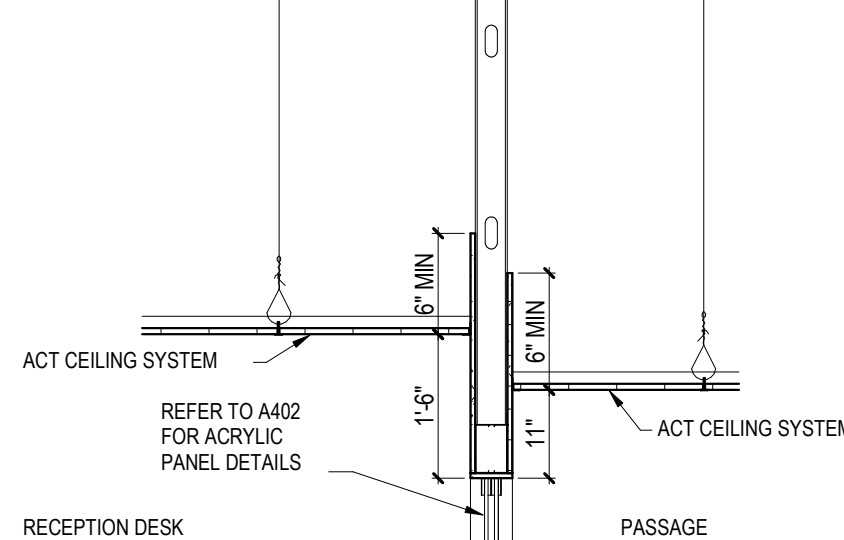
6 **TOILET PARTITION N-S**
1/2" = 1'-0"



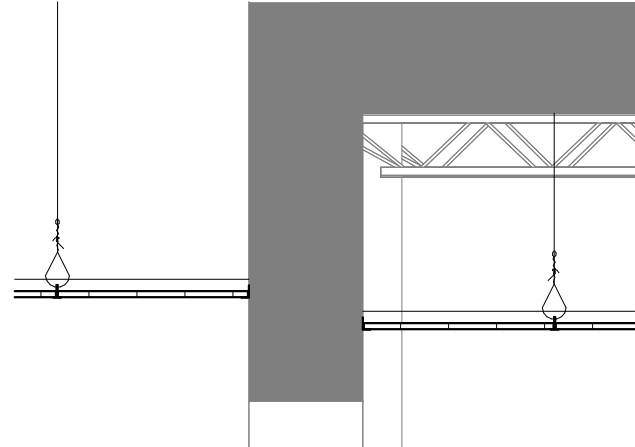
7 **SM. CONF. TO MAIN CONF.**
1/2" = 1'-0"



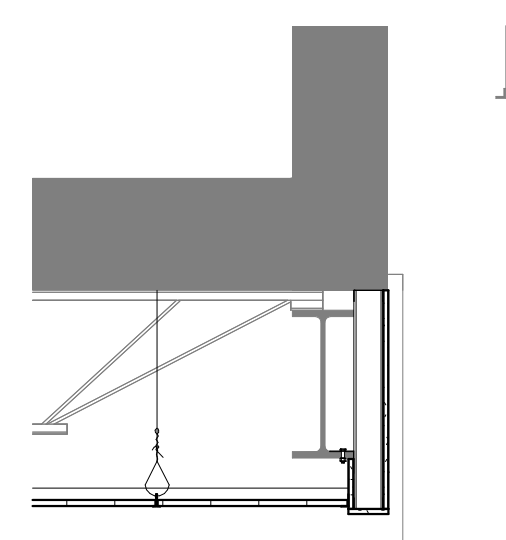
9 **LOBBY SOFFIT**
1/2" = 1'-0"



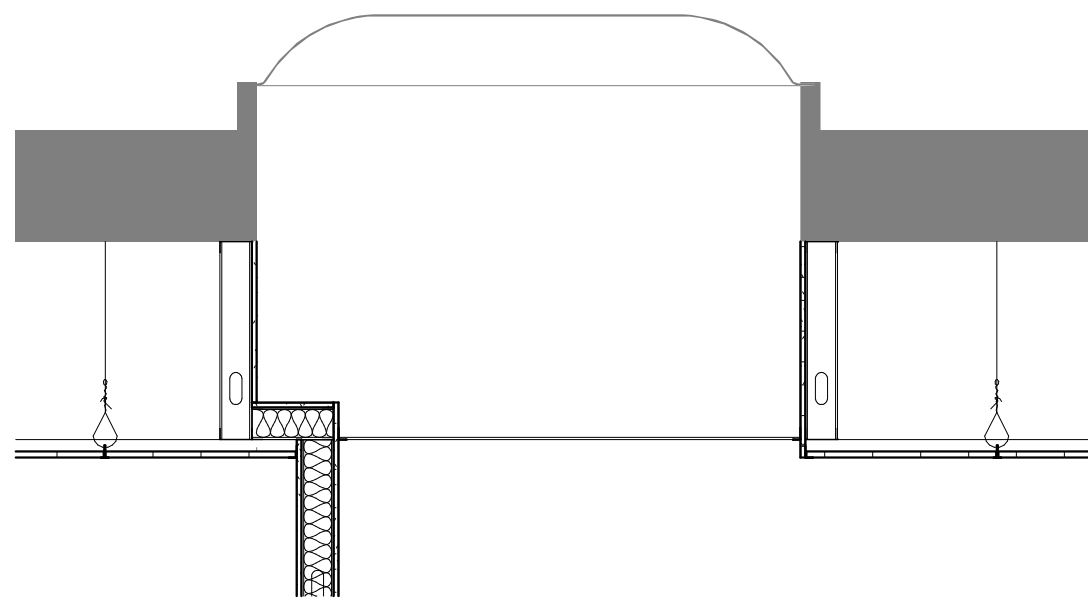
10 **RECEPTION TO PASSAGE**
1/2" = 1'-0"



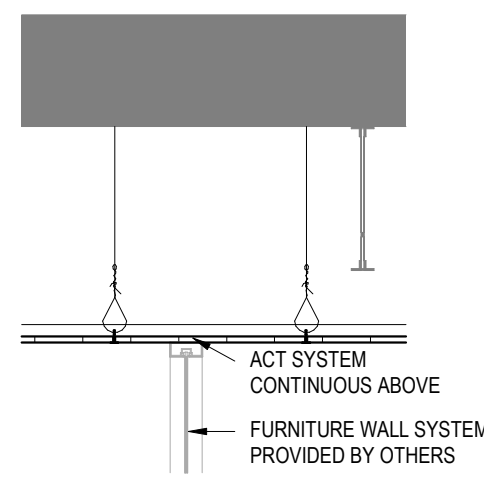
11 **PASSAGE TO S WING**
1/2" = 1'-0"



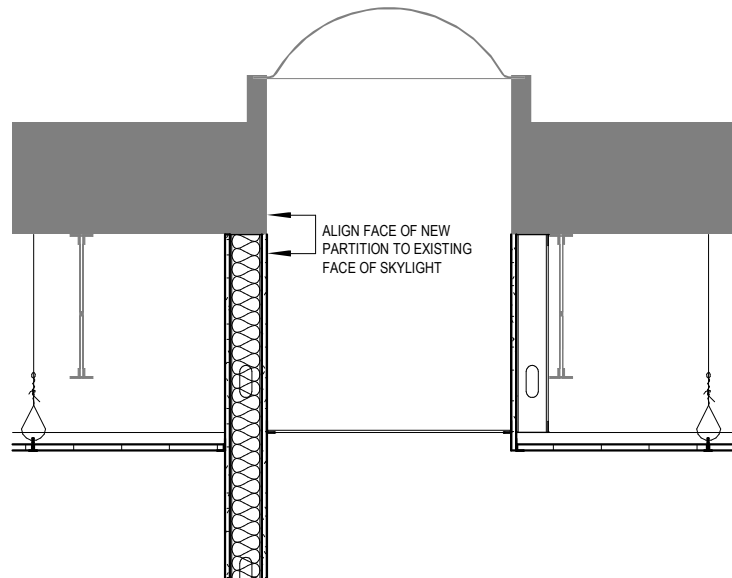
12 **ACT TO EXPOSED**
1/2" = 1'-0"



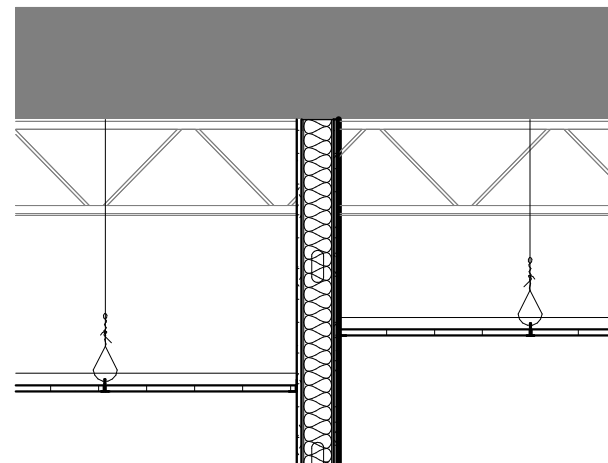
13 **E SKYLIGHT**
1/2" = 1'-0"



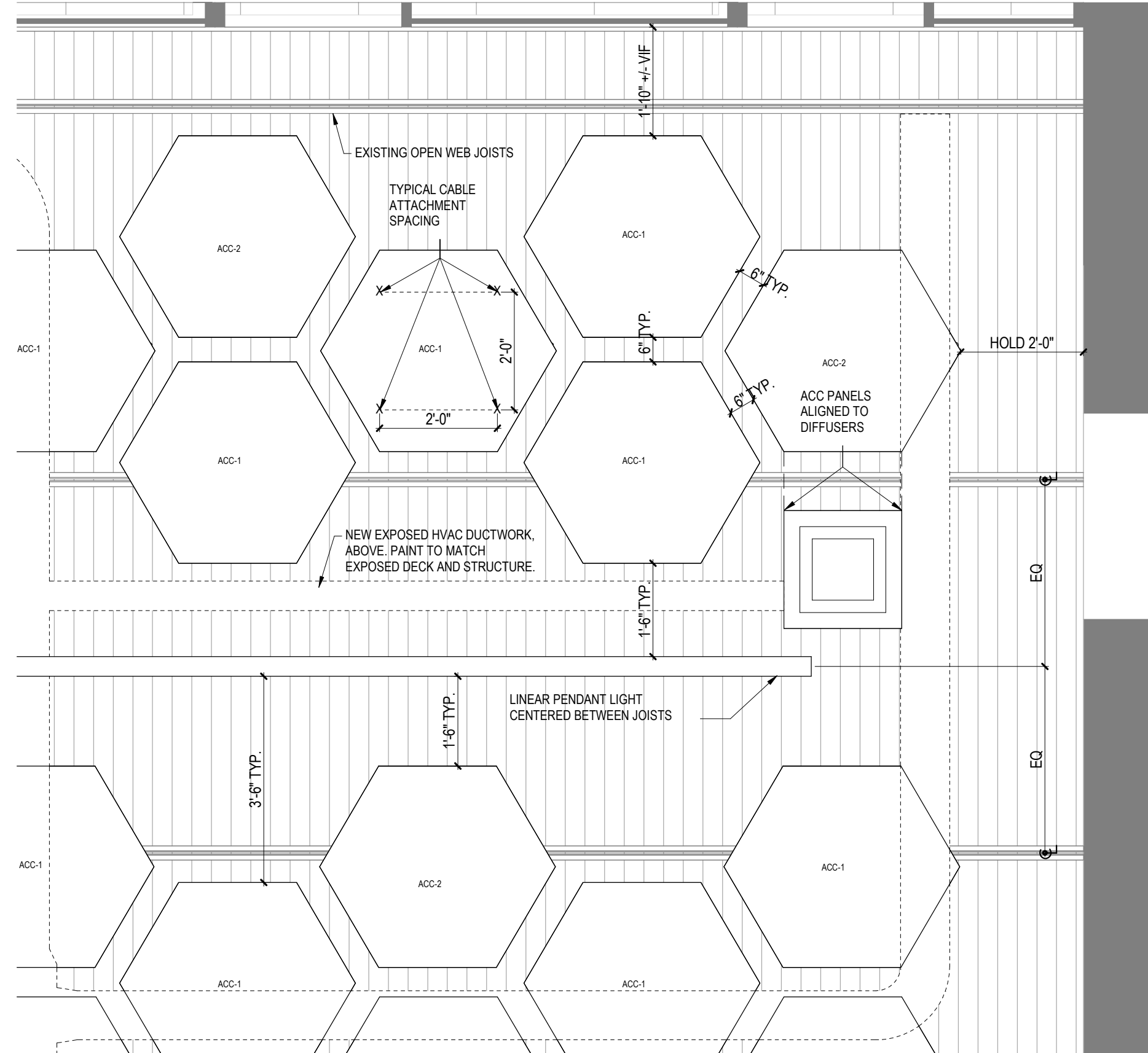
14 **FURNITURE WALL**
1/2" = 1'-0"



15 **S SKYLIGHT**
1/2" = 1'-0"



16 **NEW HR OFFICE**
1/2" = 1'-0"



8 **TYPICAL ACOUSTIC CEILING SPACING**
1/2" = 1'-0"

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Client: **LACTALIS
AMERICAN GROUP
INC.**

Project: **OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE**

Project Address: **2376 SOUTH PARK AVENUE
BUFFALO, NY 14220**

Drawing History: # Date Description

Date: 11/6/25
Project Number: 25042
Sheet Title: **CEILING DETAILS**

Sheet Number: **A540**

PAINTING NOTES

A. FOR ALL GWB WALL PAINT LOCATIONS USE SHERWIN WILLIAMS PVA PRIMER AND SEALER. USE SHERWIN WILLIAMS SUPERPAINT INTERIOR ACRYLIC SATIN FOR TOP TWO COATS.

B. FOR ALL CMU & GLAZED TILE USE SHERWIN WILLIAMS EXTREME BOND PRIMER, BW. USE SHERWIN WILLIAMS SCUFF TUFF INT. WATERBASED ENAMEL, SEMI-GLOSS, S-SERIES FOR TOP TWO COATS.

C. FOR ALL MECH EQUIPMENT COVERS USE SHERWIN WILLIAMS PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER. USE SHERWIN WILLIAMS PRO INDUSTRIAL DTM ACRYLIC, B- FOR TOP TWO COATS.

GENERAL FINISH NOTES

NOTE: APPLIES TO ALL WORK AREAS.

A. REFER TO FINISH SCHEDULE FOR DESCRIPTION OF MATERIALS. FINAL SELECTION BY OWNER.

B. PATCH AND PREP EXISTING FLOOR TO RECEIVE NEW SCHEDULED FLOOR.

C. PROVIDE LOW PROFILE TRANSITION STRIPS AT CHANGE IN MATERIAL AS REQ'D. REFER TO OWNER FOR FINAL SELECTION.

D. ALL NEW GYPSUM BOARD PARTITIONS TO RECEIVE RESILIENT BASE UNO.

E. PREP, PRIME, AND PAINT ALL NEW GYB.

F. ALL WINDOWS IN PHASES 2-3-4 WORK AREAS TO RECEIVE NEW ROLLER SHADES

FINISH LIST

FLOOR FINISHES-		WALL-	CASEWORK-
CPT-1	CARPET TILE 1 MANUFACTURER: MILLIKEN COLLECTION: COLLECTIVE MIND STYLE: ENLIGHTEN COLOR: CURIOUS ELN118-218 SIZE: 25CM X 1M	PT-1 PAINT 1 MANUFACTURER: SHERWIN WILLIAMS COLOR: DOVER WHITE	PL-1 PLASTIC LAMINATE 1 MANUFACTURER: WILSONART COLOR: FAWN CYPRESS 620K-16 PRODUCT TYPE: 350 POSTFORMING
CPT-2	CARPET TILE 2 MANUFACTURER: MILLIKEN COLLECTION: COLLECTIVE MIND STYLE: ENLIGHTEN COLOR: ENERGY ELN107-218 SIZE: 25CM X 1M	PT-2 PAINT 2 MANUFACTURER: SHERWIN WILLIAMS COLOR: PEPPERCORN	PL-2 PLASTIC LAMINATE 2 MANUFACTURER: WILSONART COLOR: FROSTY WHITE1573-60 PRODUCT TYPE: 350 POSTFORMING
CPT-3	CAREPT TILE 3 MANUFACTURER: MILLIKEN COLLECTION: COLLECTIVE MIND STYLE: UNION COLOR: ENERGY UNN107-218 SIZE: 25CM X 1M	PT-3 PAINT 3 MANUFACTURER: SHERWIN WILLIAMS COLOR: DEBONAIR	PL-3 PLASTIC LAMINATE 3 MANUFACTURER: WILSONART COLOR: BLACK 1655-60 PRODUCT TYPE: 350 POSTFORMING
CPT-4	CAREPT TILE 4 MANUFACTURER: MILLIKEN COLLECTION: COLLECTIVE MIND STYLE: TRANSCEND COLOR: ENERGY TRA107-218 SIZE: 25CM X 1M	PT-4 PAINT 4 MANUFACTURER: SHERWIN WILLIAMS COLOR: SALTY DOG	SS-1 SOLID SURFACE 1 MANUFACTURER: CORIAN COLOR: ARCTIC ICE
LVT-1	LUXURY VINYL TILE 1 MANUFACTURER: MILLIKEN COLLECTION: FORTIFIED FOUNDATIONS 5.0MM STYLE: POLISHED CONCRETE COLOR: REFLECTIVE POL180 SIZE: 36" X 36"	T-2 TILE 2 MANUFACTURER: DALTILE COLLECTION: MYTHOLOGY STYLE: RECTANGLE UNULATED GLOSSY COLOR: TITAN MYS6 SIZE: 4" X 12" INSTALL: 3" OFFSET GROUT: LATICRETE STERLING SILVER 78	SS-2 SOLID SURFACE 2 MANUFACTURER: CORIAN COLOR: CARBON CONCRETE
LVT-2	LUXURY VINYL TILE 2 MANUFACTURER: MILLIKEN COLLECTION: FORTIFIED FOUNDATIONS 5.0MM STYLE: TERRAZZO COLOR: PEARL TR2213 SIZE: 18" X 36"	T-3 TILE 3 MANUFACTURER: DALTILE COLLECTION: COLOR WHEEL STYLE: LINEAR GLOSSY COLOR: BISQUIT K175 SIZE: 4" X 12" INSTALL: 3" OFFSET GROUT: LATICRETE STERLING SILVER 78	SS-3 SOLID SURFACE 3 MANUFACTURER: CORIAN COLOR: EXCAVAGE
LVT-3	LUXURY VINYL TILE 3 MANUFACTURER: MILLIKEN COLLECTION: FORTIFIED FOUNDATIONS 5.0MM STYLE: SIBERIAN LARCH COLOR: COVE SIB211 SIZE: 7" X 48"		ACCESSORIES-
T-1	TILE 1 MANUFACTURER: DALTILE COLLECTION: INDOTERRA STYLE: CONCRETE COLOR: TRAIL IN4 MATTE SIZE: 12" X 24"	CEILING-	WP-1 WALL PANEL 1 MANUFACTURER: LUMICOR COLLECTION: TEXTILE COLOR: WHITE MEANDER GAUGE: 1/2" THICKNESS
BASE FINISHES-		ACT-1 ACOUSTIC CEILING TILE 1 MANUFACTURER: ARMSTRONG STYLE: ULTIMA TEMPLOK EDGE: SQUARE LAY-IN SIZE: 24" X 24"	WP-2 WALL PANEL 2 MANUFACTURER: LUMICOR COLLECTION: LUMINOUS COLOR: LAGO GAUGE: 1/2" THICKNESS
RB-1	RUBBER BASE 1 MANUFACTURER: ROPPE COLOR: 106 BLACK STYLE: PINNACLE STANDARD TOE SIZE: 6"	PT-5 PAINT 5 MANUFACTURER: SHERWIN WILLIAMS COLOR: CEILING BRIGHT WHITE	TR-1 TRANSITION 1 MANUFACTURER: SCHLUTER SYSTEMS STYLE: DILEXAHH COVE BASE FINISH: ALUM BRUSH CHROME SIZE: 1/2"
		PT-6 PAINT 6 MANUFACTURER: SHERWIN WILLIAMS COLOR: BLACK OF NIGHT	WF-1 WINDOW FILM 1 MANUFACTURER: 3M PRODUCT: FASARA OPAQUE BLACK SH2BK0P LOCATION: GLASS OF VESTIBULE ON CONF ROOM SOUTH WALL
		PT-7 PAINT 7 ALTERNATIVE MANUFACTURER: SHERWIN WILLIAMS COLOR: ARGOS	EB-1 EDGEBAND 1 MANUFACTURER: WILSONART PRODUCT: EDGEBAND COLOR: FROSTY WHITE 1573-60 SIZE: 1516 X 0.018
		ACC-1 ACOUSTIC CEILING CLOUD 1 MANUFACTURER: ACOUFELT COLLECTION: ESSENTIALS COLOR: TALC T409 SIZE: 48" X 41.57"	
		ACC-2 ACOUSTIC CEILING CLOUD 2 MANUFACTURER: ACOUFELT COLLECTION: ESSENTIALS COLOR: SHALE SH403 SIZE: 48" X 41.57"	

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	CEILING FINISH	AREA	BASE FINISH	FLOOR FINISH	WALL FINISH	COMMENTS
1	CHEESE SHOP	ACT-1	423 SF	RB-1	LVT-2	PT-1, PT-3	PT-3 ON SOUTH WALL
2	SHOP STORAGE	ACT-1	78 SF	RB-1	LVT-2	PT-1	
3	MAIL ROOM	ACT-1	121 SF	RB-1	LVT-3	PT-1, PT-2	PT-2 ON EAST WALL
4	OPEN WORKSTATIONS	ACT-1	1,335 SF	RB-1	CPT-2	PT1, PT-4	SEE PLANS AND ELEVATIONS FOR FINISH LOCATIONS
5	EXEC. OFFICE	ACT-1	190 SF	RB-1	CPT-3	PT-1	
6	EXEC. OFFICE	ACT-1	150 SF	RB-1	CPT-3	PT-1	
7	EXEC. OFFICE	ACT-1	257 SF	RB-1	CPT-3	PT-1	
8	EXEC. OFFICE	ACT-1	173 SF	RB-1	CPT-3	PT-1	
9	WATER METER	GYP	15 SF	RB-1	CONC.	PT-1	
10	SM. CONF. ROOM	ACT-1	136 SF	RB-1	CPT-3	PT-1	PT-3 ON EAST WALL
10B	CLOSET	ACT-1	13 SF	RB-1	CPT-3	PT-1	
11	MAINT. ROOM	ACT-1	176 SF	RB-1	LVT-3	PT-1	
12	PASSAGEWAY	ACT-1	615 SF	RB-1	CPT1	PT-1, PT-4	NEW ACT. NEW RUBBER BASES. NEW COAT OF PAINT ON EACH WALL PT-1. ALL SOFFITS PT-5. END CAPS AT NORTH END OF PASSAGEWAY PT-4
13	W. TOILETS	GYP, P-5	94 SF	---	T-1	T-2, T-3	SEE PLANS AND ELEVATIONS FOR FINISH LOCATIONS
14	M. TOILETS	GYP, P-5	129 SF	---	T-1	T-2, T-3	SEE PLANS AND ELEVATIONS FOR FINISH LOCATIONS
15	RECEPTION	ACT-1, GYP, PT-5	341 SF	RB-1	LVT-1	PT-1, PT-3	SEE PLANS AND ELEVATIONS FOR FINISH LOCATIONS PT-5 ON ALL SOFFITS
16	MAIN CONFERENCE ROOM	ACT-1, GYP, PT-5	482 SF	RB-1	CPT-4	PT-1, PT-2	PT-2 ON EAST WALLS PT-5 ON ALL SOFFITS
17	VESTIBULE	ACT-1	52 SF	RB-1	LVT-1	PT-1	
18	OPEN WORKSTATIONS	ACT-1	1,874 SF	RB-1	CPT-1	PT-1, PT-4	PT-4 ON EAST WALL/SEE PLANS AND ELEVATIONS FOR FINISH LOCATIONS
18B	CLOSET	ACT-1	15 SF	RB-1	CPT-1	PT-1	
19	SM. MEETING ROOM	ACT-1	114 SF	RB-1	CPT-2	PT-1, PT-3	PT-3 ON SOUTH WALL
20	OFFICE	ACT-1	89 SF	RB-1	CPT-2	PT-1, PT-3	PT-3 ON NORTH WALL
22	OFFICE	ACT-1	92 SF	RB-1	CPT-2	PT-1	
23	OFFICE	ACT-1	92 SF	RB-1	CPT-2	PT-1	
24	OFFICE	ACT-1	92 SF	RB-1	CPT-2	PT-1	
25	OFFICE	ACT-1	92 SF	RB-1	CPT-2	PT-1	
26	EXEC. OFFICE	ACT-1	182 SF	RB-1	CPT-3	PT-1, PT-2	PT-2 ON EAST WALL
27	OFFICE	ACT-1	121 SF	RB-1	CPT-3	PT-1	
28	OFFICE	ACT-1	113 SF	RB-1	CPT-3	PT-1	
29	OFFICE	ACT-1	108 SF	RB-1	CPT-3	PT-1	
30	OFFICE	ACT-1	105 SF	RB-1	CPT-3	PT-1	
31	OFFICE	ACT-1	105 SF	RB-1	CPT-3	PT-1	
33	OPEN WORKSTATIONS	---	4,008 SF	---	---	---	



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Client: LACTALIS
AMERICAN GROUP
INC.

Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/6/25

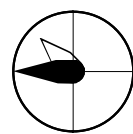
Project Number: 25042

Sheet Title: FINISH
INFORMATION

Sheet Number:

A800

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1

FLOOR FINISH PLAN

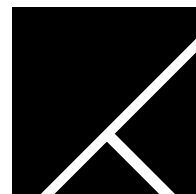
1/8" = 1'-0"

ALTERNATE FLOORINGS

NIC

FINISH KEY

- EXISTING CARPET TILE-1
- EXISTING CARPET TILE-2
- EXISTING LVT
- EXISTING RESTROOM TILE
- EXISTING KITCHEN TILE
- EXISTING CONCRETE
- CPT-1
- CPT-2
- CPT-3
- CPT-4
- LVT-1
- LVT-2
- LVT-3
- T-1



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AMERICAN GROUP
INC.**

Project: **OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE**

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

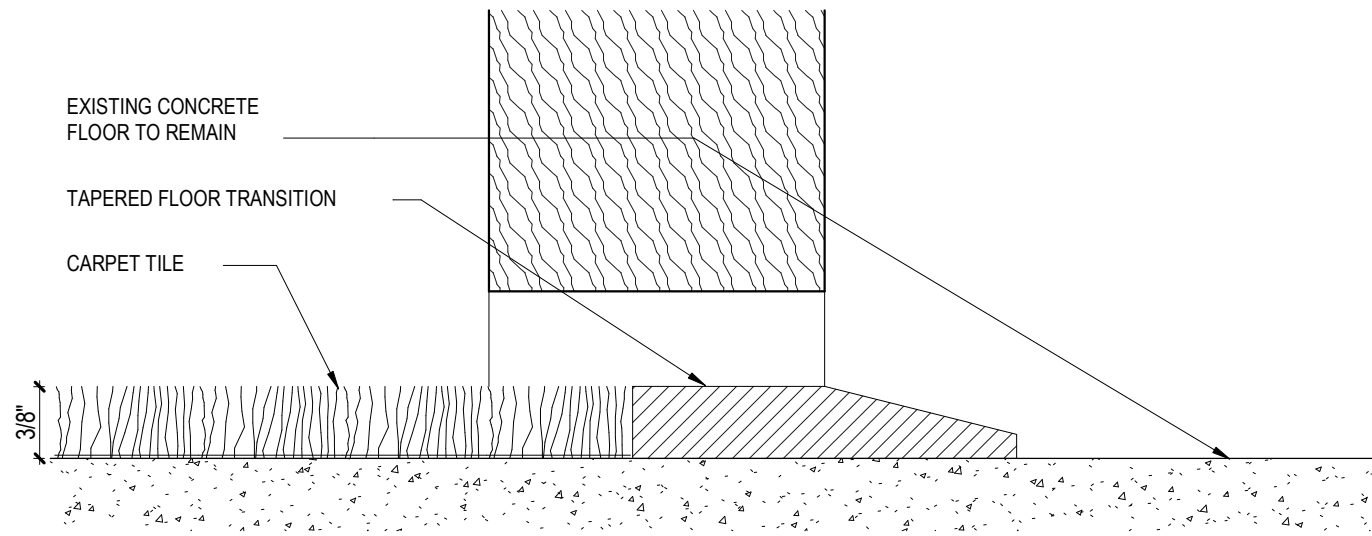
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Project Number: 25042

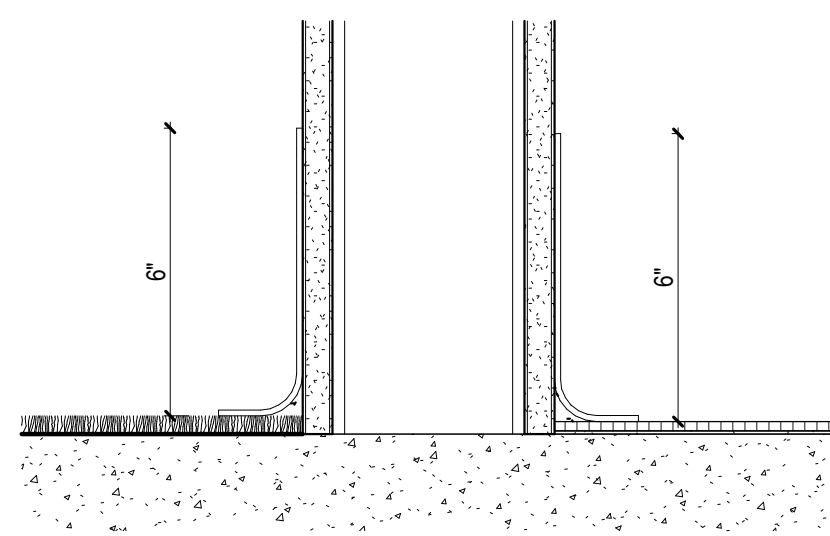
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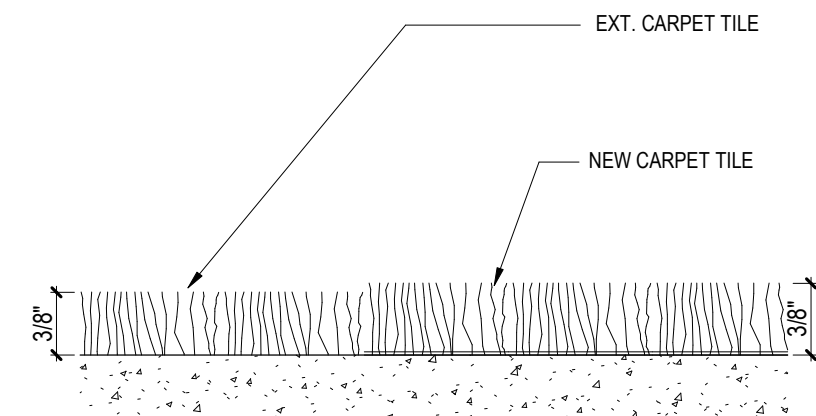
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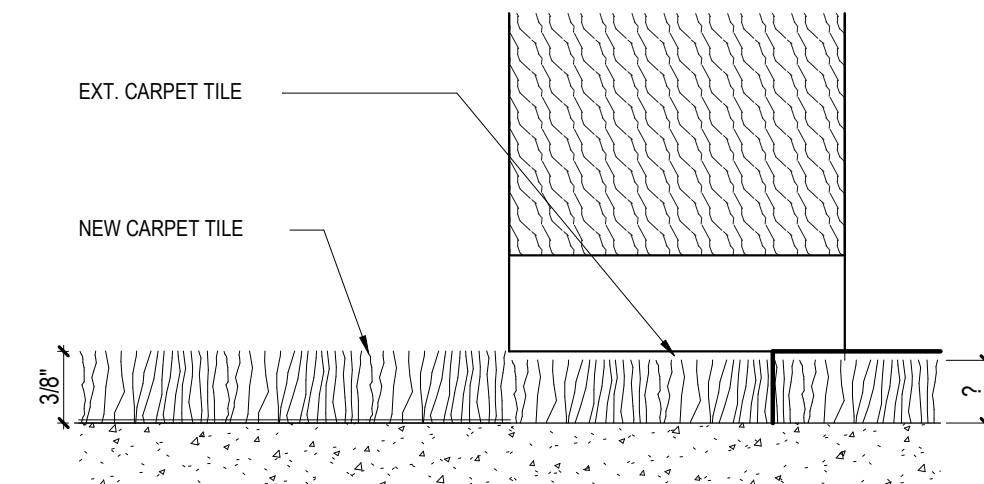
18 FL TRANS @ WATER METER
1/2" = 1'-0"



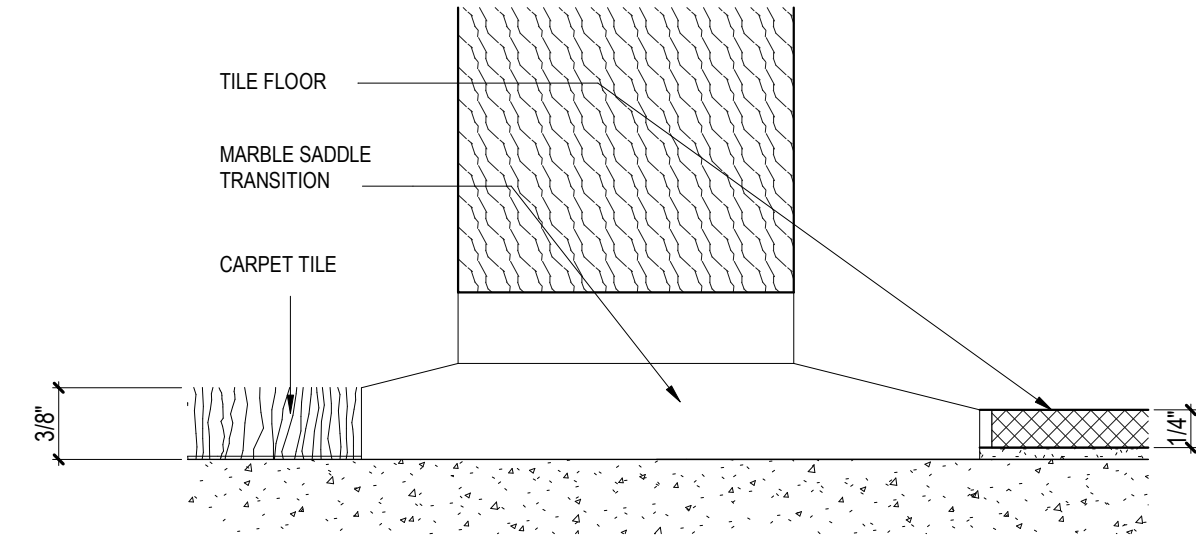
17 TYP. RESILIENT BASE DETAIL
3" = 1'-0"



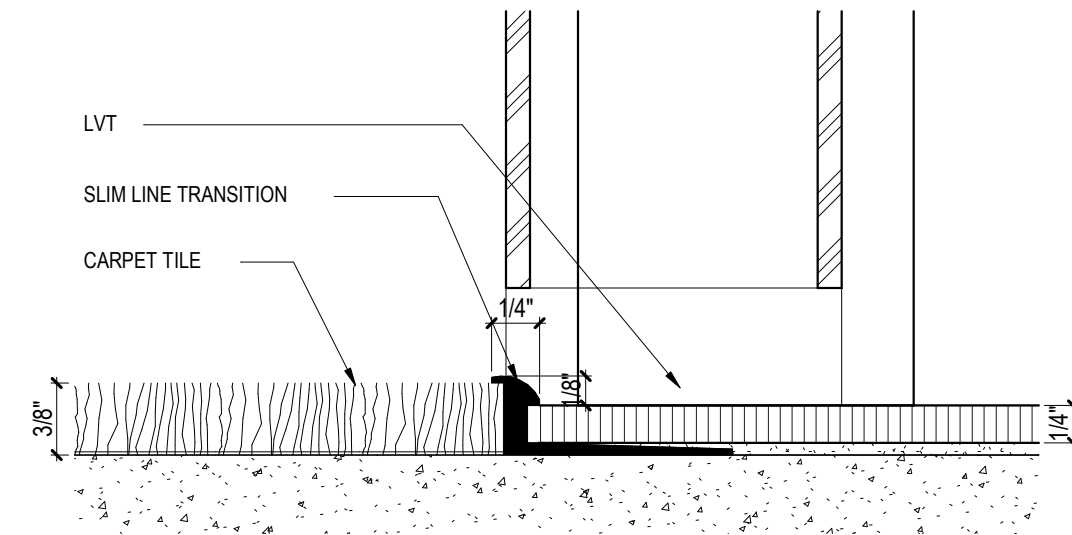
15 FL TRANS. @ PHASE 4
1/2" = 1'-0"



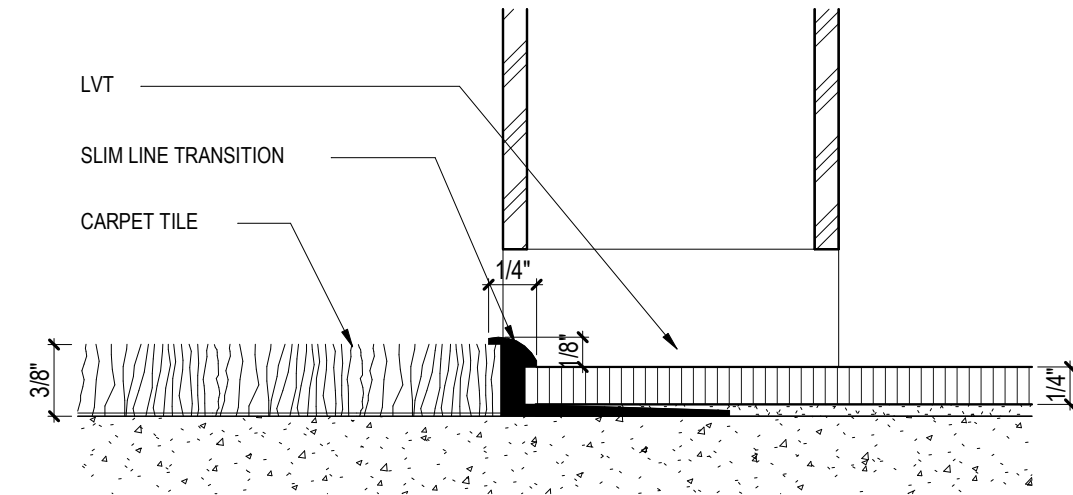
14 FL TRANS @ PHASE 1
1/2" = 1'-0"



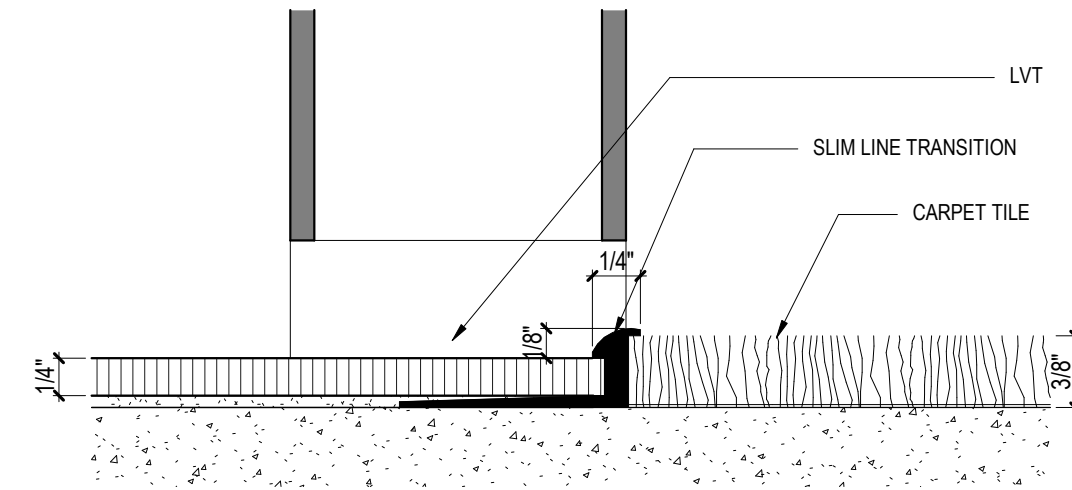
13 FL TRANS @ RESTROOMS
1/2" = 1'-0"



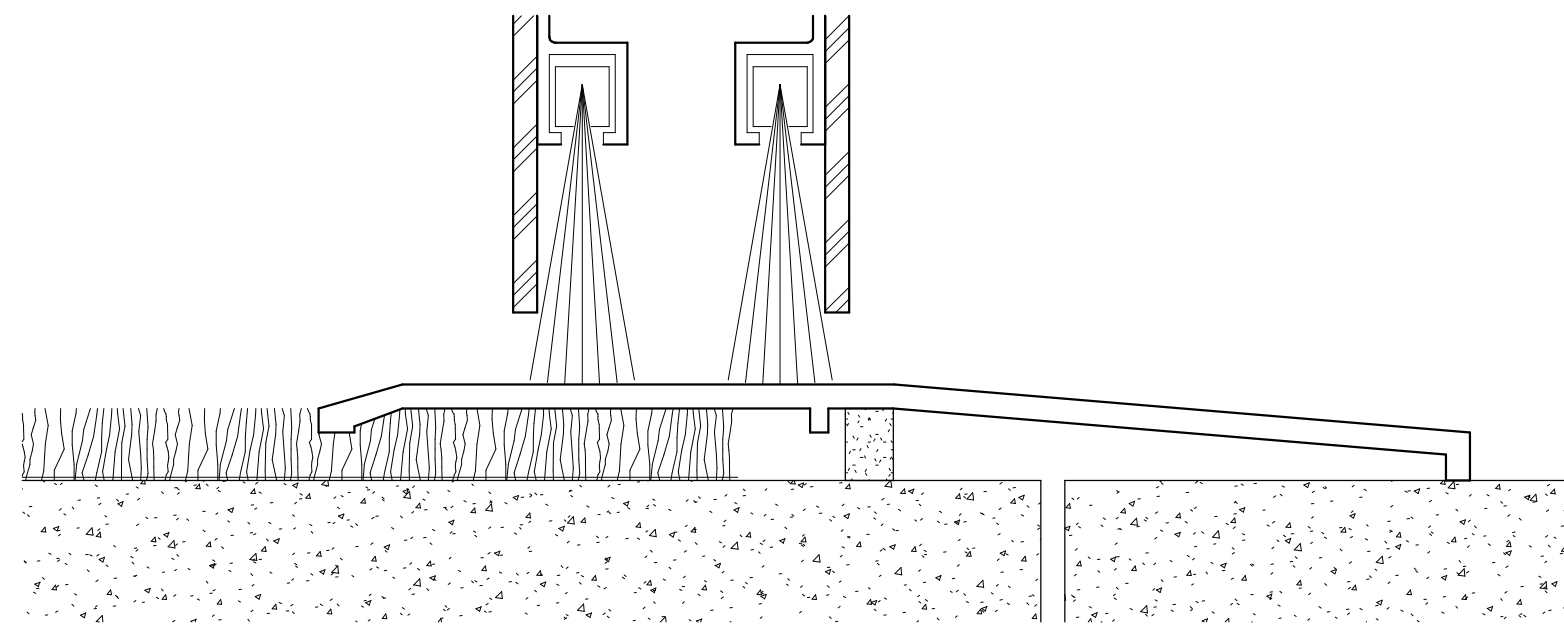
12 FL TRANS @ CONFERENCE ROOM
1/2" = 1'-0"



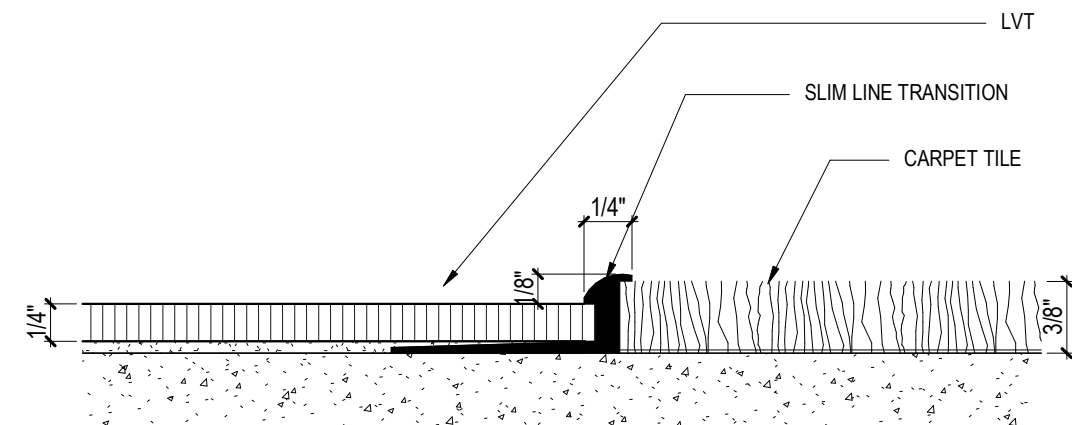
11 FL TRANS @ CHEESE SHOP
1/2" = 1'-0"



9 FL TRANS @ CAFE
1/2" = 1'-0"



8 FL TRANS @ EXT. DOOR
1/2" = 1'-0"



6 FL TRANS @ RECEPTION
1/2" = 1'-0"



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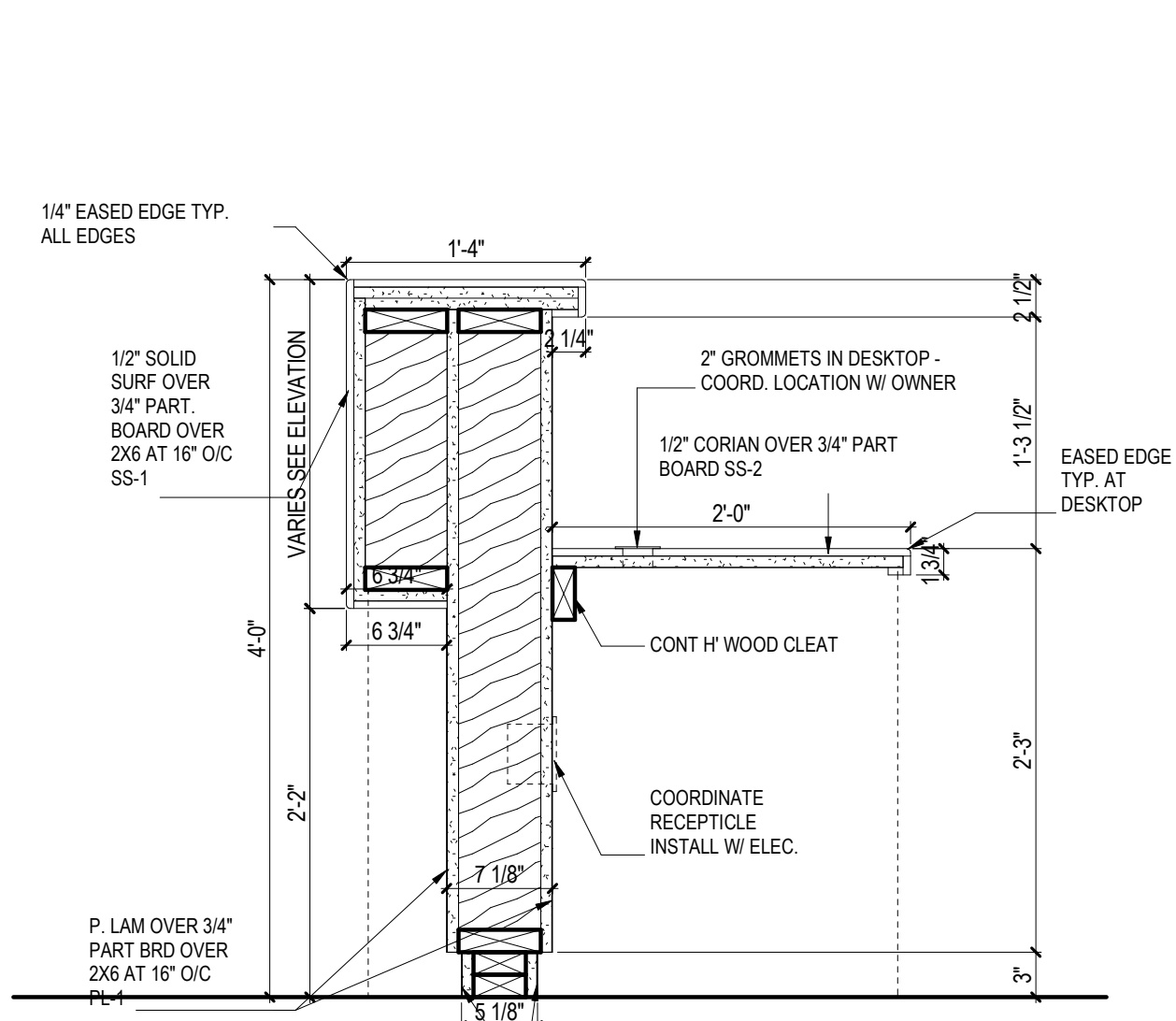
Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

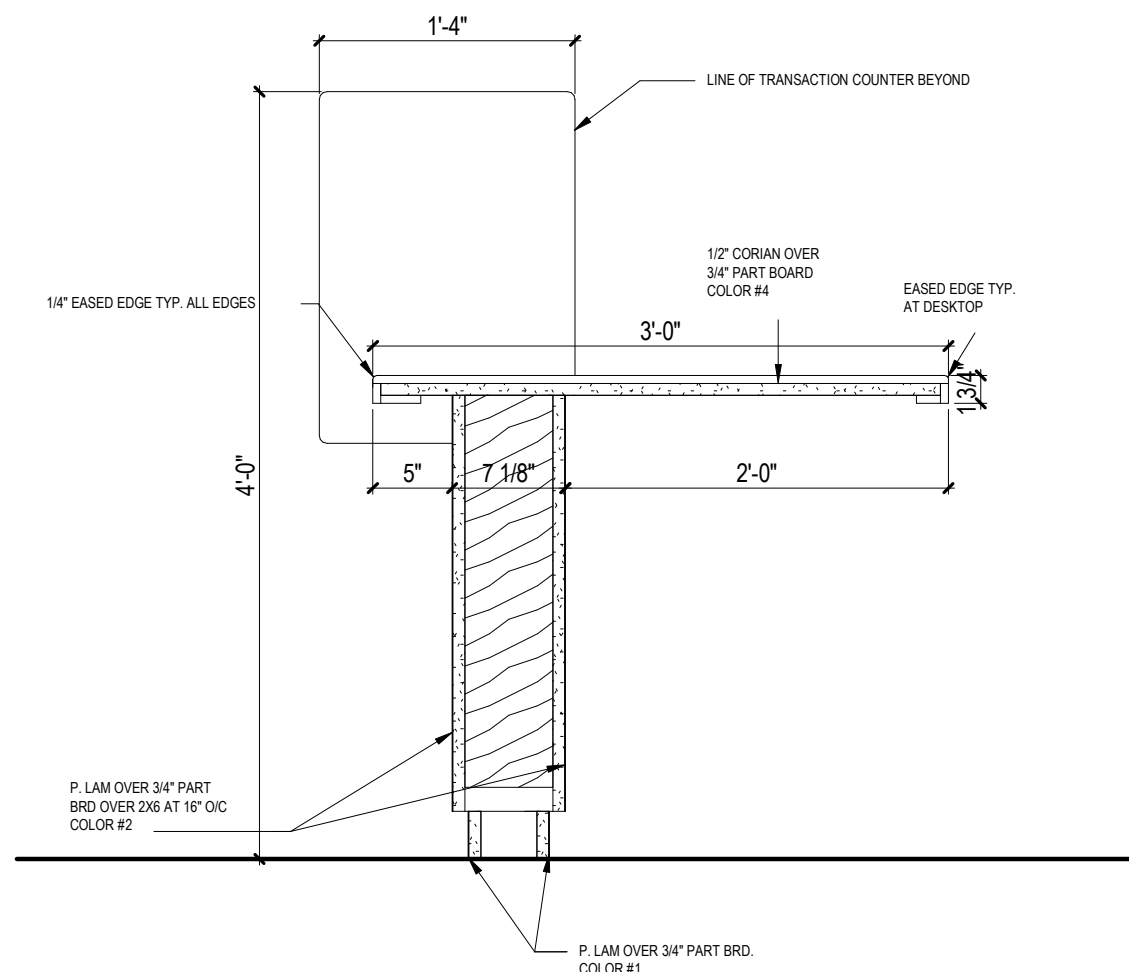
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Date: 11/6/25
Project Number: 25042
Sheet Title: FINISH DETAILS

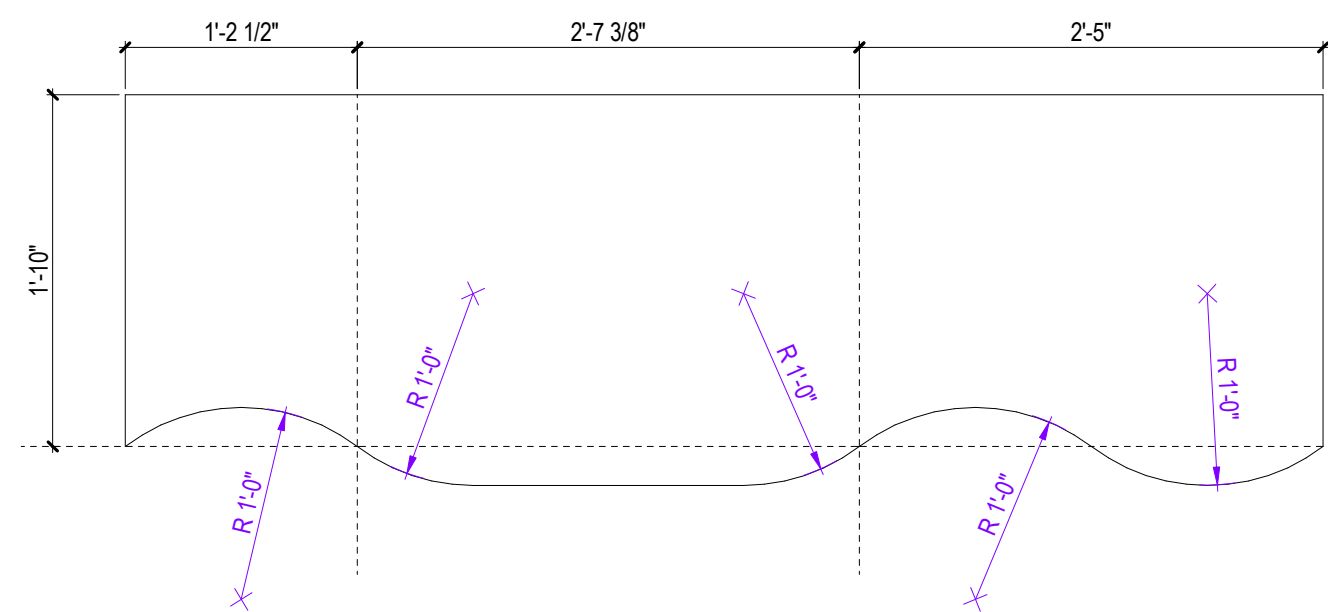
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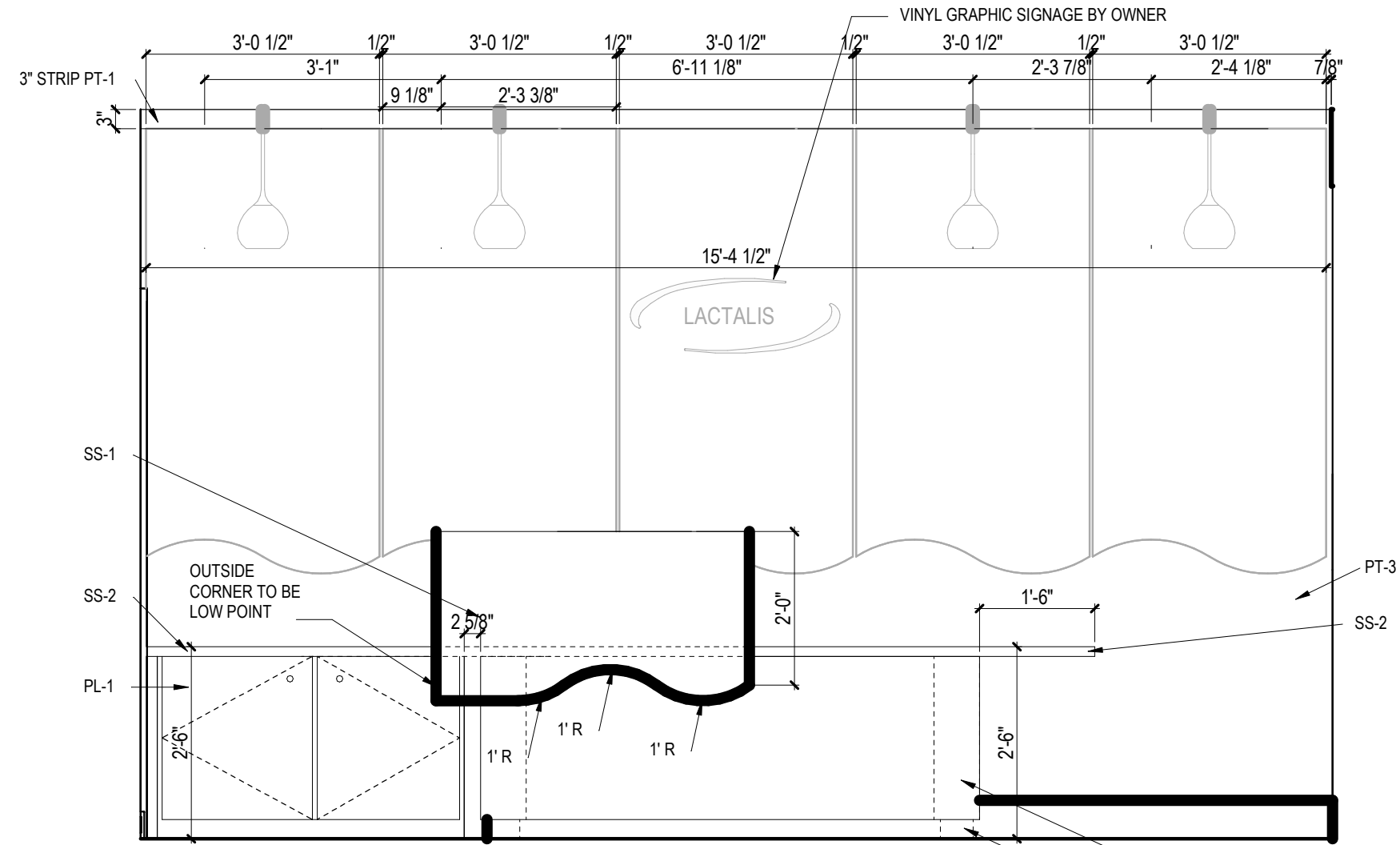
9 RECEPTION DESK SECTION A
1" = 1'-0"



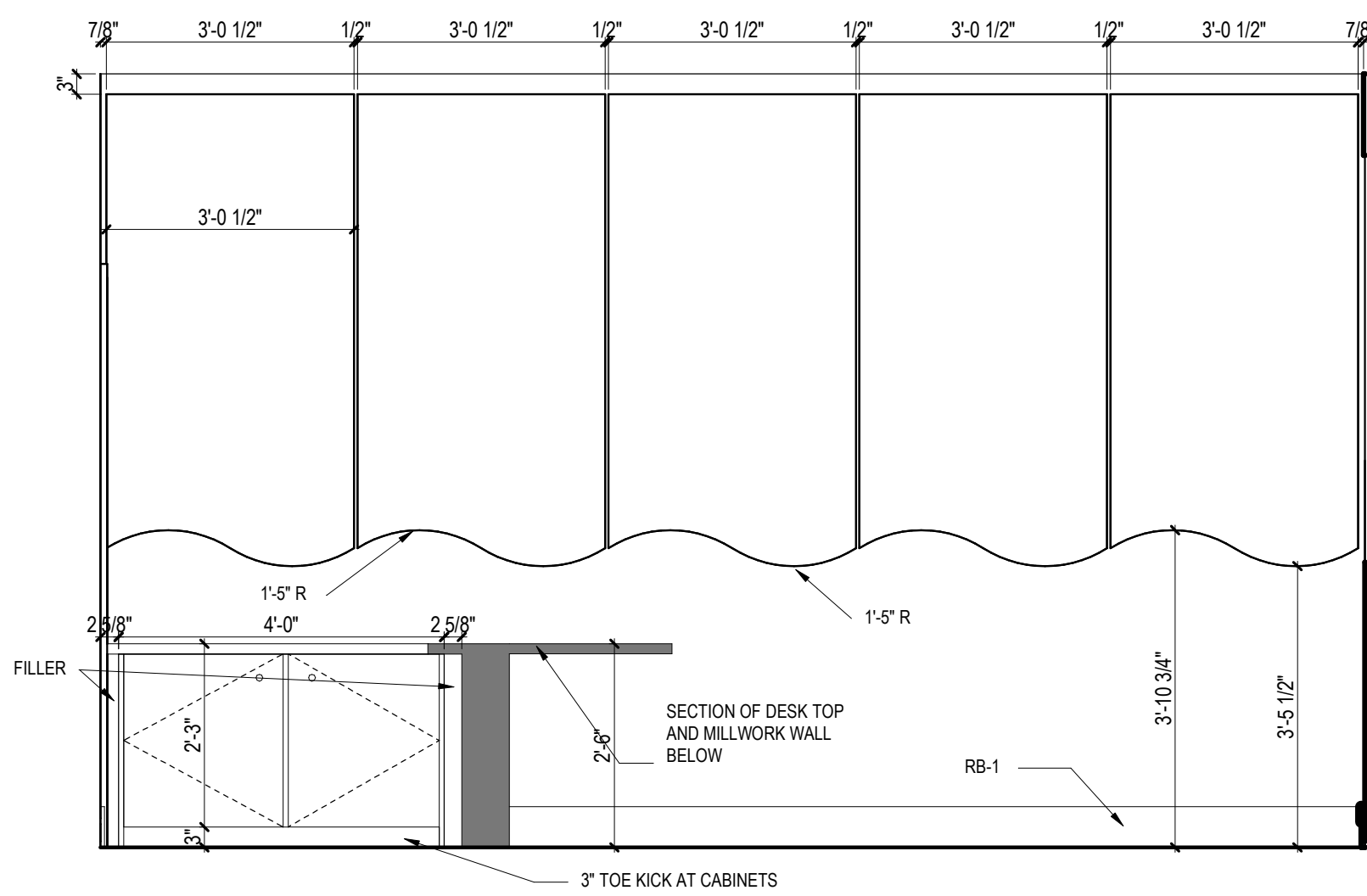
10 RECEPTION DESK SECTION B
1" = 1'-0"



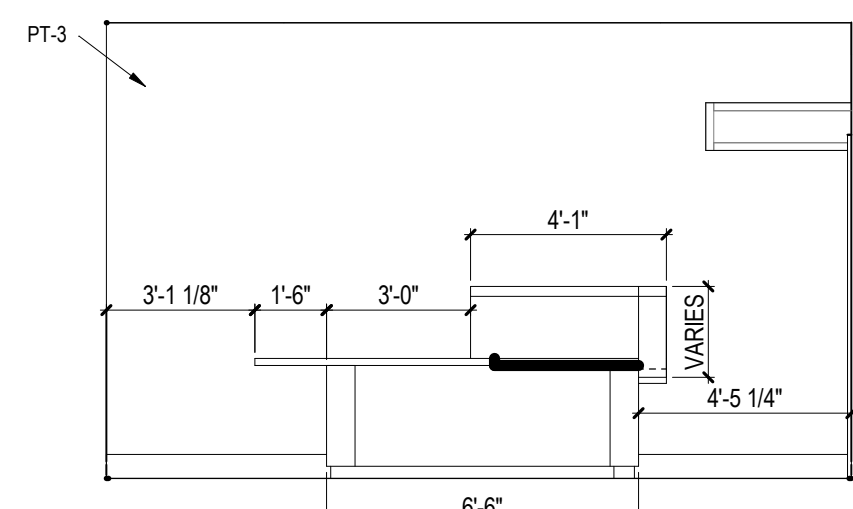
11 RECEPTION DESK COUNTERTOP DETAIL
1" = 1'-0"



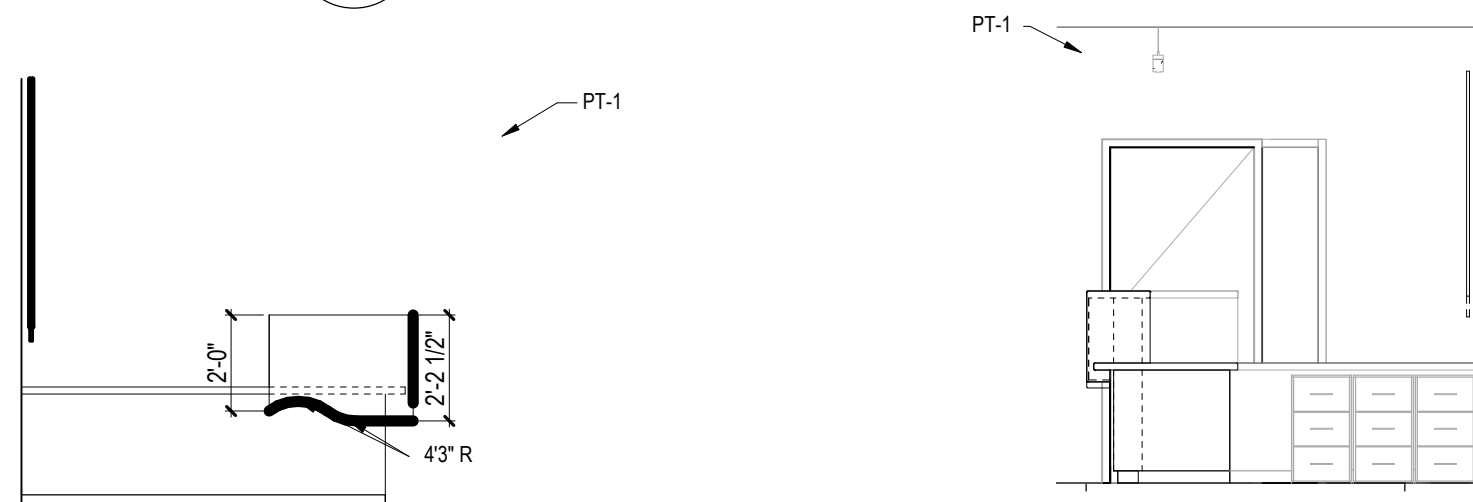
4 RECEPTION DESK NORTH ELEVATION
1/2" = 1'-0"



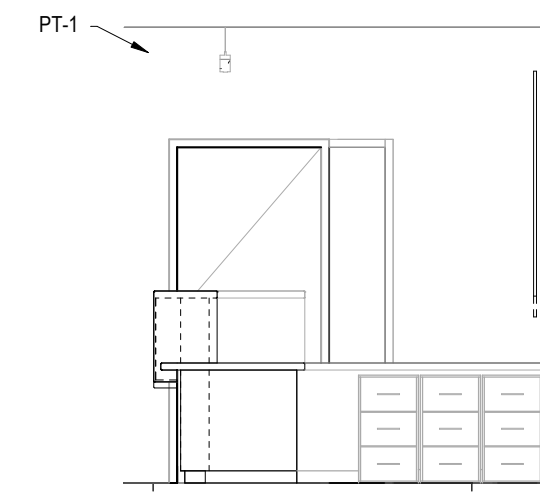
5 RECEPTION - NORTH
1/2" = 1'-0"



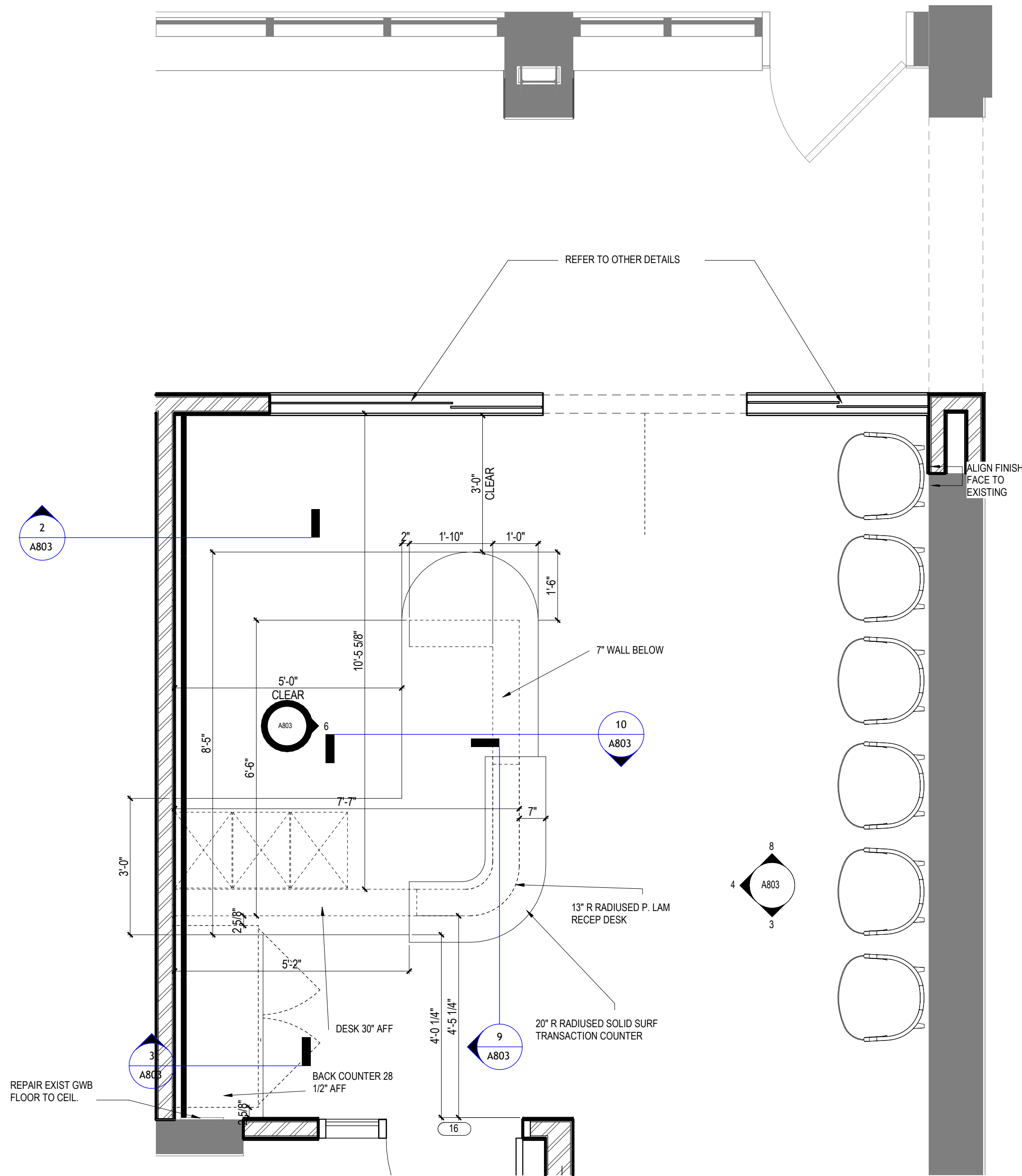
6 RECEPTION DESK SOUTH ELEVATION
1/4" = 1'-0"



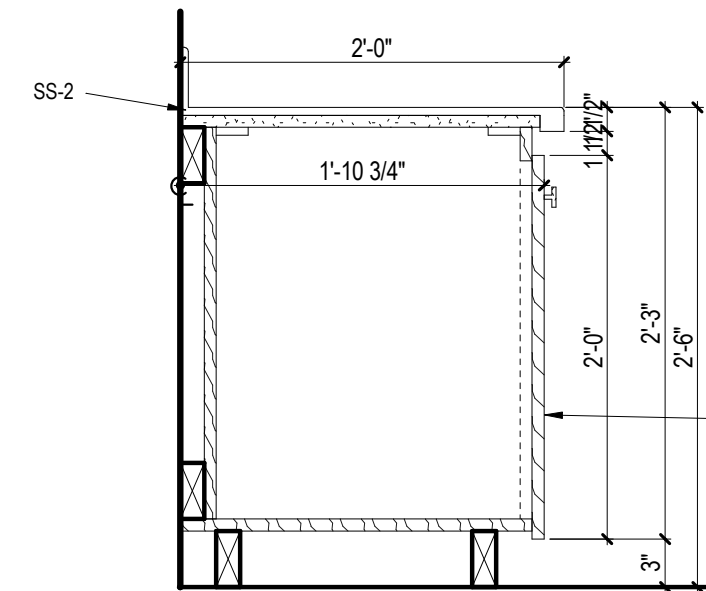
8 RECEPTION DESK EAST ELEVATION
1/4" = 1'-0"



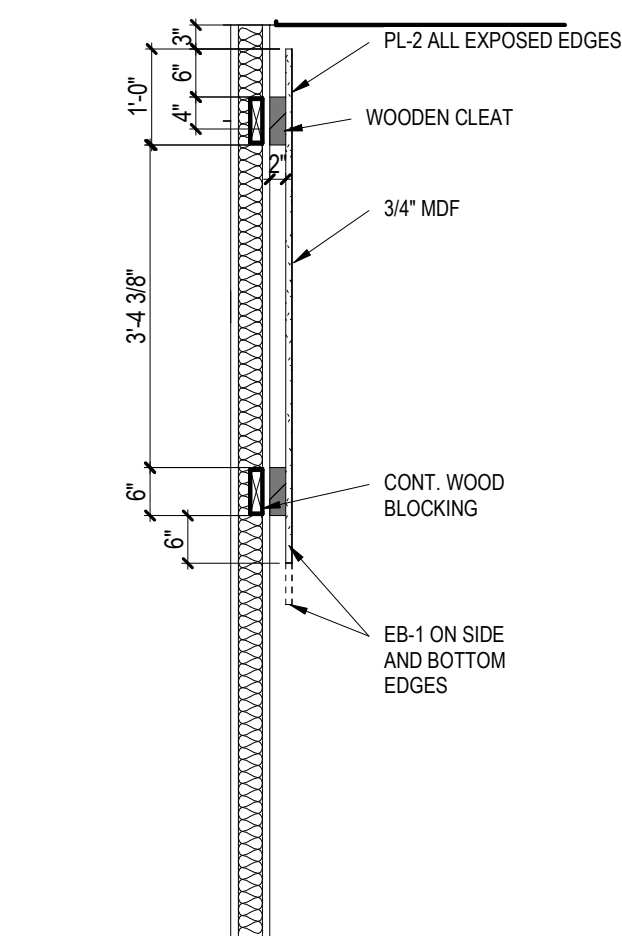
7 RECEPTION DESK WEST ELEVATION
1/4" = 1'-0"



1 CUSTOM RECEPTION DESK CALLOUT
1/2" = 1'-0"



3 CUSTOM STORAGE
1" = 1'-0"



2 Section 10
1/2" = 1'-0"



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Project: OFFICE
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2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

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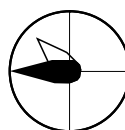
Project Number: 25042

Sheet Title: RECEPTION DESK
INFORMATION

Sheet Number:

A803

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1

PROPOSED FURNITURE PLAN

1/8" = 1'-0"



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Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

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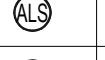
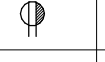
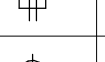
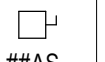
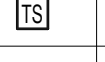
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Project Number: 25042
Sheet Title: **PROPOSED
FURNITURE PLAN**

Sheet Number: **A851**

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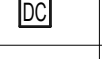
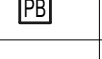
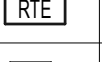
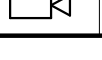
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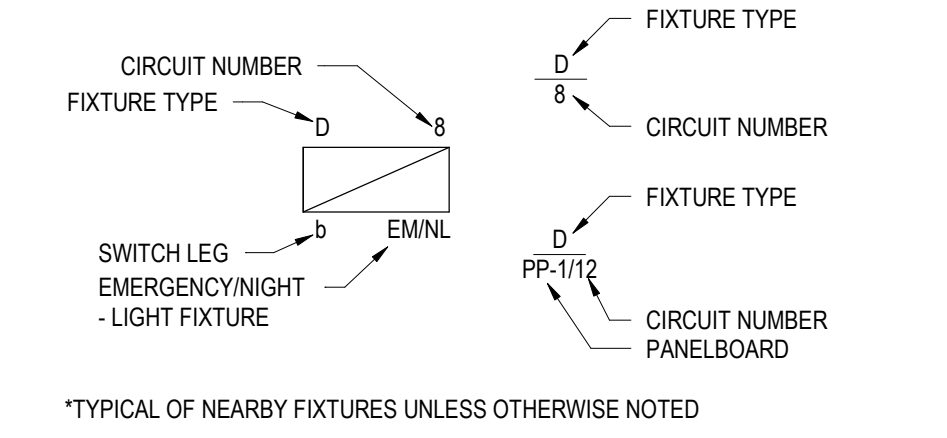
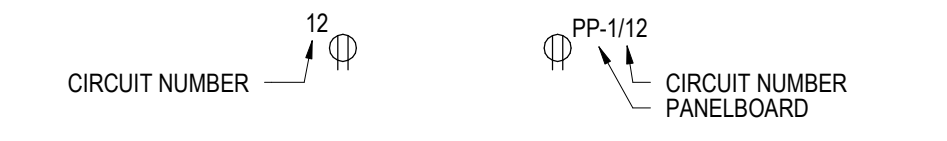
AFF	ABOVE FINISHED FLOOR
A	AMPERE
AIC	ASYMMETRIC INTERRUPTING CAPACITY
AL	ALUMINUM
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
BKR	BREAKER
C	CONDUIT
CLG	CEILING
CKT	CIRCUIT
CU	COPPER
DIA	DIAMETER
DN	DOWN
EA	EACH
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
EMER	EMERGENCY
ETR	EXISTING TO REMAIN
F	FUSED
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FTL	FEED THRU LUGS
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
HP	HORSEPOWER
K	MULTIPLE OF 1000
JB	JUNCTION BOX
LG	LIGHTING
LV	LOW VOLTAGE
MAX	MAXIMUM
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MIN	MINIMUM
MLO	MAIN LUG ONLY
MTG HT	MOUNTING HEIGHT
NL	NIGHT LIGHT
NEC	NATIONAL ELECTRICAL CODE
NF	NON-FUSED
NTS	NOT TO SCALE
OC	OVER-COUNTER - EC TO VERIFY HEIGHT OF COUNTER TOP
OCP	OVERCURRENT PROTECTION
P	POLE
PH	PHASE
PNL	PANEL
PRI	PRIMARY
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
UC	UNDER-CABINET
V	VOLT
VIF	VERIFY IN FIELD
W	WATT
WG	WIREGUARD
WP	WEATHERPROOF
XFMR	TRANSFORMER

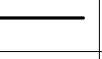
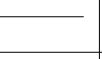
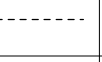
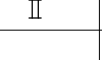
DEVICES	
SYMBOL	DESCRIPTION
	WALL - SWITCH OCCUPANCY SENSOR SUBSCRIPTS DENOTE TYPE: PIR - PASSIVE INFRARED US - ULTRASONIC D - 0-10V DIMMER DT - DUAL-TECHNOLOGY
	CEILING MOUNTED OCCUPANCY SENSOR SUBSCRIPTS DENOTE TYPE: PIR - PASSIVE INFRARED US - ULTRASONIC USC - ULTRASONIC CORRIDOR COVERAGE DT - DUAL-TECHNOLOGY
	SWITCH PACK FOR OCCUPANCY SENSORS
	LIGHTING ROOM CONTROLLER
	AMBIENT LIGHT SENSOR
	PHOTOCELL
	TOGGLE SWITCH SUBSCRIPTS DENOTE TYPE: 2 - TWO POLE SWITCH 3 - THREE WAY SWITCH 4 - FOUR WAY SWITCH LV - LOW VOLTAGE SWITCH K - KEY OPERATED SWITCH KP - DIMMING KEYPAD/SCENE CONTROLLER T - MOTOR-RATED SWITCH D - DIMMER CONTROL WP - WEATHER PROOF ROMAN NUMERALS INDICATE GANGED SWITCHES LETTERS (a,b,c) INDICATE SWITCH LEGS
	DUPLEX RECEPTACLE - 125V, 20A SUBSCRIPTS DENOTE TYPE: CH - INTEGRAL USB CHARGER GFI - GROUND FAULT CIRCUIT INTERRUPTER GFI-P - CONNECTED TO GFCI CIRCUIT BREAKER OC - OVER COUNTER TVSS - TRANSIENT VOLTAGE SURGE SUPPRESSOR UC - UNDER COUNTER WP - WEATHER PROOF WHILE-IN-USE WR - WEATHER-RESISTANT TR - TAMPER RESISTANT
	SPLIT-WIRED DUPLEX RECEPTACLE (HALF-SWITCHED)
	CEILING-MOUNTED RECEPTACLE
	DOUBLE DUPLEX RECEPTACLE
	SURFACE-MOUNTED DUPLEX RECEPTACLE
	DISCONNECT SWITCH SUBSCRIPTS DENOTE RATINGS: ##AS - AMPERE RATING OF SWITCH ##AF - AMPERE RATING OF FUSE NF - NON-FUSED
	EQUIPMENT RECEPTACLE - REFER TO NOTE FOR CONFIGURATION
	JUNCTION BOX
	TIME SWITCH
	MOTOR CONNECTION
	RECESSED FLOOR BOX WITH POWER AND LOW VOLTAGE COMPARTMENTS
	DATA OUTLET WITH (1) RJ-45 JACK IN 4" SQUARE OUTLET BOX WITH 3/4" CONDUIT STUBBED TO ABOVE ACCESSIBLE CEILING. PROVIDE (1) CAT-6 CABLE TO PATCH PANEL IN SERVER ROOM.
	COMBINATION POWER/LOW-VOLTAGE BOX FOR WALL-MOUNTED TV WITH (1) DUPLEX TVSS RECEPTACLE, (1) CAT-6 CABLE AND (1) RG-6 CABLE TO NEAREST DATA ROOM. REFER TO DRAWING NOTES FOR ALTERNATE REQUIREMENTS
	WIRELESS ACCESS POINT PROVISION.

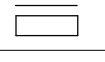
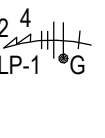
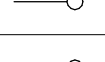
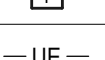
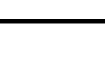
MECHANICAL EQUIPMENT CONNECTION SCHEDULE											
EQUIP. NO.	EQUIPMENT DESCRIPTION	LOCATION	VOLTAGE	PHASE	AMPS	WIRE SIZE	GND SIZE	CONDUIT SIZE	PANEL	CIRCUIT BREAKER	REMARKS
UH-1	CABINET UNIT HEATER	VESTIBULE	120	1	0.7	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
UH-2	CABINET UNIT HEATER	OPEN WORKSTATIONS 18	120	1	0.7	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
UH-3	CABINET UNIT HEATER	PASSAGEWAY	120	1	0.7	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-1	CABINET UNIT HEATER	EXEC. OFFICE 5	120	1	1	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-2	CABINET UNIT HEATER	EXEC. OFFICE 6	120	1	1	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-3	CABINET UNIT HEATER	EXEC. OFFICE 7	120	1	1	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-4	CABINET UNIT HEATER	EXEC. OFFICE 8	120	1	1	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-5	CABINET UNIT HEATER	RECEPTION	120	1	1	#12 AWG	#12 AWG	3/4"	LP-2.3	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-6	CABINET UNIT HEATER	OFFICE 31	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-7	CABINET UNIT HEATER	OFFICE 30	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-8	CABINET UNIT HEATER	OFFICE 29	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-9	CABINET UNIT HEATER	OFFICE 28	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-10	CABINET UNIT HEATER	OFFICE 27	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-11	CABINET UNIT HEATER	OFFICE 26	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-12	CABINET UNIT HEATER	OFFICE 25	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-13	CABINET UNIT HEATER	OFFICE 24	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-14	CABINET UNIT HEATER	OFFICE 23	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-15	CABINET UNIT HEATER	OFFICE 22	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-16	CABINET UNIT HEATER	OFFICE 21	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-17	CABINET UNIT HEATER	OFFICE 37	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-18	CABINET UNIT HEATER	OFFICE 36	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT
VAV-19	CABINET UNIT HEATER	OFFICE 36	120	1	1	#12 AWG	#12 AWG	3/4"	LP-X	1P15A	PROVIDE 1P15A TOGGLE DISCONNECT

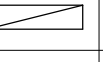
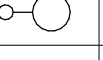
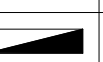
FIRE ALARM	
SYMBOL	DESCRIPTION
	MANUAL PULLSTATION PROVISION
	FIRE ALARM NOTIFICATION DEVICE PROVISION

SECURITY / ACCESS CONTROL	
SYMBOL	DESCRIPTION
	RACEWAY/BOX PROVISION FOR CARD/PROXIMITY READER
	RACEWAY/BOX PROVISION FOR ELECTRIC LATCH/STRIKE
	RACEWAY/BOX PROVISION FOR DOOR CONTACT
	RACEWAY/BOX PROVISION FOR PUSHBUTTON
	RACEWAY/BOX PROVISION FOR REQUEST TO EXIT SENSOR
	SECURITY CAMERA PROVISION

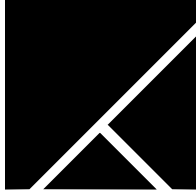
BRANCH CIRCUIT IDENTIFICATION	
	*TYPICAL OF NEARBY FIXTURES UNLESS OTHERWISE NOTED
	

GENERAL	
DEVICES	DESCRIPTION
	HEAVY LINEWEIGHT DENOTES NEW DEVICE, EQUIPMENT, OR CONNECTION
	LIGHT LINEWEIGHT DENOTES EXISTING DEVICE, EQUIPMENT, OR CONNECTION TO REMAIN
	BROKEN LIGHT LINEWEIGHT DENOTES EXISTING DEVICE, EQUIPMENT, OR CONNECTION TO BE REMOVED
	ROMAN NUMERALS INDICATE NUMBER OF DEVICES
MOUNTING HEIGHTS	
DEVICES	MOUNTING HEIGHT
RECEPTACLES	18" AFF
EXTERIOR RECEPTACLES	24" AFF
SWITCHES	44" AFF
DATA/TELCOM OUTLETS	18" AFF
FIRE ALARM MANUAL PULLSTATIONS	44" AFF
RESIDENTIAL LOAD CENTERS	TOP AT 60" AFF
FIRE ALARM VISUAL NOTIFICATION DEVICE	ENTIRE LENS BTW 80"-96" AFF
MOUNTING HEIGHTS OF DEVICES TO THE CENTER OF DEVICE AS INDICATED, UNLESS OTHERWISE NOTED	

DISTRIBUTION / BRANCH WIRING	
SYMBOL	DESCRIPTION
	PANELBOARD/LOAD CENTER - REFER TO PANELBOARD SCHEDULE
	HOMERUN TO PANELBOARD - ARROW HEADS INDICATE NUMBER OF POLES. TEXT ADJACENT TO ARROW HEADS INDICATES PANELBOARD AND CIRCUIT DESIGNATIONS. SLASHES INDICATE CURRENT CARRYING CONDUCTORS. SLASH WITH DOT INDICATES GROUNDING CONDUCTOR. SLASH WITH G INDICATES ISOLATED GROUND CONDUCTOR.
	RACEWAY OR CABLE WITH CONDUCTORS AS NOTED
	CONDUIT OR CABLE UP
	CONDUIT OR CABLE DOWN
	TRANSFORMER
	UNDERGROUND ELECTRICAL CONDUIT

LIGHTING	
SYMBOL	DESCRIPTION
	LIGHTING FIXTURE AND OUTLET BOX
	CEILING LIGHTING FIXTURE AND OUTLET BOX
	WALL-MOUNTED LIGHTING FIXTURE AND OUTLET BOX
	POLE-MOUNTED SITE LIGHT
	SHADING/EM DENOTES EMERGENCY FIXTURE - FIXTURE TO BE PROVIDED WITH BATTERY BACKUP
	SHADING/NL DENOTES NIGHT-LIGHT FIXTURE - FIXTURE TO BE UNSWITCHED
	EXIT SIGN - SOLID QUADRANT DENOTES DIRECTIONAL ARROWS AND LINE DENOTES PANELS/FACES

LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER & CAT. No.	LAMP(S)	BALLAST/VOLT.	MOUNTING	NOTES
L1-4	4"W x 5"H x 4"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DS-C-575D-8-40-4F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 4000K 80CRI	MULTIVOLT	SURFACE	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURES MARKED EM
L1-8	4"W x 5"H x 8"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DS-C-575D-8-40-8F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 4000K 80CRI	MULTIVOLT	SURFACE	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURES MARKED EM
L1-12	4"W x 5"H x 12"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DS-C-575D-8-40-12F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 4000K 80CRI	MULTIVOLT	SURFACE	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURES MARKED EM
L1-28	4"W x 5"H x 28"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DS-C-575D-8-40-28F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 4000K 80CRI	MULTIVOLT	SURFACE	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURE SECTIONS MARKED EM
L2-8	4"W x 5"H x 8"L DIRECT/INDIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-8F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	
L2-16	4"W x 5"H x 16"L DIRECT/INDIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-16F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	
L2-28	4"W x 5"H x 28"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-12F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURE SECTIONS MARKED EM
L2-36	4"W x 5"H x 36"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-36F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURE SECTIONS MARKED EM
L2-40	4"W x 5"H x 40"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-40F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURE SECTIONS MARKED EM
L2-48	4"W x 5"H x 48"L DIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIP-C-575D-365U-8-40-48F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 365 LM/FT UP 4000K 80CRI	MULTIVOLT	PENDANT	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURE SECTIONS MARKED EM
L3-2	4"W x 5"H x 2'L DIRECT/INDIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING S124DIW-C-575D-470U-8-40-2F0-1-U-DD-F-W OR APPROVED EQUAL	LED 575 LM/FT DOWN 470 LM/FT UP 4000K 80CRI	MULTIVOLT	WALL-MOUNTED	
L3-8	4"W x 5"H x 8"L DIRECT/INDIRECT LINEAR LED FIXTURE WITH EXTRUDED ALUMINUM HOUSING, SATIN ACRYLIC LENS, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING ETO165449-S124DIW-C-175D-250U-8-40-8F0-1-U-DD-F-W OR APPROVED EQUAL	LED 175 LM/FT DOWN 250 LM/FT UP 4000K 80CRI	MULTIVOLT	WALL-MOUNTED	PROVIDE 14W EMERGENCY BATTERY PACK (B2) FOR FIXTURES MARKED EM
L4	2'x2' LED PANEL WITH 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING 22FP4240C OR APPROVED EQUAL	LED 4400 LUMENS 4000K 90CRI	MULTIVOLT	RECESSED IN CEILING GRID	
D1	6" ROUND RECESSED LED DOWNLIGHT WITH MEDIUM DISTRIBUTION TRIM, 0-10V DIMMING, AND FIVE YEAR WARRANTY	COOPER LIGHTING LD6C-05-90-40-D010-MD-0-LI OR APPROVED EQUAL	LED 500 LUMENS 4000K 90CRI	MULTIVOLT	RECESSED	
P1	6" ROUND DECORATIVE PENDANT WITH FROSTED GLASS GLOBE AND FIVE YEAR WARRANTY	BICYCLE LIGHTING GLACIAL 763 SINGLE PENDANT OR APPROVED EQUAL	LED E-26 BULB	MULTIVOLT	RECESSED	PROVIDE 8W 4000K LED E-26 EDISON BULB ARCHITECT TO SELECT FINISH
X1	WHITE LED STRIP LIGHTING WITH ALUMINUM CHANNEL, DIFFUSER LENS, AND FIVE YEAR WARRANTY	WAC LIGHTING T24-GE2-24-40WT OR APPROVED EQUAL	LED 200LM/FT 4000K 90CRI	24V	RECESSED BEHIND DECORATIVE WALL PANEL	PROVIDE 24V POWER SUPPLY, ALUMINUM CHANNEL WITH DIFFUSER, AND ALL REQUIRED ACCESSORIES FOR A COMPLETE INSTALLATION
	LED EXIT SIGN WITH UV-STABILIZED THERMOPLASTIC HOUSING, NICKEL CADMIUM BATTERY, AND SELF DIAGNOSTICS	LITHONIA LIGHTING LQM-S-W-R-ELN-SD OR APPROVED EQUAL	LED	MULTIVOLT WITH BATTERY PACK	AS INDICATED ON DRAWINGS	PROVIDE FACES AND ARROWS AS INDICATED ON DRAWINGS
	LED WET LOCATION SINGLE REMOTE HEAD WITH IMPACT-RESISTANT THERMOPLASTIC HOUSING	LITHONIA LIGHTING ERE-GY-SL-WP-RD OR APPROVED EQUAL	LED	POWERED FROM EXIT SIGN	WALL MOUNTED	



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BUFFALO, NY 14220

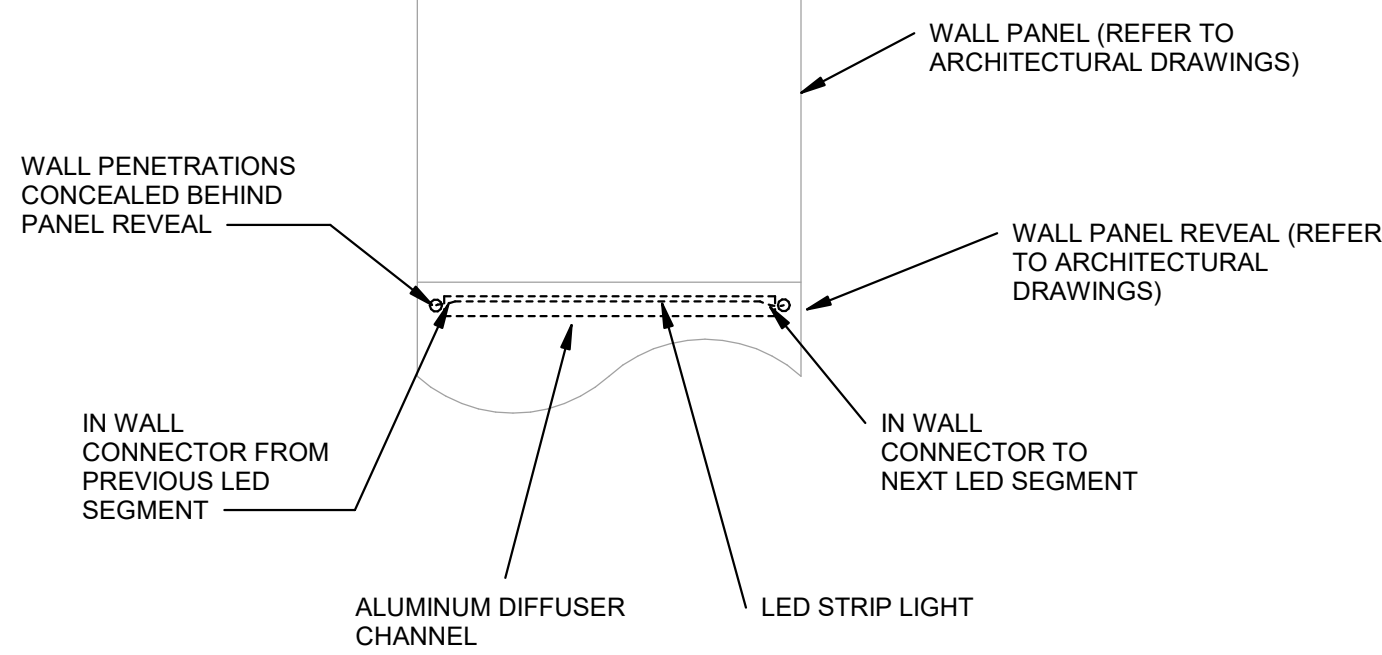
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Date: 11/6/2025

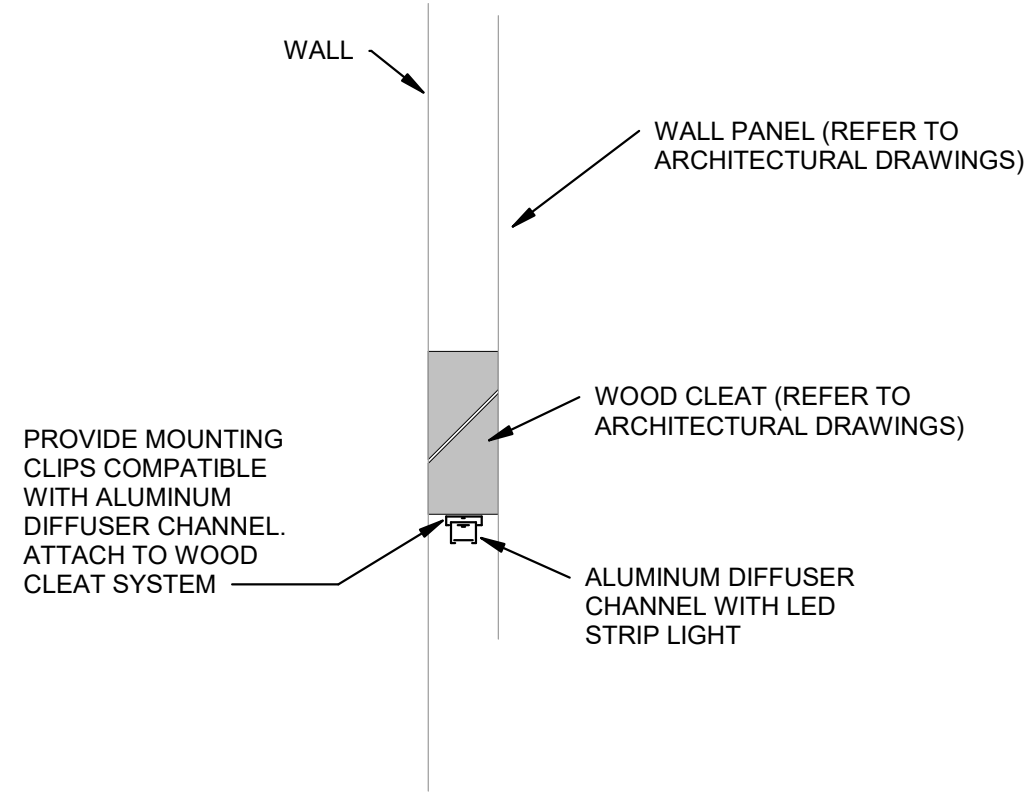
Project Number: 25042

Sheet Title: SYMBOL LEGEND, DETAILS & SCHEDULES

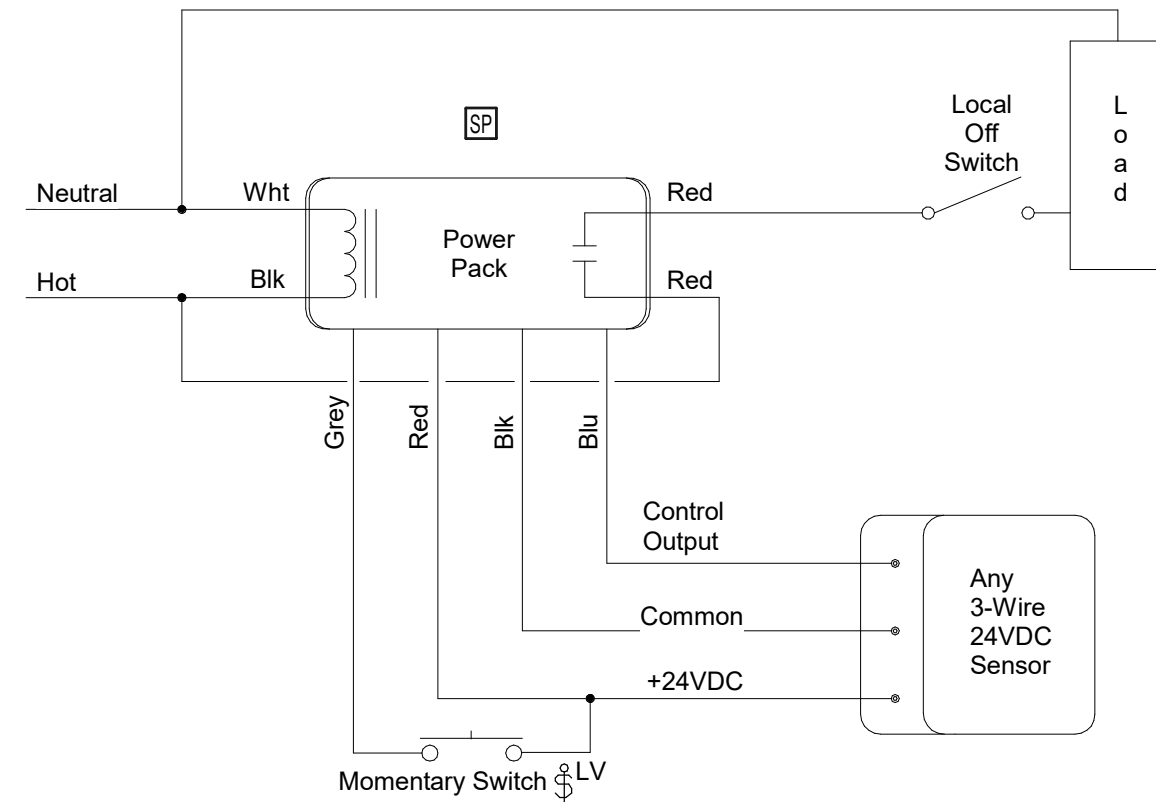
Sheet Number: E001



1 LED STRIP LIGHT MOUNTING DETAIL
NOT TO SCALE

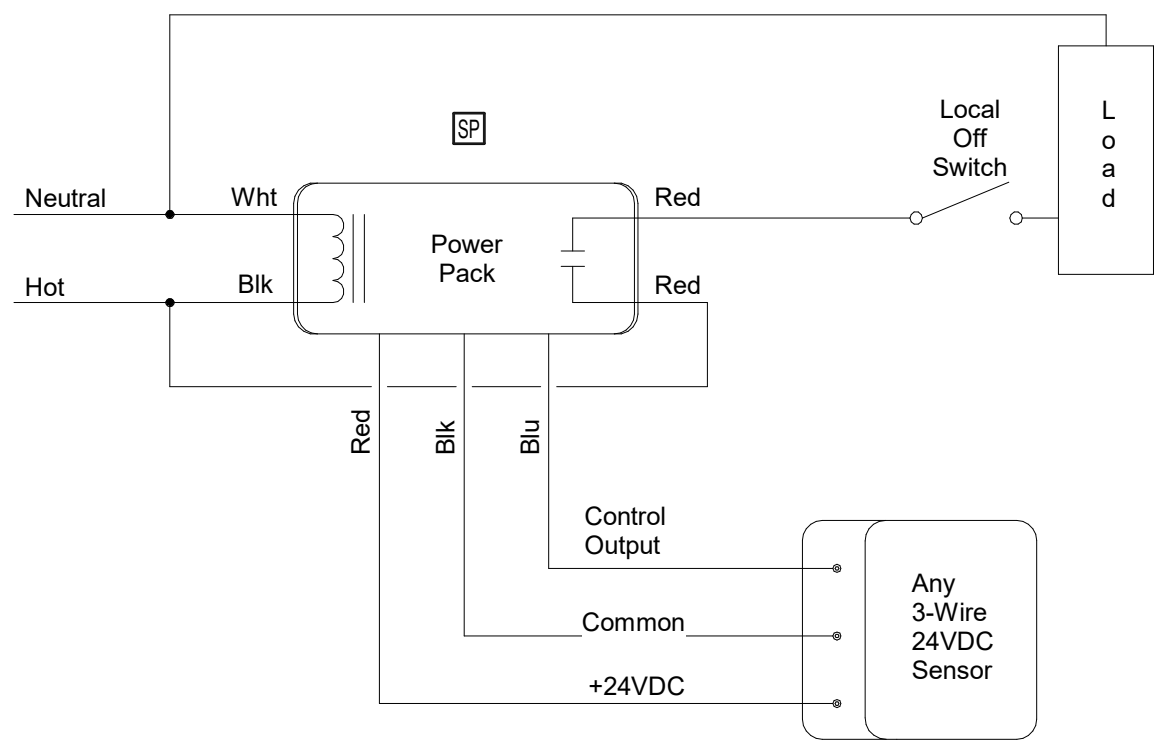


2 LED STRIP LIGHT MOUNTING DETAIL - SECTION
NOT TO SCALE



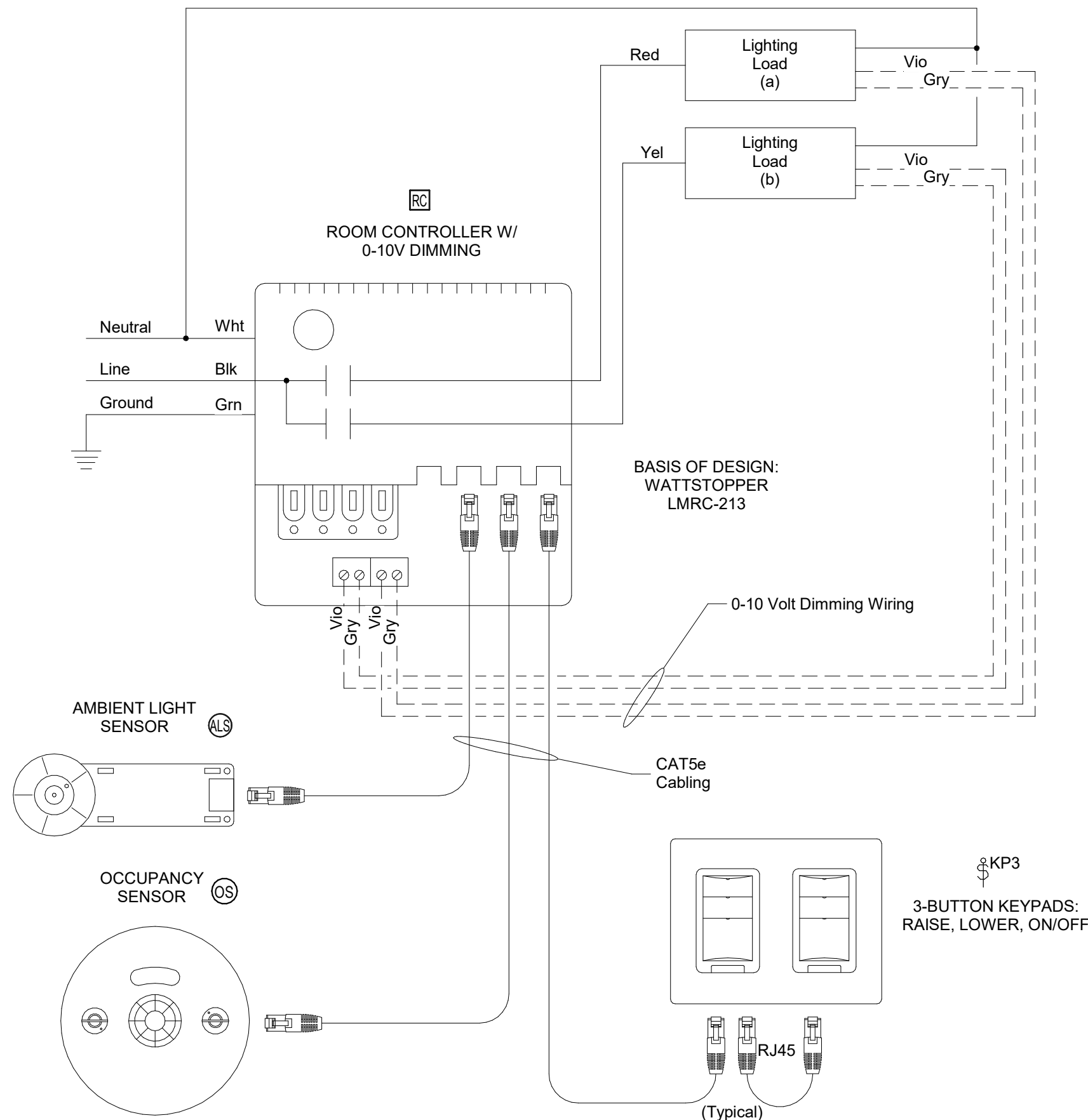
NOTES:
A. CONFIGURE FOR MANUAL ON OPERATION
B. TYPICAL FOR STORAGE ROOMS
C. POWER PACKS TO BE LOCATED ABOVE ACCESSIBLE CEILINGS

3 VACANCY SENSOR CONTROL WIRING DIAGRAM
NOT TO SCALE



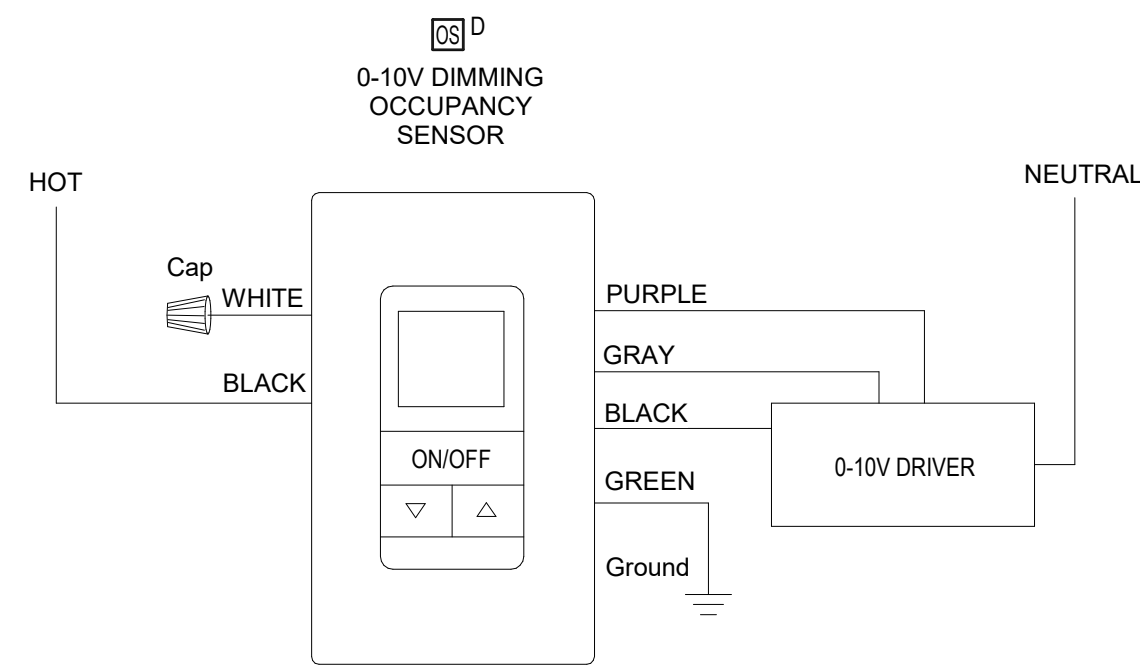
NOTES:
A. CONFIGURE FOR AUTOMATIC ON OPERATION
B. TYPICAL FOR RESTROOMS, VESTIBULE, AND SPACES WHERE DIMMING IS NOT REQUIRED
C. POWER PACKS TO BE LOCATED ABOVE ACCESSIBLE CEILINGS

4 OCCUPANCY SENSOR CONTROL WIRING DIAGRAM
NOT TO SCALE



NOTES:
A. CONFIGURE FOR AUTOMATIC ON OPERATION AT 50% BRIGHTNESS
B. PROVIDE KEYPADS AND SENSORS PER DRAWINGS
C. ROOM CONTROLLERS TO BE LOCATED ABOVE ACCESSIBLE CEILINGS
D. PROVIDE LABELS ON COVERPLATES AND BUTTONS INDICATION FUNCTION AND FIXTURES CONTROLLED

5 0-10V LIGHTING CONTROL WIRING DIAGRAM
1/8" = 1'-0"



NOTES:
A. CONFIGURE FOR AUTOMATIC ON OPERATION AT 50% BRIGHTNESS

6 0-10V DIMMING WALL OCCUPANCY SENSOR WIRING DIAGRAM
NOT TO SCALE



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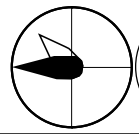
Project: OFFICE RENO AT
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AVE

Project Address: 2376 SOUTH PARK AVE
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Drawing History: # Date Description

Date: 11/6/2025
Project Number: 25042
Sheet Title: ELECTRICAL
DETAILS

Sheet Number: E002



1

FIRST FLOOR ELECTRICAL DEMOLITION PLAN

1/8" = 1'-0"

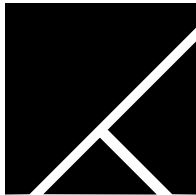


GENERAL ELECTRICAL DEMOLITION NOTES:

- A. DEMOLITION DRAWINGS ARE INTENDED TO PROVIDE AN APPROXIMATE SCOPE OF DEMOLITION WORK, AND DO NOT INDICATE ALL DEVICES, BOXES AND EQUIPMENT.
- B. THE CONTRACTOR SHALL MAINTAIN THE CONTINUITY OF DEVICES DOWNSTREAM OF THE SCHEDULED DEMOLITION.
- C. THE CONTRACTOR SHALL PERFORM ALL WORK TO THE 2017 EDITION OF THE NEC.
- D. THE CONTRACTOR SHALL PROVIDE TYPED, UPDATED PANELBOARD SCHEDULES INDICATING CHANGES MADE BY THIS PROJECT.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS.
- F. THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN TRADES AND SHALL REVIEW ALL TRADE DRAWINGS FOR COORDINATION PURPOSES.

ELECTRICAL DEMOLITION NOTES ④:

- DISCONNECT AND REMOVE ALL LIGHTING FIXTURES AND LIGHTING CONTROLS IN THIS AREA. MAINTAIN BRANCH CIRCUIT WIRING FOR REUSE. EXIT SIGNS AND ALL OTHER ELECTRICAL DEVICES EXISTING TO REMAIN.
- DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES IN THIS AREA INCLUDING LIGHTING FIXTURES, LIGHTING CONTROLS, RECEPTACLES, BLUE LIGHT EMERGENCY DEVICES, AND DATA JACKS. REMOVE BRANCH CIRCUIT WIRING BACK TO PANELBOARD. REMOVE DATA WIRING BACK TO NETWORK CLOSET.
- COORDINATE DEMOLITION WITH E+ E+ TO SALVAGE AV EQUIPMENT FOR REUSE. AFTER AV EQUIPMENT IS REMOVED, DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES IN AREA INCLUDING LIGHTING FIXTURES, LIGHTING CONTROLS, RECEPTACLES, BLUE LIGHT EMERGENCY DEVICES, AND DATA JACKS. REMOVE BRANCH CIRCUIT WIRING AND CONDUIT BACK TO PANELBOARD. REMOVE DATA WIRING BACK TO NETWORK CLOSET.
- CAMERAS TO BE SALVAGED FOR REUSE BY OWNERS SECURITY CONSULTANT. AFTER CAMERAS ARE REMOVED, REMOVE DATA WIRING BACK TO NETWORK CLOSET. REMOVE ANY EMPTY CONDUITS.
- DISCONNECT AND REMOVE ACCESS CONTROL DEVICES. RETURN DEVICES TO OWNER. DISCONNECT AND REMOVE ACCESS CONTROL WIRING.
- DISCONNECT AND REMOVE EXISTING BRANCH CIRCUIT RECEPTACLE. MAINTAIN DEVICE BOX, CONDUIT, AND BRANCH CIRCUIT WIRING FOR REINSTALLATION.
- DISCONNECT AND REMOVE EXISTING PANELBOARD. MAINTAIN PANELBOARD, FEEDER, AND BRANCH CIRCUIT WIRING FOR RELOCATION. PULL CONDUCTORS TO ABOVE CEILING TO FACILITATE WALL REMOVAL.



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Date: 11/6/2025

Project Number: 25042

Sheet Title: FIRST FLOOR
ELECTRICAL
DEMOLITION PLAN

Sheet Number:

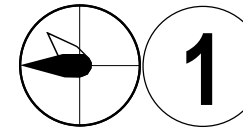
ED101

GENERAL ELECTRICAL NOTES:

- PROVIDE BRANCH CIRCUITING FOR ALL DEVICES SHOWN. BRANCH WIRING IS, IN GENERAL, NOT SHOWN WITH THE FOLLOWING UNDERSTANDING: THE CONTRACTOR SHALL "CIRCUIT UP" ALL DEVICES SHOWN IN THE MOST EFFECTIVE ROUTING, BASED ON CONSTRUCTION CONDITIONS AND/OR RESTRICTIONS.
- THE USE OF EXPOSED RACEWAYS IN FINISHED AREAS IS NOT ACCEPTABLE UNLESS ALL OTHER METHODS OF RACEWAY CONCEALMENT HAVE BEEN EXHAUSTED. ALL CONDUIT/WIRE/CABLING SHALL BE RUN WITHIN THE CEILING AND WALL SPACES.
- THE CONTRACTOR SHALL PERFORM ALL WORK TO THE 2017 EDITION OF THE NEC.
- THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN TRADES, AND SHALL REVIEW TRADE DRAWINGS FOR COORDINATION PURPOSES.
- UNLESS OTHERWISE NOTED, ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG MINIMUM.
- CIRCUIT NUMBERS ON THIS DRAWING ARE FOR THE SOLE PURPOSE OF CLARIFICATION, AND ARE NOT INTENDED TO INDICATE THE POLE POSITION IN THE PANELBOARD. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL CONNECT ALL DEVICES TO AVAILABLE CIRCUITS IN DESIGNATED PANELBOARDS. REUSING EXISTING BRANCH CIRCUIT HOMERUNS WHERE PRACTICAL. THE CONTRACTOR SHALL INDICATE THE CORRECT CIRCUIT DESIGNATIONS ON A TYPED PANELBOARD SCHEDULE AND ON "AS BUILT" DRAWINGS.

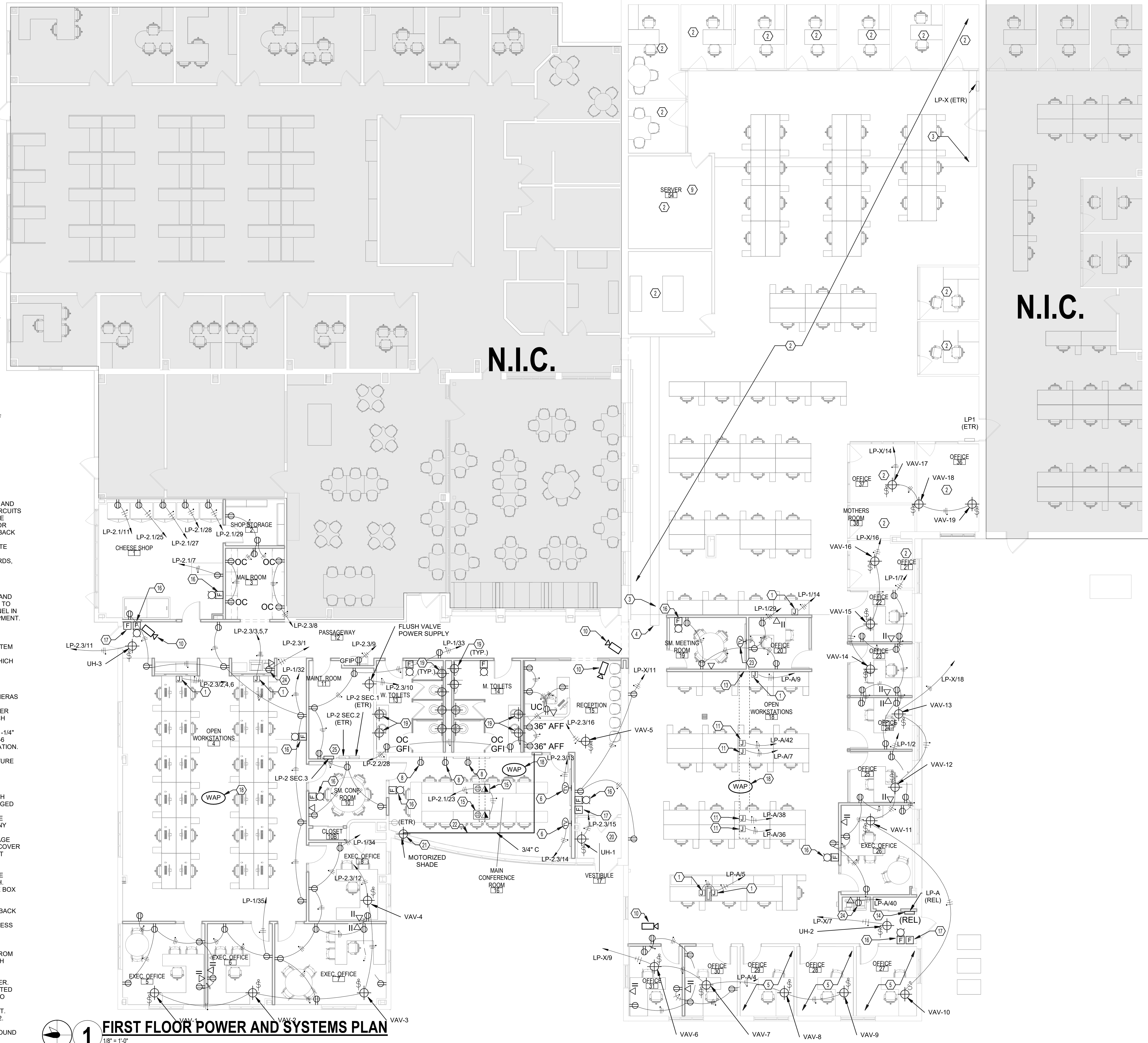
ELECTRICAL DRAWING NOTES:

- PROVIDE DUAL SERVICE WALL MOUNTED JUNCTION BOX FOR POWER AND DATA CONNECTION TO FURNITURE. PROVIDE NUMBER OF BRANCH CIRCUITS AS INDICATED ON DRAWINGS. PROVIDE 3/4" FMC THROUGH FURNITURE WIRING CHANNEL FOR EACH BRANCH CIRCUIT. PROVIDE 1-1/2" FMC FOR CAT-6 CABLE TO FURNITURE WIRING SPINE. EXTEND (1) CAT-6 CABLE BACK TO NETWORK CLOSET FOR EACH WORKSTATION. PROVIDE SUITABLE COVERPLATE. TRIM FURNITURE WIRE WHIP AS REQUIRED. COORDINATE REQUIREMENTS WITH FURNITURE INSTALLER.
- EXISTING RECEPTACLES, DEVICES, CONDUITS, FEEDERS, PANEL BOARDS, AND OTHER ELECTRICAL TO REMAIN.
- EXISTING CABLE TRAY TO REMAIN.
- VERIFY CABLE TRAY LENGTH IN FIELD.
- EXISTING RECEPTACLES AND DATA OUTLETS TO REMAIN.
- PROVIDE RECESSED BOX AT 5" AFF WITH DUPLEX TVSS RECEPTACLE AND LOW VOLTAGE COMPARTMENT. PROVIDE 1-1/2" CONDUIT INSIDE WALL TO ABOVE CEILING GRID. PROVIDE (2) CAT-6 CABLES BACK TO PATCH PANEL IN SERVER ROOM. E+ TO REINSTALL SALVAGED CONFERENCE AV EQUIPMENT. COORDINATE REQUIREMENTS WITH E+.
- DUAL CHANNEL UNDER CARPET RACEWAY. PROVIDE ALL REQUIRED ADAPTERS, FITTINGS, WALL AND DEVICE BOX TERMINATIONS FOR A COMPLETE INSTALLATION. BASIS OF DESIGN: CONNECTRAC FLEX SYSTEM. PROVIDE NEW RECEPTACLE IN EXISTING DEVICE BOX. CONNECT TO EXISTING BRANCH CIRCUIT WIRING. EXTEND/REWORK AND WIRING WHICH MAY BE DAMAGED OR INADEQUATE LENGTH.
- PROVIDE (2) 48-PORT PATCH PANELS IN EXISTING SERVER RACK. PROVISION FOR CAMERA. PROVIDE (1) CAT-6 CABLE FOR CAMERA TO SECURITY EQUIPMENT DATA RACK. WITH 5' SERVICE LOOP ABOVE ACCESSIBLE CEILING. COORDINATE LOCATION AND QUANTITY OF CAMERAS WITH OWNER'S SECURITY VENDOR.
- PROVIDE DUAL SERVICE RECESSED FLOOR BOX IN TRENCH FOR POWER AND DATA CONNECTION TO FURNITURE. PROVIDE NUMBER OF BRANCH CIRCUITS AS INDICATED ON DRAWINGS. PROVIDE 3/4" FMC THROUGH FURNITURE WIRING CHANNEL FOR EACH BRANCH CIRCUIT. PROVIDE 1-1/4" FMC FOR CAT-6 CABLE TO FURNITURE WIRING SPINE. EXTEND (1) CAT-6 CABLE BACK TO PATCH PANEL IN SERVER ROOM FOR EACH WORKSTATION. TRIM FURNITURE WIRE WHIP AS REQUIRED. PROVIDE DUAL SERVICE FURNITURE FEED COVER. COORDINATE REQUIREMENTS WITH FURNITURE INSTALLER. BASIS OF DESIGN: WIREMOLD RATCHET-PRO SERIES.
- NOT USED.
- ROUTE ALL CONDUCTORS FROM FLOOR TRENCH UP THROUGH WALL. PROVIDE SUITABLE WALL TERMINATION.
- REINSTALL EXISTING PANELBOARD. RECONNECT FEEDER AND BRANCH CIRCUITS. EXTEND/REWORK ANY CONDUCTORS WHICH MAY BE DAMAGED OR INADEQUATE LENGTH.
- PROVIDE DUAL SERVICE ROUND CONCRETE FLOOR BOX. COORDINATE LOCATIONS WITH OWNER. MAINTAIN MINIMUM 6" CLEARANCE FROM ANY WALL. PROVIDE (2) CAT-6 CABLES TO PATCH PANEL IN SERVER ROOM. PROVIDE 1-1/2" CONDUIT WITH NYLON PULL STRING FROM LOW VOLTAGE COMPARTMENT TO ABOVE ACCESSIBLE CEILING. PROVIDE SUITABLE COVER PLATE WITH DUPLEX RECEPTACLE AND LOW VOLTAGE COMPARTMENT. BASIS OF DESIGN: WIREMOLD RATCHET-PRO SERIES.
- PROVISION FOR FUTURE FIRE ALARM NOTIFICATION DEVICE. PROVIDE DEVICE BOX AT 8" AFF. PROVIDE 3/4" CONDUIT TO ABOVE ACCESSIBLE CEILING. PROVIDE DECORATIVE COVER PLATE TO MATCH WALL FINISH. PROVISION FOR FUTURE FIRE ALARM PULL STATION. PROVIDE DEVICE BOX AT 44" AFF. PROVIDE 3/4" CONDUIT TO ABOVE ACCESSIBLE CEILING. PROVIDE DECORATIVE COVER PLATE TO MATCH WALL FINISH.
- PROVISION FOR WIRELESS ACCESS POINT. PROVIDE (1) CAT-6 CABLE BACK TO PATCH PANEL IN SERVER ROOM. WITH 5' SERVICE LOOP ABOVE ACCESSIBLE CEILING. COORDINATE LOCATION AND QUANTITY OF ACCESS POINTS WITH OWNER.
- PROVIDE 3/4" CONDUIT FROM POWER SUPPLY IN MAINT. STORAGE. EXISTING ACCESS CONTROLS TO REMAIN.
- POWER FOR MOTORIZED SHADE. EXTEND BRANCH CIRCUIT WIRING FROM RECEPTACLE ON ADJACENT WALL. COORDINATE REQUIREMENTS WITH SHADE MANUFACTURER.
- PROVIDE 3/4" CONDUIT FROM SHADE CONTROLLER TO WALL SWITCH LOCATION. COORDINATE REQUIREMENTS WITH SHADE MANUFACTURER.
- PROVIDE COMBINATION POWER/LOW-VOLTAGE BOX FOR WALL-MOUNTED TV WITH (1) DUPLEX TVSS RECEPTACLE, (1) CAT-6 CABLE EXTENDED TO PATCH PANEL IN SERVER ROOM, AND (1) HDMI CABLE TO FLOOR BOX. POWER FOR PRINTER/COPIER. COORDINATE WITH OWNER EQUIPMENT.
- PROVIDE NEW 3P255A 42-SPACE SUBPANEL FED FROM LP-2 SECTION 2. PROVIDE SUBFEED LUGS IN PANEL LP-2 SECTION 2. PROVIDE (1) 2-1/2" CONDUIT WITH (4) #4/0 AWG CU CONDUCTORS AND (1) #1 AWG CU GROUND BETWEEN LP-2 SECTION 2 AND LP-2 SECTION 3.



FIRST FLOOR POWER AND SYSTEMS PLAN

1/8" = 1'-0"



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Project: OFFICE RENO AT
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Drawing History: # Date Description

Date: 11/6/2025
Project Number: 25042
Sheet Title: FIRST FLOOR
POWER & SYSTEMS
PLAN

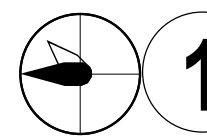
Sheet Number: E101

ELECTRICAL DRAWING NOTES:

- EXISTING LIGHTING, CONTROLS, AND CIRCUITING TO REMAIN CONFIGURE FOR MANUAL ON OPERATION.
- LOCATE SWITCHPACK ABOVE ACCESSIBLE CORRIDOR CEILING.
- COORDINATE FIXTURE LOCATION TO CENTER ON WALL WAVE PATTERN.
- REFER TO ARCHITECTURAL DRAWINGS.
- PROVIDE LED STRIP LIGHTING, ALUMINUM CHANNEL, AND DIFFUSER LENS. INSTALL STRIP LIGHTING CONCEALED BEHIND WALL PANEL REVEAL. CUT CHANNEL AND LIGHTING STRIP TO FIT BEHIND WALL PANEL. COORDINATE WITH ARCHITECTURAL DRAWINGS.
- PROVIDE IN-WALL CONNECTOR BETWEEN LED SEGMENTS. CONCEAL CONNECTOR AND WALL PENETRATION BEHIND WALL PANEL REVEAL.
- PROVIDE 24V LED STRIP LIGHT POWER SUPPLY WITH 0-10V DIMMING ABOVE
- PROVIDE 24V LED STRIP LIGHT POWER SUPPLY WITH 0-10V DIMMING ABOVE

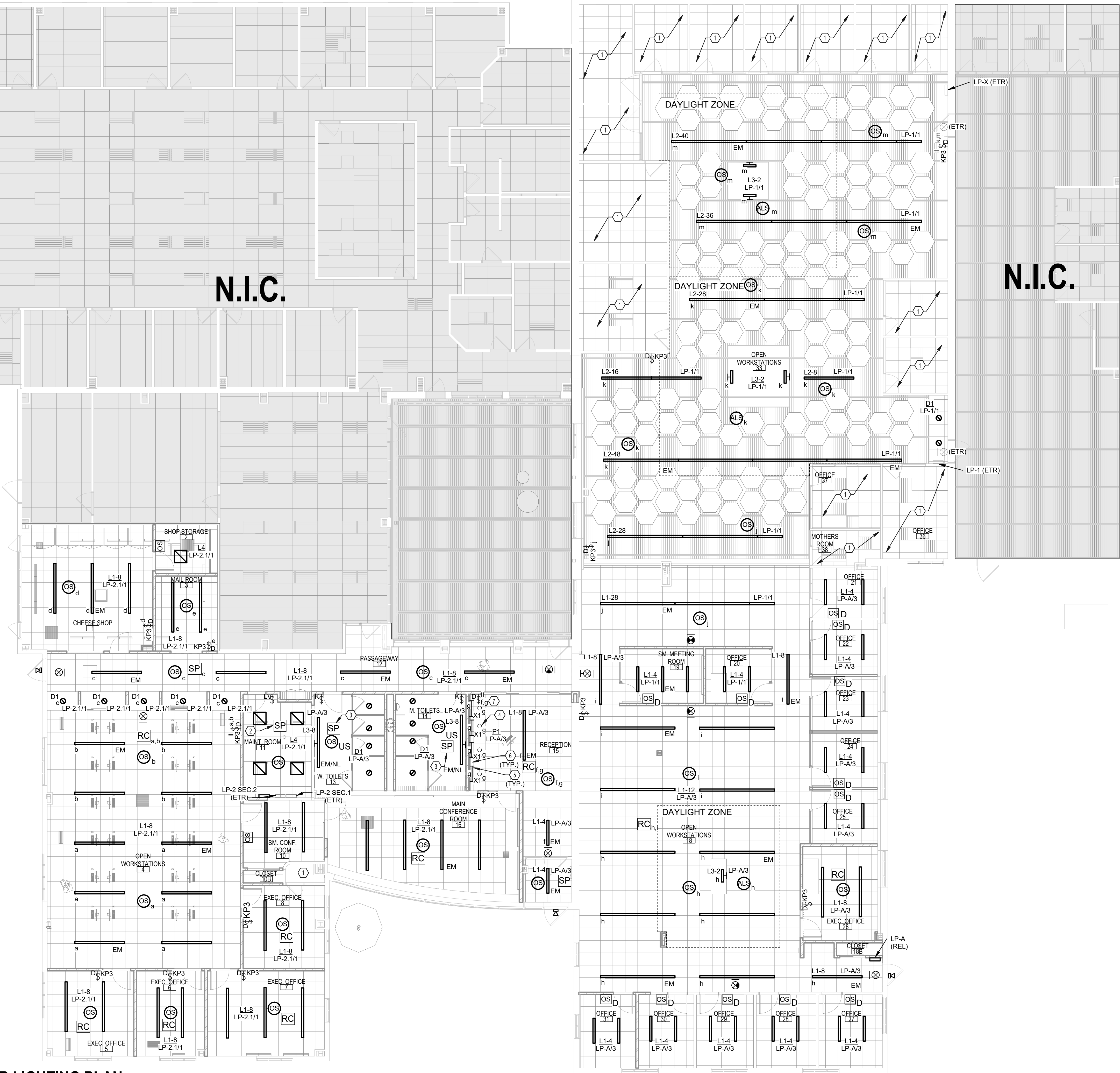
GENERAL ELECTRICAL NOTES:

- PROVIDE BRANCH CIRCUITING FOR ALL DEVICES SHOWN. BRANCH WIRING IS, IN GENERAL, NOT SHOWN WITH THE FOLLOWING UNDERSTANDING: THE CONTRACTOR SHALL "CIRCUIT UP" ALL DEVICES SHOWN IN THE MOST EFFECTIVE ROUTING, BASED ON CONSTRUCTION CONDITIONS AND/OR RESTRICTIONS.
- THE USE OF EXPOSED RACEWAYS IN FINISHED AREAS IS NOT ACCEPTABLE UNLESS ALL OTHER METHODS OF RACEWAY CONCEALMENT HAVE BEEN EXHAUSTED. ALL CONDUIT/WIRE/CABLING SHALL BE RUN WITHIN THE CEILING AND WALL SPACES.
- THE CONTRACTOR SHALL PERFORM ALL WORK TO THE 2017 EDITION OF THE NEC.
- THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN TRADES, AND SHALL REVIEW TRADE DRAWINGS FOR COORDINATION PURPOSES.
- UNLESS OTHERWISE NOTED, ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG MINIMUM
- CIRCUIT NUMBERS ON THIS DRAWING ARE FOR THE SOLE PURPOSE OF CLARIFICATION, AND ARE NOT INTENDED TO INDICATE THE POLE POSITION IN THE PANELBOARD. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL CONNECT ALL DEVICES TO AVAILABLE CIRCUITS IN DESIGNATED PANELBOARDS. THE CONTRACTOR SHALL INDICATE THE CORRECT CIRCUIT DESIGNATIONS ON A TYPED PANELBOARD SCHEDULE AND ON "AS BUILT" DRAWINGS.
- PROGRAM ALL LIGHTING CONTROLS PER 2020 NYS ENERGY CODE.
- CONNECT BATTERY EMERGENCY LIGHTS TO LINE (UNSWITCHED) SIDE OF NORMAL LIGHTING CIRCUITS.
- CONNECT FIXTURES TO EXISTING BRANCH CIRCUIT WIRING. EXTEND/REWORK EXISTING BRANCH CIRCUIT WIRING THAT MAY BE DAMAGED OR INADEQUATE LENGTH. CIRCUIT NUMBERS SHOWN FOR REFERENCE ONLY.



FIRST FLOOR LIGHTING PLAN

1/8" = 1'-0"



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Drawing History: # Date Description

Date: 11/6/2025

Project Number: 25042

Sheet Title: FIRST FLOOR
LIGHTING PLAN

Sheet Number:

E201

1 GENERAL NOTES:

1. THE WORK INCLUDED IN THIS CONTRACT ENCOMPASSES BOTH THE DRAWINGS AND SPECIFICATIONS. WORK INCLUDED ON THE DRAWINGS ONLY, OR IN THE SPECIFICATION ONLY, SHALL BE INCORPORATED AS IF INCLUDED IN BOTH.
2. THE WORK SHALL CONSIST OF PROVIDING ALL MATERIALS, LABOR, EQUIPMENT, AND APPARATUSES AND PERFORMING ALL OPERATIONS REQUIRED FOR INSTALLATION OF A COMPLETE ELECTRICAL SYSTEM.
3. EVERY ITEM OF WORK OR MINOR PIECE OF EQUIPMENT IS NOT SHOWN ON DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL COMPONENTS NECESSARY FOR A FULLY AND PROPERLY OPERATING SYSTEM IN ACCORDANCE WITH PROFESSIONAL PRACTICE OF THE TRADE.
4. THE CONTRACTOR SHALL PERSONALLY INSPECT THE SITE OF THE PROPOSED WORK AND BECOME FULLY INFORMED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. FAILURE TO DO SO WILL NOT BE CONSIDERED SUFFICIENT JUSTIFICATION TO REQUEST OR OBTAIN EXTRA COMPENSATION OVER AND ABOVE THE CONTRACT PRICE.
5. THE DRAWINGS INDICATE SIZE AND GENERAL ARRANGEMENT OF EQUIPMENT, RACEWAYS, DEVICES, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE START OF THE WORK AND AS THE WORK PROGRESSES.
6. THE DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN EQUIPMENT, AND RACEWAY LOCATIONS AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS.
7. THE DRAWINGS DETERMINE THE GENERAL INTENT OF THE PROJECT. THE CONTRACTOR SHALL PERSONALLY VISIT THE SITE OF THE PROPOSED WORK AND FULLY DETERMINE THE EXACT LOCATIONS OF EXISTING EQUIPMENT TO BE REUSED AND RELOCATED, AVAILABILITY OF EXISTING CIRCUIT BREAKERS IN EXISTING PANELBOARDS OR BUSDUCTS, QUANTITY AND LOCATION OF EXISTING DEVICES, ETC.
8. VERIFY EXISTING PANELBOARDS FOR SUFFICIENT CAPACITY AND POLE SPACE TO ACCOMMODATE PROJECT SCOPE. CONTACT OWNER WITH ANY PANELBOARD CONCERNS.
9. ALL MATERIALS AND APPARATUS SHALL BE NEW AND IN FIRST CLASS CONDITION. ALL MATERIALS AND EQUIPMENT SHALL BE OF COMMERCIAL SPECIFICATION GRADE IN QUALITY. MATERIAL AND EQUIPMENT SHALL BE STORED AND MAINTAINED IN CLEAN CONDITION, AND PROTECTED FROM WEATHER, MOISTURE, AND PHYSICAL DAMAGE.
10. ALL HOISTS, SCAFFOLDS, TOOLS, MACHINERY, EQUIPMENT, ETC. REQUIRED FOR PERFORMANCE OF THE ELECTRICAL WORK SHALL BE FURNISHED BY THE CONTRACTOR.
11. THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN TRADES AND SHALL REVIEW ALL TRADE DRAWINGS FOR COORDINATION PURPOSES.
12. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE NYS CODES AND STANDARDS. BUILDING PERMIT SHALL FOLLOW THE 2017 EDITION OF NATIONAL ELECTRICAL CODE.
13. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, AND/OR BONDS. OBTAIN LOCAL ELECTRICAL INSPECTION CERTIFICATE AND DELIVER TO OWNER.
14. PROVIDE PROPER LABELS FOR ELECTRIC SHOCK AND ARC-FLASH HAZARDS FOR ALL NEW PANELBOARDS AND DISCONNECT SWITCHES.
15. SUBMIT FOR APPROVAL SUBMITTALS AND SHOP DRAWINGS FOR ALL MAJOR EQUIPMENT.
16. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING OF FLOORS, WALLS, CEILING, ETC. AS REQUIRED TO INSTALL WORK UNDER THIS SECTION. CUTTING SHALL BE LIMITED TO THE LEAST EXTENT POSSIBLE. ALL PATCHING SHALL MATCH THE ORIGINAL MATERIAL, CONSTRUCTION, AND FINISHES. CUTTING AND PATCHING SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH SERVICES. PAINT ALL PATCHED AREAS TO MATCH EXISTING FINISH AND COLOR.
17. SEAL ALL MADE PENETRATIONS TO RESTORE THE FIRE AND SMOKE RATINGS OF WALLS, CEILINGS, ETC. TO MATCH EXISTING CONSTRUCTION.
18. ALL ROOF PENETRATIONS TO BE PROVIDED BY OTHERS.
19. MAINTAIN FIRE-RATING OF ALL CONSTRUCTION AFFECTED BY ELECTRICAL REMOVALS OR INSTALLATION WORK. INSTALL FIRESTOPPING AT ALL MADE PENETRATIONS AND OPENINGS TO MAINTAIN FIRE RATING OF WALL ASSEMBLIES. EXISTING CORRIDOR WALL ASSEMBLIES SHALL HAVE MINIMUM ONE-HOUR FIRE RATING UNLESS OTHERWISE NOTED. REFER TO A-SERIES DRAWINGS FOR FIRE RATING OF EXISTING WALLS.
20. PRIOR TO MAKING ANY CONCRETE FLOOR SLAB PENETRATIONS USE A "REBAR LOCATOR" TO LOCATE CONCRETE SLAB REINFORCING STEEL AND OTHER EMBEDMENTS. ADJUST LOCATIONS OF PENETRATIONS TO AVOID CUTTING OF SLAB REINFORCING STEEL AND EMBEDMENTS. WHERE CUTTING OF SLAB REF.
21. PRIOR TO RELOCATING EXISTING DEVICE(S), VERIFY PROPER FUNCTIONING OF DEVICE(S). REPORT ANY DEFECTIVE DEVICES. VERIFY PROPER FUNCTIONING OF DEVICE(S) AFTER RELOCATION.
22. DISPOSE OF REPLACED DEVICES.
23. ALL RACEWAY RUN UNDERGROUND, EXPOSED TO WEATHER, OR OTHER HAZARDOUS CONDITIONS SHALL BE RIGID METALLIC CONDUIT OR RIGID NONMETALLIC CONDUIT.
24. ALL OTHER RACEWAY MAY BE EMT WHERE ALLOWED BY CODE.
25. FINAL CONNECTIONS TO EACH MOTOR, TRANSFORMER, AND OTHER VIBRATING EQUIPMENT SHALL BE INSTALLED IN FLEXIBLE METALLIC CONDUIT.
26. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED AT WET LOCATIONS AND WHERE EXPOSED TO LIQUIDS OR VAPORS.
27. SURFACE RACEWAYS SHALL NOT BE USED UNLESS ALL OTHER METHODS OF RACEWAY CONCEALMENT HAVE BEEN EXHAUSTED AND THEN ONLY AFTER PRE-APPROVAL FROM THE ARCHITECT.
28. MINIMUM RACEWAY SIZE SHALL BE 3/4". RACEWAY SHALL BE INSTALLED CONCEALED ABOVE CEILINGS OR WITHIN WALLS OR FLOORS WHERE POSSIBLE. EXISTING RACEWAYS MAY BE REUSED WHERE IN GOOD CONDITION.
29. CONDUITS SHALL BE SECURELY FASTENED IN PLACE WITH APPROVED STRAPS, HANGERS, AND STEEL SUPPORTS AS REQUIRED.
30. PROVIDE BRANCH CIRCUITTING FOR ALL DEVICES SHOWN. BRANCH CIRCUIT ROUTING IS NOT SHOWN WITH THE FOLLOWING UNDERSTANDING: THE ELECTRICAL CONTRACTOR SHALL CIRCUIT UP ALL DEVICES SHOWN IN THE MOST COST EFFECTIVE ROUTING, BASED ON CONSTRUCTION CONDITIONS AND/OR RESTRICTIONS.
31. ALL WIRING SHALL HAVE COPPER CONDUCTORS WITH 600V THHN/THWN INSULATION. WIRING SHALL BE #12 AWG MINIMUM WITH THE EXCEPTION OF CONTROL WIRING. METAL CLAD CABLE, TYPE MC, MAY BE USED WHERE CONCEALED WITHIN BUILDING CONSTRUCTION. ALUMINUM CONDUCTORS ARE NOT PERMITTED.
32. ALL CIRCUITS SHALL HAVE AN INSULATED EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC.
33. VOLTAGE DROP IN BRANCH CIRCUITS SHALL NOT EXCEED 3%. INCREASE WIRE SIZES AS REQUIRED.
34. ALL CEILING MOUNTED DEVICES SHALL BE PROPERLY SUPPORTED FROM CEILING SLAB.
35. ALL TRANSFORMERS, RACEWAYS, AND EQUIPMENT WHICH REQUIRE GROUNDING SHALL BE EFFECTIVELY GROUNDED IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE.
36. PROVIDE BRANCH CIRCUIT PROTECTIVE DEVICES IN EXISTING PANELS TO MATCH EXISTING DEVICE TYPE AND INTERRUPTING RATING. NEW CIRCUIT BREAKERS FOR EXISTING PANELBOARDS MUST BE LISTED FOR USE WITH EXISTING EQUIPMENT.
37. ALL CIRCUIT BREAKERS MUST BE BOLT-ON TYPE. MULTI-POLE CIRCUIT BREAKERS MUST BE COMMON TRIP TYPE.
38. PROVIDE TYPEWRITTEN DIRECTORY IN EACH PANELBOARD AFFECTED BY THE WORK UNDER THIS CONTRACT.
39. INSTALL AND CONNECT ALL MOTOR CONTROLLERS FURNISHED BY HVAC CONTRACTOR.
40. FURNISH AND INSTALL FUSED OR NON-FUSED SAFETY SWITCHES WHERE REQUIRED BY CODE.
41. PROVIDE ALL SIMPLEX DUPLEX, GPOI AND SPECIAL RECEPTACLES PER PLANS.
42. PROVIDE VIBRATION CONTROLS AND SEISMIC RESTRAINTS FOR ALL ELECTRICAL COMPONENTS AND SYSTEMS AS REQUIRED BY CODE.
43. ALL ELECTRICAL DEVICES NOT REQUIRED FOR REUSE AND/OR RELOCATION ARE TO BE DISCONNECTED, REMOVED, AND TURNED OVER TO OWNER.
44. MAINTAIN A SET OF RECORD DRAWINGS ON SITE UPON WHICH ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL LAYOUT SHALL BE RECORDED. SUBMIT TO OWNER PRIOR TO APPLICATION FOR FINAL PAYMENT.
45. CLEARLY AND PERMANENTLY MARK ALL EQUIPMENT, PANELBOARDS, DISCONNECT SWITCHES, AND DEVICE COVERPLATES.
46. COORDINATE ALL REQUIRED SERVICE OUTAGES AND SHUTDOWNS WITH OWNER. PROVIDE OVERTIME AND AFTER-HOURS WORK AS REQUIRED TO ACCOMMODATE OWNER-APPROVED SHUTDOWN PERIODS.
47. FURNISH OWNER WITH A WRITTEN GUARANTEE COVERING THIS WORK, INCLUDING ALL EQUIPMENT, DEVICES MATERIALS, AND WORKMANSHIP AGAINST ALL DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.
48. CONTRACTOR SHALL REGULARLY REMOVE FROM THE PREMISES ALL SPOILS FROM THE PERFORMANCE OF THE ELECTRICAL WORK TO PREVENT ACCUMULATION.
49. UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE AND REPLACE EXISTING CEILINGS AS REQUIRED FOR PERFORMANCE OF WORK UNDER THIS CONTRACT. EXISTING CEILINGS SHALL BE REMOVED IN A MANNER TO AVOID DAMAGE TO THE CEILING COMPONENTS. STORAGE OF CEILING COMPONENTS UNTIL REINSTALLATION IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY CEILING SYSTEM COMPONENTS DAMAGED DURING REMOVAL, STORAGE, OR INSTALLATION SHALL BE REPLACED WITH NEW TO MATCH EXISTING AT NO EXPENSE TO THE OWNER.

2 GENERAL LIGHTING AND POWER NOTES:

- A. THE CIRCUIT NUMBERS WHERE SHOWN ON DRAWINGS ARE FOR CIRCUITING INFORMATION ONLY. CONTRACTOR SHALL CONNECT LIGHTING OR RECEPTACLE CIRCUITS TO AVAILABLE CIRCUIT BREAKERS AS PRACTICABLE.
- B. CONTRACTOR SHALL BALANCE LOADS ON THE PANEL AS CLOSELY AS POSSIBLE. CORRECT CIRCUIT DESIGNATIONS SHALL BE INDICATED ON PANEL DIRECTORY AND ON AS-BUILT DRAWINGS.
- C. EXIT SIGNS SHALL BE CONNECTED TO SEPARATE EXIT LIGHT CIRCUIT WITH #10 AWG WIRES AND SHALL BE UNSWITCHED.
- D. LUMINAIRES IDENTIFIED AS NIGHT LIGHTS SHALL BE UNSWITCHED, UNLESS OTHERWISE INDICATED.
- E. CONNECT BATTERY EMERGENCY LIGHTS TO UNSWITCHED PORTION OF NORMAL LIGHTING CIRCUITS.
- F. AT EXISTING SWITCH LOCATIONS WHERE MORE NEW SWITCHES ARE SHOWN THAN GANCS IN EXISTING DEVICE BACKBOX, THE CONTRACTOR SHALL REMOVE THE EXISTING DEVICE BOX, ENLARGE OPENING, PROVIDE LARGER DEVICE BOX TO ACCEPT NEW SWITCHES - ONE SWITCH PER GANG.
- G. APPROVED WIRING DEVICE MANUFACTURERS INCLUDE BUT ARE NOT LIMITED TO: HUBBELL, LEVITON, LEGRAND (PASS AND SEYMOUR) AND EATON (ARROW HART).

3 PANELBOARDS AND ENCLOSED BREAKERS:

- A. FURNISH AND INSTALL PANELBOARDS AS INDICATED ON PLANS. PANELS SHALL BE UL LISTED AND COMPLY WITH NEMA PB 1.
- B. PANELS SHALL HAVE BOLT-ON CIRCUIT BREAKERS WITH INVERSE TIME MAGNETIC TRIP ELEMENT.
- C. CIRCUIT BREAKERS SHALL COMPLY WITH UL 489. INTERRUPTING CAPACITY SHALL BE RATED FOR AVAILABLE FAULT CURRENT AT THE PANEL.
- D. GPOI CIRCUIT BREAKERS SHALL HAVE SINGLE AND DOUBLE-POLE CONFIGURATIONS WITH CLASS A GROUND FAULT PROTECTION (6 mA TRIP).
- E. SHUNT TRIP CIRCUIT BREAKERS SHALL HAVE 120V TRIP COIL SET TO TRIP AT 75% OF RATED VOLTAGE.
- F. MOUNT RECESSED PANELS WITH FRONT UNIFORMLY FLUSH WITH WALL FINISH AND MATING WITH BACKBOX.
- G. PROVIDE DIRECTORY CARD INSIDE PANELBOARD DOOR, MOUNTED IN METAL FRAME WITH TRANSPARENT PROTECTIVE COVER.
- H. APPROVED MANUFACTURERS INCLUDE EATON, SQUARE D AND SIEMENS.
- I. ELECTRONIC TRIP CIRCUIT BREAKERS SHALL BE FIELD-ADJUSTABLE WITH RMS SENSING INSTANTANEOUS, LONG, AND SHORT TIME PICKUP LEVELS.
- J. ENCLOSED SWITCHES AND CIRCUIT BREAKERS SHALL COMPLY WITH UL 489, UL 50, UL 50E AND NEMA KS 1.
- K. ENCLOSED CIRCUIT BREAKER OPERATING HANDLE MUST BE DIRECTLY OPERABLE THROUGH FRONT COVER OF ENCLOSURE (UL 50E TYPE 1). HANDLE SHALL BE LOCKABLE IN OFF POSITION.
- L. EQUIPMENT FINISHES SHALL BE GRAY BAKED ENAMEL PAINT, ELECTRODEPOSITED ON CLEANED PHOSPHATE STEEL.

4 ELECTRICAL INSPECTIONS NOTES:

- A. ELECTRICAL INSPECTIONS SHALL BE PERFORMED BY A NYS QUALIFIED ELECTRICAL INSPECTOR.
- B. ELECTRICAL INSPECTOR SHALL BE ENGAGED BY THE OWNER (OR OWNER'S AGENT), AND NOT BY THE CONTRACTOR OR SUB-CONTRACTOR WHOSE WORK IS TO BE INSPECTED.
- C. ELECTRICAL INSPECTIONS SHALL BE PERFORMED FOR ALL ELECTRICAL WORK INCLUDING WORK THAT IS TO BE CONCEALED (I.E. UNDERGROUND, ROUGH-IN), IN PROGRESS WORK, AND THE FINAL INSPECTION.
- D. ELECTRICAL INSPECTOR SHALL SUBMIT DETAILED INSPECTION REPORTS SUBSEQUENT TO EACH INSPECTION.
- E. ELECTRICAL INSPECTOR SHALL SUBMIT A FINAL CERTIFICATE OF INSPECTION UPON COMPLETION OF CONSTRUCTION.

5 FIRESTOPPING NOTES:

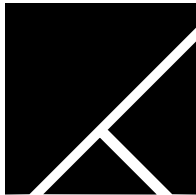
- A. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OF FIRE-RATING OF ALL CONSTRUCTION AFFECTED BY INSTALLATION OF ELECTRICAL WORK.
- B. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING FIRE-STOPPING SYSTEMS AT ALL NEW PENETRATIONS. PER MANUFACTURER'S INSTRUCTIONS.
- C. THIS CONTRACTOR SHALL PROVIDE ALL PATCHING AND INFILL OF WALL/ FLOOR/ ROOF SYSTEMS REQUIRED FOR PROPER FIRE-STOP INSTALLATION TO MAINTAIN CONTINUITY OF EXISTING CONSTRUCTION.

6 TELECOMMUNICATIONS NOTES:

- A. HORIZONTAL CABLING SHALL COMPLY WITH TRANSMISSION STANDARDS IN TIA/EIA-568-B.1
- B. PROVIDE CABLE TRAYS, CONDUITS AND SLEEVES AS REQUIRED. THE MAXIMUM ALLOWABLE CABLE LENGTH SHALL NOT EXCEED 295 FEET.
- C. ALL DATA AND LOW VOLTAGE CABLES ABOVE CEILING SHALL BE PLENUM RATED.
- D. PROVIDE UNSHIELDED CATEGORY 6 CABLES WITH MINIMUM 52V RATING AND RJ45 JACKS FOR ALL COMPUTER, PHONE AND PRINTER OUTLETS.
- E. DATA CABLES SHALL BE FACTORY TESTED FROM 1 MHZ TO 1 GHZ. MANUFACTURERS INCLUDE, BUT ARE NOT LIMITED TO: 3M, BELDEN, GENERAL CABLE, HUBBELL AND LEVITON.
- F. PROVIDE MODULAR NUMBERED PATCH PANELS WITH PUNCH DOWN CAPS FOR ALL UTP CABLES. PROVIDE IDC TYPE CONNECTORS FOR PERMANENT CONNECTION OF EACH DATA CABLE. ALL TERMINATIONS SHALL COMPLY WITH BICSI/ITSIM STANDARDS.
- G. PROVIDE ALL JACKS AND JACK ASSEMBLIES WITH COLOR CODED IDC TYPE TERMINALS. PROVIDE 100 OHM, BALANCED, FOUR-PAIR, EIGHT POSITION MODULAR DATA JACKS.
- H. GROUNDING SHALL COMPLY WITH J-STD-607-A.

7 LIGHTING CONTROL SYSTEM:

- A. PROVIDE NEW LIGHTING CONTROL SYSTEM COMPLIANT WITH 2020 NYS ENERGY CONSERVATION CODE. BASIS OF DESIGN: WATTSTOPPER. ALTERNATE MANUFACTURERS INCLUDE SENSOR SWITCH INC., HUBBELL, NX CONTROLS AND SENSORWORK.
- B. ALL DEVICES SHALL BE HARDWIRED. WIRELESS CONTROLS ARE NOT PERMITTED.
- C. THE SYSTEM SHALL SUPPORT ETHERNET BASED LAN ON USER'S NETWORK.
- D. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL DEVICES AND WIRING FOR A COMPLETE FUNCTIONING SYSTEM, INCLUDING BUT NOT LIMITED TO: SWITCH PACKS, ROOM CONTROLLERS, DIMMERS, OCCUPANCY/VACANCY SENSORS AND AMBIENT LIGHT SENSORS.
- E. LIGHTS WITH INTEGRAL DRIVERS SHALL USE 0-10V DIMMING. LIGHTS WITH 120V LAMPS SHALL USE FORWARD/REVERSE PHASE DIMMING. COORDINATE WITH MANUFACTURER'S REQUIREMENTS.
- F. CEILING-MOUNTED OCCUPANCY SENSORS SHALL HAVE A MINIMUM COVERAGE AREA OF 2000 SQ. FT.
- G. THE CONTRACTOR SHALL PROGRAM ALL DEVICES PER NYS ENERGY CODE.
- H. ADMINISTER AND PERFORM TESTS AND INSPECTIONS WITH ASSISTANCE OF A FACTORY-AUTHORIZED REPRESENTATIVE. PERFORM STARTUP AND INCLUDE TRAINING FOR OWNERS REPRESENTATIVE.
- I. THE LIGHTING CONTROL SYSTEM SHALL HAVE A MINIMUM 2 YEAR WARRANTY.



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Client: LACTALIS

Project: OFFICE RENO AT
2376 SOUTH PARK
AVE

Project Address: 2376 SOUTH PARK AVE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/6/2025

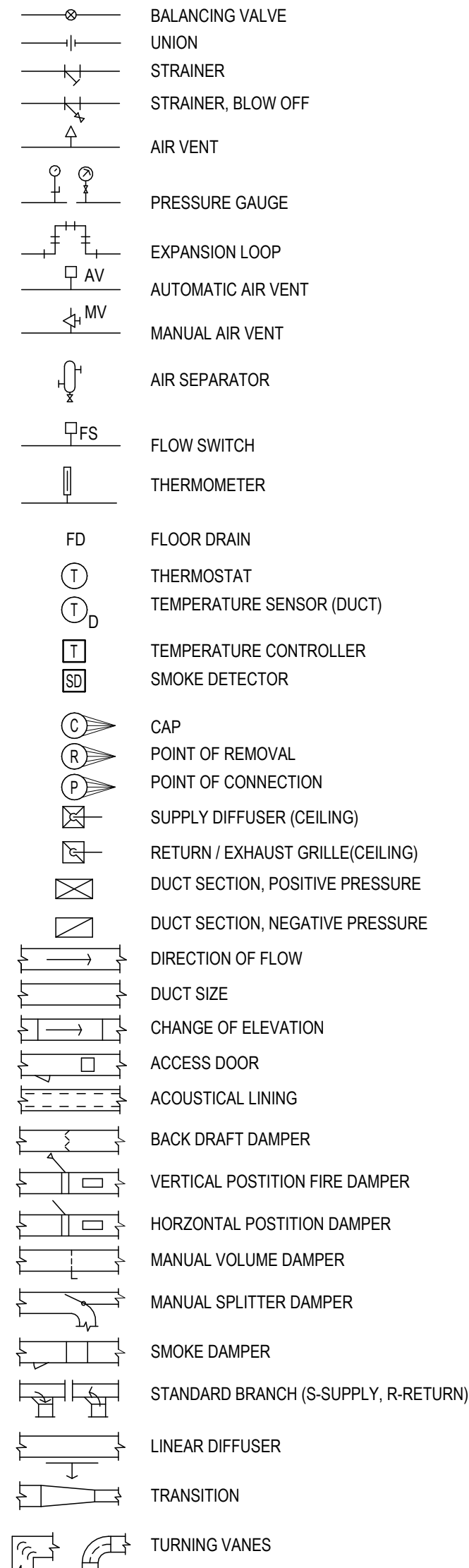
Project Number: 25042

Sheet Title: ELECTRICAL
SPECIFICATIONS

Sheet Number: E701

 FLEXIBLE CONNECTION

 FLEXIBLE DUCT



AD	ACCESS DOOR
ADF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AI	AIR INTAKE
AS	AIR SEPARATOR
AV	AIR VENT
BD	BALANCING DAMPER
BDD	BACKDRAFT DAMPER
BFP	BACK FLOW PREVENTOR
CD	CONDENSATE DRAIN
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
CWH	CABINET UNIT HEATER
CW	COLD WATER
CWP	CHILLED WATER PUMP
EF, EXF	EXHAUST FAN
EG	EXHAUST GRILLE
ER	EXHAUST REGISTER
ET	EXPANSION TANK
FC	FAN COIL
FD	FIRE DAMPER
FR	FINNED TUBE RADIATION
GPM	GALLONS PER MINUTE
HUH	HORIZONTAL UNIT HEATER
HWP	HOT WATER PUMP
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
LRR	LINEAR RETURN REGISTER
LRS </td <td>LINEAR SUPPLY REGISTER</td>	LINEAR SUPPLY REGISTER
MBSH(I)	1,000 BRITISH THERMAL UNITS (C-COOLING, H-HEATING)
MOD	MOTOR OPERATED DAMPER
NC	NORMALLY CLOSED
NO	NORMALLY OPENED
OED	OPEN END DUCT
P	SYSTEM PUMP
PF	PROPELLER FAN
PRV	PRESSURE REGULATING VALVE
RD	RETURN DIFFUSER
RF	ROOF FAN
RG	RETURN GRILLE
RR	RETURN REGISTER
RV	RELIEF VENT
SR	SUPPLY REGISTER
SHWP	SECONDARY HOT WATER PUMP
SD	SUPPLY DIFFUSER
TC	TEMPERATURE CONTROL
TG	TRANSFER GRILLE
TV	TYPICAL
TV	TURNING VANES
UH	UNIT HEATER
WC	WATER CHILLER
VD	VOLUME DAMPER

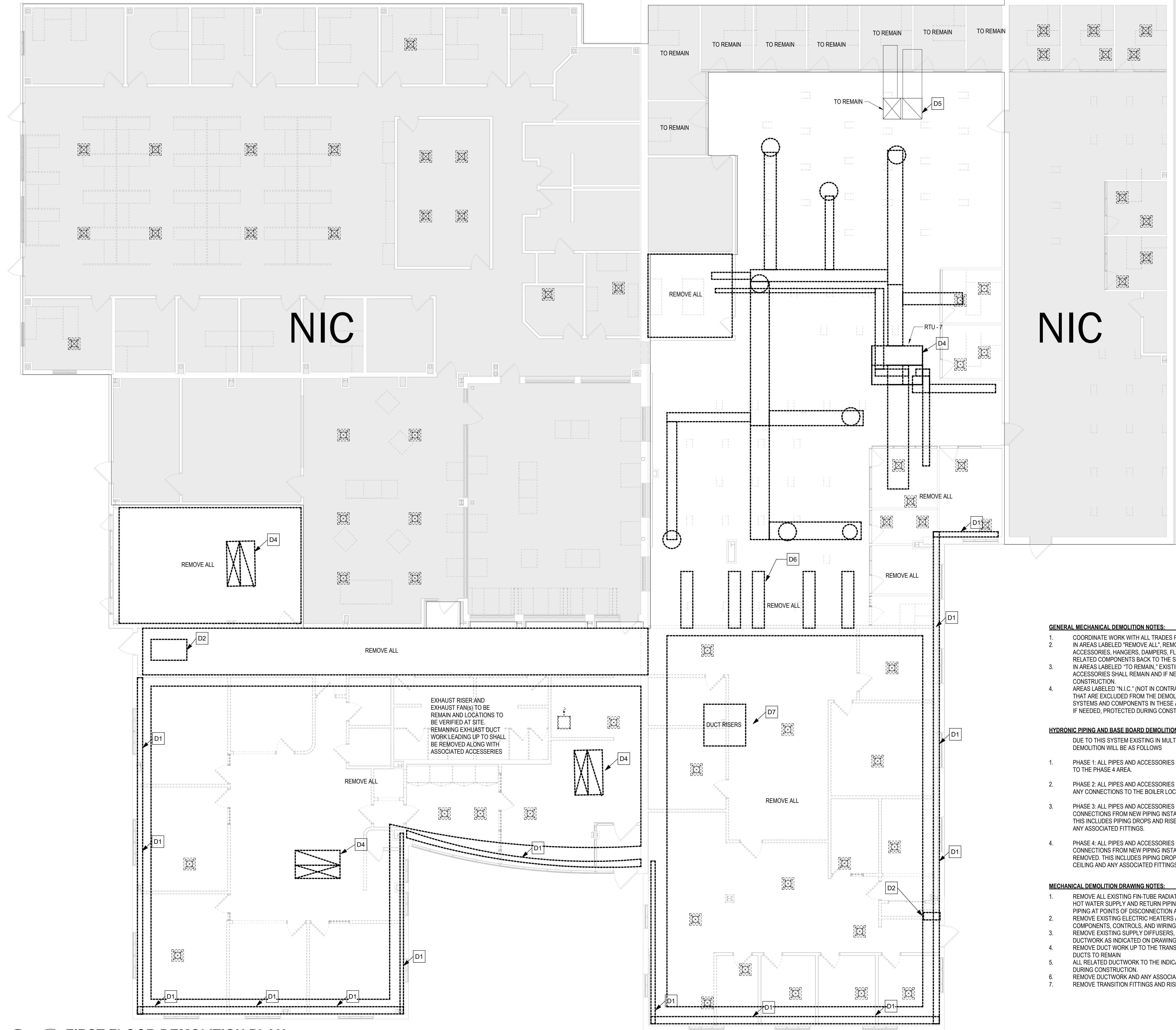
HOT WATER UNIT HEATER			
TAG	UH-1	UH-2	UH-3
SPACE	VESTIBULE / MAIN ENTRANCE	SOUTH ENTRANCE	NORTH ENTRANCE
SIZE / CFM FAMILY	003 / ~330	003 / ~330	003 / ~330
HEATING CAPACITY (BTUH) @180F EWT	22,400	22,400	22,400
EWT / LWT	180 F / 160 F	180 F / 160 F	180 F / 160 F
GPM	2.0	2.0	2.0
MOUNTING	WALL MOUNTED	CEILING MOUNTED	CEILING MOUNTED
MAKE	MODINE	MODINE	MODINE
MODEL	003 - ROW	003 - ROW	003 - ROW
NOTES:			

REGISTER / DIFFUSER SCHEDULE									
UNIT NO.		SD-1	SD-2	SD-3	RD-1	RD-2	RG-1	RG-2	EG-1
SERVICE		SUPPLY DIFFUSER	SUPPLY DIFFUSER	SUPPLY DIFFUSER	RETURN DIFFUSER	RETURN DIFFUSER	RETURN AIR	RETURN AIR	EXHAUST GRILLE
NECK SIZE		AS TAGGED	AS TAGGED	AS TAGGED	AS TAGGED	AS TAGGED	AS TAGGED	AS TAGGED	AS TAGGED
FACE		12"X12"	24"x24"	24"x24"	12"X12"	24"x24"	12"x10"	18"x10"	10"x10"
DAMPER		YES	YES	YES	YES	YES	YES	YES	NO
MOUNTING	DUCT	--	--	X	--	--	X	X	--
	WALL	--	--	--	--	--	--	--	--
	CEILING	X	X	--	X	X	--	--	X
	FLOOR	--	--	--	--	--	--	--	--
CONSTRUCTION	FRAME	STEEL	STEEL	STEEL	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
	CORE	STEEL	STEEL	STEEL	ALUMINUM	ALUMINUM	HORIZONTAL BARS	HORIZONTAL BARS	STEEL
	FINISH	BY ARCH	BY ARCH	BY ARCH	BY ARCH	BY ARCH	BY ARCH	BY ARCH	BY ARCH
MAKE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE	PRICE
MODEL	SPD	SPD	SCD	PDDR	PDDR	SDG-10-12X12	SDG-10-12X12	SDG-10-18X12	530 - RETURN
ACCESSORIES	--	--	--	--	--	--	--	--	--
REMARKS	PANEL MOUNT	PANEL MOUNT	EXPOSED CEILING INSTALLATION - HUNG	PANEL MOUNT	PANEL MOUNT	390 CFM	585 CFM	45° DEFLECTION - 3/8" BLADE SPACING	

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GENERAL MECHANICAL DEMOLITION NOTES:

1. COORDINATE WORK WITH ALL TRADES PRIOR TO REMOVAL. IN AREAS LABELED "REMOVE ALL," REMOVE ALL EXISTING HVAC DUCTWORK, ACCESSORIES, HANGERS, DAMPERS, FLEX CONNECTIONS, SUPPORT, AND RELATED COMPONENTS BACK TO THE SOURCE UNIT.
2. IN AREAS LABELED "TO REMAIN," EXISTING DUCTWORK, DIFFUSERS, AND ACCESSORIES SHALL REMAIN AND IF NEEDED, PROTECTED DURING CONSTRUCTION.
3. AREAS LABELED "N.I.C." (NOT IN CONTRACT) INDICATE LOCATIONS OR EQUIPMENT THAT ARE EXCLUDED FROM THE DEMOLITION AND RENOVATION WORK. EXISTING SYSTEMS AND COMPONENTS IN THESE AREAS SHALL REMAIN UNDISTURBED AND IF NEEDED, PROTECTED DURING CONSTRUCTION.

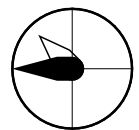
HYDRONIC PIPING AND BASE BOARD DEMOLITION NOTES:

- DUE TO THIS SYSTEM EXISTING IN MULTIPLE DEMO & CONSTRUCTION PHASES, THE DEMOLITION WILL BE AS FOLLOWS
1. PHASE 1: ALL PIPES AND ACCESSORIES TO BE REMOVED IN THIS PHASE 1 AREA, UP TO THE PHASE 4 AREA.
 2. PHASE 2: ALL PIPES AND ACCESSORIES TO BE REMOVED IN THIS AREA, INCLUDING ANY CONNECTIONS TO THE BOILER LOCATED BEYOND THE EAST WALL.
 3. PHASE 3: ALL PIPES AND ACCESSORIES TO BE REMOVED IN THIS AREA. CONNECTIONS FROM NEW PIPING INSTALLED IN PHASE 2 SHALL ALSO BE REMOVED. THIS INCLUDES PIPING DROPS AND RISERS TO AND FROM THE DROP CEILING AND ANY ASSOCIATED FITTINGS.
 4. PHASE 4: ALL PIPES AND ACCESSORIES TO BE REMOVED IN THIS AREA. CONNECTIONS FROM NEW PIPING INSTALLED IN PHASES 3 AND 1 SHALL ALSO BE REMOVED. THIS INCLUDES PIPING DROPS AND RISERS TO AND FROM THE DROP CEILING AND ANY ASSOCIATED FITTINGS.

MECHANICAL DEMOLITION DRAWING NOTES:

1. REMOVE ALL EXISTING FIN-TUBE RADIATION/BASEBOARD HEATING AND ASSOCIATED HOT WATER SUPPLY AND RETURN PIPING BACK TO THE HOT WATER BOILER. CAP PIPING AT POINTS OF DISCONNECTION AND MAKE SAFE.
2. REMOVE EXISTING ELECTRIC HEATERS ALONG WITH THEIR ASSOCIATED ELECTRICAL COMPONENTS, CONTROLS, AND WIRING BACK TO SOURCE.
3. REMOVE EXISTING SUPPLY DIFFUSERS, RETURN GRILLES, AND ASSOCIATED DUCTWORK AS INDICATED ON DRAWINGS.
4. REMOVE DUCT WORK UP TO THE TRANSITION FITTINGS TO ROOF TOP UNIT. RISER DUCTS TO REMAIN.
5. ALL RELATED DUCTWORK TO THE INDICATED RTU SHALL REMAIN AND PROTECTED DURING CONSTRUCTION.
6. REMOVE DUCTWORK AND ANY ASSOCIATED ACCESSORIES.
7. REMOVE TRANSITION FITTINGS AND RISER DUCTS UP TO ROOF TOP UNIT.

D#



1

FIRST FLOOR DEMOLITION PLAN

1/8" = 1'-0"



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Client: **LACTALIS
AMERICAN GROUP
INC.**

Project: **OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE**

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/06/2025

Project Number: 25042

Sheet Title:

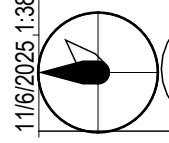
**OVERALL FIRST
FLOOR
MECHANICAL
DEMOLITION PLAN**

Sheet Number:

MD101

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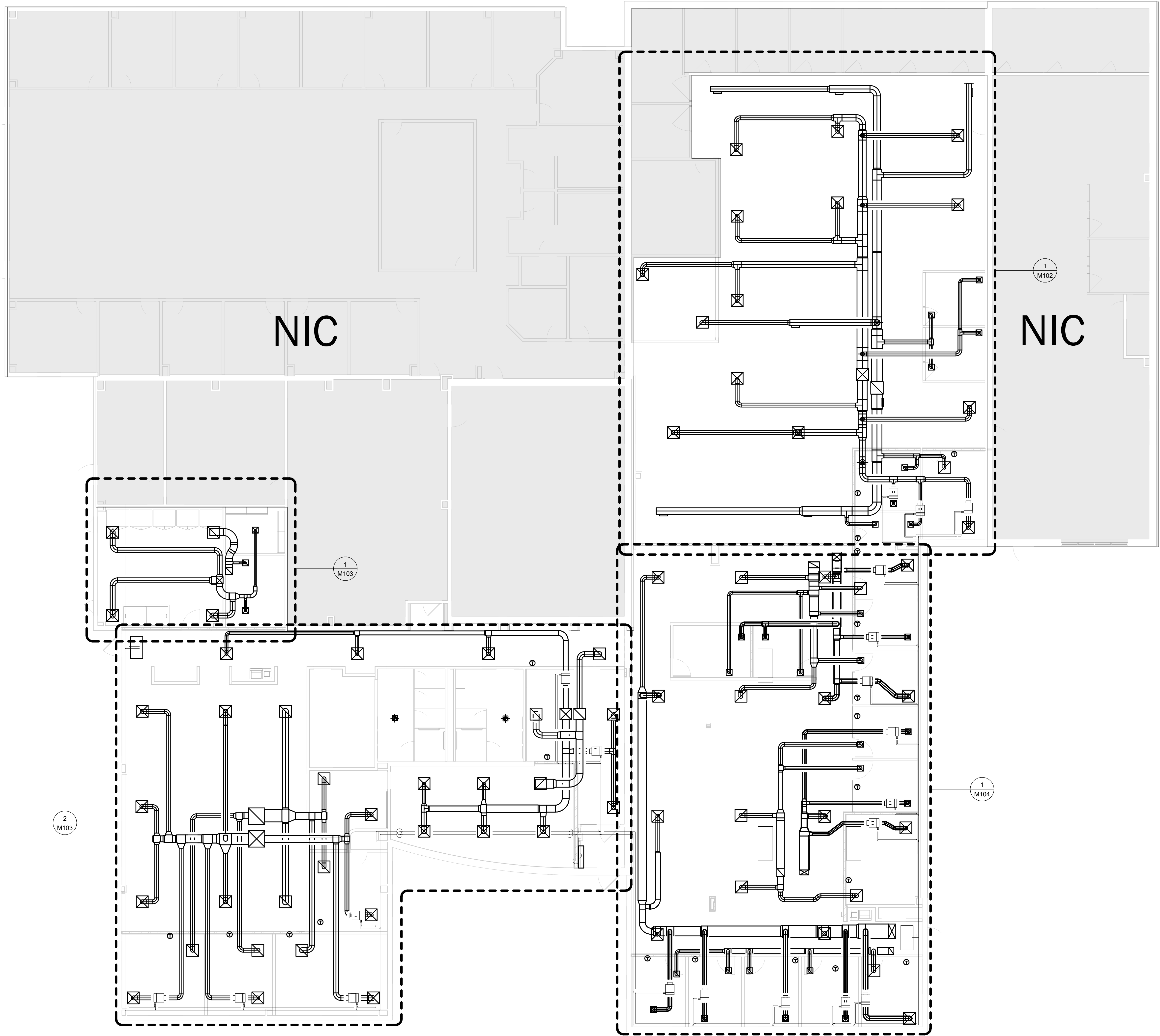
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1

OVERALL FIRST FLOOR MECHANICAL FLOOR PLAN

1/8" = 1'-0"



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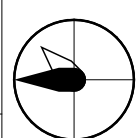
Drawing History: # Date Description

Date: 11/06/2025
Project Number: 25042
Sheet Title: **OVERALL FIRST
FLOOR
MECHANICAL PLAN**

Sheet Number: **M101**

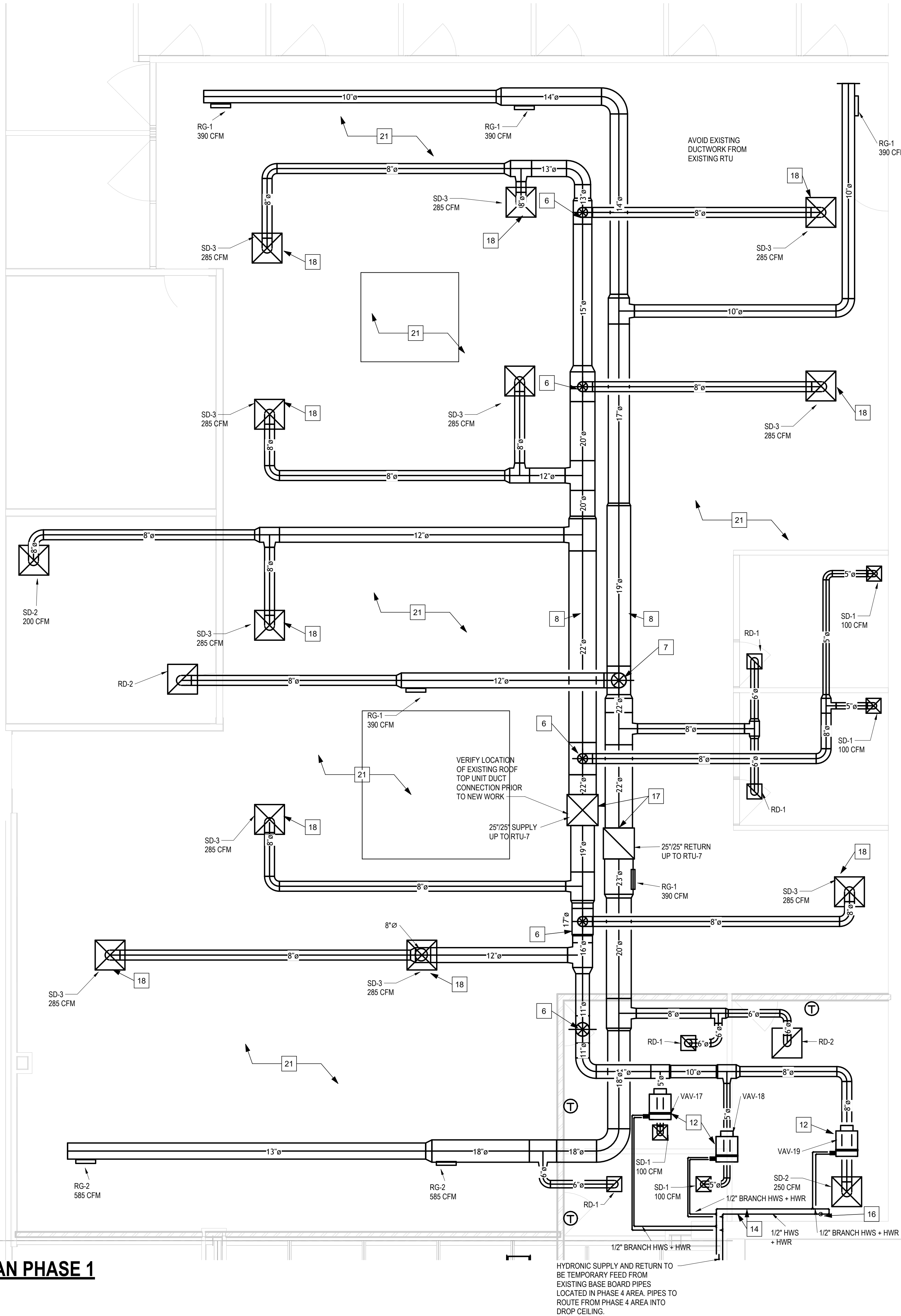
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1 FIRST FLOOR MECHANICAL PLAN PHASE 1

1/4" = 1'-0"



GENERAL MECHANICAL NOTES:

- COORDINATE WORK WITH ALL TRADES PRIOR TO INSTALLATION.
- ALL 90 DEGREE TRANSITIONS IN DUCTWORK TO BE PROVIDED TURNING VANES.
- PROVIDE VOLUME DAMPERS ON ALL DUCTWORK BRANCHES FOR BALANCING.
- INSTALL ALL UNITS PER MANUFACTURERS REQUIREMENTS.
- PROVIDE 1" THICK INSULATION ON ALL SUPPLY DUCTWORK.
- DIFFUSERS LOCATIONS TO AVOID LIGHTING FIXTURES. COORDINATE WITH LIGHTING FIXTURE INSTALLATION.

HYDRONIC PIPING FOR VAV REHEAT AND UNIT HEATERS CONSTRUCTION NOTES:

DUE TO THIS SYSTEM EXISTING IN MULTIPLE DEMO & CONSTRUCTION PHASES. THE CONSTRUCTION SHALL PROCEED AS FOLLOWS:

- PHASE 1: INSTALL HYDRONIC PIPING AS DIRECTED IN THE DRAWINGS. TIE INTO THE EXISTING FLOOR HYDRONIC PIPING FROM THE FIN-TUBE/BASEBOARD LOCATED IN PHASE 4.
- PHASE 2: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS UP TO THE BOILER. ADD NEW CONNECTIONS AND PIPING AS REQUIRED. TIE INTO THE EXISTING FLOOR PIPING FROM THE FIN-TUBE/BASEBOARD LOCATED IN PHASE 3.
- PHASE 3: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS. TIE INTO THE NEW PIPING LOCATED IN THE DROP CEILING OF PHASE 2. AND ALSO TIE INTO THE EXISTING FIN-TUBE/BASEBOARD PIPING LOCATED ON THE PHASE 4 FLOOR LEVEL.
- PHASE 4: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS. TIE INTO THE NEW PIPING LOCATED IN THE DROP CEILING OF PHASES 3 AND 1.

MECHANICAL DRAWING NOTES:

- HOT WATER HEATER TO BE PROVIDED WITH INTEGRAL THERMOSTATE, VALVE KIT INSTALLED WITH UNIT
- ALL ROOF DUCTWORK DESIGNED AS THERMODUCT, CONTRACTOR MAY PROVIDE EQUAL
- SUPPLY DIFFUSER TO BE INSTALLED BELOW MAIN DUCT AND SUPPLIED FROM A BRANCH.
- OVERLAPPING DUCTWORK MAY BE INSTALLED EITHER WAY — SUPPLY OVER RETURN OR RETURN OVER SUPPLY, AS COORDINATED IN FIELD.
- DUCTWORK PASSES THROUGH JOISTS
- SUPPLY BRANCHES OFF FROM ABOVE MAIN SUPPLY DUCT.
- RETURN BRANCHES OFF FROM ABOVE MAIN RETURN DUCT.
- ALL BRANCHES ON INDICATED DUCT MAY CONNECT FROM ABOVE, BELOW, OR SIDE AS COORDINATED IN FIELD.
- SUPPLY AND RETURN DROPS DUCTS WITHIN THEIR OWN RESPECTIVE JOIST SPACE. JOIST LOCATIONS TO BE VERIFIED AT SITE.
- DUCTWORK ROUTED BETWEEN JOISTS.
- DUCTWORK ROUTED UNDERNEATH JOISTS.
- VAV FOR REHEAT CONTROL. PROVIDE WALL THERMOSTAT FOR VAV CONTROL. PIPING TO HAVE VALVE KIT WITH CONTROL VALVE. HYDRONIC SUPPLY AND RETURN TO BE TIED INTO VAV COIL FROM MAIN PIPES.
- COORDINATE ALL ROOF CUTTING, PATCHING, AND FLASHING WITH GENERAL CONTRACTOR FOR ALL ROOF PENETRATIONS.
- HYDRONIC SUPPLY AND RETURN PIPING SERVING VAV REHEAT COILS AND UNIT HEATERS. ROUTED IN DROP CEILINGS UNLESS NOTED OTHERWISE. SUPPLY & RETURN TO BE INSULATED PER CODE.
- CABINET UNIT HEATER FOR VESTIBULE HEAT. UNIT TO HAVE INTEGRAL THERMOSTAT. HEAT TO TURN ON WHEN SPACE IS BELOW 50 F. UNIT TO TURN OFF WHEN SPACE IS 60 F.
- CIRCUIT SETTER FOR HYDRONIC SYSTEM CONTROL. COORDINATE WITH EXISTING BOILER & PUMP REQUIREMENTS.
- NEW SUPPLY AND RETURN DUCTWORK TO CONNECT TO EXISTING DUCT TRANSITION. SERVING RTU. PROVIDE TRANSITION FITTINGS AS REQUIRED BETWEEN DRAWING INDICATED DUCT RISER AND EXISTING RTU CONNECTION. CONNECTION LOCATIONS AND DIMENSIONS VERIFIED AT SITE. PROVIDE INTERNAL AIR SPLITTER OR TURING VEINS WITHIN THE SUPPLY PLENUM TO ALLOW SMOOTHER AIR SPLITTING.
- SUPPLY DIFFUSERS TO BE ELEVATED ON SAME LEVEL AS ACOUSTIC PANELS AND LOCATED BETWEEN THEM AS DEPICTED ON DRAWING. DIFFUSERS DUCT TO BE ROUTED SUCH THAT IT AVOIDS ACOUSTIC HANGERS. COORDINATE WITH ACOUSTIC PANEL INSTALLATION. DUCT WORK AND DIFFUSER PLACEMENT TO AVOID LIGHTING FIXTURES AND HANGERS, COORDINATE WITH LIGHTING INSTALLATION.
- BRANCH MAY GO ROUTE THROUGH JOISTS IF SPACE RESTRICTS OTHERWISE.
- ALL SUPPLY DUCTWORK FROM INDICATED UNIT DESIGNED AS THERMODUCT, CONTRACTOR MAY PROVIDE EQUAL.
- ALL EXPOSED DUCT WORK, ACCESSORIES, AND DIFFUSERS TO AT PHASE 1 SHALL BE PAINTED BLACK
- DIFFUSERS TO AVOID LIGHTING FIXTURES, COORDINATE WITH LIGHTING FIXTURE LOCATIONS INSTALLATION.



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Client: LACTALIS
AMERICAN GROUP
INC.

Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

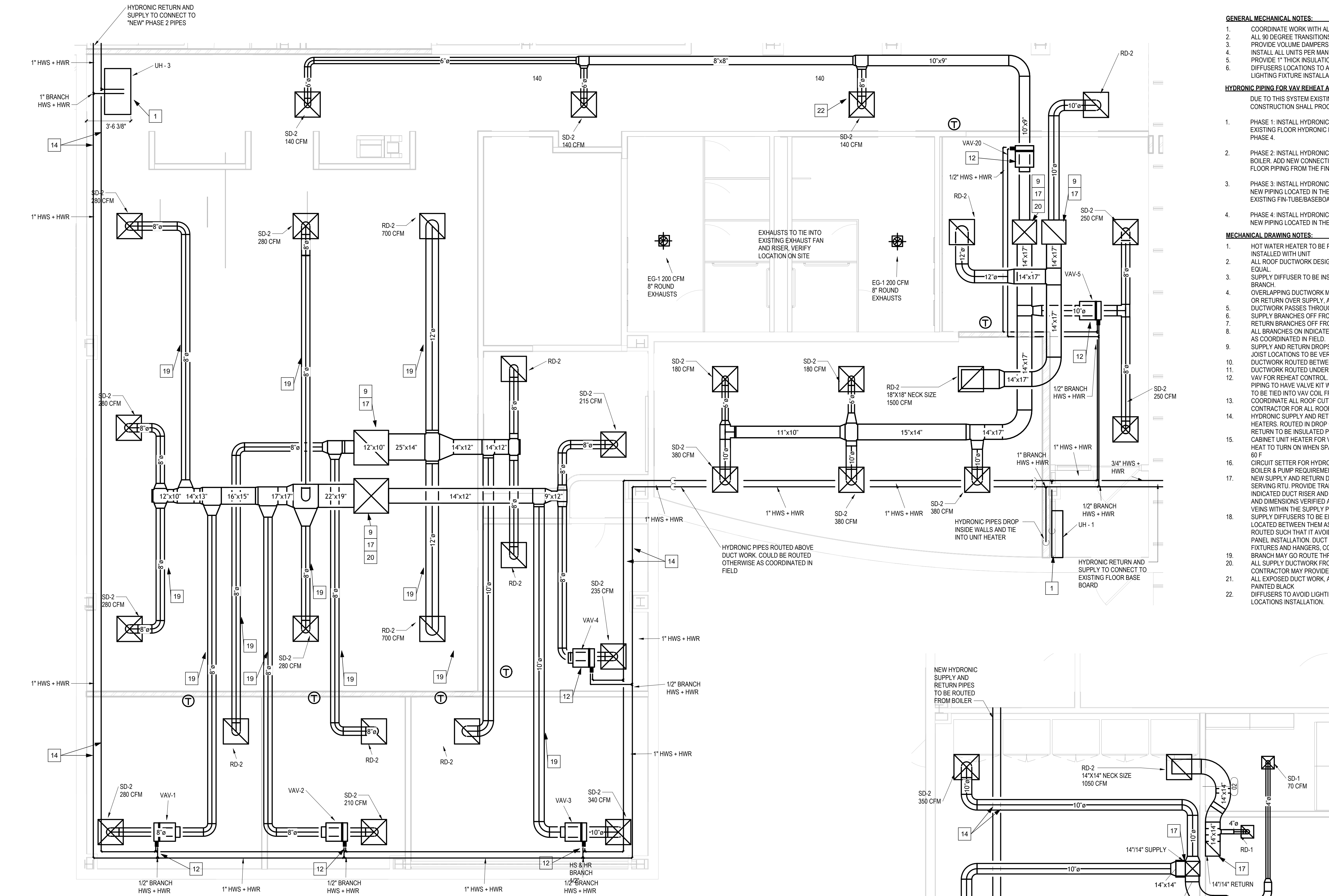
Date: 11/06/2025

Project Number: 25042

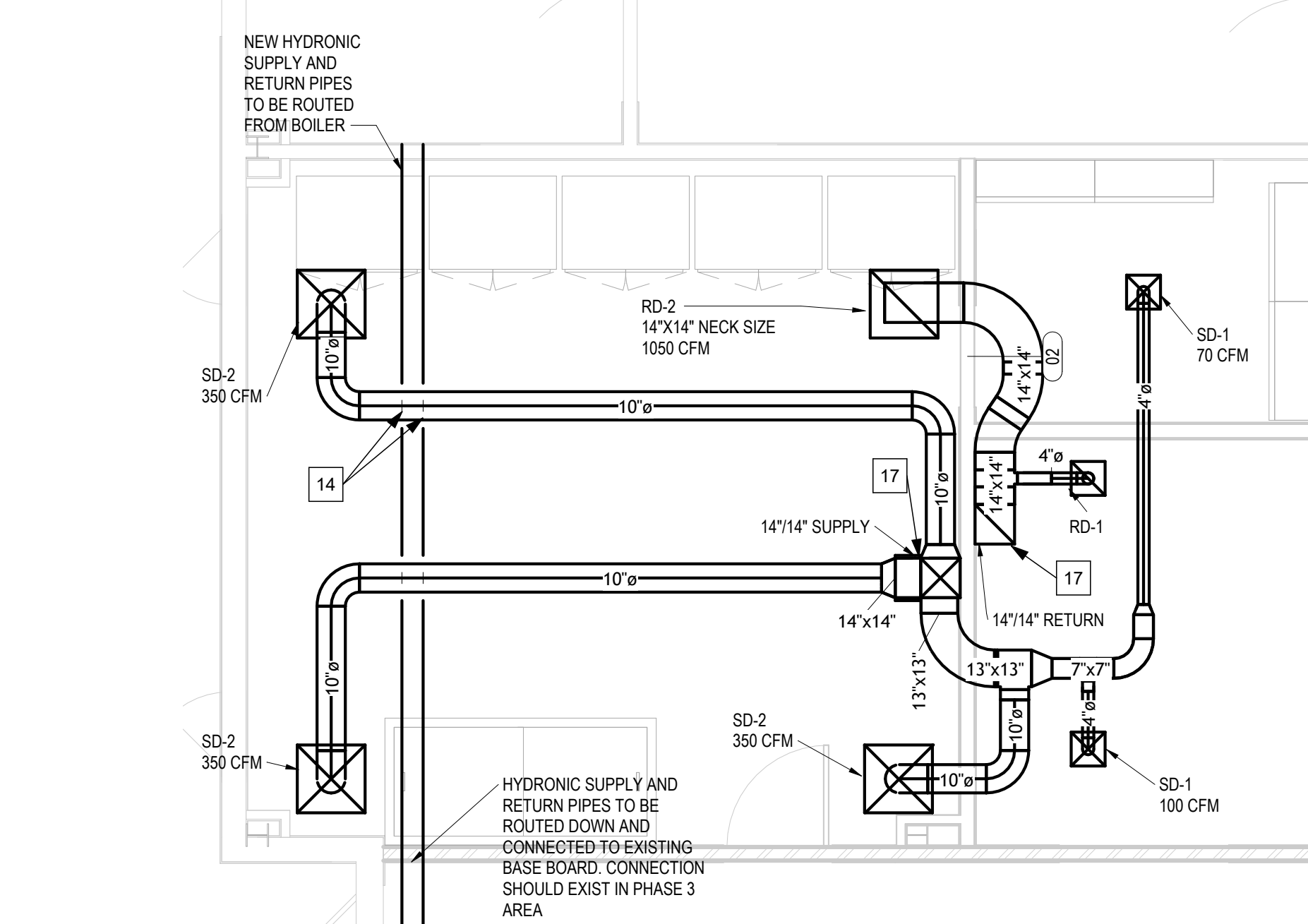
Sheet Title: FIRST FLOOR
MECHANICAL PLAN
- PHASE 1

Sheet Number: M102

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2 FIRST FLOOR MECHANICAL PLAN PHASE 3
1/4" = 1'-0"



1 FIRST FLOOR MECHANICAL PLAN PHASE 2
1/4" = 1'-0"

GENERAL MECHANICAL NOTES:

1. COORDINATE WORK WITH ALL TRADES PRIOR TO INSTALLATION.
2. ALL 90 DEGREE TRANSITIONS IN DUCTWORK TO BE PROVIDED TURNING VANES.
3. PROVIDE VOLUME DAMPERS ON ALL DUCTWORK BRANCHES FOR BALANCING.
4. INSTALL ALL UNITS PER MANUFACTURERS REQUIREMENTS.
5. PROVIDE 1" THICK INSULATION ON ALL SUPPLY DUCTWORK.
6. DIFFUSERS LOCATIONS TO AVOID LIGHTING FIXTURES, COORDINATE WITH LIGHTING FIXTURE INSTALLATION.

HYDRONIC PIPING FOR VAV REHEAT AND UNIT HEATERS CONSTRUCTION NOTES:

DUE TO THIS SYSTEM EXISTING IN MULTIPLE DEMO & CONSTRUCTION PHASES. THE CONSTRUCTION SHALL PROCEED AS FOLLOWS:

1. PHASE 1: INSTALL HYDRONIC PIPING AS DIRECTED IN THE DRAWINGS. TIE INTO THE EXISTING FLOOR HYDRONIC PIPING FROM THE FIN-TUBE/BASEBOARD LOCATED IN PHASE 4.
2. PHASE 2: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS UP TO THE BOILER. ADD NEW CONNECTIONS AND PIPING AS REQUIRED. TIE INTO THE EXISTING FLOOR PIPING FROM THE FIN-TUBE/BASEBOARD LOCATED IN PHASE 3.
3. PHASE 3: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS. TIE INTO THE NEW PIPING LOCATED IN THE DROP CEILING OF PHASE 2, AND ALSO TIE INTO THE EXISTING FIN-TUBE/BASEBOARD PIPING LOCATED ON THE PHASE 4 FLOOR LEVEL.
4. PHASE 4: INSTALL HYDRONIC PIPING AS DEPICTED IN THE DRAWINGS. TIE INTO THE NEW PIPING LOCATED IN THE DROP CEILING OF PHASES 3 AND 1.

MECHANICAL DRAWING NOTES:

1. HOT WATER HEATER TO BE PROVIDED WITH INTEGRAL THERMOSTAT. VALVE KIT INSTALLED WITH UNIT
2. ALL ROOF DUCTWORK DESIGNED AS THERMODUCT, CONTRACTOR MAY PROVIDE EQUAL
3. SUPPLY DIFFUSER TO BE INSTALLED BELOW MAIN DUCT AND SUPPLIED FROM A BRANCH.
4. OVERLAPPING DUCTWORK MAY BE INSTALLED EITHER WAY — SUPPLY OVER RETURN OR RETURN OVER SUPPLY, AS COORDINATED IN FIELD.
5. DUCTWORK PASSES THROUGH JOISTS.
6. SUPPLY BRANCHES OFF FROM ABOVE MAIN SUPPLY DUCT.
7. RETURN BRANCHES OFF FROM ABOVE MAIN RETURN DUCT.
8. ALL BRANCHES ON INDICATED DUCT MAY CONNECT FROM ABOVE, BELOW, OR SIDE AS COORDINATED IN FIELD.
9. SUPPLY AND RETURN DROPS DUCTS WITHIN THEIR OWN RESPECTIVE JOIST SPACE. JOIST LOCATIONS TO BE VERIFIED AT SITE.
10. DUCTWORK ROUTED BETWEEN JOISTS.
11. DUCTWORK ROUTED UNDERNEATH JOISTS.
12. VAV FOR REHEAT CONTROL. PROVIDE WALL THERMOSTAT FOR VAV CONTROL. PIPING TO HAVE VALVE KIT WITH CONTROL VALVE. HYDRONIC SUPPLY AND RETURN TO BE TIED INTO VAV COIL FROM MAIN PIPES.
13. COORDINATE ALL ROOF CUTTING, PATCHING, AND FLASHING WITH GENERAL CONTRACTOR FOR ALL ROOF PENETRATIONS.
14. HYDRONIC SUPPLY AND RETURN PIPING SERVING VAV REHEAT COILS AND UNIT HEATERS. ROUTED IN DROP CEILINGS UNLESS NOTED OTHERWISE. SUPPLY & RETURN TO BE INSULATED PER CODE.
15. CABINET UNIT HEATER FOR VESTIBULE HEAT. UNIT TO HAVE INTEGRAL THERMOSTAT. HEAT TO TURN ON WHEN SPACE IS BELOW 50 F. UNIT TO TURN OFF WHEN SPACE IS 60 F.
16. CIRCUIT SETTER FOR HYDRONIC SYSTEM CONTROL, COORDINATE WITH EXISTING BOILER & PUMP REQUIREMENTS.
17. NEW SUPPLY AND RETURN DUCTWORK TO CONNECT TO EXISTING DUCT TRANSITION. SERVING RTU. PROVIDE TRANSITION FITTINGS AS REQUIRED BETWEEN DRAWING INDICATED DUCT RISER AND EXISTING RTU CONNECTION. CONNECTION LOCATIONS AND DIMENSIONS VERIFIED AT SITE. PROVIDE INTERNAL AIR SPLITTER OR TURING VEINS WITHIN THE SUPPLY PLENUM TO ALLOW SMOOTHER AIR SPLITTING.
18. SUPPLY DIFFUSERS TO BE ELEVATED ON SAME LEVEL AS ACOUSTIC PANELS AND LOCATED BETWEEN THEM AS DEPICTED ON DRAWING. DIFFUSERS DUCT TO BE ROUTED SUCH THAT IT AVOIDS ACOUSTIC HANGERS. COORDINATE WITH ACOUSTIC PANEL INSTALLATION. DUCT WORK AND DIFFUSER PLACEMENT TO AVOID LIGHTING FIXTURES AND HANGERS, COORDINATE WITH LIGHTING INSTALLATION.
19. BRANCH MAY GO ROUTE THROUGH JOISTS IF SPACE RESTRICTS OTHERWISE.
20. ALL SUPPLY DUCTWORK FROM INDICATED UNIT DESIGNED AS THERMODUCT, CONTRACTOR MAY PROVIDE EQUAL.
21. ALL EXPOSED DUCT WORK, ACCESSORIES, AND DIFFUSERS TO AT PHASE 1 SHALL BE PAINTED BLACK.
22. DIFFUSERS TO AVOID LIGHTING FIXTURES, COORDINATE WITH LIGHTING FIXTURE LOCATIONS INSTALLATION.



ARCHITECTS / ENGINEERS

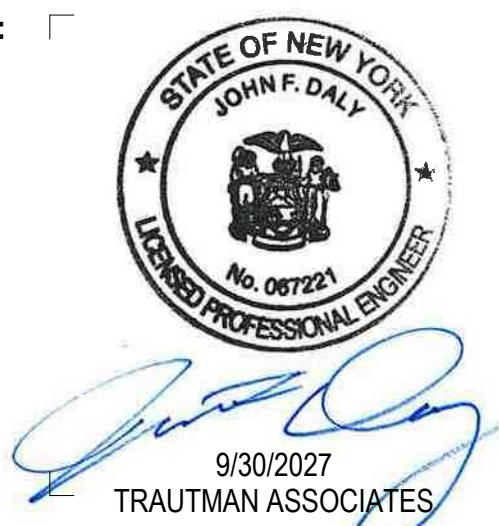
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Client: LACTALIS AMERICAN GROUP INC.

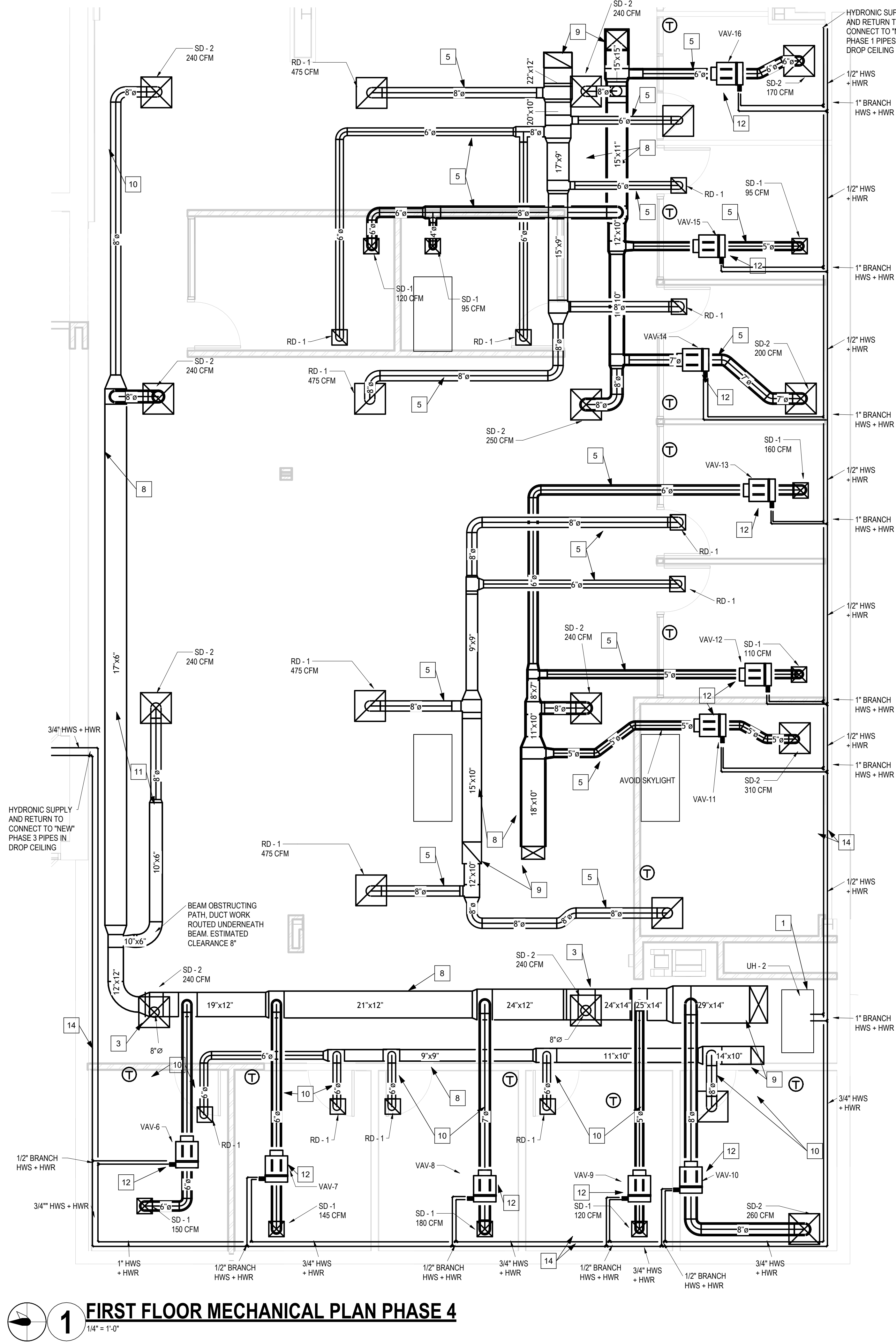
Project: OFFICE RENOVATIONS AT 2376 SOUTH PARK AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/06/2025
Project Number: 25042
Sheet Title: FIRST FLOOR MECHANICAL PLAN - PHASE 2 & 3

Sheet Number: M103



FIRST FLOOR MECHANICAL PLAN PHASE 4

1/4" = 1'-0"

GENERAL MECHANICAL NOTES:

- COORDINATE WORK WITH ALL TRADES PRIOR TO INSTALLATION.
- ALL 90 DEGREE TRANSITIONS IN DUCTWORK TO BE PROVIDED TURNING VANES.
- PROVIDE VOLUME DAMPERS ON ALL DUCTWORK BRANCHES FOR BALANCING.
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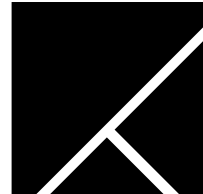
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Client: **LACTALIS AMERICAN GROUP INC.**

Project: **OFFICE RENOVATIONS AT 2376 SOUTH PARK AVENUE**

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

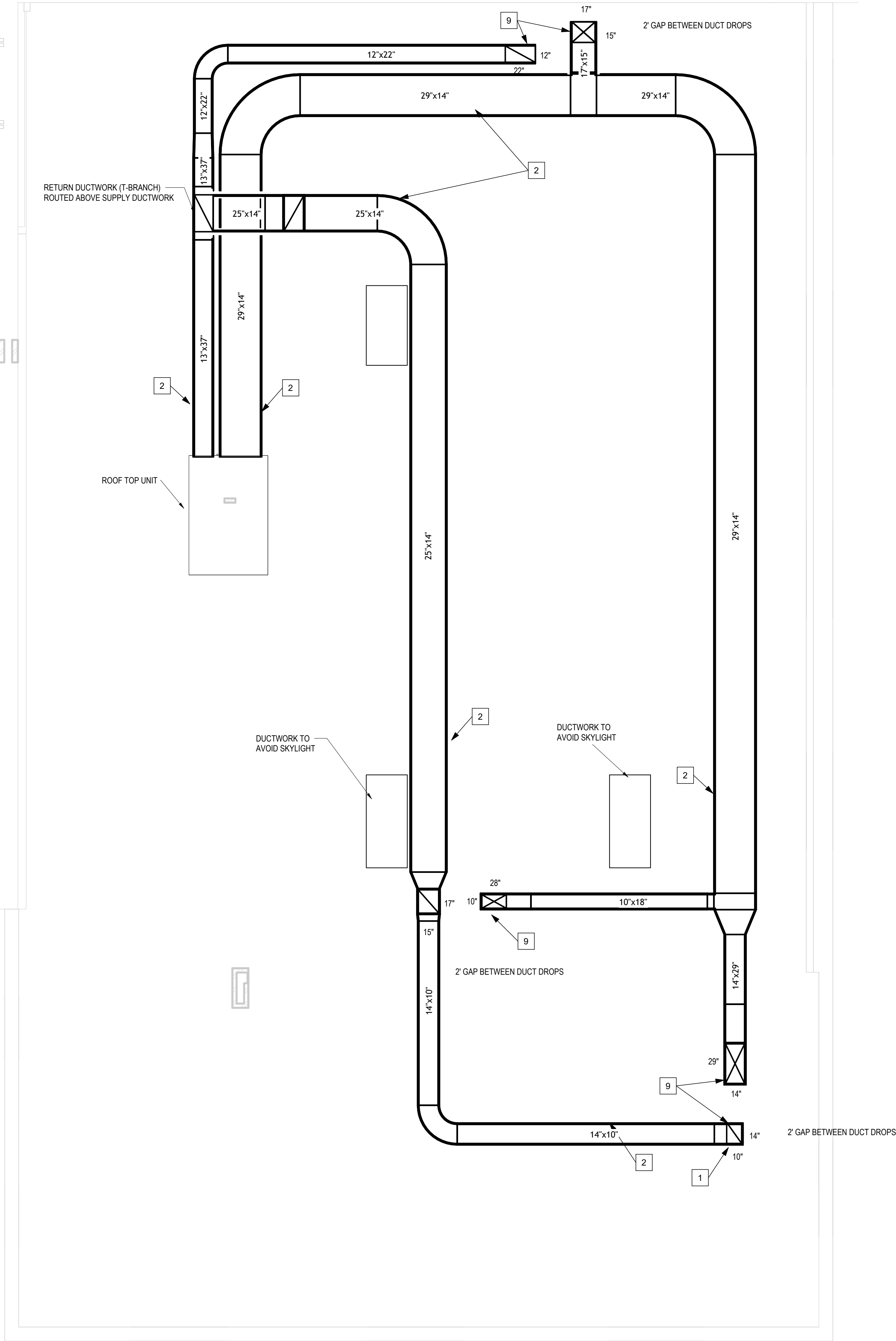
Drawing History: # Date Description

Date: 11/06/2025

Project Number: 25042

Sheet Title: **FIRST FLOOR MECHANICAL PLAN - PHASE 4**

Sheet Number: **M104**



GENERAL MECHANICAL NOTES:

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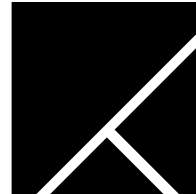
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- 22.



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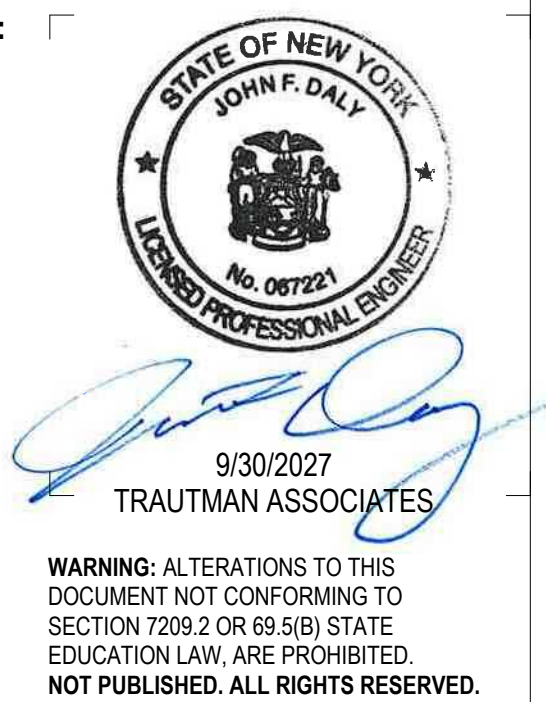
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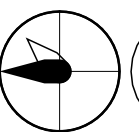
Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
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Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

Date: 11/06/2025
Project Number: 25042
Sheet Title: **ROOF MECHANICAL
PLAN - PHASE 4**

Sheet Number: **M201**



1

ROOF MECHANICAL PLAN PHASE 4

1/4" = 1'-0"

PLUMBING SYMBOLS / ABBREVIATIONS LEGEND:

	NEW PIPING		VIR		VALVE IN RISER
	DEMOLITION				RISER DOWN (ELBOW)
	EXISTING TO REMAIN				RISER UP (ELBOW)
	VENT				RISE OR DROP
	STORM / RAINWATER DRAIN				BRANCH - TOP CONNECTION
	SOIL, WASTE, OR SANITARY SEWER (SAN)				BRANCH - BOTTOM CONNECTION
	NATURAL GAS				BRANCH - SIDE CONNECTION
	EMERGENCY (SECONDARY) STORM DRAIN				CAP ON END OF PIPE
	CONDENSATE DRAIN (COND)				TRAP
	DOMESTIC COLD WATER (DCW)				FLOOR DRAIN
	DOMESTIC HOT WATER (DHW)				ROOF DRAIN
	RECIRCULATING DOMESTIC HOT WATER (DHW)				EXISTING FIXTURE TO REMAIN
	SHUTOFF VALVE				FIXTURE TO BE PROVIDED
	CLEANOUT PLUG				FIXTURE TO BE REMOVED
	FLOOR CLEANOUT				EQUIPMENT
	WALL CLEANOUT				EXISTING TO REMAIN
	STRAINER				MECHANICAL
	PUMP				TYPICAL
	WATER HAMMER ARRESTER (SIZE INDICATED)				VENT THROUGH ROOF
	HOSE BIBB (HB) OR WALL HYDRANT (WH)				POINT OF CONNECTION TO EXISTING
	GAS COCK, GAS STOP				
	BALANCING VALVE				
	SOLENOID OPERATED VALVE				
	BACKFLOW PREVENTER				
	RPZ = REDUCE PRESSURE ZONE TYPE				
	CHECK VALVE				
	EXPANSION JOINT (EJ)				

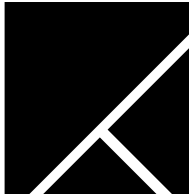
GENERAL PLUMBING NOTES:

- WHERE PIPING, FIXTURE, OR EQUIPMENT IS INDICATED TO BE PROVIDED, PROVIDE FIXTURE, PIPING, AND AL ASSOCIATED ACCESSORIES, INCLUDING SUPPLY FITTINGS, FAUCET, TRAP, SUPPORTS, HANGERS, INSULATION, ETC. EXTEND PIPING ACCORDING TO DRAWINGS AND AS NECESSARY TO CONNECT FIXTURES AND EQUIPMENT. SEE SCHEDULES AND SPECIFICATIONS FOR DETAILS.
- COORDINATE INSTALLATION WITH ALL OTHER TRADES, INCLUDING OTHER PIPING, DUCTWORK, GRILLES, LIGHTS, ETC, AS WELL AS THE EXISTING STRUCTURE. CEILING SPACE IS VERY LIMITED AND INSTALLATION BE CAREFULLY COORDINATED. COORDINATE PIPING INSTALLATION IN CHASES WITH ALL OTHER CONTRACTORS.
- COORDINATE ALL FLOOR PENETRATIONS WITH THE GENERAL CONTRACTOR.
- INSTALL ALL MATERIALS AND EQUIPMENT ACCORDING TO MANUFACTURES INSTRUCTIONS AND RECOMMENDATIONS AND ACCORDING TO CODE.
- ALL PIPING, EQUIPMENT, AND ALL ACCESSORIES IN ALL AREAS, ARE TO BE INSTALLED TIGHT TO THE STRUCTURE TO ALLOW THE GREATEST FLOOR TO CEILING CLARENCE POSSIBLE. VERIFY EXACT ROUTING IN FIELD.
- PROVIDE FIRESTOPPING AT ALL PIPE PENETRATIONS THROUGH ALL FIRE RATED ASSEMBLIES. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATINGS.
- LABEL ALL PIPING, VALVES, EQUIPMENT, SPECIALTIES, ETC, ACCORDING TO CODE AND TO SPECIFICATIONS.
- INSULATE ALL PIPING ACCORDING TO NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AND TO SPECIFICATIONS.
- PROVIDE ALL TESTING AND ADJUSTING ACCORDING TO CODE AND TO SPECIFICATIONS.
- ALL VALVES OR OTHER EQUIPMENT REQUIRING FUTURE SERVICE/MAINTENANCE ARE TO BE LOCATED IN ACCESSIBLE AREA. PROVIDE LOCKABLE ACCESS DOORS WHERE REQUIRED. COORDINATE WITH GENERAL CONTRACTOR.
- ALL PLUMBING WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL AUTHORITIES HAVING JURISDICTION.
- REFER TO STRUCTURAL DETAIL 3 ON S102 FOR TYPICAL OPENING REINFORCEMENT AT EXISTING CONCRETE JOIST AND DETAIL 3 ON S503 FOR TYPICAL REINFORCEMENT FOR OPENING IN EXISTING SLAB. COORDINATE PIPE PENETRATIONS WITH ALL OTHER TRADES PRIOR TO FLOOR CUTTING. AVOID CUTTING EXISTING CONCRETE JOISTS.

PLUMBING FIXTURE SCHEDULE

TAG	--	FIXTURE	MATERIAL	TYPE	FINISH	OPERATOR/ FITTING	CARRIE R	DCW	DHW-140 DEG F	DHW-115 DEG F	WASTE	VENT	NOTES & ACCESSORIES
LAV-1	DESCRIPTION	LAVATORY	VITREOUS CHINA	UNDERMOUNT	WHITE	PROVIDE LKB736C COMMERCIAL LAVATORY DECK...	NA	1/2"	NA	1/2"	1-1/4"	1-1/4"	PROVIDE QUATER TURN (BRASSCRAFT COMPRESSION) ANGLE STOPS, SINK SUPPLY HOSE CONNECTION, AND 1-1/4" x 1-1/4" P TRAP (MCGUIRE "MCT125 SERIES." PROVIDE ASSE 1070 MIXING VALVE UNDER SINK. COORDINATE INSTALL WITH ELECTRICAL CONTRACTOR. PROVIDE ANY ADDITIONAL ACCESSORIES INCLUDING LOW VOLTAGE WIRING AND...
	MANUFACTURER	AMERICAN STANDARD	--	ADA COMPLAINT		MOEN GRAEDEN LAVATORY 84138SRN	--	--	--	--	--	--	
WC-1	DESCRIPTION	WATER CLOSET	VITREOUS CHINA	WALL MOUNT, FLUSH VALVE,...	WHITE	FLUSH VALVE INSLUDED TOILET...	WATTS ADJUS...	1"	NA	NA	3"	2"	PROVIDE OPEN FRONT, ELONGATED WHITE TOILET SEAT. COORDIANTE INSTALL WITH ELECTRICAL CONTRACTOR. PROVIDE ANY ADDITIONAL ACCESSORIES INCLDUNG LOW VOLTAGE WIREING AND TRANSFORMERS.
	MANUFACTURER	AMERICAN STANDARD	--	AFWALL MILLENIUM...		SELECTRONIC 1.6/1.1 GPF							
UR-1	DESCRIPTION	URINAL	VITREOUS CHINA	WALL MOUNT, WASHDOWN, TOP SPUD	WHITE	SENSOR HARD WIRED, FLUSH VALVE	WATTS CARRIE R	1/2"	NA	NA	2"	1-1/2"	COORDINATE INSTALL WITH ELECTRICAL CONTRACTOR. PROVIDE ANY ADDITIONAL ACCESSORIES INCLUDING LOW VOLTAGE WIRING AND TRANSFORMERS.
	MANUFACTURER	AMERICAN STANDARD	-	WASHBROOK TOP SPUD URINAL									
FD-1	DESCRIPTION	SHOWER	BRASS	SHOWER HEAD WITH ROUGHIN VALVE		SELECTED BY OWNER	NA	1/2"	NA	1/2"	2"	2"	SHOWER VALVE SELECTED BY OWNER. SHOWER TRIM ONLY. MAX. 2.0 GPM SHOWER HEAD.
	MANUFACTURER	SELECTED BY OWNER	--	--		--	--	--	--	--	--	--	
DF-1	DESCRIPTION	DRINKING FOUNTAIN	STAINLESS STEEL	WALL MOUNTED, BI-LEVEL, BOTTLE FILLER		HANDS-FREEBOTTLE FILLER SENSOR + FRONT & SIDE PUCH-BAR BUBBLERS	NA	1/2"	NA	NA	2"	2"	ELKAY LZSTL8WSSP, 115 V/60Hz ~ 270 W, FLA 5, FILTERED, LED FILTER STATUS & AUTO RESET, ENERGY SAVER MODE
	MANUFACTURER	ELKAY	STAINLESS STEEL	--		1212SGH	--	--	--	--	--	--	
FCO	DESCRIPTION	FLOOR CLEANOUT	CAST IRON	SQUARE, S.S. TOP,NO HUB		NA	NA	NA	NA	NA	4"	NA	
	MANUFACTURER	WATTS	--	CO-1200-S	--	--	--	--	--	--	--	--	
WCO	DESCRIPTION	WALL CLEANOUT	BRASS WALL WITH STAINLESS STEEL COVER			--	--	--	--	--	4"	--	
	MANUFACTURER	WATTS	--	CO-59		--	--	--	--	--	--	--	

NOTES:



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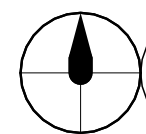
Project: OFFICE
RENOVATIONS AT
2376 SOUTH PARK
AVENUE

Project Address: 2376 SOUTH PARK AVENUE
BUFFALO, NY 14220

Drawing History: # Date Description

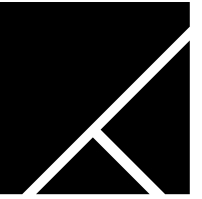
Date: 11/06/2025
Project Number: 25042
Sheet Title: SYMBOLS AND
LEGENDS

Sheet Number: P001



FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



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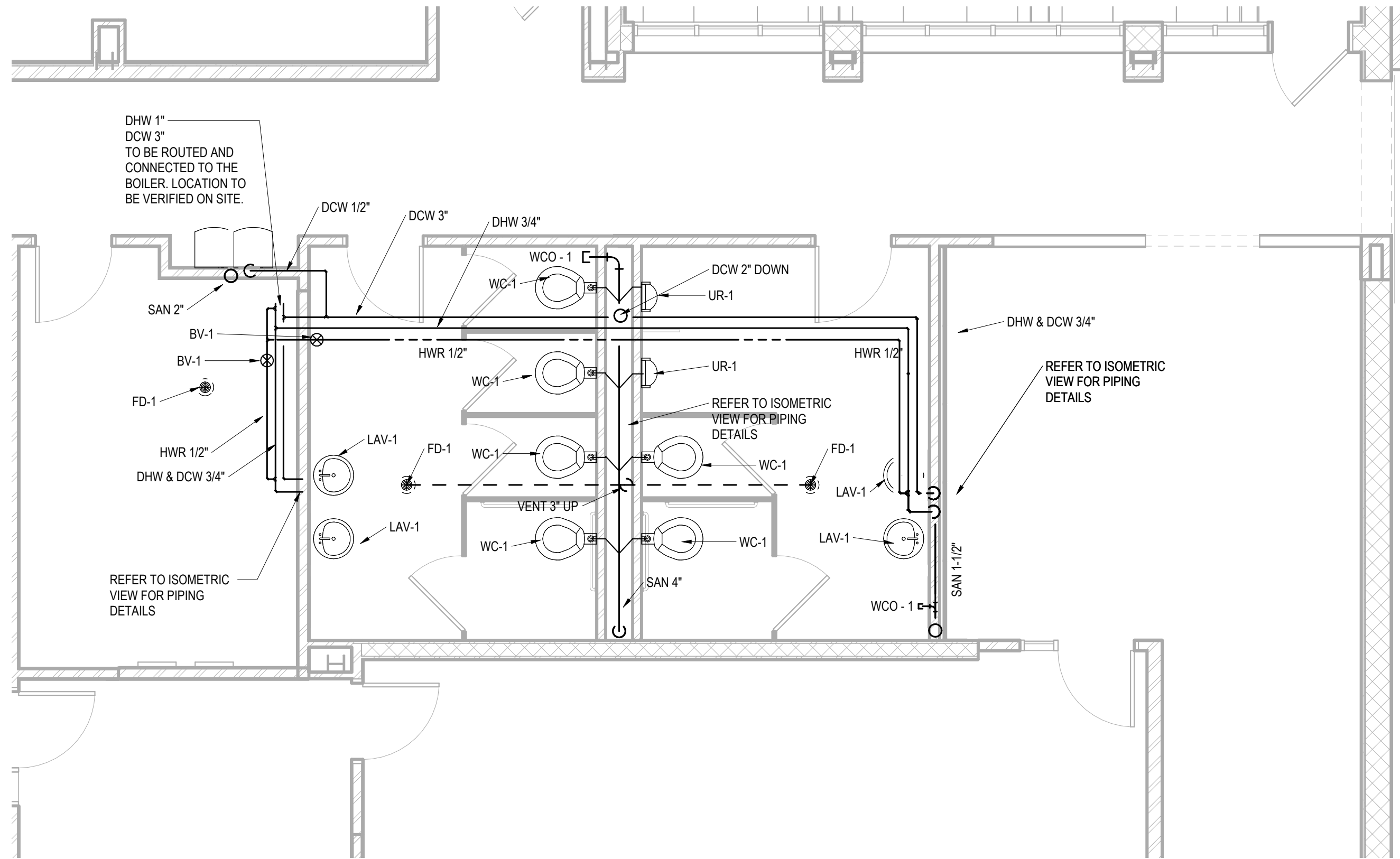
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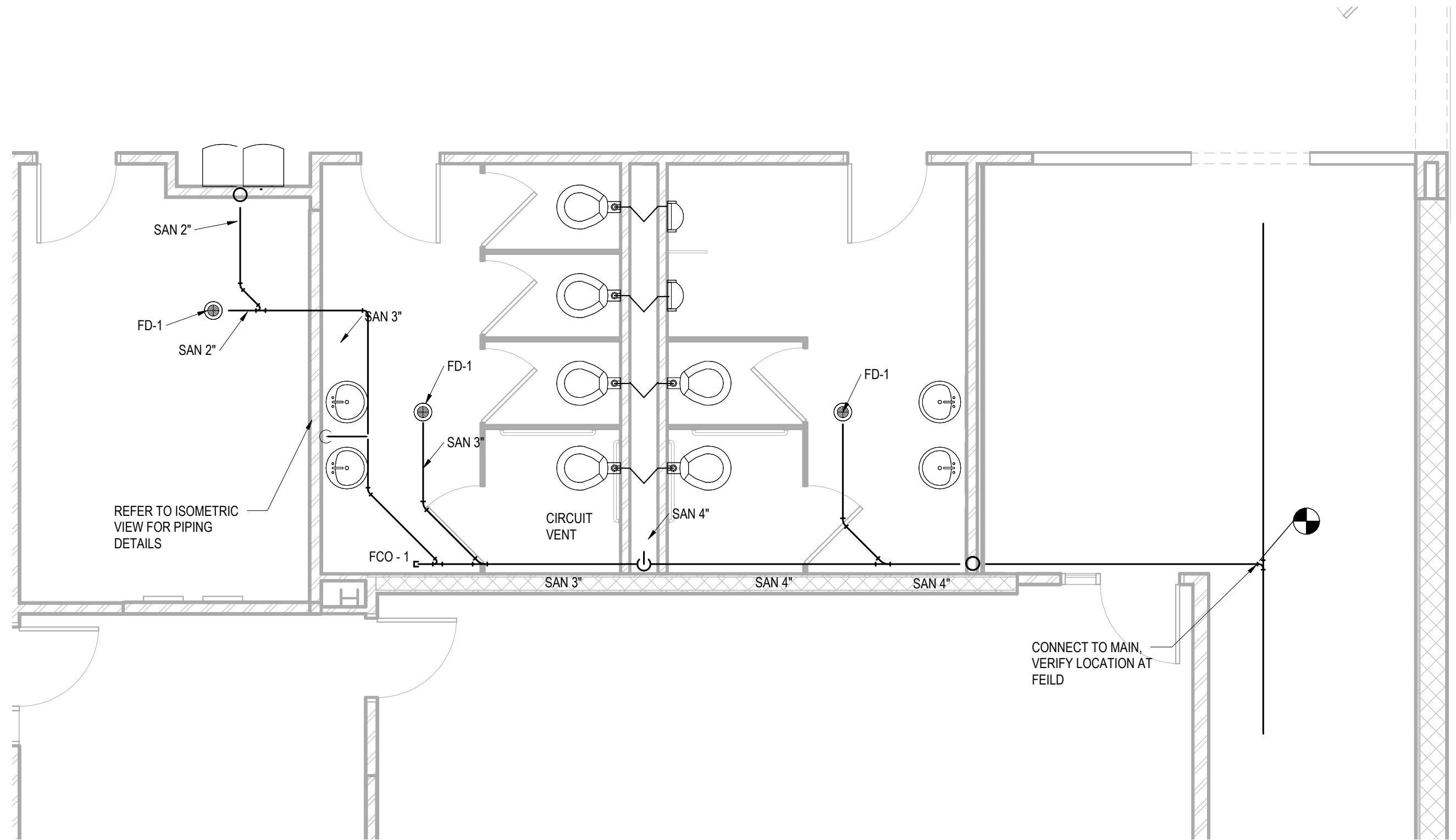
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Date: 11/06/2025
Project Number: 25042
Sheet Title: **FIRST FLOOR PLUMBING DEMOLITION PLAN**

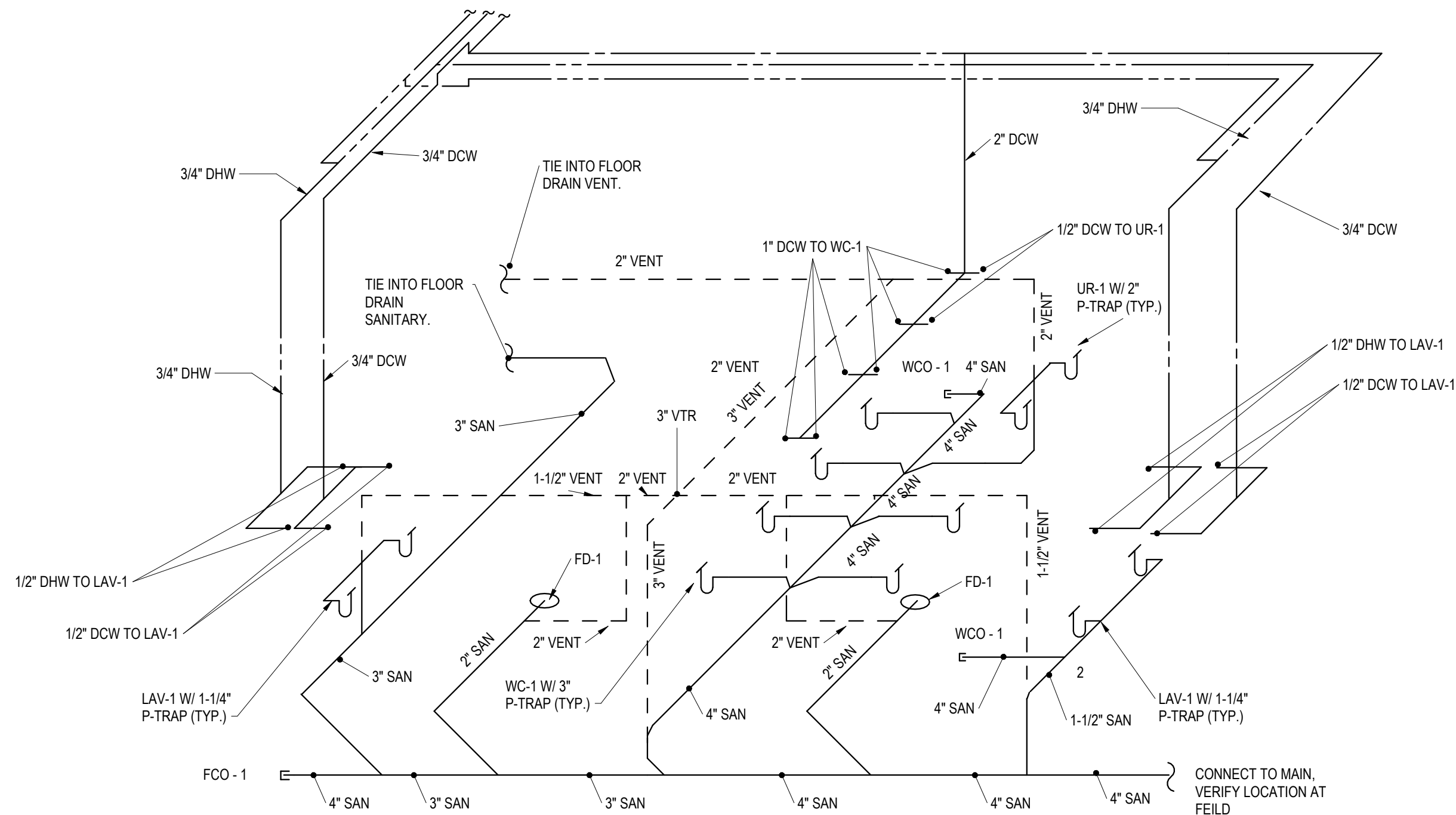
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1 P - FIRST FLOOR PLUMBING PLAN
1/4" = 1'-0"



2 P - FIRST FLOOR UNDERSLAB PLUMBING PLAN
1/4" = 1'-0"



ISOMETRIC VIEW OF BATHROOMS
1/8" = 1'-0"

Consultants:

Signature & Seal:



Client: **LACTALIS AMERICAN GROUP INC.**

Project: **OFFICE RENOVATIONS AT 2376 SOUTH PARK AVENUE**

Project Address: 2376 SOUTH PARK AVENUE
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Drawing History: # Date Description

Date: 11/06/2025
Project Number: 25042
Sheet Title: **FIRST FLOOR PLUMBING PLAN**

Sheet Number: **P101**