



375 Essjay Road, Suite 200, Williamsville, New York 14221
P 716.688.0766 F 716.625.6825

ADDENDUM NO. 03

Northland Corridor Redevelopment Project Phase 4
631 Northland Ave.
Buffalo, NY 14211

DATE

October 22, 2025

OWNER

Buffalo Urban Development Corporation
95 Perry Street, Suite 404
Buffalo, NY 14203

ARCHITECT/ENGINEER

Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, PC
375 Essjay Road, Suite 200
Williamsville, NY 14221

Project No. 432607

This Addendum is being issued to clarify the bid documents and shall supersede and supplement all portions of previously issued bid documents with which it conflicts. It shall be made an integral part of the construction documents.



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Project Northland Corridor Redevelopment Phase 4 (BUDC) Addendum No. 3
631 Northland Avenue, Buffalo, NY Contract -
Wendel Project No. 432607 Date 10/22/25

ARTICLE - 1

DRAWING NO. S103A & B

SPEC
SECTION 012100

QUESTION

Removal and replacement of an additional 10% of the existing concrete roof plank is noted on S103A & 103B. The note indicates these quantities listed below do not include and are in addition to the areas indicated to be removed and replaced as shown on the plan. This is how the concrete repair allowance is noted. Should this additional plank replacement be addressed as an allowance? If so, please modify the bid form

ANSWER

Please refer to the revised Bid Form, Allowances Section 012100, and newly added Unit Prices Section 012201 which includes an allowance for removal/repair of concrete roof planks consistent with S103A and B and further clarifies allowances and unit prices.

REPLACE: Specification Sections 012100 Allowances with the revised attached to this addendum.

ARTICLE - 2

DRAWING NO. N/A

SPEC
SECTION 004113 Bid Form

DELETE: 004113 Bid Form

ADD: Revised Bid Form (004113) attached to this addendum.

CLARIFICATION: Allowance revisions and additional BUDC requirements have been reflected on the Bid Form.

ARTICLE - 3

DRAWING NO. HM-100, 101, 102

SPEC
SECTION N/A

DELETE: HM-100, HM-101, and HM-102

ADD: Revised HM-100, HM-101 and HM-102 as issued in this addendum.

CLARIFICATION: Hazardous materials incidental disturbance areas and linear feet have been clarified on the revised referenced drawings issued as part of this addendum.



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631 Northland Avenue, Buffalo, NY Contract -
Wendel Project No. 432607 Date 10/22/25

ARTICLE - 4

DRAWING NO. N/A

SPEC
SECTION 085113

QUESTION: Window specification calls for an Anodized Finish and for a Painted finish. However, further up in the specification the windows are clearly called out as "Clear Anodized." Is the intent to provide a class 1 clear anodized finish or a painted finish. Please see attached from window specification.

ANSWER: Contractor shall refer to Specification Section 085113. Windows shall be Class 1 Clear Anodized finish.

ARTICLE - 5

DRAWING NO. A301, A900, A901

SPEC
SECTION 087100

QUESTION:

1. There is no spec for door hardware, what is the intended basis of design? Additionally, there are no hardware sets at this time.
2. Could you please advise what the window types are for 1/A301 – North Elevation far left. There is no notation as to the window types.
3. There are window types noted on the schedule and elevations that are not shown in window type elevation.
4. Are window quantities/types to be used from window schedule or elevation? (minor differences)
5. 6&7/A901 there is snap trim noted at the head of the first row of windows. Is this typical of the 2nd row also?
6. 5/A901 there is a "void" at the head of the window – is there to be snap trim? Is the wood blocking not drawn?

ANSWER:

1. Door hardware is in Section 087100 which was inadvertently omitted from the original spec. Refer to specification Section 087100 attached to this addendum.
2. Drawing sheets A301 and A900 were revised and issued under Addendum 02.
3. Please refer to window elevations and coordinate with schedule. Please ask specific questions if contractor(s) are unclear on anything further.
4. Refer to revised drawing A901 removing snap trim from windows. There should be no snap trim.
5. Refer to revised drawing A901. SHPO & NPS final approval on windows are pending the window mockup in process. Contractor and awarded window manufacturer are responsible for verifying in field and confirming details via shop drawings. Design intent is that windows shall receive wood blocking where the head and/or sill have steel angles present.

REPLACE: Drawing sheet A901 with the revised issued in this addendum.

ADD: Specification Section 087100 Finish Hardware



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631 Northland Avenue, Buffalo, NY Contract -
Wendel Project No. 432607 Date 10/22/25

ARTICLE - 6

DRAWING NO. A301

SPEC
SECTION N/A

QUESTION: Elevation 1/A301 shows multiple windows that are not called out with window tags. Could the window types be provided?

ANSWER: Please refer to Addendum #02 for revised A301.

ARTICLE - 7

DRAWING NO. HM Series

SPEC
SECTION N/A

QUESTION: The HM drawing quantities show door caulk, electrical wiring, window caulk, window glazing, and mudded joint fittings in square footage. What was the conversion rate that was used to convert the quantities from linear footage to square footage as these items are usually shown as linear footage. For caulking it is normally 48 linear feet is equal to 1 square foot. For mudded fitting it is usually one fitting is equal to one linear foot what rate was used to convert it to square footage ?

ANSWER: In accordance with EPA Guidance RE&LS is limited to quantifying materials in linear feet to thermal systems insulation (piping, elbows, fittings) which do not exceed 12" diameter. As such, we have amended the quantities to show piping (MJP) as Linear Feet. The conversion rate used for MJP was equal to one fitting / elbow = one LF. For caulks / glazing associated with the windows, due to the number of layers present we accounted for one SF of material per window unit. For doors, due to multiple layers, we accounted for one SF per door. For electrical wiring insulation, we measured the assumed distance and took the width of the insulation to determine the quantity provided. Please refer to revised HM100 – 102 in this addendum.

ARTICLE - 8

DRAWING NO. N/A

SPEC
SECTION N/A



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Project	<u>Northland Corridor Redevelopment Phase 4 (BUDC)</u>	Addendum No.	<u>3</u>
	<u>631 Northland Avenue, Buffalo, NY</u>	Contract	<u>-</u>
Wendel Project No.	<u>432607</u>	Date	<u>10/22/25</u>

QUESTION:

1. Will parking for construction personnel be allowed on the project site within its boundaries?
2. Per section 015000 use charges for temporary utilities need to be included in our bid amount. Can any historical utility costs for the building be provided so that we can estimate what we need to include in our proposal?
3. Instructions to bidders AIA A701-2018 section 4.3.2 indicates that 7 paper copies of the bid and bid security are required with the submission. Can this be modified so that 1 paper copy of the bid and bid security be provided, since we are also sending in an electronic copy?

ANSWER:

1. Parking for construction personnel will be available on a first come first serve basis in the BUDC-owned lot directly across the street from the 631 building. It is a shared lot. As per Div 01 specifications, the parking lot at 683 Northland CANNOT be used for this project nor construction personnel parking.
2. No historical utility usage data is available for this property. The building is currently de-energized.
3. BUDC requires submissions of seven (7) hard copies of the bid documents and bid security as stated in the Instructions to Bidders.

ARTICLE - 9

DRAWING NO.	<u>N/A</u>
SPEC	
SECTION	<u>N/A</u>

QUESTION: Will stockpiling of excavated soils/spoils be required for testing before removal from the site? Is testing of these soils the responsibility of this contract or is it by others?

ANSWER: Testing of soils prior to removal from the site will be required by the Contractor and a scope change will be issued upon receipt of information from the DEC. The Contractor shall coordinate with the BCP plan and program as approved by the DEC once that information is available. Refer to Article 7 in Addendum #02.

ARTICLE - 10

DRAWING NO.	<u>C102, C103, C201, C301, C302, C503, C504</u>
SPEC	
SECTION	<u>N/A</u>

DELETE: Civil drawings C102, C103, C201, C301, C302, C503, C504.

ADD: Revised civil drawings C102, C103, C201, C301, C302, C503, C504 issued as part of this addendum.

CLARIFICATION: Revisions in the above referenced sheets accommodate environmental requirements and provide clarification to utilities, drainage, and grading.



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	<u>631 Northland Avenue, Buffalo, NY</u>	Contract	<u>-</u>
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ARTICLE -	<u>11</u>	DRAWING NO.	<u>N/A</u>
		SPEC	
		SECTION	<u>012200, 012201</u>

DELETE: Specification Section 012200 Description of Bid Items due to its repetitiveness.

ADD: Specification Section Unit Prices 012201 issued as part of this addendum.

ARTICLE -	<u>12</u>	DRAWING NO.	<u>N/A</u>
		SPEC	
		SECTION	<u>024119</u>

QUESTION:

1. When is it anticipated that the remediation plan will be distributed, and or, has it been submitted to the DEC for approval?
2. For the job trailer requirements, is the GC to provide a separate trailer for the architect and client or is the one trailer provided for the GC also sufficient?
3. Per the discussion at the walkthrough will the owner handle the removal of building contents, or should the GC carry an allowance for this in their bid?

ANSWER:

1. Contractors shall refer to the proposed BCP schedule prepared by LiRo Engineers. The Remedial Investigative Work Plan has been submitted and is presently under review by the DEC. The bid documents shall be bid as is, and contractors shall refer to Addendum #2 Article 7 for clarity on the BCP portion of the project.
2. Contractor shall refer to Specification Section 015000 Temporary Facilities and Controls for Field Office requirements. The Architect does NOT require a separate field office.
3. The Owner will remove items they intend to salvage prior to construction. All other items shall be removed as part of the contractor demolition. Please refer to revised Specification Section 017419 Demolition and Construction Waste Management and Section 024119 Selective Structural Demolition and Support.

ADDITIONAL INFORMATION: Proposed BCP engineer's schedule is attached to this addendum for reference and information and is dependent on agency review timeframes.

REPLACE: Specification Section 024119 with the revised issued as part of this addendum clarifying Owner and Contractor demolition/removal responsibilities.

ARTICLE -	<u>13</u>	DRAWING NO.	<u>N/A</u>
		SPEC	
		SECTION	<u>Table of Contents</u>

REPLACE: Specification/Project Manual Table of Contents with the revised issued as part of this addendum.

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BID FORM

To: Buffalo Urban Development Corporation
Northland Corridor Redevelopment Phase 4 at 631 Northland Avenue
95 Perry Street, Suite 404
Buffalo, NY 14203

In compliance with the Invitation for Bids, the undersigned:

(Name of firm, partnership, or Corporation)

hereby proposes to furnish all supervision, labor, materials, plant, tools, equipment, transportation, overhead and profit, and other facilities related to, proper for, or incidental to the Bid Items noted below for this project, in strict accordance with the Project Manuals dated October 2025, and the Drawings mentioned therein, and including any subsequently issued addenda for consideration of the following breakdown:

BID ITEMS: Refer to Division 01 Section "Description of Bid Items" for complete description. Also, refer to Division 01 Section "Allowances"

1. LUMP SUM COST OF CONSTRUCTION

Dollars (\$ _____)

2. ALLOWANCE NO. 1: CONTINGENCY ALLOWANCE – The following lump sum allowance is to be carried in the Total Lump Sum bid.

Computed Total Twenty Five Thousand Dollars Dollars (\$ 25,000)

3. ALLOWANCE NO. 2: REMOVAL AND REPLACEMENT OF UNSUITABLE SOIL WITH COMPACTED STRUCTURAL FILL – Unit price of \$ _____/CY, times assumed quantity of 2,500 CY. (Fill in unit price and computed total for this bid item.)

Computed Total _____ Dollars (\$ _____)

4. ALLOWANCE NO. 3: CONCRETE REMOVAL & REPLACEMENT – Unit cost for 25SF increments or fraction thereof totaling approx. 20% of the total ground floor level existing +/-6" thick concrete slab-on-grade. (Fill in unit price and computed total for this bid item.)

Unit Price: _____ / Unit of measurement _____

Computed Total _____ Dollars (\$ _____)

5. ALLOWANCE NO. 4: CONCRETE REPAIR – Unit cost for 25SF increments or fraction thereof totaling approx. 35% of the total ground floor level existing +/-6” thick concrete slab-on-grade. (Fill in unit price and computed total for this bid item.)

Unit Price: _____ / Unit of measurement _____

Computed Total _____ Dollars (\$) _____

6. ALLOWANCE NO. 5: HAZARDOUS MATERIALS ABATEMENT – In accordance with quantities indicated on HM Series drawings, indicate cost of hazardous materials abatement.

Computed Total _____ Dollars (\$) _____.

7. ALLOWANCE NO. 6: HAZARDOUS-CONTAINING DEBRIS REMOVAL – Unit cost for 25SF increments or fraction thereof for removal of asbestos atop the existing wood block floor prior to wood block removal. (Fill in unit price and computed total for this bid item.)

Unit Price: _____ / Unit of measurement _____

Computed Total _____ Dollars (\$) _____

8. ALLOWANCE NO. 7: CONCRETE ROOF PLANK REPLACEMENT & REPAIR – Unit cost for 25SF increments or fraction thereof totaling approx. 10% of the roof areas existing +/-2” thick concrete plank system. (Fill in unit price and computed total for this bid item.)

Unit Price: _____ / Unit of measurement _____

Computed Total _____ Dollars (\$) _____

TOTAL LUMP SUM BASE BID (1+2+3+4+5+6+7+8)

_____ Dollars (\$) _____

UNIT PRICES

In addition to unit prices indicated above, provide unit cost for 25SF or linear foot increments or fraction thereof for removal/abatement and handling specific to the itemized legend list.

Abatement Legend Applicable to HM-Drawing Series:
(AC Asbestos Containing)

		\$ Unit Cost	/ Measurement
FBI	AC Brown Fire Brick/Insulation	\$ _____	/ _____
CLK1	AC Gray Door Caulk (interior)	\$ _____	/ _____
CTG	AC Light Gray Cement Thin Set and AC Gray Grout	\$ _____	/ _____
EFI	AC Black Electrical Floor Insulation	\$ _____	/ _____
EINS	AC White Exterior Furnace Insulation	\$ _____	/ _____
MJP	AC White Mudded Joint Packing, Elbows, & Fittings	\$ _____	/ _____
RFLSH	AC Black Roof Flashing, Doors & Curbs	\$ _____	/ _____
RGAS	AC Red Rope Gasket	\$ _____	/ _____
TSI	AC White/Gray Thermal Systems Insulation (Elbows, Fittings & Pipe Runs)	\$ _____	/ _____
TSI1	AC White/Gray Thermal Systems Insulation at Building Center Line associated w/ Storm-line Piping	\$ _____	/ _____
WIC	AC Dark Gray Window Caulk	\$ _____	/ _____
WIG	AC White Window Glaze	\$ _____	/ _____
CC	AC Brown/Rd Canvas Cloth (Associated with Lintels)	\$ _____	/ _____
LG	Leaded Glass	\$ _____	/ _____
LBP1	Yellow Lead-Based Paint Associated w/ Catwalk/Stairs	\$ _____	/ _____
LBP2	Blue Lead-Based Paint Associated with Exterior Doors and Rooftop Steel	\$ _____	/ _____

PROPOSED EQUIVALENTS

The Contractor has included in the Base Bid the following kinds, types, brands, or manufacturers of materials in lieu of those named in the specifications. The Contractor understands that he includes these proposed equivalent items in the Base Bid at his own risk, as they are subject to the approval of the Architect. The Contractor certifies that the following constitute the extent of proposed equivalent items included in the Base Bid and that the remainder of kinds, types, brands, or manufacturers included in the Base Bid are those named in the specifications.

<u>ITEM</u>	<u>SPECIFICATION SECTION & PARAGRAPH(S)</u>	<u>PROPOSED EQUIVALENT</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

ATTACH ADDITIONAL PROPOSED EQUIVALENT ITEMS TO BID FORM.

SUBCONTRACTORS

The undersigned proposes to use the following subcontractors to complete the scope of work detailed within the Contract Documents:

1.	<u>SUBCONTRACTOR NAME</u>	<u>PHONE #</u>	<u>TRADE</u>
	_____	_____	_____

MBE: YES/NO WBE: YES/NO DBE: YES/NO

SUMMARY OF WORK:

2.	<u>SUBCONTRACTOR NAME</u>	<u>PHONE #</u>	<u>TRADE</u>
	_____	_____	_____

MBE: YES/NO WBE: YES/NO DBE: YES/NO

SUMMARY OF WORK:

3.	<u>SUBCONTRACTOR NAME</u>	<u>PHONE #</u>	<u>TRADE</u>
	_____	_____	_____

MBE: YES/NO WBE: YES/NO DBE: YES/NO

SUMMARY OF WORK:

4.	<u>SUBCONTRACTOR NAME</u>	<u>PHONE #</u>	<u>TRADE</u>
	_____	_____	_____

MBE: YES/NO WBE: YES/NO DBE: YES/NO

SUMMARY OF WORK:

ATTACH ADDITIONAL SHEET TO THIS BID FORM LISTING PROPOSED SUBCONTRACTORS AS NECESSARY.

The Bidder agrees that this Proposal shall be good and may not be withdrawn for a period of one hundred and twenty (120) days from the Bid due date. The undersigned also agrees that the alternate prices on this proposal shall be valid and will not increase for a period of twelve (12) months from the date of Bid opening. The undersigned also agrees that the allowance amounts and unit prices on this proposal shall be valid and will not increase from the date of Bid opening through project completion.

The Bidder understands that the Owner specifically reserves the right to reject any and all Bids and to waive any informality therein.

The undersigned agrees to complete the work in accordance with the time period specified in the Standard Form of Agreement Between Owner and Contractor – AIA A101-2017.

Addendum Receipt: The receipt of the following addenda to the Specifications is acknowledged:

Addendum No. _____	Date _____	Addendum No. _____	Date _____
Addendum No. _____	Date _____	Addendum No. _____	Date _____
Addendum No. _____	Date _____	Addendum No. _____	Date _____
Addendum No. _____	Date _____	Addendum No. _____	Date _____

Contractor Qualification Form shall be completed and delivered to the BUDC with the Bidder's Proposal submission.

Dated _____, 20__

Legal name of person, partnership, or corporation

(Sign Bid Here) By:

Name and Title

Legal Business Address:

Street

City and State

Phone Number

IF BIDDER IS A FIRM OR PARTNERSHIP, COMPLETE THE FOLLOWING:

Name of Members or Partners

Legal Residence

IF BIDDER IS A CORPORATION, COMPLETE THE FOLLOWING:

State of Incorporation: _____

Name and Title

Legal Residence

President

Vice President

Secretary

WAIVER OF IMMUNITY CLAUSE

The bidder hereby agrees to the provisions of the applicable General Municipal Law which requires that upon the refusal of person, when called before a grand Jury to testify concerning any transaction or contract had with the State, any political subdivision thereof, a public authority or with any public department, agency or official of the state or of any political subdivision thereof or of a public authority, to sign a waiver of immunity against subsequent criminal prosecution or to answer any relevant question concerning such transaction or contract.

- (a) Such person, any firm, partnership, or corporation of which he is a member, partner, director or officer shall be disqualified from thereafter selling to or submitting bids to or receiving awards from or entering into any contracts with any municipal corporation or any public department, agency or official thereof, for goods, work or services, for a period of five years after such refusal, and
- (b) Any and all contracts made with any municipal corporation or any public department, agency or official thereof, since the effective date of this law, by such person, and by any firm, partnership, or corporation of which he is a member, partner, director or officer may be canceled or terminated by the municipal corporation without incurring any penalty or damages on account of such cancellation or termination, but any monies owing by the municipal corporation for goods delivered or work done prior to the cancellation or termination shall be paid.

Individual

Corporation

Date _____ By: _____

AFFIRMATIVE ACTION AGREEMENT

Firm Name: _____

Business Address: _____

Telephone Number: _____

Non-discrimination Clauses:

1. The Contractor will not discriminate against any employee or applicant for employment because of race, creed, sex, color, or national origin and will take affirmative action to insure that they are afforded equal employment opportunities without discrimination because of race, creed, sex, color, or national origin. Such action shall be taken with reference, but not limited to: recruitment, employment, job assignment, promotion, upgrading, demotion, transfer, layoff or termination, rates of pay or other forms of compensation, and selection for training or retraining, including apprenticeship and on-the-job training.
2. The Contractor will send to each labor union or representative of workers with which he has or is bound by a collective bargaining or other agreement or understanding, a notice, to be provided by the State of New York Equal Rights Division, advising such labor union or representative of the Contractor's agreement under clauses (1) through (7) (hereinafter called "non-discrimination clauses"). If the Contractor was directed to do so by the contracting agency as part of the bid or negotiation of this Contract, the Contractor shall request such labor union or representative to furnish him with a written statement that such labor union or representative will not discriminate because of race, creed, sex, color or national origin and that such labor union or representative either will affirmatively cooperate, within the limits of its legal and contractual authority, in the implementation of the policy and provisions of these non-discrimination clauses or that it consents and agrees that recruitment, employment and the terms and conditions of employment under this Contract shall be in accordance with the purposes and provisions of these non-discrimination clauses. If such labor union or representative fails or refuses to comply with such a request that it furnish such a statement, the Contractor shall promptly notify the State Commission for Human Rights of such failure or refusal.
3. The Contractor will post and keep posted in conspicuous places, available to employees and applicants for employment, notices to be provided by the State of New York Equal Rights Division setting forth the substance of the provisions of clauses (1) and (2) and such provisions of the State's laws against discrimination as the State of New York Equal Rights Division shall determine.
4. The Contractor will state, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, that all qualified applicants will be afforded equal employment opportunities without discrimination because of race, creed, sex, color, or national origin.
5. The Contractor will comply with all applicable local, state and federal non-discrimination laws will furnish all information and reports deemed necessary by the State of New York Equal Rights Division under these non-discrimination clauses and such sections of the Executive Law, and will permit access to his books, records and accounts by the State of New York Equal Rights Division,

the Attorney General and the New York Employment Relations Commission (WERC) for the purposes of investigation to ascertain compliance with these non-discrimination clauses and such sections of the Executive Law and Civil Rights Law.

6. This Contract may be forthwith canceled, terminated or suspended, in whole or in part, by the contracting agency upon the basis of a finding made by the State of New York Equal Rights Division that the Contractor has not complied with these non-discrimination clauses, and the Contractor may be declared ineligible for future contracts made by or on behalf of the State or a public authority or agency of the state, until he satisfies the State of New York Equal Rights Division that he has established and is carrying out a program in conformity with the provisions of these non-discrimination clauses. Such finding shall be made by the State of New York Equal Rights Division after conciliation efforts by the New York Employment Relations Commission have failed to achieve compliance with these non-discrimination clauses and after a verified complaint has been filed with the New York Employment Relations Commission, notice thereof has been given to the Contractor and an opportunity has been afforded him to be heard publicly before members of the New York Employment Relations Commission. Such sanctions may be imposed and remedies invoked dependently of or in addition to sanctions and remedies otherwise provided by law.
7. The Contractor will include the provisions of clauses (1) through (6) in every subcontract or purchase order in such a manner that such provisions will be binding upon each subcontractor or vendor as to operations to be performed within the State of New York. The Contractor will take such action in enforcing such provisions of such subcontract or purchase order as the contracting agency may direct, including sanctions or remedies for non-compliance. If the Contractor becomes involved in or is threatened with litigation with a subcontractor or vendor as a result of such direction by the contracting agency, the Contractor shall promptly so notify the Attorney General, requesting him to intervene and protect the interests of the State of New York.

Signature (Authorized): _____

Title: _____

BID PROPOSAL CERTIFICATIONS

Firm Name _____

Business Address _____

Telephone Number _____ Date of Bid _____

I. General Bid Certification

The bidder certifies that he will furnish, at the prices herein quoted, the materials, equipment, and/or services as proposed on this bid.

II. Non-Collusive Bidding Certifications

By submission of this bid proposal, the bidder also certifies compliance with the following:

Statement of non-collusion in bids and proposals to political subdivision of the state. Every bid or proposal hereafter made to a political subdivision of the state or any public department, agency or official thereof where competitive bidding is required by statute, rule, regulation, or local law, for work or services performed or to be performed or goods sold or to be sold, shall contain the following statement subscribed by the bidder and affirmed by such bidder as true under the penalties of perjury: Non-collusive bidding certification.

(a) By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

(1) The prices in this bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;

(2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder to any competitor; and

(4) No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition. (b) A bid shall not be considered for award nor shall any award be made where (a) (1) (2) and (3) above have not been complied with; provided, however, that if in any case the bidder cannot make the foregoing certification, the bidder shall so state and shall furnish with the bid a signed statement which sets forth in detail the reasons therefore. Where (a) (1) (2) and (3) above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the head of the purchasing unit of the political subdivision, public department, agency or official thereof to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting completions.

The fact that a bidder (a) has published price lists, rates, or tariffs covering items being procured, (b) has informed prospective customers of proposed or pending publication of new or revised price lists for such items, or (c) has sold the same items to other customers at the same

prices being bid, does not constitute, without more, a disclosure within the meaning subparagraph one (a).

2. Any bid hereafter made to any political subdivision of the state or any public department, agency or official thereof by a corporate bidder for work of services performed or to be performed or goods sold or not to be sold, where competitive bidding is required by statute, rule, regulation, or local law, and where such bid contains the certification referred to in subdivision one of the section, shall be deemed to have been authorized by the board of directors of the bidder, and such authorization shall be deemed the board of directors of the bidder, and such authorization shall be deemed to include the signing and submission of the bid and the inclusion therein of the certificate as to non-collusion as the act and deed of the corporation.

III. Schedule Acknowledgement Certification

The bidder certifies that he acknowledges that time is the essence of the project schedule as outlined in specification section 011000 Summary and they have formally confirmed all specified materials and equipment will be procured and installed within the stipulated project schedule or be subject to liquidated damages as specified.

Signature (Authorized) _____

Title _____

MINORITY & WOMEN OWNED BUSINESS ENTERPRISES (MWBE)

NEW YORK STATE LAW

In 2006, the State of New York commissioned a disparity study to evaluate whether minority and women-owned business enterprises had a full and fair opportunity to participate in state contracting. The findings of the study were published on April 29, 2010, under the title "The State of Minority and Women-Owned Business Enterprises: Evidence from New York" ("Disparity Study"). The report found evidence of statistically significant disparities between the level of participation of minority- and women-owned business enterprises in state procurement contracting versus the number of minority- and women-owned business enterprises that were ready, willing and able to participate in state procurements. As a result of these findings, the Disparity Study made recommendations concerning the implementation and operation of the statewide certified minority- and women-owned business enterprises program. The recommendations from the Disparity Study culminated in the enactment and the implementation of New York State Executive Law Article 15-A, which requires, among other things, that DOS establishes goals for maximum feasible participation of New York State Certified minority- and women – owned business enterprises ("MWBE") and the employment of minority groups members and women in the performance of New York State contracts.

There is an established Women/Minority-Owned Business Enterprises overall project goal of 30%.

Contractor must document good faith efforts to provide meaningful participation by MWBEs as contractors, subcontractors or suppliers in the performance of the Contract and Contractor agrees that Wendel may withhold payment pending receipt of the required MWBE documentation. The Contractor is required to complete and submit the MWBE Utilization Plan with their bid.

Contractors must submit the Monthly MWBE Contractor Compliance Report each month during the term of the contract for the preceding month's activity, documenting progress made towards achievement of the contract MWBE goals. Wendel requires that all Contractors use the New York State Contract System ("NYSCS") to report subcontractor and supplier payments made by Contractor to MWBEs performing work under the Contract. The NYSCS may be accessed at <https://ny.newnycontracts.com/>.

Please note that the Contractor Compliance Report must be submitted every month with the Contractor's Application for Payment. If there is no MWBE utilization in a given month, the report must be submitted reflecting a \$0 value.

Utilization forms available upon request.

ATTACHMENT A

Affirmation of Understanding & Agreement pursuant to State Finance Law §139-j (3) and §139-j (6) (b)

I affirm that I understand and agree to comply with the procedures of the BUDC relative to permissible contacts as required by State Finance Law §139-j (3) and §139-j (6) (b).

By: _____ Date: _____

Name: _____ Title: _____

Contractor Name: _____

Contractor Address: _____

ATTACHMENT B

Offerer/Bidder Certification:

I certify that all information provided to the BUDC with respect to State Finance Law §139-k is complete, true and accurate.

By: _____ Date: _____

Name: _____ Title: _____

Contractor Name: _____

Contractor Address: _____

ATTACHMENT C

Offeror Disclosure of Prior Non-Responsibility Determinations

Name of Individual or Entity Seeking to Enter into the Procurement Contract:

Address:

Name and Title of Person Submitting this Form:

_____ Date: _____

1. Has any Governmental Entity made a finding of non-responsibility regarding the individual or entity seeking to enter into the Procurement Contract in the previous four years? (Please circle):

No Yes

If yes, please answer the next questions:

2. Was the basis for the finding of non-responsibility due to a violation of State Finance Law §139-j (Please circle):

No Yes

3. Was the basis for the finding of non-responsibility due to the intentional provision of false or incomplete information to a Governmental Entity? (Please circle):

No Yes

4. If you answered yes to any of the above questions, please provide details regarding the finding of non-responsibility below.

Governmental Entity:

Date of Finding of Non-responsibility:

Basis of Finding of Non-Responsibility:

(Add additional pages as necessary)

5. Has any Governmental Entity or other governmental agency terminated or withheld a Procurement Contract with the above-named individual or entity due to the intentional provision of false or incomplete information? (Please circle):

No

Yes

6. If yes, please provide details below.

Governmental Entity:

Date of Termination or Withholding of Contract:

Basis of Termination or Withholding:

(Add additional pages as necessary)

Offerer certifies that all information provided to the BUDC with respect to State Finance Law §139-k is complete, true and accurate.

By: _____ Date: _____ Signature

Name: _____ Title: _____

SECTION 01 21 00 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract including General and Supplementary Conditions and other Division 01 Specification Sections apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor by the Architect and/or Owner. Additional requirements will be issued by Change Order, if any, by the Architect and/or Owner.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
 - 2. Unit-cost allowances.
 - 3. Quantity allowances.
 - 4. Contingency allowances.
 - 5. Testing and inspecting allowances.
- C. Related Requirements:
 - 1. Section 012201 Unit Prices for description and units of measurement.

1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, inform Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect and Owner's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.4 ACTION SUBMITTALS

- A. Submit detailed proposals with a breakdown of materials and labor for purchase of products or systems included in allowances, in the form specified for Change Orders.

1.5 INFORMATIONAL SUBMITTALS

- A. Submit detailed invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit detailed time sheets and other documentation to show all necessary and incidental labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.6 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.7 LUMP-SUM, UNIT-COST, AND QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials for all necessary and incidental ordered by Owner or selected by Architect under allowance and shall include applicable taxes and freight and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials selected by Architect under allowance shall be included as part of the Contract Sum and not as part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect and/or Owner, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.8 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect and/or Owner for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials selected by Architect/Owner under the contingency allowance **are included** in the allowance and are not part of the Contract Sum.

- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit margins.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.9 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, submit a detailed Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.
 - 3. Submit substantiation of a change in scope of work, if any, claimed in Change Orders related to unit-cost allowances.
 - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measurement or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
 - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of work has changed from what could have been foreseen from information in the Contract Documents.
 - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

A. Allowance No. 01: Contingency Allowance

Include the lump sum of \$25,000. Includes but is not limited to unforeseen field conditions for use as directed by Architect and/or Owner for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.

1. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

B. Allowance No. 02: Unsuitable Soils

Allowance: Include the sum of 2,500 CY at the unit price provided in the Bid Form. Include Removal and Replacement of Unsuitable Soil with Compacted Structural Fill above and beyond limits indicated on the drawings and within appropriate specification sections.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

C. Allowance No. 03: Concrete Removal & Replacement

Allowance: Include twenty percent (20%) of the total ground floor level existing +/-6" thick concrete slab-on-grade and replace with added +/-6" thick reinforced concrete slab-on-grade beyond limits indicated on the drawings (S101A, etc.) and within appropriate specification sections.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code-compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

D. Allowance No. 04: Concrete Repair

Allowance: Include thirty five percent (35%) of the total ground floor level existing +/-6" thick concrete slab-on-grade concrete floor to repair existing concrete slab-on-grade by means of grinding, cementitious patching, crack repair, etc. beyond limits indicated on the drawings (S101A, etc.) and within appropriate specification sections.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code-compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

E. Allowance No. 05: Hazardous Materials Abatement

Allowance: Include the abatement of items identified in the HM series drawings and associated specifications. Refer to the legend below as included on HM-100 for hazardous materials (asbestos, lead, etc.) removal/abatement list of what shall be properly removed and handled from the building as a result of previous testing and observation beyond limits indicated on the drawings (HM100, etc.) and within appropriate specification sections. A unit cost shall be provided for each legend item listed herein.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code-compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

Abatement Legend Applicable to HM-Drawing Series:

(AC Asbestos Containing)

FBI	AC Brown Fire Brick/Insulation
CLK1	AC Gray Door Caulk (interior)
CTG	AC Light Gray Cement Thin Set and AC Gray Grout
EFI	AC Black Electrical Floor Insulation
EINS	AC White Exterior Furnace Insulation
MJP	AC White Mudded Joint Packing, Elbows, & Fittings
RFLSH	AC Black Roof Flashing, Doors & Curbs
RGAS	AC Red Rope Gasket
TSI	AC White/Gray Thermal Systems Insulation (Elbows, Fittings & Pipe Runs)
WIC	AC Dark Gray Window Caulk
WIG	AC White Window Glaze
CC	AC Brown/Rd Canvas Cloth (Associated with Lintels)
LG	Leaded Glass
LBP1	Yellow Lead-Based Paint Associated with Catwalk/Stairs
LBP2	Blue Lead-Based Paint Associated with Exterior Doors and Rooftop Steel

F. Allowance No. 06: Hazardous-Containing Debris Removal

Allowance: Include removal of asbestos-containing debris atop the existing wood block floor prior to wood block removal beyond limits indicated on the drawings (HM101, etc.) and within appropriate specification sections.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code-compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

G. Allowance No. 07: Concrete Roof Plank Replacement & Repair

Allowance: Include the removal and replacement of ten percent (10%) of the total roof areas existing +/-2" thick concrete plank system and replace with added +/-2" thick reinforced precast concrete roof plank system to match existing, beyond limits indicated on the drawings (S103A, B, etc.) and within appropriate specification sections.

1. This allowance includes all necessary and incidental costs for equipment, materials, labor, tools, equipment, services, appurtenances, and Contractor and subcontractor overhead and profit costs to perform all work required at the Lump Sum prices as listed in the Bid Form. Each allowance shall include all costs to perform all work to provide a completely functional and code-compliant assembly.
2. Any unused portion of this Allowance shall be returned to the Owner in the form of a credit change order at the conclusion of the project.

END OF SECTION 012100

SECTION 012201 - UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

1.3 DEFINITIONS

- A. Unit price is an amount proposed by bidders, stated on the Bid or Proposal Form, incorporated in the Agreement and applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.
- B. Bidders are advised that quantity allowances of work, if specified in the Contract Documents, are approximate only and are subject to increase or decrease, and that the work shall be performed at the Unit Prices stated on the Bid or Proposal Form whether the quantities are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary and incidental material, plus cost for delivery, installation, rental, insurance, applicable taxes, overhead, and profit and similar costs.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right question or to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by the Owner's designated representative.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

1. UNIT PRICE ASSOCIATED WITH ALLOWANCE NO. 2:

- a. Description: removal and replacement of unsuitable soil with compacted structural fill.
- b. Unit of Measurement: Cubic yard of material.

2. UNIT PRICE ASSOCIATED WITH ALLOWANCE NO. 3:

- a. Description: concrete removal & replacement of +/-6" thick concrete slab-on-grade.
- b. Unit of Measurement: 25SF increments or fraction thereof.

3. UNIT PRICE ASSOCIATED WITH ALLOWANCE NO. 4:

- a. Description: concrete repair of +/-6" thick concrete slab-on-grade.
- b. Unit of Measurement: 25SF increments or fraction thereof.

4. UNIT PRICES ASSOCIATED WITH ALLOWANCE NO. 5: HAZARDOUS MATERIALS ABATEMENT – In accordance with quantities indicated on HM Series drawings, indicate cost of hazardous materials abatement.

Computed Total Dollars (\$_____).

- a. Description: hazardous material abatement.
- b. Unit of Measurement: 25SF increments, linear feet, or fraction thereof for each of the following:

Abatement Legend Applicable to HM-Drawing Series:

(AC Asbestos Containing)

FBI	AC Brown Fire Brick/Insulation
CLK1	AC Gray Door Caulk (interior)
CTG	AC Light Gray Cement Thin Set and AC Gray Grout
EFI	AC Black Electrical Floor Insulation
EINS	AC White Exterior Furnace Insulation

MJP	AC White Mudded Joint Packing, Elbows, & Fittings
RFLSH	AC Black Roof Flashing, Doors & Curbs
RGAS	AC Red Rope Gasket
TSI	AC White/Gray Thermal Systems Insulation (Elbows, Fittings & Pipe Runs)
TSI1	AC White/Gray Thermal Systems Insulation at Building Center Line Associated with Storm-line Piping
WIC	AC Dark Gray Window Caulk
WIG	AC White Window Glaze
CC	AC Brown/Rd Canvas Cloth (Associated with Lintels)
LG	Leaded Glass
LBP1	Yellow Lead-Based Paint Associated with Catwalk/Stairs
LBP2	Blue Lead-Based Paint Associated with Exterior Doors and Rooftop

5. UNIT PRICE ASSOCIATED WITH ALLOWANCE NO. 6:

- a. Description: removal of asbestos atop the existing wood block floor prior to wood block removal
- b. Unit of Measurement: 25SF increments or fraction thereof

6. UNIT PRICE ASSOCIATED WITH ALLOWANCE NO. 7:

- a. Description: removal and replacement of existing +/-2" thick concrete roof plank system
- b. Unit of Measurement: 25SF increments or fraction thereof

END OF SECTION 012201

SECTION 024119 - SELECTIVE STRUCTURAL DEMOLITION AND SUPPORT

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Demolition and removal of selected portions of building or structure.
 - 2. Salvage of existing items to be reused or recycled.
 - 3. Temporary shoring, bracing and underpinning.

1.3 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and salvaged or removed and reinstalled.
- B. Existing to Remain: Existing items of construction that are not to be permanently removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

1.4 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.
- B. Contractor shall be responsible for the removal and legal disposal of all loose building contents other than those specifically listed as salvageable items or that are part of the Work as described in the contract documents. These loose contents include, but are not limited to, all non-fixed furniture, equipment, appliances, and miscellaneous debris. The Owner will remove contents it intends on salvaging prior to start of construction.

1.5 PRE- DEMOLITION MEETING

- A. Pre-demolition Conference:
 - 1. Inspect and discuss condition of construction to be selectively demolished.
 - 2. Review structural load limitations of existing structure.
 - 3. Review and finalize selective demolition schedule and verify availability of materials, demotion personnel, equipment, and facilities needed to make progress and avoid delays.
 - 4. Review requirements of work performed by other trades that rely on substrates exposed by selective structure demolition operations.
 - 5. Review areas where existing construction is to remain and requires protection.

1.6 SUBMITTALS

- A. Pre-demolition Photographs or Video: Submit to Architect/Engineer before Work begins.
- B. Shop Drawings: Show types of shoring, bracing, sheeting and underpinning used to support existing and new building structure or utilities. Shop drawings shall be signed and sealed by a qualified professional engineer licensed to practice in the State of New York.
- C. Submit detailed description of construction methods and sequence of work operations.
- D. Submit design calculations and drawings for shoring, bracing, sheeting and underpinning used in the preparation of the shop drawings that have been sealed and signed by a qualified professional Engineer licensed to practice in the State of New York. Contractor shall provide certified geotechnical reports. Calculations shall be complete and formatted such that others may check the calculations without additional references or clarifications.
- E. Calculations shall reflect the proposed procedure and methodology, as well as equipment proposed and available to the Contractor.
- F. Submit sequence of demolition operations, including hazardous material abatement, removal of loose items, and general selective demolition activities.

1.7 QUALITY ASSURANCE

- A. Shop Drawings and Calculations for shoring, bracing, and underpinning of the building structure shall be sealed and signed by a Professional Engineer licensed to practice in the State of New York to be provided by the Contractor.
- B. Design loads shall be calculated and shall be determined by existing structure dead loads, construction loads, and stated live loads. The professional engineer shall determine all existing material loads.
- C. For all geotechnical services required to provide temporary shoring and bracing for all subgrade excavations and temporary foundation systems for temporary shoring and bracing systems, the Contractor shall provide a certified geotechnical report for the services that shall be provided. Those services shall be provided by a geotechnical engineer licensed to practice in the State of New York.
- D. Work shall be designed and executed in conformance with the current requirements of the Occupational Safety and Health Administration (OSHA) standards and requirements.
- E. Promptly correct detected bulges, breakage or other evidence of movement to ensure that excavation support and protection system remains stable.
- F. Promptly repair damages to adjacent facilities, caused by installation or faulty performance of excavation support and protection system, as required to restore the existing facilities to their pre-construction condition.

1.8 FIELD CONDITIONS

- A. Notify Architect of discrepancies between existing conditions and contract drawings before proceeding with the work.
- B. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
- C. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
- D. Hazardous Materials: Hazardous materials are present in construction to be selectively demolished. A report on the presence of hazardous materials is on file for review and use. Examine report to become aware of locations where hazardous materials are present.
 - 1. Hazardous material remediation is specified elsewhere in the Contract Documents.
 - 2. Do not disturb hazardous materials or items suspected of containing hazardous materials except under procedures specified elsewhere in the Contract Documents.
- E. Storage or sale of removed items or materials on-site is not permitted.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Engage a qualified professional engineer and geotechnical engineer, as defined in section 014000 "Quality Requirements," to design Temporary Shoring and Bracing.
- B. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- C. Standards: Comply with ANSI/ASSE A10.6 and NFPA 241.
- D. Products, materials, and methods of fabrication shall conform to the applicable specification section of these Contract Documents including but not limited to: Concrete Reinforcing, Cast-In-Place Concrete, Structural Steel, and Masonry.
- E. Provide suitable shoring and bracing materials as required to support loads imposed. Materials need not be new, but must conform to specifications and performance standards such that they are equivalent to new materials.
- F. Contractor shall adhere strictly to methods and procedures, using only materials and equipment as proposed in submittals.
- G. Request from the owner a copy of all record documents of the existing construction.

- H. Provide, design, monitor, and maintain excavation support and protection system capable of supporting excavation sidewalls and of resisting earth and hydrostatic pressures and superimposed and construction loads, as determined by a qualified Professional Engineer obtained by the Contractor and as required for the completion of the construction required by the design documents. All temporary foundation systems settlement shall be limited such that no damage will be incurred by the existing facility. The allowable foundation settlement shall be determined by the delegated design engineer.
1. Prevent surface water from entering excavations by grading, dikes, or other means.
 2. Install excavation support and protection systems without damaging existing buildings, structures, and site improvements adjacent to excavation.
 3. Continuously monitor vibrations, settlements, and movements to ensure stability of excavations and constructed slopes and to ensure that damage to permanent structures is prevented.
 4. Provide all dewatering of subgrade excavations and remedial efforts required to complete the construction as required by construction documents.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Review record documents of existing construction provided by Owner and field verify the “As – Built” conditions are either compliant or non-compliant with the record documents. Owner does not guarantee that existing conditions are same as those indicated in record documents.
- C. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report and sketches to Architect as required to properly represent the unanticipated elements.
- E. Engage a professional engineer to perform an engineering survey of condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective building demolition operations.
1. Perform surveys as the Work progresses to detect hazards resulting from selective demolition activities.
 2. Dead loads of existing construction materials shall be determined by this professional engineer.
- F. Survey of Existing Conditions: Record existing conditions by use of measured drawings & preconstruction photographs.

- G. Prior to starting demolition the contractor shall document the condition of the area of the facility to be affected to be affected by the construction via photographs and a written report

3.2 PREPARATION

- A. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
 - 1. Provide protection to ensure safe passage of people around selective demolition area and to and from occupied portions of building.
 - 2. Provide temporary weather protection, during interval between selective demolition of existing construction on exterior surfaces and new construction, to prevent water leakage and damage to structure and interior areas.
 - 3. Protect walls, ceilings, floors, and other existing finish work that are to remain or that are exposed during selective demolition operations.
- B. Temporary Shoring: Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.
 - 1. Strengthen or add new supports when required during progress of selective demolition.
- C. Bracing: Locate bracing to clear columns, floor framing construction, and other permanent work. If necessary to move brace, install new bracing before removing original brace.
 - 1. Do not place bracing where it will be cast into or included in permanent concrete work unless otherwise approved by Architect.
 - 2. Install internal bracing if required to prevent spreading or distortion of braced frames.
 - 3. Maintain bracing until structural elements are supported by other bracing or until permanent construction is able to withstand all vertical and lateral wind, seismic, earth, and hydrostatic pressures

3.3 SELECTIVE DEMOLITION, GENERAL

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated repair and replacement of excessive demolition shall solely be the responsibility of the contractor. The determination of the extent of demolition required shall be the responsibility of the contractor. That determination shall be based upon the requirements for the construction of the project's design documents, and shall not be limited to the proposed requirements of the project's demolition documents. Use methods required to complete the Work within limitations of governing regulations and as follows:
 - 1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover existing openings that are to remain.
 - 2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations. Fire watch personnel shall be provided as per governing safety standards.
4. Maintain adequate ventilation when using cutting torches.
5. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.

3.4 SELECTIVE DEMOLITION PROCEDURES FOR SPECIFIC MATERIALS

- A. Concrete: Demolish in small sections. Using power-driven saw, cut concrete to a depth of at least 3/4 inch at junctures with construction to remain. Dislodge concrete from reinforcement at perimeter of areas being demolished, cut reinforcement as determined by the design document, and then remove remainder of concrete. Neatly trim openings to dimensions indicated.
- B. Masonry: Demolish in small sections. Cut masonry at junctures with construction to remain, using power-driven saw, and then remove masonry between saw cuts.
- C. Concrete Slabs-on-Grade: Saw-cut perimeter of area to be demolished to a depth of at least 3/4 inch, then break up and remove.
- D. Resilient Floor Coverings: Remove floor coverings and adhesive according to recommendations in RFCT's "Recommended Work Practices for the Removal of Resilient Floor Coverings." Do not use methods requiring solvent-based adhesive strippers.
- E. Roofing: Remove no more existing roofing than what can be covered in one day by new roofing and so that building interior remains watertight and weathertight. See Section 075323 "Ethylene-Propylene-Diene-Monomer (EPDM) Roofing" for new roofing requirements.
 1. Remove existing roof membrane, flashings, copings, and roof accessories.
 2. Remove existing roofing system down to substrate.

3.5 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

END OF SECTION 024119

SECTION 087100 - FINISH HARDWARE

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.02 DESCRIPTION OF WORK

- A. Definition: "Finish Hardware" includes items known commercially as finish hardware which are required for swing, sliding and folding doors, except special types of unique and non-matching hardware specified in the same section as the door and door frame.
- B. Work generally includes the provision of finish hardware for all new doors.
- C. Types of finish hardware required include the following:
 - 1. Hinges
 - 2. Lock cylinders and keys
 - 3. Lock and latch sets
 - 4. Bolts
 - 5. Closers
 - 6. Miscellaneous door control devices
 - 7. Door trim units
 - 8. Protection plates
 - 9. Weatherstripping for exterior doors
 - 10. Thresholds

1.03 QUALITY ASSURANCE

- A. Manufacturer: Obtain each type of hardware (latch and lock sets, hinges, closers, etc.) from a single manufacturer, although several may be indicated as offering products complying with requirements.
- B. Supplier: A recognized architectural finish hardware supplier, with warehousing facilities, who has been furnishing hardware in the project's vicinity for a period of no less than 3 years, and who is, or who employs an experienced architectural hardware consultant.

1.04 SUBMITTALS

- A. Product Data: Submit manufacturer's technical product data for each item of hardware. Include whatever information may be necessary to show compliance with requirements, and include instructions for installation and for maintenance of operating parts and finish.

- B. Hardware Schedule: Submit final hardware schedule in manner indicated below. Coordinate hardware with doors, frames and related work to ensure proper size, thickness, hand, function and finish of hardware.
- C. Final Hardware Schedule Content: Based on finish hardware indicated, organize hardware schedule into "hardware sets" indicating complete designations of every item required for each door or opening. Include the following information:
 - 1. Type, style, function, size and finish of each hardware item.
 - 2. Name and manufacturer of each item.
 - 3. Location of hardware set cross-referenced to indications on drawings both on floor plans and in door and frame schedule.
 - 4. Explanation of all abbreviations, symbols, codes, etc., contained in schedule.
 - 5. Mounting locations for hardware.
 - 6. Door and frame sizes and materials.
 - 7. Keying information.
- D. Submittal Sequence: Submit schedule at earliest possible date particularly where acceptance of hardware schedule must precede fabrication of other work (e.g., hollow metal frames) which is critical in the project construction schedule. Include with schedule the product data, samples, shop drawings of other work affected by finish hardware, and other information essential to the coordinated review of hardware schedule.
- E. Keying Schedule: Submit separate detailed schedule indicating clearly how the Owner's final instructions on keying of locks has been fulfilled.
- F. Templates: Furnish hardware templates to each fabricator of doors, frames and other work to be factory-prepared for the installation of hardware. Upon request, check shop drawings of such other work, to confirm that adequate provisions are made for proper location and installation of hardware.

1.05 PRODUCT HANDLING

- A. Tag each item or package separately, with identification related to final hardware schedule, and include basic installation instructions with each item or package.
- B. Packaging of hardware, is responsibility of finish hardware supplier. As material is received by hardware supplier from various manufacturers, sort and repackage in containers clearly marked with appropriate hardware set number to match set numbers of approved hardware schedule. Two or more identical sets may be packed in same container.
- C. Inventory hardware jointly with representatives of hardware supplier and hardware installer until each is satisfied that count is correct.
- D. Deliver individually packaged hardware items at the proper times to the proper locations (shop or project site) for installation.
- E. Provide secure lock-up for hardware delivered to the project, but not yet installed. Control handling and installation of hardware items which are not immediately replaceable, so that completion of the work will not be delayed by hardware losses, both before and after installation.

PART 2 - PRODUCTS

2.01 SCHEDULED HARDWARE

- A. Requirements for design, grade, function, finish, size and other distinctive qualities of each type of finish hardware are indicated in the Hardware Schedule at the end of this section. Products are identified by using manufacturer's hardware numbers.
- B. Manufacturer's Product Designations: One manufacturer is listed for each hardware type required. Provide either the product designated, or, comparable approved product of one of the other manufacturers which comply with requirements including those specified elsewhere in this section.

2.02 MATERIALS AND FABRICATION

General:

- A. Hand of door: Drawings show direction of slide, swing or hand of each door leaf. Furnish each item of hardware for proper installation and operation of door movement as shown.
- B. Base Metals: Produce hardware units of basic metal and forming method indicated, using manufacturer's standard metal alloy, composition, temper and hardness, but in no case of lesser (commercially recognized) quality than specified for applicable hardware units by applicable ANSI A156 series standard for each type hardware item and with ANSI A156.18 for finish designations indicated. Do not furnish "optional" materials or forming methods for those indicated, except as otherwise specified.
- C. Fasteners: Provide hardware manufactured to conform to published templates, generally prepared for machine screw installation. Do not provide hardware which has been prepared for self-tapping sheet metal screws, except as specifically indicated.
- D. Furnish screws for installation, with each hardware item. Provide Phillips flat-head screws except as otherwise indicated. Finish exposed (exposed under any condition) screws to match hardware finish or, if exposed in surfaces of other work, to match finish of such other work, including "prepared for paint" in surfaces to receive painted finish.
- E. Provide concealed fasteners for hardware units which are exposed when door is closed, except to extent no standard units of type specified are available with concealed fasteners.

2.03 HINGES, BUTTS AND PIVOTS

- A. Templates: Provide only template-produced units.
- B. Screws: Furnish Phillips flat-head or machine screws for installation of units. Finish screw heads to match surface of hinges or pivots.

2.04 LOCKS, CYLINDERS AND KEYING

- A. General: Supplier will meet with Owner to finalize keying requirements and obtain final instructions in writing.
- B. Locksets: Locksets shall be Extra Heavy Duty mortise or cylindrical lever-set type. Function shall be as indicated in hardware sets. Trim shall be lever handle (handicapped accessible).
- C. Standard System: Except as otherwise indicated, provide new cylinder to match Owner's preferred keying system.
- D. Metals: Construct lock cylinder parts from brass/ bronze, stainless steel or nickel silver.
- E. Comply with Owner's instructions for master keying and, except as otherwise indicated, provide individual change key for each lock which is not designated to be keyed alike with a group of related locks.
 - 1. Keys shall be plain bow (no identification), and shall be stamped "DO NOT DUPLICATE."
- F. Key Material: Provide keys of nickel silver only.
- G. Key Quantity: Furnish 3 change keys for each lock.
 - 1. Deliver keys to Owner's representative.

2.05 LOCKS, LATCHES AND BOLTS

- A. Strikes: Provide manufacturer's standard strike for all latch or lock bolts, with curved lip extended to protect frame, finished to match hardware set.
- B. Lock Throw: Provide 1/2" minimum throw of latch and deadbolt used on pairs of doors. Comply with UL requirements for throw of bolts and latch bolts on rated fire openings.
- C. Flush Bolt Heads: Minimum of 1/2" diameter rods of bronze with minimum 12" long rod for doors up to 7'-2" in height.

2.06 CLOSERS AND DOOR CONTROL DEVICES

- A. Size of Units: Except as otherwise specifically indicated, comply with the manufacturer's recommendations for size of door control unit, depending upon the size of door, exposure to weather and anticipated frequency of use.
- B. Provide parallel arms for all overhead closers, except as otherwise indicated.

2.07 WALL BUMPERS AND DOOR STOPS

- A. Bumpers and stops are not noted on schedule. Provide wall bumper at every door. Provide floor bumper where wall bumpers cannot be used. Provide grey resilient parts for bumpers. Finish US26D or US32D. Use risers and extenders of same finish as hardware.

2.08 DOOR TRIM UNITS

- A. Fasteners: Provide manufacturer's standard exposed fasteners for door trim units (kick plates, edge trim, and similar units); either machine screws or self-tapping screw.
 - 1. Plates: US32D

2.09 WEATHERSTRIPPING

- A. General: Provide continuous weatherstripping at each edge of exterior door leaves where indicated. Provide type, sizes and profiles shown or scheduled. Provide non-corrosive fasteners as recommended by manufacturer for application indicated.
- B. Replaceable Seal Strips: Provide only those units where resilient or flexible seal strip is easily replaceable and readily available from stocks maintained by manufacturer.
- C. Weatherstripping at Jambs and Heads: Provide bumper- type resilient insert and metal retainer strips, surface-applied unless shown as mortised or semi-mortised, of clear anodized aluminum and EPDM/Sponge Neoprene, and adjustable astragals as stiles.
- D. Weatherstripping at Door Bottoms: Provide door bottom consisting of contact type resilient insert and metal housing for application to door bottom, of design and size shown; of extruded bronze solid neoprene wiper sweep seal.

2.10 THRESHOLDS

- A. General: Except as otherwise indicated provide standard aluminum threshold as shown or scheduled.

2.11 RAIN DRIPS

- A. Provide bronze anodized aluminum rain drips at all exterior outswinging door heads, extending full width of frame whether scheduled or not.

2.12 HARDWARE FINISHES

- A. Provide matching finishes for hardware units at each door or opening, to the greatest extent possible, and except as otherwise indicated. Match items to the manufacturer's standard finish for the latch and lock set (or push-pull units if no latch-lock sets) for color and texture.
- B. Provide finishes which match those established by BHMA or, if none established, match the Architect's sample.

- C. Finish: US26D.

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Mount hardware units at heights indicated in "Recommended Locations for Builders Hardware for Standard Steel Doors and Frames" by the Door and Hardware Institute, except as specifically indicated or required to comply with governing regulations, and except as may be otherwise directed by Architect.
- B. Install each hardware item in compliance with the manufacturer's instructions and recommendations. Wherever cutting and fitting is required to install hardware onto or into surfaces which are later to be painted or finished in another way, coordinate removal, storage and reinstallation or application of surface protections with finishing work specified in the Division-9 sections. Do not install surface-mounted items until finishes have been completed on the substrate.
- C. Set units level, plumb and true to line and location. Adjust and reinforce the attachment substrate as necessary for proper installation and operation.
- D. Drill and countersink units which are not factory- prepared for anchorage fasteners. Space fasteners and anchors in accordance with industry standards.
- E. Set thresholds for exterior doors in full bed of butyl-rubber or polyisobutylene mastic sealant.

3.02 ADJUST AND CLEAN

- A. Adjust and check each operating item of new hardware, ensure proper operation or function of every unit. Replace units which cannot be adjusted to operate freely and smoothly as intended for the application made.
- B. Clean adjacent surfaces soiled by hardware installation.
- C. Final Adjustment: Wherever hardware installation is made more than one month prior to acceptance or occupancy of a space or area, return to the work during the week prior to acceptance or occupancy, and make final check and adjustment of all hardware items in such space or area. Clean operating items as necessary to restore proper function and finish of hardware and doors. Adjust door control devices to compensate for final operation of heating and ventilating equipment.

Note: Door Schedule also indicates miscellaneous hardware requirements which are not included in the hardware schedule.

PART 4 - SCHEDULE OF HARDWARE

4.00 General Notes

- A. Provide 7" high by (door width minus 2") wide stainless steel plate at all doors where "KICKPLATE" is indicated on schedule.
- B. Provide 28" high by (door width minus 2") wide stainless steel plate at all doors where "ARMORPLATE" is indicated on schedule.
- C. Provide manufacturer's standard embossed tactile warning strip at all doors where "TACTILE WARNING" is indicated on schedule, whether or not indicated on hardware sets, and at all hazardous areas. Hazardous areas include custodian spaces, storage, boiler, electrical and fire pump rooms, and mechanical rooms, trash rooms, labs and prep rooms.
- D. General: Provide hardware for each door to comply with requirements of Section "Finish Hardware", hardware set numbers indicated in door schedule, and in the following schedule of hardware sets.
- E. The following schedule lists typical openings. It is the responsibility of the Finish Hardware Supplier to visit the site, examine the drawings and door schedule and provide all necessary hardware as shown. Where specified hardware is not indicated or scheduled for a particular opening, provide the same hardware required for similar doors, openings and conditions elsewhere in the building. It shall be the responsibility of the Contractor and finish hardware supplier to furnish and install all such hardware, whether or not indicated herein.
- F. Quantities shown in these hardware sets represent basic requirements for each leaf. The finish hardware supplier shall be responsible for adjustments to quantities to suit field conditions or these specifications.
- G. Schedule indicates Basis of Design products. Subject to compliance with requirements, provide specified product, or comparable product from different manufacturers that meet the same function, regulatory requirements, industry standards, quality and aesthetics.

4.01 Hardware Set Number 1 (Door No. 7):

2	Continuous Hinges	McKinney MCK-12HD Aluminum Continuous Geared Hinge
1	Lockset	Sargent 8204 L, LS US26D
2	Door Closers	LCN 4040XP CUSH-N-STOP ARM
1	Set Head and Jamb Weatherstripping	Pemko 316 AS
1	Vertical Astragal	Pemko 355 AS, interrupt at lockguard
1	Threshold	Pemko 253X3 A FG
2	Door Sweeps	Pemko 345 A NB
2	Kickplates	Ives 8400
1	Lockguard	Ives LG10
1	Set Top and Bottom	

Flush Bolts

Ives FB51P

4.02 Hardware Set Number 2 (Doors No. 2, 3, 4, 6, 9, 10, 17 and E12):

1	Continuous Hinge	McKinney MCK-12HD Aluminum Continuous Geared Hinge
1	Exit Device	Sargent 8913 US26D, ETL
1	Lockguard	Ives
1	Door Closer	LCN 4040 CUSH
1	Armorplate	Rockwood
1	Set Head and Jamb	
	Weatherstripping	Pemko 316 AS PK
1	Threshold	Pemko 253X3 A FG
1	Door Sweep	Pemko 345 A NB

4.03 Hardware Set Number 3 (Door No. 8):

1	Continuous Hinge	McKinney MCK-12HD Aluminum Continuous Geared Hinge
1	Exit Device	Sargent 8913 US26D, ETL
1	Door Closer	LCN 4040 CUSH
1	Armorplate	Rockwood
1	Threshold	Pemko 1547 A
3	Silencers	

4.04 Hardware Set Number 4 (Doors No. 1 and 5):

1	Continuous Hinge	McKinney MCK-12HD Aluminum Continuous Geared Hinge
1	Door Closer	LCN 4040XP CUSH-N-STOP ARM
1	Automatic Door Operator	See Section 087113. Coordinate operation of electric strike and door operator
1	Exit Device	Sargent 8913 US26D, ETL
1	Electric Strike	Folger Adam 310 fail secure 24V – 630 with control wiring and transformer
1	Kickplate	Ives 8400
1	Set Head and Jamb	
	Weatherstripping	Pemko 316 AS
1	Threshold	Pemko 252X3 A
1	Door Sweep	Pemko 345 A NB

4.05 Hardware Set Number 5 (Doors No. 04, 15, 16, 18, 20, 22 and 26):

1	Cylinder	
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END OF SECTION 087100

GENERAL ASBESTOS ABATEMENT NOTES APPLICABLE TO HM-SERIES

1. THE ASBESTOS ABATEMENT PLANS ARE BASED ON THE LIMITED PRE-RENOVATION ASBESTOS SURVEY/INSPECTION REPORT PREPARED BY RAVI ENGINEERING & LAND SURVEYING, P.C. (RE&LS) DATED FEBRUARY 2024, THE PHASE II ENVIRONMENTAL SITE ASSESSMENT PREPARED BY FISHER ASSOCIATES DATED SEPTEMBER 2015, THE PHASE II ENVIRONMENTAL SITE ASSESSMENT PREPARED BY RE&LS DATED DECEMBER 2024, AND THE ARCHITECTURAL DEMO DRAWINGS PREPARED BY WENDEL DATED JUNE 2025.
2. THE ASBESTOS ABATEMENT CONTRACTOR (REFERRED TO AS "CONTRACTOR" HEREIN) SHALL COORDINATE ALL ASBESTOS REMOVAL WORK WITH THE OWNER'S REPRESENTATIVE, OTHER TRADES, AND PROJECT DRAWINGS.
3. APPROVAL OF THE QUANTITY AND EXTENT OF ADDITIONAL ABATEMENT WORK NOT SHOWN ON THE HM-SERIES DRAWINGS AND / OR SPECIFICATIONS MUST BE APPROVED BY THE ENVIRONMENTAL CONSULTANT (RAVI ENGINEERING & LAND SURVEYING, P.C.) AND OWNER PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND QUANTITIES ASSOCIATED WITH HAZARDOUS MATERIALS ABATEMENT PRIOR TO THE START OF WORK.
5. THE CONTRACTOR SHALL PERFORM ALL CONTRACT WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, SPECIFICATIONS, NEW YORK STATE DEPARTMENT OF LABOR (NYSDDL) 12 NYCRR PART 56 (INDUSTRIAL CODE RULE 56), OSHA 1926.1101, NESHAPS 40 CFR PART 61, AHERA 40 CFR PART 763, AND ALL OTHER APPLICABLE CODES.
6. THE CONTRACTOR SHALL MAINTAIN SECURITY AS APPROVED TO BE ACCEPTABLE BY THE OWNER IN THE REGULATED ASBESTOS WORK AREAS AT ALL TIMES, FOR THE DURATION OF THE ASBESTOS REMOVAL PROJECT.
7. LOCATIONS FOR ASBESTOS DUMPSTERS AND PERSONAL/WASTE DECONTAMINATION UNITS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO MOBILIZATION.
8. IN ACCORDANCE WITH INDUSTRIAL CODE RULE 56, THE CONTRACTOR SHALL COORDINATE SHUT DOWN AND LOCK OUT OF ELECTRICAL POWER WITH THE OWNER'S REPRESENTATIVE. ALL TEMPORARY POWER TO THE REGULATED WORK AREAS SHALL BE BROUGHT IN FROM OUTSIDE THE REGULATED WORK AREAS THROUGH A GROUND-FAULT CIRCUIT INTERRUPTER AT THE SOURCE OF THE POWER THAT SHALL BE PROVIDED BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL IDENTIFY THE LOCATION OF WATER SUPPLY PRIOR TO ESTABLISHMENT OF PERSONAL DECONTAMINATION UNITS. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF WATER SUPPLY WITH THE OWNER AND PLUMBING CONTRACTOR. WATER SHALL NOT BE OBTAINED WITHIN THE REGULATED ABATEMENT WORK AREA.
10. VARIATIONS (+/- 10%) IN QUANTITIES AND LOCATIONS OF PREVIOUSLY IDENTIFIED ASBESTOS-CONTAINING MATERIALS SHALL BE CONSIDERED AS HAVING NO IMPACT ON CONTRACT PRICE AND/OR SCHEDULE OF THIS CONTRACT.
11. THE OWNER SHALL BE RESPONSIBLE TO CONTRACT FOR NYSDOL PROJECT MONITORING / AIR SAMPLING TECHNICIAN SERVICES. OSHA PERSONAL AIR MONITORING IS THE RESPONSIBILITY OF THE CONTRACTOR. OSHA PERSONAL AIR MONITORING SHALL BE PERFORMED DAILY IN ACCORDANCE WITH OSHA 1926.1101.
12. THE CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM THE PROJECT MONITOR (FIRM IS ACCEPTABLE) AND OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ASBESTOS ABATEMENT ACTIVITIES.
13. UNDER NO CIRCUMSTANCES SHALL CONTAMINATED WASTEWATER ENTER THE SANITARY SEWER SYSTEM. ALL WASTEWATER SHALL BE FILTERED THROUGH A SYSTEM EQUIPPED WITH A 5.0 MICRON, OR SMALLER, PARTICLE SIZE COLLECTION CAPABILITY IN ACCORDANCE WITH 12 NYCRR PART 56.
14. IF LIQUID (INCLUDING WATER, SOLVENTS, SURFACTANTS, AND/OR ENCAPSULANTS) LEAKS THROUGH THE REGULATED ABATEMENT WORK AREA(S), OR FROM THE DECONTAMINATION UNITS, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL WATER DAMAGE AND REPAIR. THE CONTRACTOR SHALL DOCUMENT ALL PRE-EXISTING WATER DAMAGE PRIOR TO ESTABLISHING CONTAINMENT AREAS.
15. IF SUSPECT OR KNOWN ASBESTOS-CONTAINING MATERIAL IS DISCOVERED, NOT PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE IMMEDIATELY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A PROFESSIONAL ENGINEER FOR DETERMINING THE NEED, LOCATION, AND MAINTENANCE OF ALL TEMPORARY SHORING AND BRACING. TEMPORARY SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL PERMANENT LOAD PATHS HAVE BEEN ESTABLISHED. THE RESPONSIBILITY OF DETERMINING THE REESTABLISHMENT OF PERMANENT LOAD PATHS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR'S PROFESSIONAL ENGINEER AND GEOTECHNICAL ENGINEER BASED UPON A GEOTECHNICAL REPORT AS REQUIRED BY THEIR GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED SHOP DRAWINGS AND CALCULATIONS FOR SHORING AND BRACING OF THE BUILDING STRUCTURE. SUBMITTALS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW YORK PRIOR TO STARTING CONSTRUCTION. MINIMUM DESIGN LOADS SHALL BE AS SHOWN ON STRUCTURAL DRAWINGS OR AS DETERMINED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER OR GEOTECHNICAL ENGINEER FOR APPLICABLE BUILDING CODES AND/OR MATERIAL'S DEAD OR LATERAL SOIL LOADS THAT ARE BEING SUPPORTED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY SITE-SPECIFIC VARIANCES WHICH MAY BE REQUIRED FOR THE PROJECT. APPROVAL OF THE OWNER IS REQUIRED PRIOR TO SUBMISSION OF A VARIANCE PETITION TO ANY REGULATORY AGENCY. FAILURE TO OBTAIN PRIOR OWNER APPROVAL MAY RESULT IN THE OWNER NOT PERMITTING THE VARIANCE TO BE USED ON THE PROJECT.
18. THE DISTURBANCE OF ANY KNOWN, ASSUMED, AND/OR SUSPECT ASBESTOS-CONTAINING MATERIAL FOR WHICH HAS NOT BEEN DETERMINED TO BE NON-ASBESTOS-CONTAINING BY LABORATORY ANALYSIS, SHALL BE PERFORMED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TOOLS, EQUIPMENT, SUPPLIES, ETC. REQUIRED FOR THEIR WORK. THE OWNER OR OWNER'S REPRESENTATIVE SHALL NOT BE HELD LIABLE FOR THEFT OR DAMAGE OF THESE ITEMS. TOOLS SHALL BE REMOVED AND PLACED IN AN OWNER APPROVED SECURE STORAGE AREA FOLLOWING EACH WORK DAY SHIFT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE REGULATED ABATEMENT WORK AREAS IN A CLEAN AND SAFE CONDITION. THE CONTRACTOR SHALL ENSURE THAT UNCERTIFIED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE REGULATED ABATEMENT WORK AREAS AT ANY TIME DURING ABATEMENT ACTIVITIES.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION TO KEEP THE BUILDING IN A WATERTIGHT CONDITION AND TO PREVENT UNAUTHORIZED ACCESS AT ALL TIMES FOR THE DURATION OF THE PROJECT. REPAIR OR DAMAGE CAUSED AS A RESULT OF IMPROPER TEMPORARY PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL DOCUMENT ALL PRE-EXISTING WATER DAMAGE PRIOR TO ESTABLISHING CONTAINMENT AREAS.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND DISPOSAL OF DEMOLISHED MATERIALS REQUIRED TO ACCESS AND ABATE KNOWN, ASSUMED, AND/OR SUSPECT ASBESTOS-CONTAINING MATERIALS SCHEDULED FOR REMOVAL.
23. ALL ASBESTOS-CONTAINING MATERIAL SHALL BE PROPERLY PACKAGED PRIOR TO BEING REMOVED FROM THE WORK AREAS. ASBESTOS WARNING LABELS SHALL BE APPLIED TO THE ASBESTOS WASTE BAGS. ALL ASBESTOS WASTE MATERIALS THAT ARE REMOVED FROM THE SITE SHALL BE ACCOMPANIED BY AN ASBESTOS WASTE SHIPMENT RECORD / MANIFEST. THE COMPLETED WASTE SHIPMENT RECORD MUST BE PROVIDED TO THE ENVIRONMENTAL CONSULTANT WITHIN 14 CALENDAR DAYS OF WASTE SHIPMENT LEAVING THE SITE. ALL ORIGINAL COMPLETED WASTE SHIPMENT RECORDS MUST BE INCLUDED WITH THE CLOSEOUT SUBMISSION.
24. IN THE EVENT THERE IS A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REGULATION SHALL APPLY.

ASBESTOS ABATEMENT KEY NOTES APPLICABLE TO HM-SERIES

- FBI

REMOVE AC BROWN FIRE BRICK / INSULATION, IDENTIFIED IN STAND ALONE KILNS, IN ITS ENTIRETY AND DISPOSE OF AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE DEBRIS REMAINS.
- CLK1

REMOVE AC GRAY DOOR INTERIOR CAULK BETWEEN METAL AND CONCRETE, FULL DEPTH, ALL LAYERS, AND DISPOSE OF AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS.
- CTG

REMOVE NON AC CERAMIC FLOOR TILE (VARIOUS COLORS), AC LIGHT GRAY CEMENT THIN SET, AC GRAY GROUT, FULL DEPTH, TO THE SUBSTRATE AND DISPOSE OF AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS.
- EFI

REMOVE AC BLACK ELECTRICAL WIRE INSULATION BELOW THE EXISTING CONCRETE SLAB-ON-GRADE AND IS ASSUMED TO EXTEND THE WIDTH OF THE BUILDING (IN AN EAST / WEST DIRECTION). CONTRACTOR SHALL BE AWARE THAT SELECT DEMOLITION OF THE CONCRETE SLAB-ON-GRADE IS REQUIRED TO ACCESS AND REMOVE THE INSULATION. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES. CONTRACTOR SHALL DISPOSE OF THE AC BLACK ELECTRICAL WIRE INSULATION AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT THAT NO VISIBLE DEBRIS REMAINS.
- EINS

CONTRACTOR SHALL REMOVE AC WHITE INSULATION ASSOCIATED WITH THE EXTERIOR FURNACE. CONTRACTOR SHALL BE REQUIRED TO REMOVE OUTER, OR INNER, MOST METAL (WALLS, CEILING AND FLOOR) TO ACCESS AC WHITE INSULATION. CONTRACTOR SHALL REMOVE AND DISPOSE OF AC WHITE INSULATION IN ACCORDANCE WITH 12 NYCRR PART 56, IN ITS ENTIRETY AND DISPOSE OF AS A RACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY SITE-SPECIFIC VARIANCES REQUIRED TO PERFORM THIS WORK.
- MJP

REMOVE AC WHITE MUDDED JOINT PACKING ELBOWS AND FITTINGS, NON AC FIBERGLASS INSULATION, IN ITS ENTIRETY AND DISPOSE OF AS A RACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS.
- RFLSH

REMOVE AC BLACK ROOF FLASHING ASSOCIATED WITH THE ROOF ACCESS DOORS AND ROOFTOP CURBS, ALL LAYERS, FULL DEPTH, TO SUBSTRATE, IN ITS ENTIRETY AND DISPOSE OF AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS.
- RGAS

REMOVE AC RED ROPE GASKET ASSOCIATED WITH THE INTERIOR FURNACE IN ITS ENTIRETY AND DISPOSE OF AS A RACM. CONTRACTOR SHALL REMOVE METAL PLATES FROM FURNACE TO ACCESS AC ROPE GASKET(S). REMOVALS SHALL BE COMPLETE TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS.
- TSI

REMOVE AC WHITE / GRAY THERMAL SYSTEMS INSULATION ASSOCIATED WITH PIPING (ELBOWS, FITTINGS, AND PIPE RUNS) AND METAL PIPING THROUGHOUT THE BUILDING, IN ITS ENTIRETY AND DISPOSE OF A RACM. REMOVALS SHALL BE COMPLETE TO THE POINT THAT NO VISIBLE DEBRIS REMAINS.
- TSI1

REMOVE AC WHITE / GRAY THERMAL SYSTEMS INSULATION AT BUILDING CENTER LINE ASSOCIATED WITH STORM-LINE PIPING (ELBOWS, FITTINGS, AND PIPE RUNS), IN ITS ENTIRETY AND DISPOSE OF A RACM. REMOVALS SHALL BE COMPLETE TO THE POINT THAT NO VISIBLE DEBRIS REMAINS. REMOVALS OF THE PIPING SYSTEM FOLLOWING ABATEMENT ACTIVITIES SHALL BE COORDINATED AND PERFORMED BY PLUMBING CONTRACTOR, ABATEMENT CONTRACTOR TO COORDINATE WITH PLUMBING SERIES DRAWINGS.
- WIC

REMOVE AC DARK GRAY WINDOW CAULK BETWEEN METAL AND MASONRY, FULL DEPTH, ALL LAYERS, IN ITS ENTIRETY. CONTRACTOR SHALL BE AWARE OF LEAD-BASED COMPONENTS ASSOCIATED WITH WINDOWS. LEAD CONTAINING & LEAD-BASED MATERIALS SHALL HAVE TCLP TESTING PRIOR TO DISPOSAL TO DETERMINE WASTE CHARACTERIZATION FOR DISPOSAL. IF MATERIAL IS DETERMINED TO BE HAZARDOUS THROUGH TCLP PROCESS, DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH LEAD SPECIFICATION, OSHA, NYSDOT AND RCRA. IF MATERIAL IS DETERMINED TO BE NON-HAZARDOUS, DISPOSE OF AS AN ACM. REMOVALS SHALL BE COMPLETE TO THE POINT THAT NO VISIBLE RESIDUE OR DEBRIS REMAINS.
- WIG

REMOVE AC WHITE WINDOW GLAZING BETWEEN GLASS AND METAL, FULL DEPTH, ALL LAYERS, IN ITS ENTIRETY. REMOVALS SHALL BE COMPLETE TO THE POINT THAT NO VISIBLE RESIDUE REMAINS. CONTRACTOR SHALL BE AWARE OF LEAD-BASED COMPONENTS ASSOCIATED WITH WINDOWS. LEAD CONTAINING & LEAD-BASED MATERIALS SHALL HAVE TCLP TESTING PRIOR TO DISPOSAL TO DETERMINE WASTE CHARACTERIZATION FOR DISPOSAL. IF MATERIAL IS DETERMINED TO BE HAZARDOUS THROUGH TCLP PROCESS, DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH LEAD SPECIFICATION, OSHA, NYSDOT AND RCRA. IF MATERIAL IS DETERMINED TO BE NON-HAZARDOUS, DISPOSE OF AS AN ACM.
- CC

CONTRACTOR SHALL REMOVE AC BROWN / RED CANVAS CLOTH BETWEEN CONCRETE (LINTEL) AND MASONRY (BRICK), FULL DEPTH, ALL LAYERS, IN ITS ENTIRETY TO THE POINT WHERE NO VISIBLE RESIDUE REMAINS. MATERIAL SHALL BE DISPOSED OF AS AN ACM. CONTRACTOR SHALL BE AWARE THAT REMOVALS MAY BE LIMITED AND BASED ON PROJECT REQUIREMENTS. CONTRACTOR TO COORDINATE WITH OTHER TRADES AND ARCHITECTURAL DRAWINGS.

ASBESTOS ABATEMENT LEGEND APPLICABLE TO HM-SERIES

- | | |
|-------|--|
| AC | ASBESTOS-CONTAINING |
| ACM | ASBESTOS-CONTAINING MATERIAL |
| RACM | REGULATED ASBESTOS-CONTAINING MATERIAL |
| SF | SQUARE FEET |
| LF | LINEAR FEET |
| FBI | AC BROWN FIRE BRICK / INSULATION |
| CLK1 | AC GRAY DOOR CAULK (INTERIOR) |
| CTG | AC LIGHT GRAY CEMENT THIN SET AND AC GRAY GROUT |
| EFI | AC BLACK ELECTRICAL WIRE INSULATION |
| EINS | AC WHITE EXTERIOR FURNACE INSULATION |
| MJP | AC WHITE MUDDED JOINT PACKING, ELBOWS & FITTINGS |
| RFLSH | AC BLACK ROOF FLASHING, DOORS & CURBS |
| RGAS | AC RED ROPE GASKET |
| TSI | AC WHITE / GRAY THERMAL SYSTEMS INSULATION (ELBOWS, FITTINGS AND PIPE RUNS) |
| TSI1 | AC WHITE / GRAY THERMAL SYSTEMS INSULATION AT BUILDING CENTER LINE ASSOCIATED WITH STORM-LINE PIPING |
| WIC | AC DARK GRAY WINDOW CAULK |
| WIG | AC WHITE WINDOW GLAZING |
| CC | AC BROWN / RED CANVAS CLOTH (ASSOCIATED WITH LINTELS) |
| | APPROXIMATE AREA OF AC INCIDENTAL (HISTORICAL) DISTURBANCES |
| | APPROXIMATE LOCATION OF AC MATERIALS (FBI, RGAS & MJP) |
| | APPROXIMATE LOCATION OF MATERIALS (WIG, WIC, LG & CC) ASSOCIATED WITH WINDOW REMOVAL |

GENERAL LEAD-BASED PAINT AND LEAD-CONTAINING MATERIALS NOTES APPLICABLE TO HM-SERIES

1. SURFACES CONTAINING LEAD-BASED AND LEAD-CONTAINING PAINT ARE PRESENT IN THE RENOVATION AREAS. ALTERATIONS TO PAINTED SURFACES CONTAINING LEAD SHALL BE PERFORMED BY ALL CONTRACTORS IN ACCORDANCE WITH 29 CFR 1926.62.
2. ALL REQUIRED PRE-ABATEMENT SUBMITTALS SHALL BE RECEIVED AND APPROVED BY THE ENVIRONMENTAL CONSULTANT (RAVI ENGINEERING & LAND SURVEYING, P.C.) PRIOR TO STARTING ALTERATIONS.
3. IN THE EVENT THERE IS A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REGULATION SHALL APPLY.
4. IF ANY LEAD BASED AND / OR LEAD-CONTAINING MATERIALS ARE REMOVED AND DISPOSED OF DURING THE COURSE OF THE PROJECT, A TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) SAMPLE MUST BE COLLECTED PRIOR TO DISPOSAL. THE CONTRACTOR PERFORMING THE REMOVAL MUST COMPLY WITH ALL REQUIRED LICENSING AND TRAINING TO HANDLE, REMOVE, STORE AND DISPOSE OF THE MATERIAL(S) IF DETERMINED BY LABORATORY ANALYSIS TO BE HAZARDOUS WASTE, INCLUDING APPLICABLE OSHA, RCRA AND NYSDOT. TCLP SAMPLE(S) MUST BE COLLECTED FOR THE ENTIRE WASTE STREAM PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.

LEAD ABATEMENT KEY NOTES APPLICABLE TO HM-SERIES

- LG

CONTRACTOR SHALL REMOVE LEADED GLASS ASSOCIATED WITH THE EXTERIOR WINDOW SYSTEM, IN THEIR ENTIRETY. CONTRACTOR SHALL BE AWARE OF WINDOW COMPONENTS CONTAINING ASBESTOS. REMOVALS SHALL BE PERFORMED IN ACCORDANCE WITH 12 NYCRR PART 56. DEBRIS / MATERIAL SHALL BE SEGREGATED AND CONTAINERIZED INTO DESIGNATED CONTAINER(S). CONTRACTOR SHALL PERFORM TCLP SAMPLING ON DEBRIS PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.
- LBP1

CONTRACTOR SHALL REMOVE LOOSE AND FLAKING LEAD-BASED YELLOW PAINT ASSOCIATED WITH THE CATWALKS, PLATFORMS, GUARDRAILS, HANDRAILS, AND STAIR SYSTEM, AS NECESSARY TO COMPLETE RENOVATION ACTIVITIES. REMOVALS SHALL BE COMPLETE TO A POINT ACCEPTABLE FOR APPLICATION OF A PRIMER PAINT TO BE APPLIED. CONTRACTOR SHALL COORDINATE REMOVAL LOCATIONS WITH OTHER TRADES AND ARCHITECTURAL DRAWINGS. DEBRIS SHALL BE SEGREGATED AND CONTAINERIZED INTO DESIGNATED CONTAINER(S). CONTRACTOR SHALL PERFORM TCLP SAMPLING ON DEBRIS PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.
- LBP2

CONTRACTOR SHALL REMOVE LOOSE AND FLAKING LEAD-BASED BLUE PAINT ASSOCIATED WITH EXTERIOR DOORS AND METAL ROOF TRIM, AS NECESSARY TO COMPLETE RENOVATION ACTIVITIES. REMOVALS SHALL BE COMPLETE TO A POINT ACCEPTABLE FOR APPLICATION OF A PRIMER PAINT TO BE APPLIED. CONTRACTOR SHALL COORDINATE REMOVAL LOCATIONS WITH OTHER TRADES AND ARCHITECTURAL DRAWINGS. DEBRIS SHALL BE SEGREGATED AND CONTAINERIZED INTO DESIGNATED CONTAINER(S). CONTRACTOR SHALL PERFORM TCLP SAMPLING ON DEBRIS PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.

LEAD-CONTAINING MATERIALS PRESENT WITHIN PROJECT LIMITS

- RED PAINT ASSOCIATED WITH CONCRETE BLOCK ON EXTERIOR WALL
- BROWN / WHITE PAINT ASSOCIATED WITH PLASTER CEILINGS IN MEN AND WOMEN'S TOILET ROOMS
- GREEN PAINT ASSOCIATED WITH TOILET ROOM PARTITIONS
- MAROON PAINT ASSOCIATED WITH DOORS TO EXTERIOR
- RED / ORANGE PAINT ASSOCIATED WITH WALL MOUNTED ELECTRICAL BOXES
- LIGHT GREEN / BROWN PAINT ASSOCIATED WITH STRUCTURAL STEEL
- METAL ASSOCIATED WITH LARGE FURNACE (INTERIOR)
- BROWN PAINT ASSOCIATED WITH LOCKERS IN LOCKER ROOM

LEAD ABATEMENT LEGEND APPLICABLE TO HM-SERIES

- LG

LEADED GLASS
- LBP1

YELLOW LEAD-BASED PAINT ASSOCIATED WITH CATWALKS, PLATFORMS, GUARDRAILS, HANDRAILS, AND STAIRS
- LBP2

BLUE LEAD-BASED PAINT ASSOCIATED WITH EXTERIOR DOORS AND METAL ROOF TRIM
- APPROXIMATE LOCATION OF LBP1
- APPROXIMATE LOCATION OF MATERIALS (WIG, WIC, LG & CC) ASSOCIATED WITH WINDOW REMOVAL

APPROXIMATE ASBESTOS ABATEMENT QUANTITIES APPLICABLE TO HM-SERIES (FOR BIDDING ONLY)

FBI	40 SF
CLK1	5 SF
CTG	1,640 SF
EFI	75 SF
EINS	1,200 SF
MJP	40 LF
RFLSH	215 SF
RGAS	4 SF
TSI	1,485 LF
TSI1	415 LF
WIC	637 SF
WIG	637 SF
CC	755 SF

APPROXIMATE LEAD ABATEMENT QUANTITIES APPLICABLE TO HM-SERIES (FOR BIDDING ONLY)

LG	23,500 SF
LBP1	3,000 SF
LBP2	1,948 SF

02

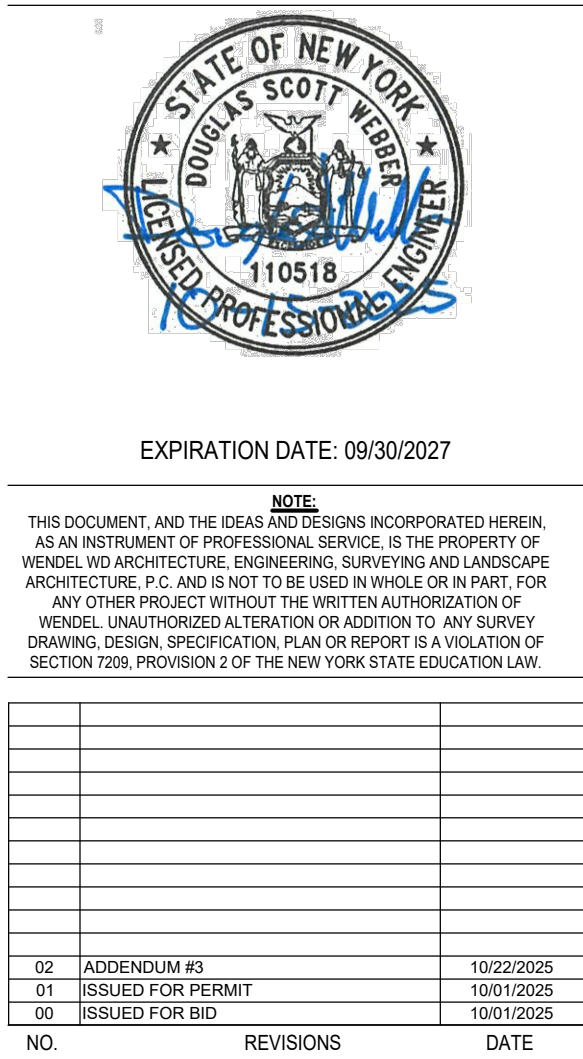


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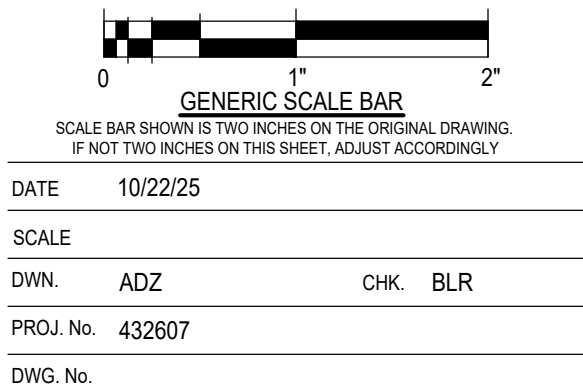
631 NORTHLAND AVE.
BUFFALO, NY 14211

INDUSTRIAL MANUFACTURING BUILDING

ISSUED FOR BID



HAZARDOUS MATERIALS ABATEMENT PLAN - GENERAL NOTES



HM-100



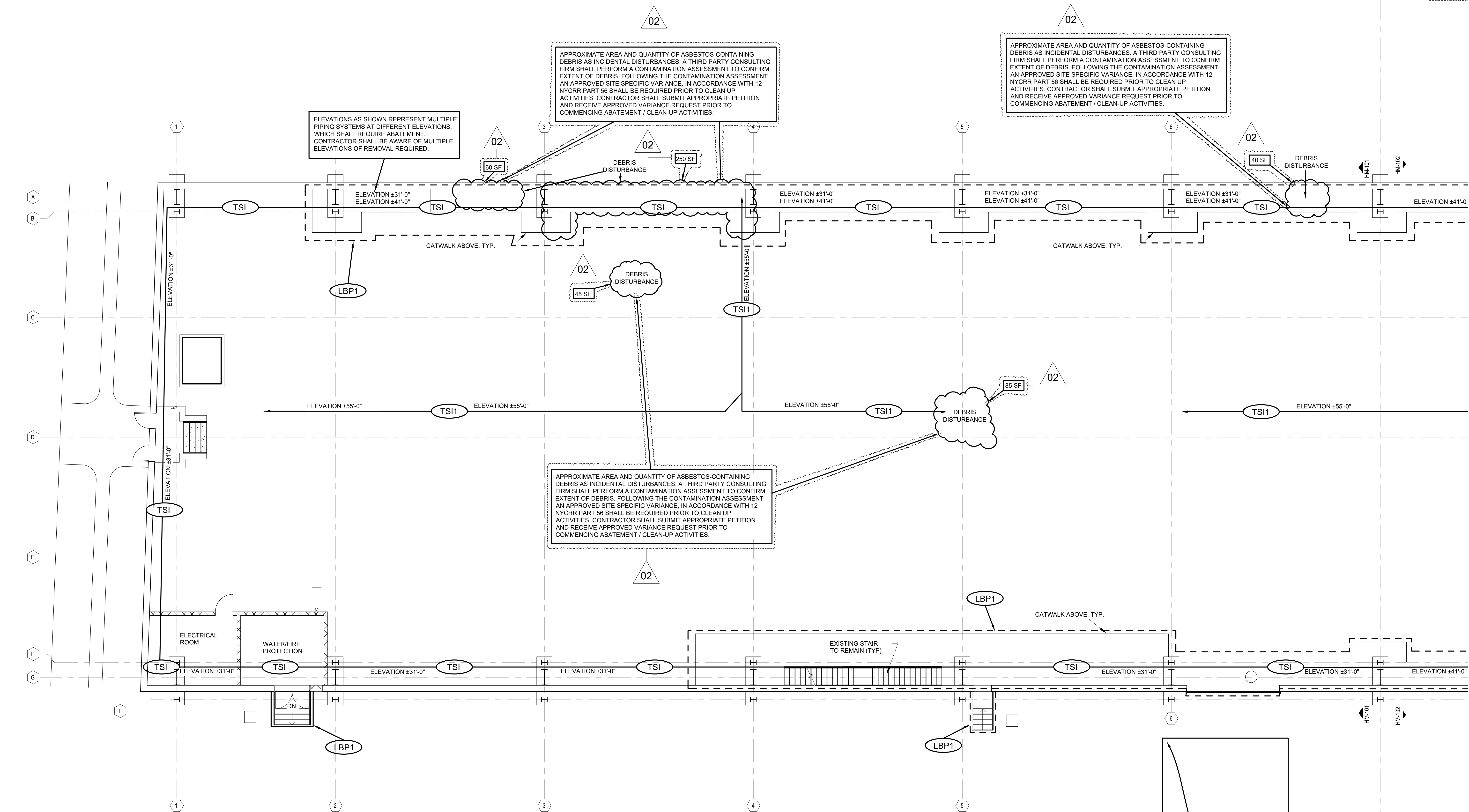
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43-2607 631 NORTHLAND AVENUE - HAZARDOUS MATERIALS ABATEMENT PLAN - GROUND FLOOR PLAN - NORTH

ASBESTOS ABATEMENT LEGEND APPLICABLE TO HM-101

AC	ASBESTOS-CONTAINING
SF	SQUARE FEET
LF	LINEAR FEET
EINS	AC WHITE EXTERIOR FURNACE INSULATION
TSI	AC WHITE / GRAY THERMAL SYSTEMS INSULATION
TSI1	AC WHITE / GRAY THERMAL SYSTEMS INSULATION AT BUILDING CENTER LINE ASSOCIATED WITH STORM-LINE PIPING
Cloud	APPROXIMATE AREA OF AC INCIDENTAL (HISTORICAL) DISTURBANCES

**APPROXIMATE ASBESTOS ABATEMENT
QUANTITIES APPLICABLE TO HM-101
(FOR BIDDING ONLY)**

EINS	1,200 SF
TSI	775 LF
TSI1	200 LF

GENERAL LEAD-BASED PAINT AND LEAD-CONTAINING MATERIALS NOTES APPLICABLE TO HM-101

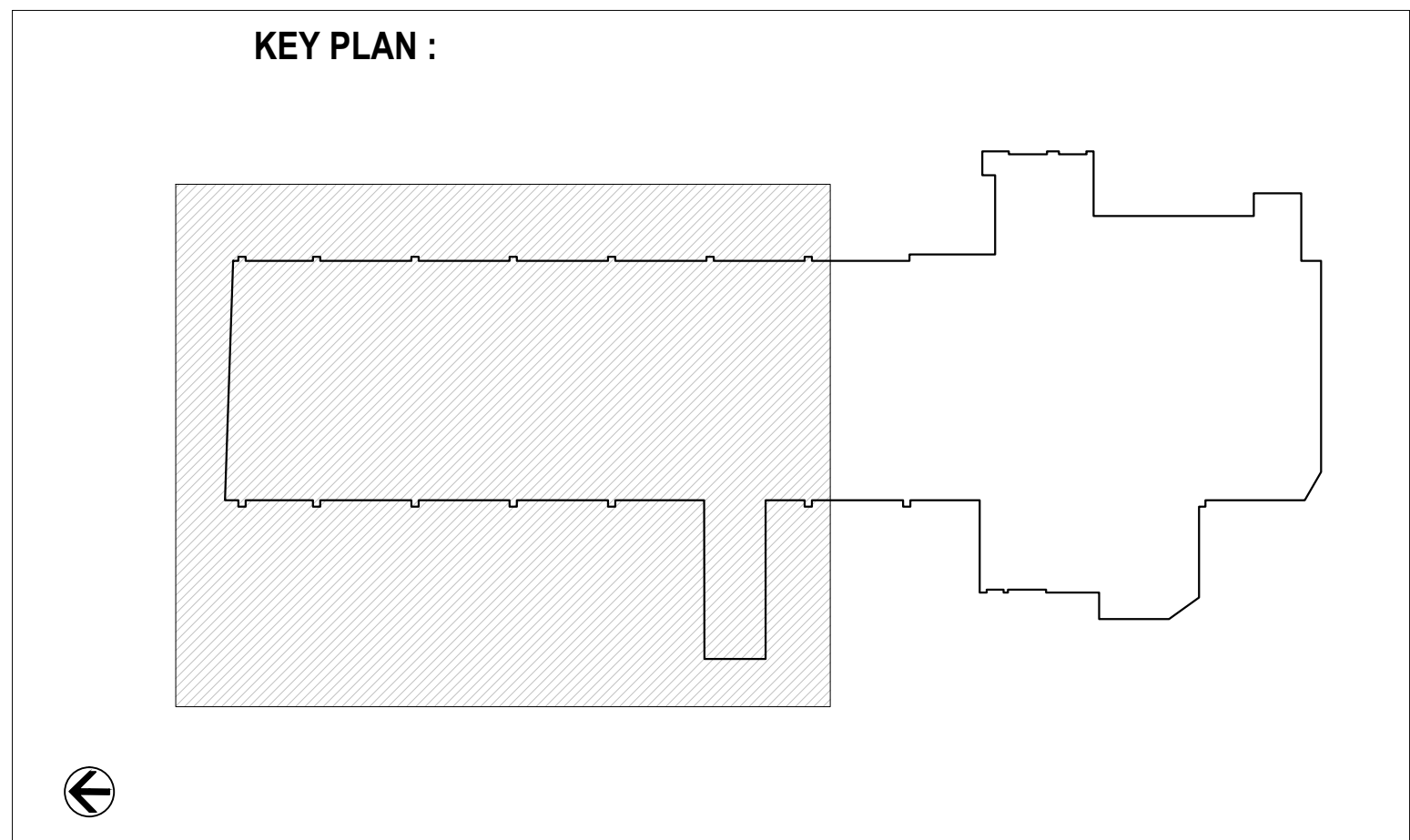
- SURFACES CONTAINING LEAD-BASED AND LEAD-CONTAINING PAINT ARE PRESENT IN THE RENOVATION AREAS. ALTERATIONS TO PAINTED SURFACES CONTAINING LEAD SHALL BE PERFORMED BY ALL CONTRACTORS IN ACCORDANCE WITH 29 CFR 1926.62.
- ALL REQUIRED PRE-ABATEMENT SUBMITTALS SHALL BE RECEIVED AND APPROVED BY THE ENVIRONMENTAL CONSULTANT (RAVI ENGINEERING & LAND SURVEYING, P.C.) PRIOR TO STARTING ALTERATIONS.
- IN THE EVENT THERE IS A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REGULATION SHALL APPLY.
- IF ANY LEAD-BASED AND / OR LEAD-CONTAINING MATERIALS ARE REMOVED AND DISPOSED OF DURING THE COURSE OF THE PROJECT, A TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) SAMPLE MUST BE COLLECTED PRIOR TO DISPOSAL. THE CONTRACTOR PERFORMING THE REMOVAL MUST COMPLY WITH ALL REQUIRED LICENSING AND TRAINING TO HANDLE, REMOVE, STORE AND DISPOSE OF THE MATERIAL(S) IF DETERMINED BY LABORATORY ANALYSIS TO BE HAZARDOUS WASTE, INCLUDING APPLICABLE OSHA, RCRA AND NYSDOT. TCLP SAMPLE(S) MUST BE COLLECTED FOR THE ENTIRE WASTE STREAM PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.
- LOCATIONS, DESCRIPTIONS, AND SUBSTRATES OF LEAD-CONTAINING PAINTS ARE LOCATED ON HM-100.

LEAD ABATEMENT LEGEND APPLICABLE TO HM-101

LBP1	YELLOW LEAD-BASED PAINT ASSOCIATED WITH CATWALKS, PLATFORMS, GUARDRAILS, HANDRAILS, AND STAIRS
---	APPROXIMATE LOCATION OF LBP1

**APPROXIMATE LEAD ABATEMENT
QUANTITIES APPLICABLE TO HM-101
(FOR BIDDING ONLY)**

LBP1	1,500 SF
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EXPIRATION DATE: 09/30/2027

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NO.	REVISIONS	DATE
01	ADDED HAZARDOUS MATERIALS	10/22/2025
02	ISSUED FOR PERMIT	10/27/2025
03	ISSUED FOR BID	10/27/2025

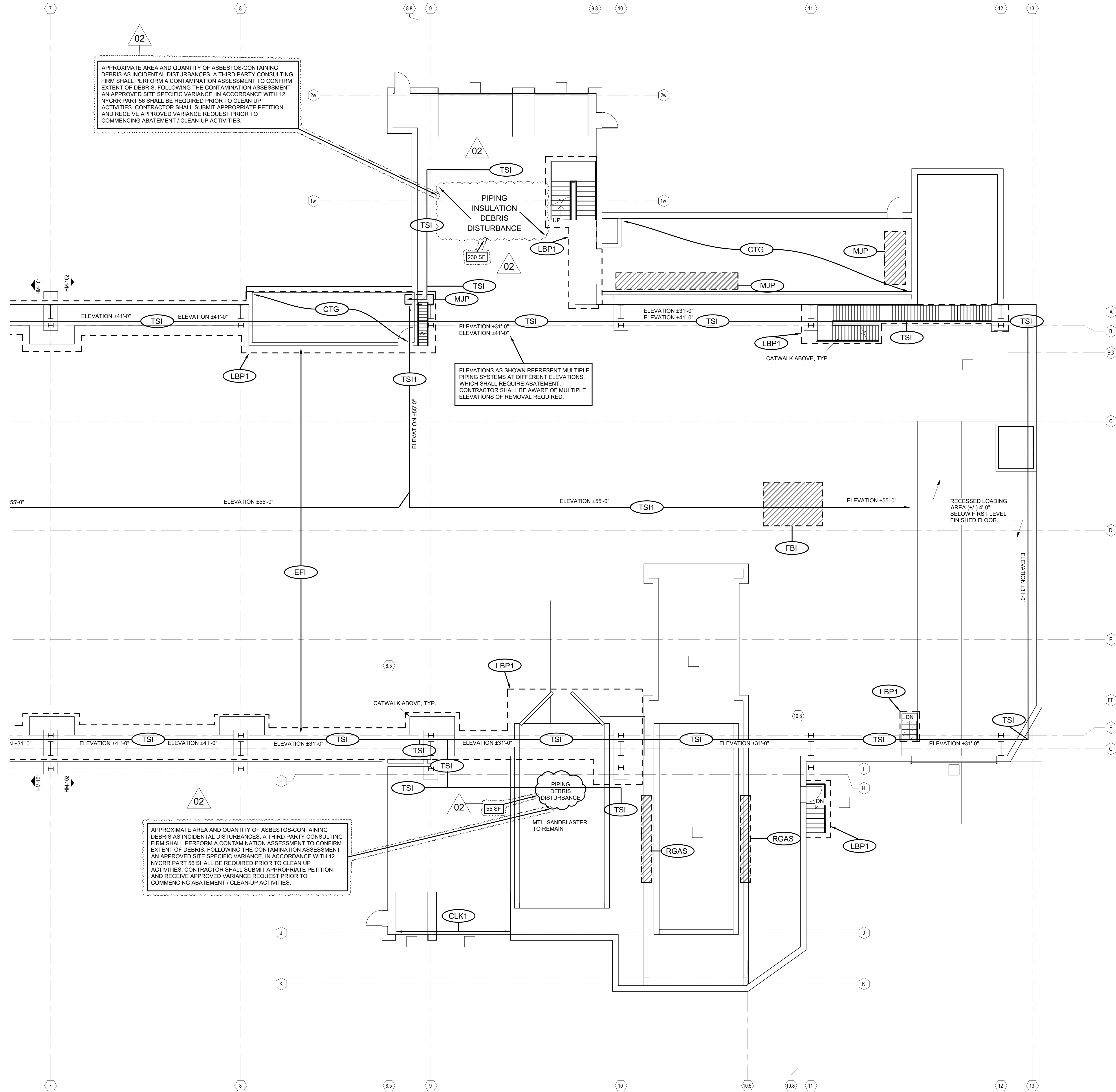
DWG. TITLE

**HAZARDOUS
MATERIALS
ABATEMENT PLAN -
GROUND FLOOR
PLAN - NORTH**



DATE	10/22/25
SCALE	
DWN.	ADZ
CHK.	BLR
PROJ. No.	432607
DWG. No.	

HM-101



GENERAL LEAD-BASED PAINT AND LEAD-CONTAINING MATERIALS NOTES APPLICABLE TO HM-102

1. SURFACES CONTAINING LEAD-BASED AND LEAD-CONTAINING PAINT ARE PRESENT IN THE RENOVATION AREAS. ALTERATIONS TO PAINTED SURFACES CONTAINING LEAD SHALL BE PERFORMED BY ALL CONTRACTORS IN ACCORDANCE WITH 29 CFR 1926.62.
2. ALL REQUIRED PRE-ABATEMENT SUBMITTALS SHALL BE RECEIVED AND APPROVED BY THE ENVIRONMENTAL CONSULTANT (RAVI ENGINEERING & LAND SURVEYING, P.C.) PRIOR TO STARTING ALTERATIONS.
3. IN THE EVENT THERE IS A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT REGULATION SHALL APPLY.
4. IF ANY LEAD BASED AND / OR LEAD-CONTAINING MATERIALS ARE REMOVED AND DISPOSED OF DURING THE COURSE OF THE PROJECT, A TOXICITY CHARACTERISTIC LEACHING PROCEDURE (TCLP) SAMPLE MUST BE COLLECTED PRIOR TO DISPOSAL. THE CONTRACTOR PERFORMING THE REMOVAL MUST COMPLY WITH ALL REQUIRED LICENSING AND TRAINING TO HANDLE, REMOVE, STORE AND DISPOSE OF THE MATERIAL(S) IF DETERMINED BY LABORATORY ANALYSIS TO BE HAZARDOUS WASTE, INCLUDING APPLICABLE OSHA, RCRA AND NYSDOT. TCLP SAMPLE(S) MUST BE COLLECTED FOR THE ENTIRE WASTE STREAM PRIOR TO DISPOSAL FOR WASTE CHARACTERIZATION.
5. LOCATIONS, DESCRIPTIONS, AND SUBSTRATES OF LEAD-CONTAINING PAINTS ARE LOCATED ON HM-100.

LEAD ABATEMENT LEGEND APPLICABLE TO HM-102

- LBP1 YELLOW LEAD-BASED PAINT ASSOCIATED WITH CATWALKS, PLATFORMS, GUARDRAILS, HANDRAILS, AND STAIRS
- APPROXIMATE LOCATION OF LBP1

APPROXIMATE LEAD ABATEMENT QUANTITIES APPLICABLE TO HM-102 (FOR BIDDING ONLY)

LBP1	1,500 SF
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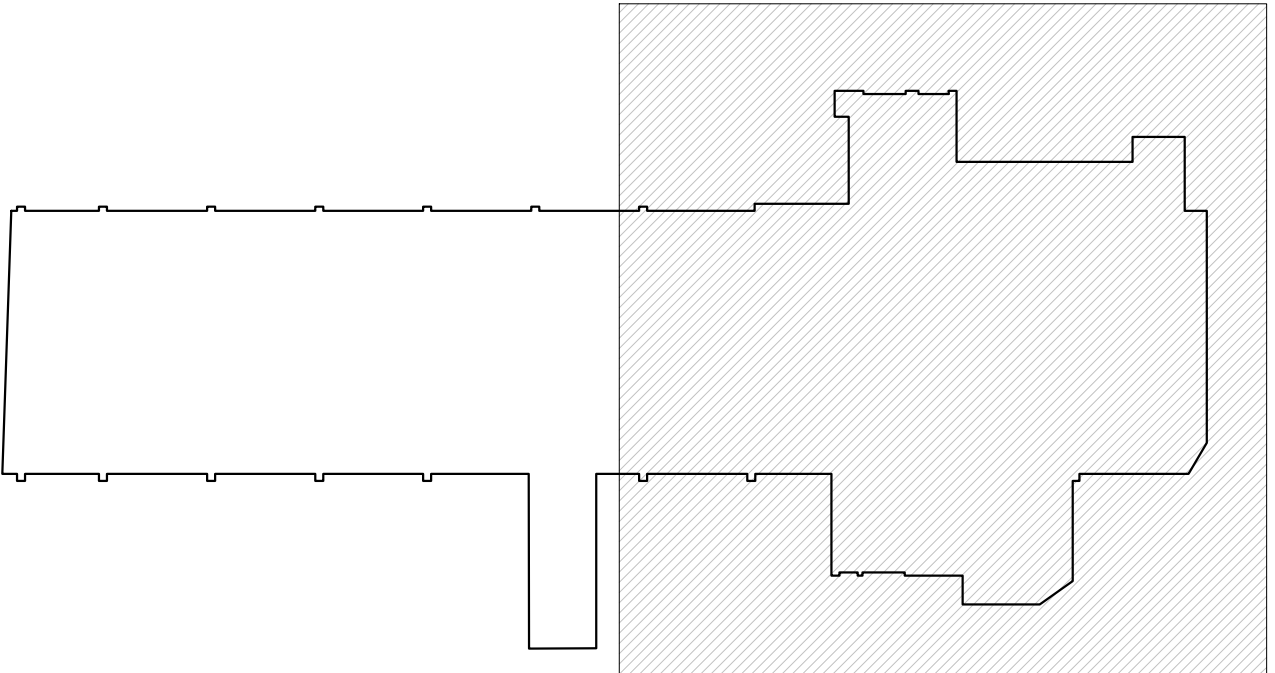
ASBESTOS ABATEMENT LEGEND APPLICABLE TO HM-102

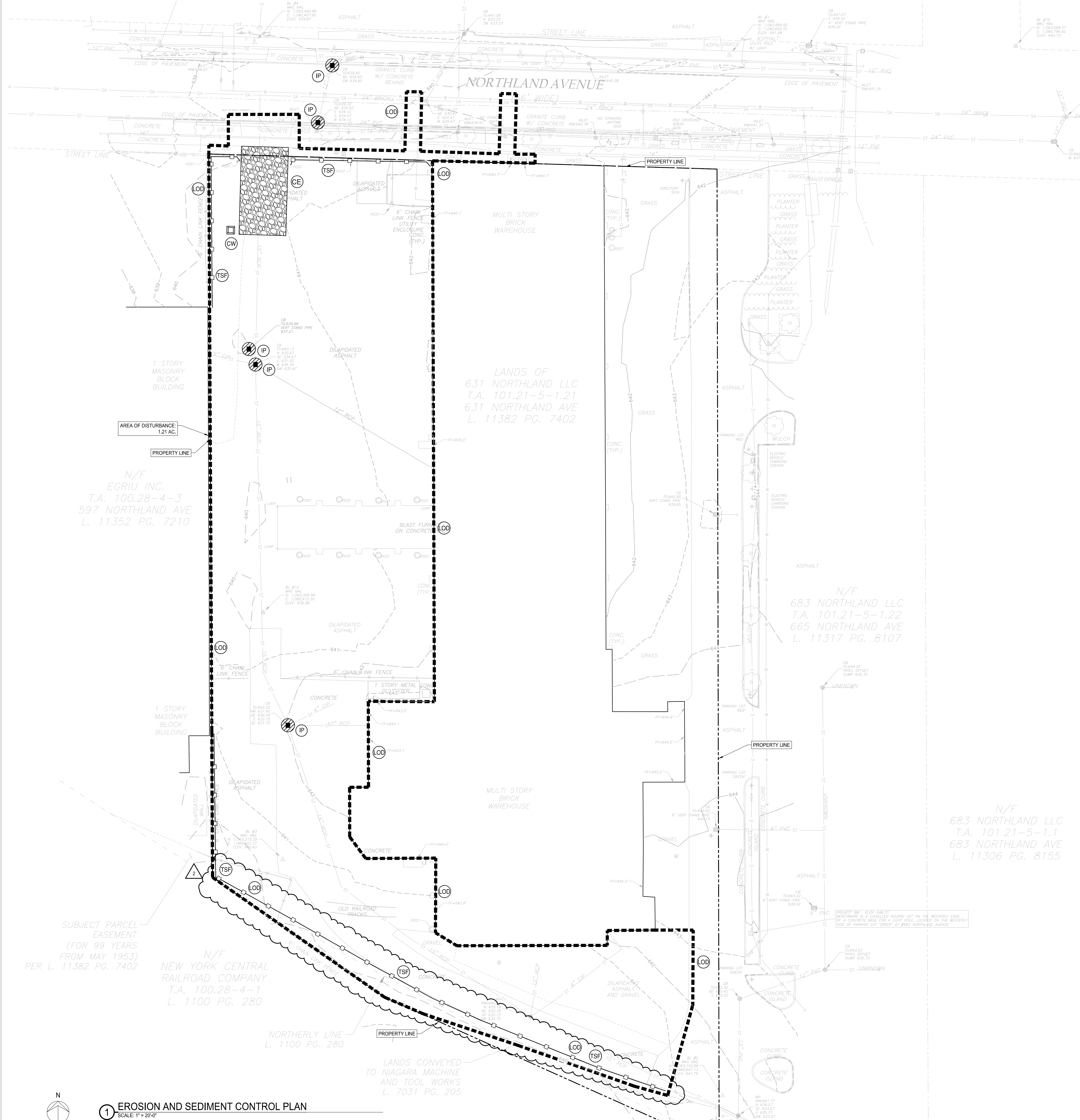
- AC ASBESTOS-CONTAINING
- SF SQUARE FEET
- LF LINEAR FEET
- FBI AC BROWN FIRE BRICK / INSULATION
- CLK1 AC GRAY DOOR CAULK (INTERIOR)
- CTG AC LIGHT GRAY CEMENT THIN SET AND AC GRAY GROUT
- EFI AC BLACK ELECTRICAL WIRE INSULATION
- MJP AC WHITE MUDDED JOINT PACKING, ELBOWS & FITTINGS , ASSOCIATED WITH THERMAL SYSTEMS INSULATION
- RGAS AC RED ROPE GASKET
- TSI AC WHITE / GRAY THERMAL SYSTEMS INSULATION (ELBOWS, FITTINGS AND PIPE RUNS)
- TSI1 AC WHITE / GRAY THERMAL SYSTEMS INSULATION AT BUILDING CENTER LINE ASSOCIATED WITH STORM-LINE PIPING
- APPROXIMATE AREA OF AC INCIDENTAL (HISTORICAL) DISTURBANCES
- APPROXIMATE LOCATION OF AC MATERIALS (FBI, RGAS & MJP)

APPROXIMATE ASBESTOS ABATEMENT QUANTITIES APPLICABLE TO HM-102 (FOR BIDDING ONLY)

FBI	40 SF
CLK1	5 SF
CTG	1,640 SF
EFI	75 SF
MJP	40 LF
RGAS	4 SF
TSI	710 LF
TSI1	215 LF

KEY PLAN :





GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) THROUGHOUT ALL PHASES OF CONSTRUCTION AS REQUIRED BY THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). ADDITIONAL BMP'S NOT SHOWN ON THIS PLAN SHALL BE IMPLEMENTED AS REQUIRED BY SITE CONDITIONS AND AS DIRECTED BY THE QUALIFIED INSPECTOR AS A RESULT OF WEEKLY OR BIWEEKLY CONSTRUCTION DURATION INSPECTIONS.
2. BMP'S AND OTHER REQUIRED CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OR PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
3. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
4. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
5. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
6. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIAL S SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES, UNDERGROUND CONVEYANCE SYSTEMS OR WATERS OF THE STATE.
7. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THESE PLANS SHALL BE INITIATED AS SOON AS PRACTICABLE.
8. ALL DENUDED AREAS THAT WILL BE INACTIVE FOR 14-DAYS OR MORE MUST BE TEMPORARILY STABILIZED WITH THE USE OF FAST-GERMINATING ANNUAL GRASS-GRAIN VARIETIES, STRAW-HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
9. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SOODED AND/OR VEGETATED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN.
10. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
11. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
12. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ACCUMULATED SEDIMENT IN ROADSIDE DRAINAGE SYSTEMS AS WELL AS ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE ON-SITE STORM SEWER DRAINAGE SYSTEM IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
13. ON-SITE SOIL STOCKPILES AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
14. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
15. THE GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE PLANS (IF DIFFERENT FROM THOSE CURRENTLY SHOWN) INSIDE OF THE LIMITS OF DISTURBANCE FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
16. AREAS TO BE FILLED SHALL BE CLEARED AND STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
17. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.
18. INLET PROTECTION SHALL BE PLACED AT ALL DESIGNATED STORM INLETS FOR DURATION OF CONSTRUCTION OR UNTIL CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED. THE PLACEMENT OF FILTER FABRIC BETWEEN THE FRAME AND GRATE OF A DRAINAGE INLET WILL NOT BE ALLOWED AS INLET PROTECTION.
19. ALL WATER PUMPED FROM EXCAVATIONS (DEWATERING) MUST PASS THROUGH A SEDIMENT TRAPPING DEVICE BEFORE BEING DISCHARGED FROM THE SITE. THESE DEVICES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT BAGS, PORTABLE SEDIMENT TANKS AND SEDIMENT TRAPS.

BEST MANAGEMENT PRACTICE MAINTENANCE:

ALL BEST MANAGEMENT PRACTICES (INCLUDING EROSION AND SEDIMENT CONTROLS) SHOWN ON THIS PLAN, AND AS DESCRIBED IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED INSPECTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, DETERIORATION, OR OVER LOADING.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY SO THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCE SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE (OR LESS IF IT INTERFERES WITH THE FUNCTIONALITY OF THE SILT FENCE).
4. THE CONSTRUCTION ENTRANCES/EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING PUBLIC STREETS SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

SYMBOL LEGEND

- LOD --- LOD = LIMITS OF DISTURBANCE (1.21 ACRES)
- TSF --- TSF = TEMPORARY SILT FENCE OR SILT SOCK
- CE --- CE = TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- CW --- CW = CONCRETE WASHOUT
- FFP --- FFP = TEMPORARY FILTER FABRIC INLET PROTECTION
- IP --- IP = TEMPORARY DROP INLET PROTECTION

TEMPORARY VEGETATION SEED MIX:

IF SEASON IS SPRING, SUMMER, OR EARLY FALL: SEED WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (APPROX. 1 LB. PER 1,000 SQUARE FEET).

IF SEASON IS LATE FALL OR EARLY WINTER: SEED WITH CERTIFIED 'AROSTOOK' WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE (APPROX. 2.5 LBS. PER 1,000 SQUARE FEET).

NOTES TO THE CONTRACTOR:

1. ALL SOIL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN CONFORMANCE WITH THE PROJECT DETAILS & SPECIFICATIONS CONTAINED WITHIN THE LATEST REVISION OF THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR TO UTILIZE THE FOLLOWING EROSION CONTROL MEASURES AS NECESSARY AND AS DIRECTED BY A QUALIFIED INSPECTOR (OR QUALIFIED PROFESSIONAL) TO MINIMIZE SOIL EROSION AND SEDIMENT REMOVAL: INLET PROTECTION (EXCAVATED INLET PROTECTION AND FILTER FABRIC INLET PROTECTION), SILT FENCE OR SILT SOCKS, CONSTRUCTION ENTRANCE, CHECK DAMS, SEDIMENT TRAPS, AND DUST CONTROL (WATERING).
2. IMMEDIATELY DENOTE THE LOCATIONS OF THE FOLLOWING ITEMS ON THE SITE PLANS AFTER THEY ARE IMPLEMENTED AND INSTALLED AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS: TRAILERS, LAY DOWN AREAS, PORTA-POTTIES, WHEEL WASHES, CONCRETE WASHOUTS, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC.

INSPECTION FREQUENCY:

1. AS REQUIRED BY THE GENERAL PERMIT THE QUALIFIED INSPECTOR SHALL CONDUCT AT LEAST TWO (2) SITE INSPECTIONS EVERY SEVEN (7) CALENDAR DAYS DURING THE COURSE OF CONSTRUCTION UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED IF DISTURBANCE EXCEEDS 5 ACRES.
2. THE TWO (2) INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO (2) FULL CALENDAR DAYS.



Buffalo Urban Development Corporation

Hon. Christopher P. Scanlon, Chairman

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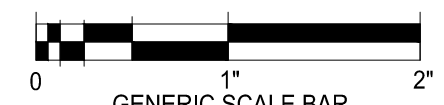
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NO.	REVISIONS	DATE
02	BID ADDENDUM 1	10/22/25
01	ISSUED FOR PERMIT	10/01/25
00	ISSUED FOR BID	10/01/25

DWG. TITLE

**EROSION AND SEDIMENT
CONTROL PLAN**

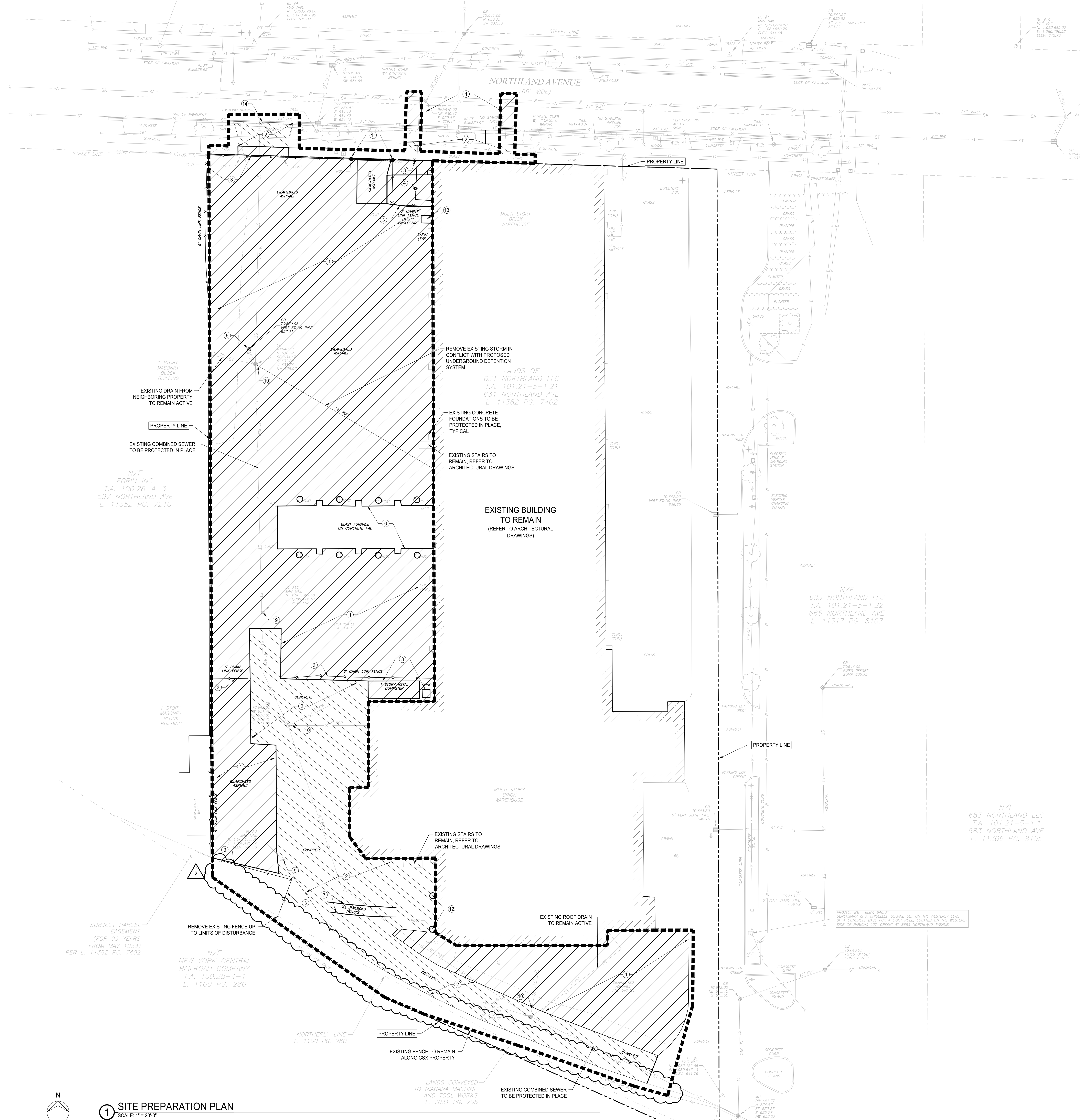


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DATE	06/27/2025
SCALE	AS NOTED
DWN.	DGR
CHK.	TAR
PROJ. No.	432607
DWG. No.	



C102



SITE PREPARATION NOTES:

1. REMOVE AND DISPOSE OF ASPHALT PAVEMENT AND SUBBASE MATERIAL, DEBRIS AND VEGETATION IN ITS ENTIRETY.
2. REMOVE AND DISPOSE OF CONCRETE PAVEMENT AND SUBBASE MATERIAL, DEBRIS AND VEGETATION IN ITS ENTIRETY.
3. REMOVE AND DISPOSE OF EXISTING FENCE & POSTS IN ITS ENTIRETY.
4. REMOVE EXISTING WATER LINE AND APPURTENANCES IN THEIR ENTIRETY.
5. REMOVE EXISTING DRAINAGE STRUCTURE.
6. REMOVE EXISTING BLAST FURNACE AND FOUNDATION IN ITS ENTIRETY. REFER TO ARCH.
7. PROPERLY REMOVE AND DISPOSE OF EXISTING RAILROAD TRACKS IN ITS ENTIRETY, REFER TO ENVIRONMENTAL PLANS BY OTHERS.
8. REMOVE EXISTING ABOVE-GROUND STORAGE TANK AND DUST COLLECTOR INCLUDING CONCRETE FOOTERS AND APPURTENANCES IN THEIR ENTIRETY.
9. PROTECT OR RE-ESTABLISH ALL SITE CONTROL PRIOR TO DEMOLITION.
10. BULKHEAD EXISTING DRAIN LINE AT MANHOLE AND ABANDON IN PLACE WITH FLOWFILL.
11. PROTECT IN PLACE AND REFURBISH EXISTING GATE AND FRAME STRUCTURE.
12. REMOVE EXISTING BOLLARD.
13. REMOVE EXISTING METAL STAIRS, REFER TO ARCHITECTURAL DRAWINGS.
14. REMOVE EXISTING CONCRETE DRIVEWAY APRON AND SALVAGE EXISTING GRANITE CURB FOR RESET.

GENERAL SITE PREPARATION NOTES:

1. ALL EARTHWORK AND ESTABLISHMENT OF SUITABLE SUBGRADE SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE "GEOTECHNICAL ENGINEERING INVESTIGATION, PROPOSED 631 NORTHLAND REDEVELOPMENT, 631 NORTHLAND AVENUE, BUFFALO, NEW YORK" DATED JUNE 2024 AND AS DIRECTED BY THE GEOTECHNICAL FIELD REPRESENTATIVE.
2. ALL SITE DEMOLITION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE ENVIRONMENTAL CONSULTANT'S RECOMMENDATIONS AS PART OF THE BROWNFIELD CLEANUP PROJECT. REFER TO PLANS BY OTHERS.
3. PROTECT AND MAINTAIN SERVICE OF ALL UTILITIES ENCOUNTERED IN THE WORK AREA. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DISRUPTION OF UTILITY SERVICE CAUSED BY THE CONTRACTOR OPERATIONS. DAMAGE TO EXISTING UTILITIES AND APPURTENANCES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED, AT THE CONTRACTOR'S SOLE EXPENSE, TO THE OWNERS SATISFACTION OR A.O.B.E..
4. IF MATERIALS ARE ENCOUNTERED DURING THE CONSTRUCTION THAT ARE SUSPECTED OF BEING CONTAMINATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR DIRECTION REGARDING TESTING, SEPARATION, CONTAINMENT AND DISPOSAL PROCEDURES. THERE WILL BE NO DIRECT PAYMENT FOR INITIAL HANDLING OF SUSPECTED CONTAMINATED SOILS. PAYMENT FOR TESTING AND DISPOSAL WILL BE HANDLED BY A CONTRACT ADMINISTER ONLY IF NECESSARY AS DETERMINED BY THE OWNER AND ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AND PROPER REMOVAL, DISPOSAL OF MATERIAL IN ITS ENTIRETY FORM THE SITE. OWNER IS NOT RESPONSIBLE FOR TEST PITS, TESTING OR STOCKPILED MATERIAL.

GENERAL SITE UTILITY NOTES:

1. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND BASED ON THE RESULT OF A FIELD SURVEY OF VISIBLE SURFACE IMPROVEMENTS IN ADDITION TO INFORMATION PROVIDED WITHIN AVAILABLE RECORD DOCUMENTS. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO THE START OF WORK AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICT.
2. ACTIVE SEWERS TO BE REMOVED OR MODIFIED SHALL BE BYPASSED UNTIL PERMANENT SEWER IMPROVEMENTS ARE IN PLACE.



Buffalo Urban Development Corporation
Hon. Christopher P. Scanlon, Chairman

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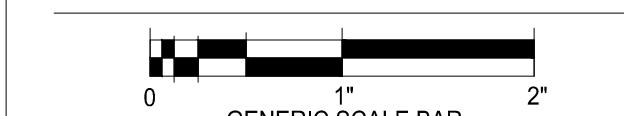
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02	BID ADDENDUM 1	10/22/25
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DWG. TITLE

SITE PREPARATION/DEMOLITION PLAN



GENERIC SCALE BAR

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DATE 06/27/2025

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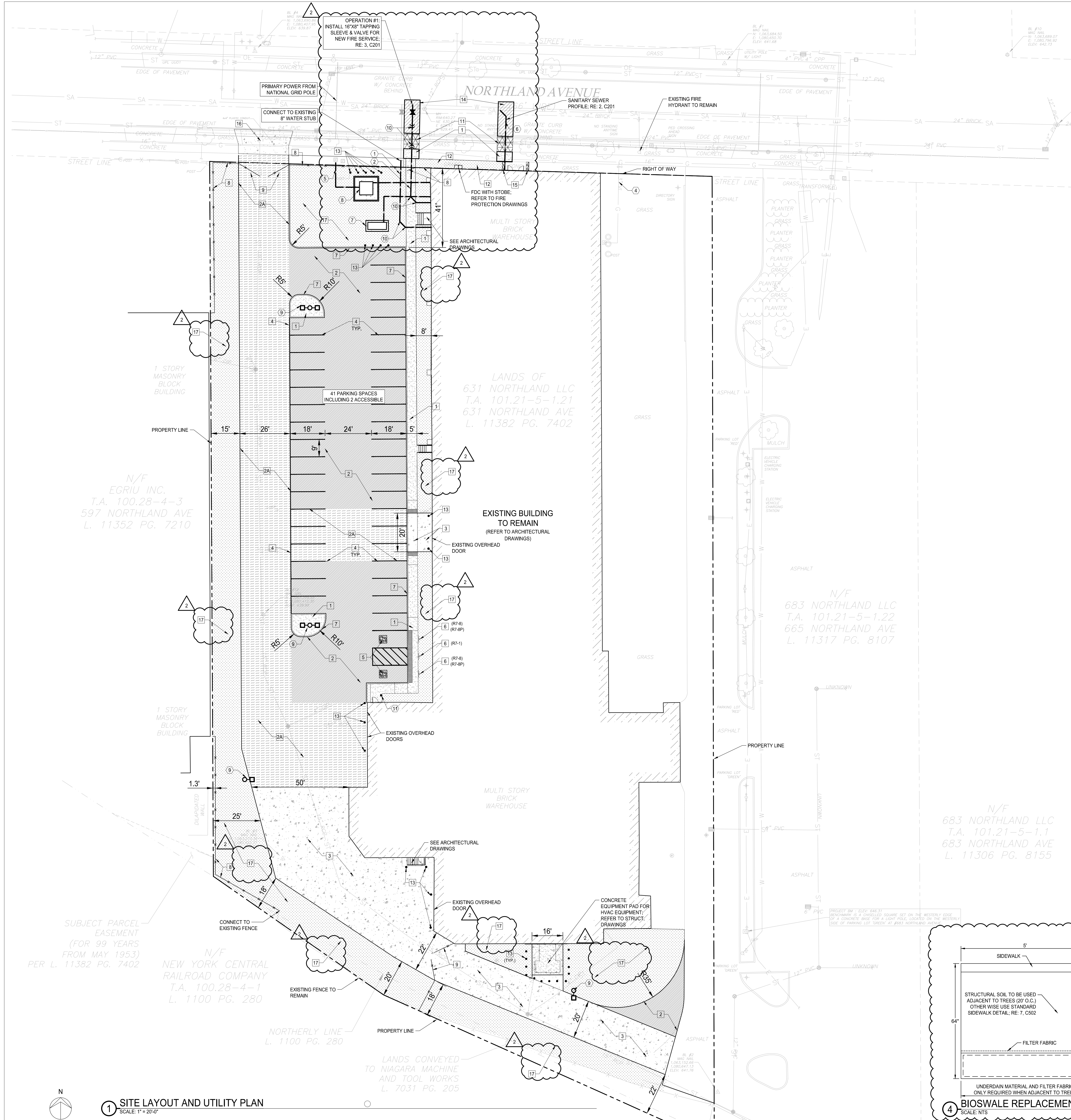
DWN. DGR CHK. TAR

PROJ. No. 432607

DWG. No.



C103

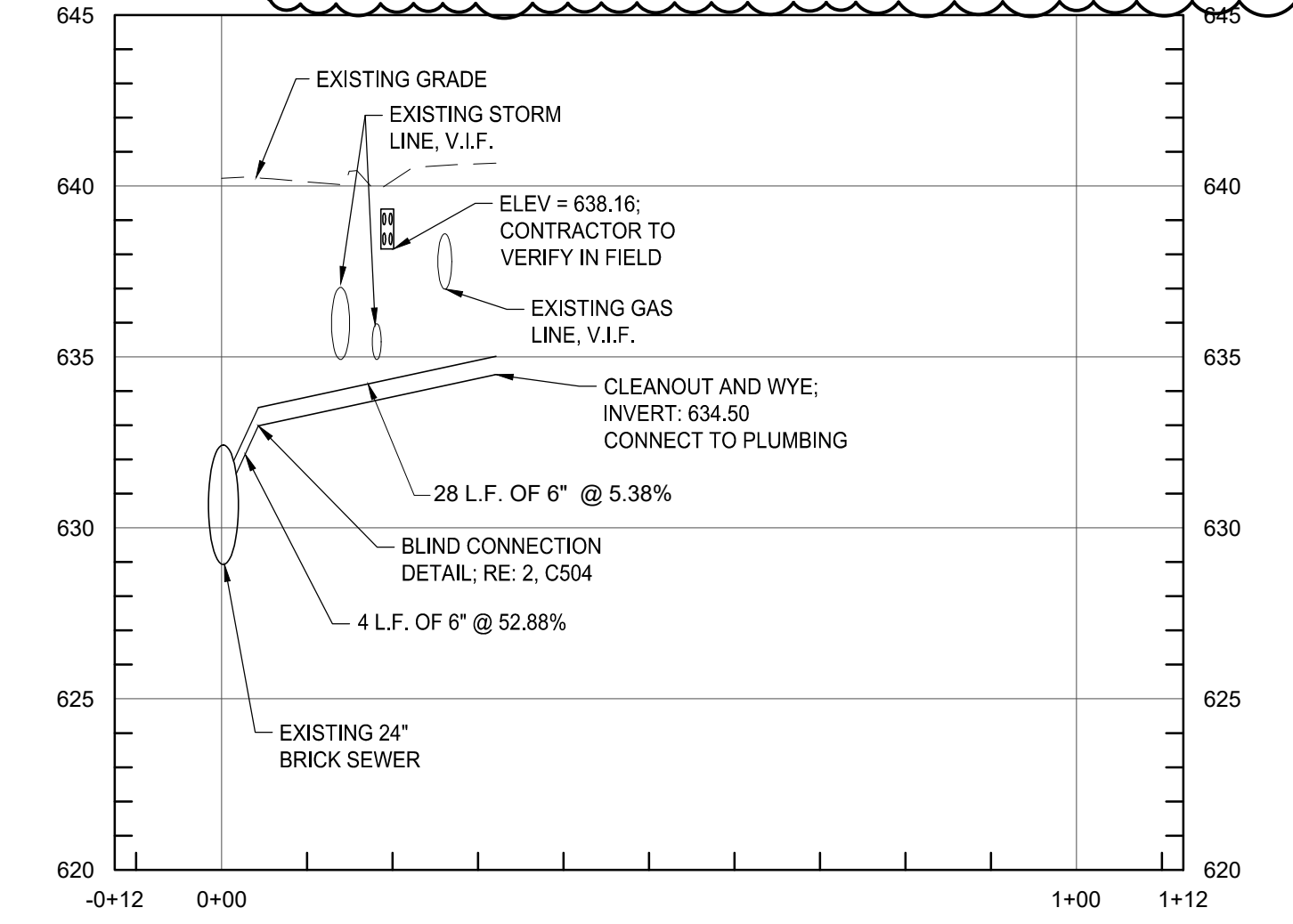


SITE LAYOUT NOTES:

1. CONCRETE SIDEWALK; RE: 7, C502
2. PROPOSED ASPHALT PAVEMENT; RE: 5, C502
- 2A. PROPOSED HEAVY-DUTY ASPHALT PAVEMENT; RE: 5A, C502
3. HEAVY-DUTY CONCRETE PAVEMENT; RE: 1, C502
4. PAVEMENT STRIPING
5. ACCESSIBLE PARKING STRIPING AND SYMBOL; RE: 10 & 11, C502
6. ACCESSIBLE PARKING SIGN; RE: 12, C502
7. CONCRETE CURB; RE: 2, C502
8. CHAIN LINK FENCE AND GATE AS SHOWN, H=6'; RE: 13, C502
9. MANUAL VEHICULAR SWING GATE, H=6'; RE: 13, C502
10. 6" TO 0" CURB TRANSITION; RE: 9, C502
11. REPLACE BIOSWALE IN KIND; RE: 4, C201
12. RESTORE LAWN WITH 4" OF TOPSOIL AND SEED
13. EXTERIOR BOLLARD; RE: 6, C502
14. TRENCH REPAIR, REPLACE EXISTING PAVEMENT IN KIND AND RESET CURB; RE: 1, C504 & 5, C505
15. CRUSHED STONE DRAINAGE BED FOR CANOPY DRAIN OVERFLOW; 18" WIDTH, 8" DEPTH
16. RECONSTRUCT DRIVEWAY, SIDEWALK AND RESET GRANITE CURB
17. PROVIDE 1" OF CLEAN CAP MATERIAL IN PROPOSED LAWN AREAS.

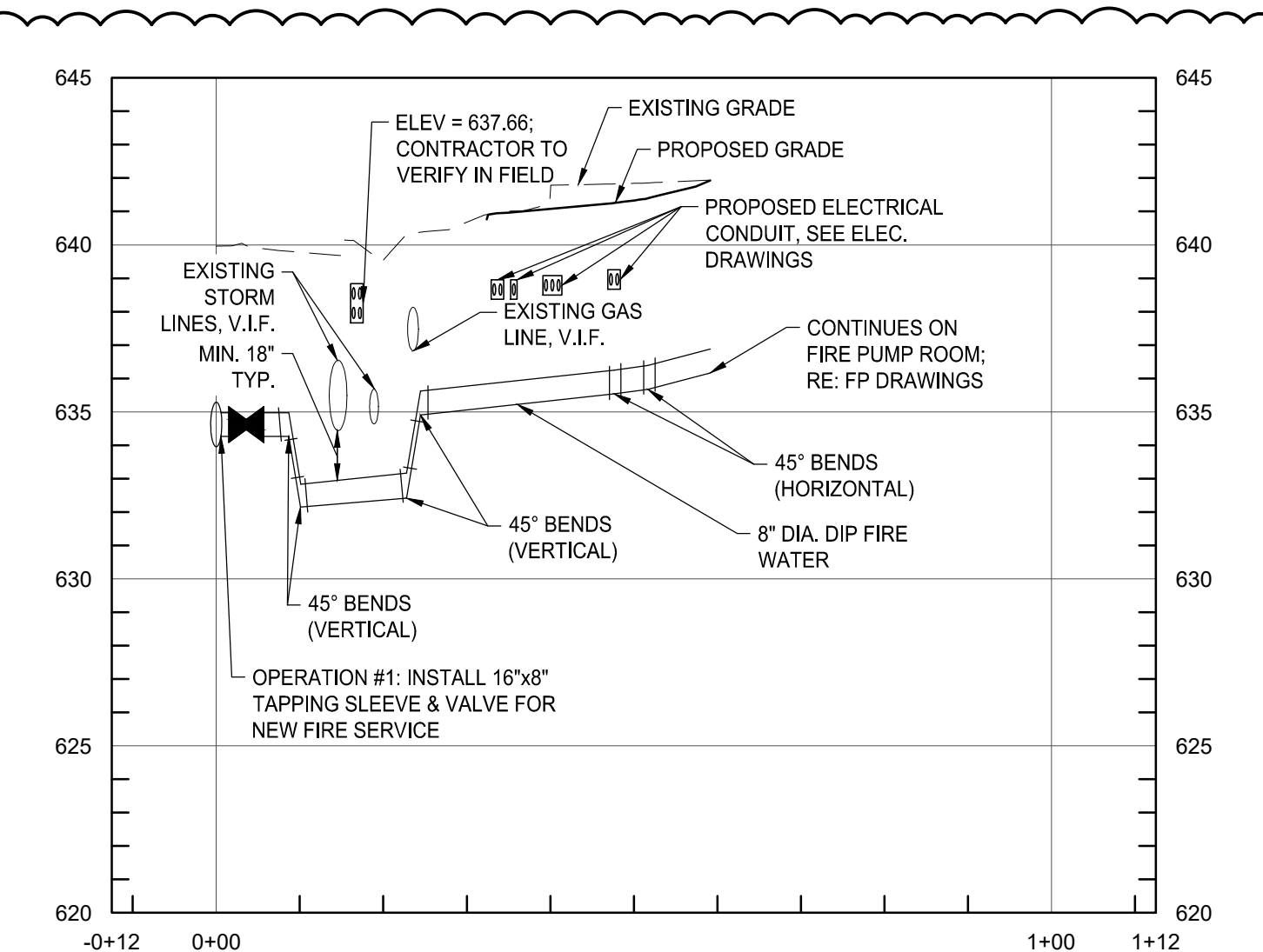
SITE UTILITY NOTES:

1. 8" DIA. DIP DOMESTIC WATER; RE: 5, C505
2. 8" DIA. DIP FIRE SERVICE; RE: 5, C505
3. FIRE HYDRANT ASSEMBLY; NOT USED
4. EXISTING GAS SERVICE TO REMAIN IN SERVICE BY NATIONAL FUEL
5. PROPOSED ELECTRIC SERVICE BY NATIONAL GRID
6. 6" DIA. SANITARY SEWER; RE: 1, C504
7. BACKUP GENERATOR, REFER TO ELECTRICAL DRAWINGS
8. TRANSFORMER, REFER TO ELECTRICAL DRAWINGS
9. SITE LIGHTING, REFER TO E100.
10. 8" DIA. DIP 45° BEND
11. ADA DOOR PUSH BUTTON, REFER TO ELECTRICAL DRAWINGS
12. WATERLINE DEFLECTION; RE: 505



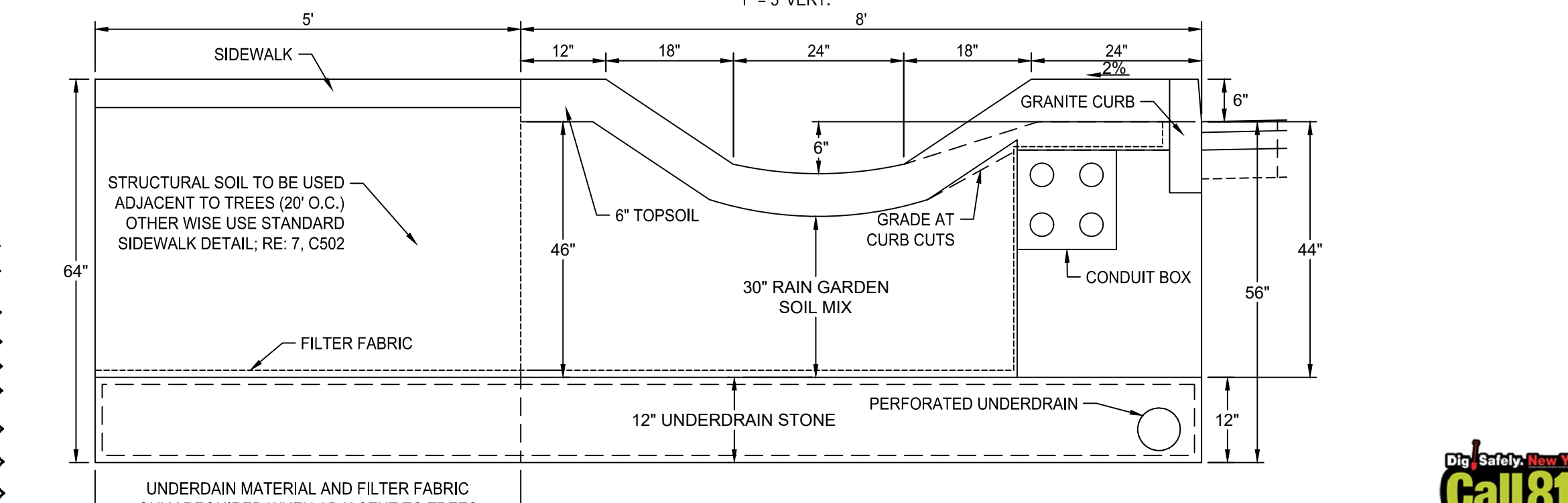
2 SANITARY SEWER PROFILE

SCALE: 1" = 20' HORIZ.
1" = 5' VERT.



3 FIRE SERVICE PROFILE

SCALE: 1" = 20' HORIZ.
1" = 5' VERT.



4 BIOSWALE REPLACEMENT SECTION

SCALE: NTS

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DWS: TLE

SITE LAYOUT AND UTILITY PLAN

0 1' 2'

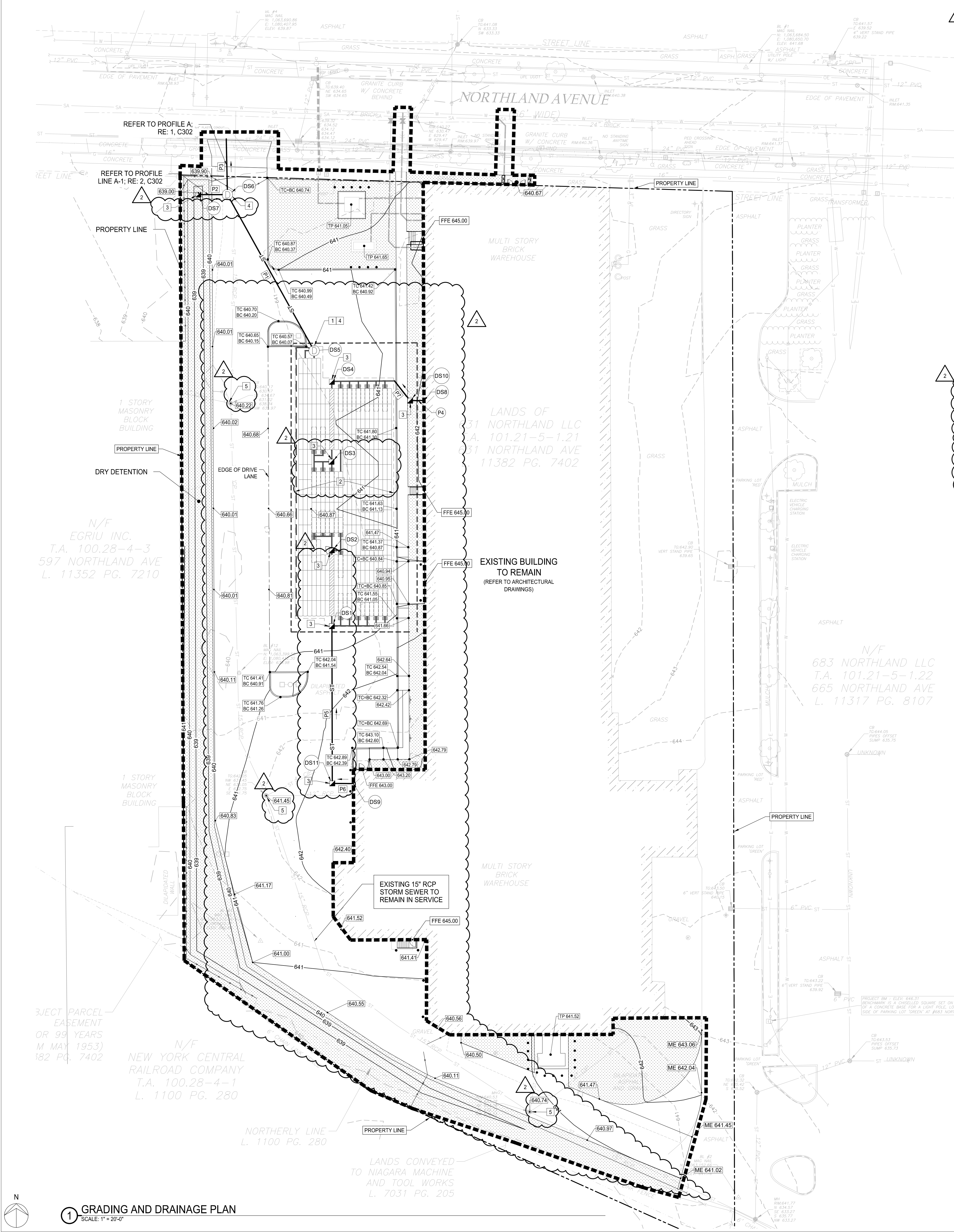
GENERIC SCALE BAR

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DATE: 06/27/2025
SCALE: AS NOTED
DWN: DGR CHK: TAR
PROJ. No.: 432607
DWG. No.:

Call 811
before you dig

C201



STRUCTURE TABLE				
I.D.	DESCRIPTION	RIM	PIPES IN	PIPES OUT
DS1	2' X 2' CATCH BASIN	640.37	P5, INV IN = 637.40 S (8")	UGS1, INV OUT = 636.20 E (8") UGS2, INV OUT = 636.20 N (8")
DS2	2' X 2' CATCH BASIN	640.63		UGS3, INV OUT = 636.20 S (8") UGS4, INV OUT = 636.20 E (8") UGS5, INV OUT = 636.20 N (8")
DS3	2' X 2' CATCH BASIN	639.92		UGS6, INV OUT = 636.20 S (8") UGS7, INV OUT = 636.20 W (8") UGS8, INV OUT = 636.20 N (8")
DS4	2' X 2' CATCH BASIN	639.92		UGS9, INV OUT = 636.20 S (8") UGS10, INV OUT = 636.20 E (8")
DS5	48" DIA. MANHOLE OUTLET CONTROL	640.42	UGS11, INV IN = 636.20 S (8")	P1, INV OUT = 635.70 NW (12") UGS12, INV OUT = 636.20 W (8")
DS6	48" DIA. MANHOLE	640.03	P1, INV IN = 634.80 SE (12") P2, INV IN = 635.80 W (12")	P3, INV OUT = 634.70 N (12")
DS7	2' X 2' CATCH BASIN	639.00		P2, INV OUT = 636.00 E (12")
DS8	CONNECT TO PLUMBING	638.13		P4, INV OUT = 636.50 W (8")
DS9	CONNECT TO PLUMBING	639.45		P6, INV OUT = 636.70 W (8")
DS10	2' X 2' CATCH BASIN	641.93	P4, INV IN = 636.20 E (8")	P7, INV OUT = 636.20 NW (8")
DS11	2' X 2' CATCH BASIN	642.20	P6, INV IN = 638.50 E (8")	P5, INV OUT = 638.40 N (8")

DRAINAGE PIPE TABLE				
PIPE I.D.	SIZE	LENGTH (L.F.)	SLOPE	MATERIAL
P1	12"	84'	1.07%	HDPE
P2	12"	16'	1.28%	HDPE
P3	12"	27'	1.26%	PVC
P4	8"	7'	4.58%	HDPE
P5	8"	74'	1.35%	HDPE
P6	8"	10'	2.01%	HDPE
P7	8"	REFER TO PLAN	0.00%	HDPE
UGS1	8"	REFER TO PLAN	0.00%	HDPE
UGS2	8"	REFER TO PLAN	0.00%	HDPE
UGS3	8"	REFER TO PLAN	0.00%	HDPE
UGS4	8"	REFER TO PLAN	0.00%	HDPE
UGS5	8"	REFER TO PLAN	0.00%	HDPE
UGS6	8"	REFER TO PLAN	0.00%	HDPE
UGS7	8"	REFER TO PLAN	0.00%	HDPE
UGS8	8"	REFER TO PLAN	0.00%	HDPE
UGS9	8"	REFER TO PLAN	0.00%	HDPE
UGS10	8"	REFER TO PLAN	0.00%	HDPE
UGS11	8"	REFER TO PLAN	0.00%	HDPE
UGS12	8"	REFER TO PLAN	0.00%	HDPE

LEGEND & ABBREVIATIONS:

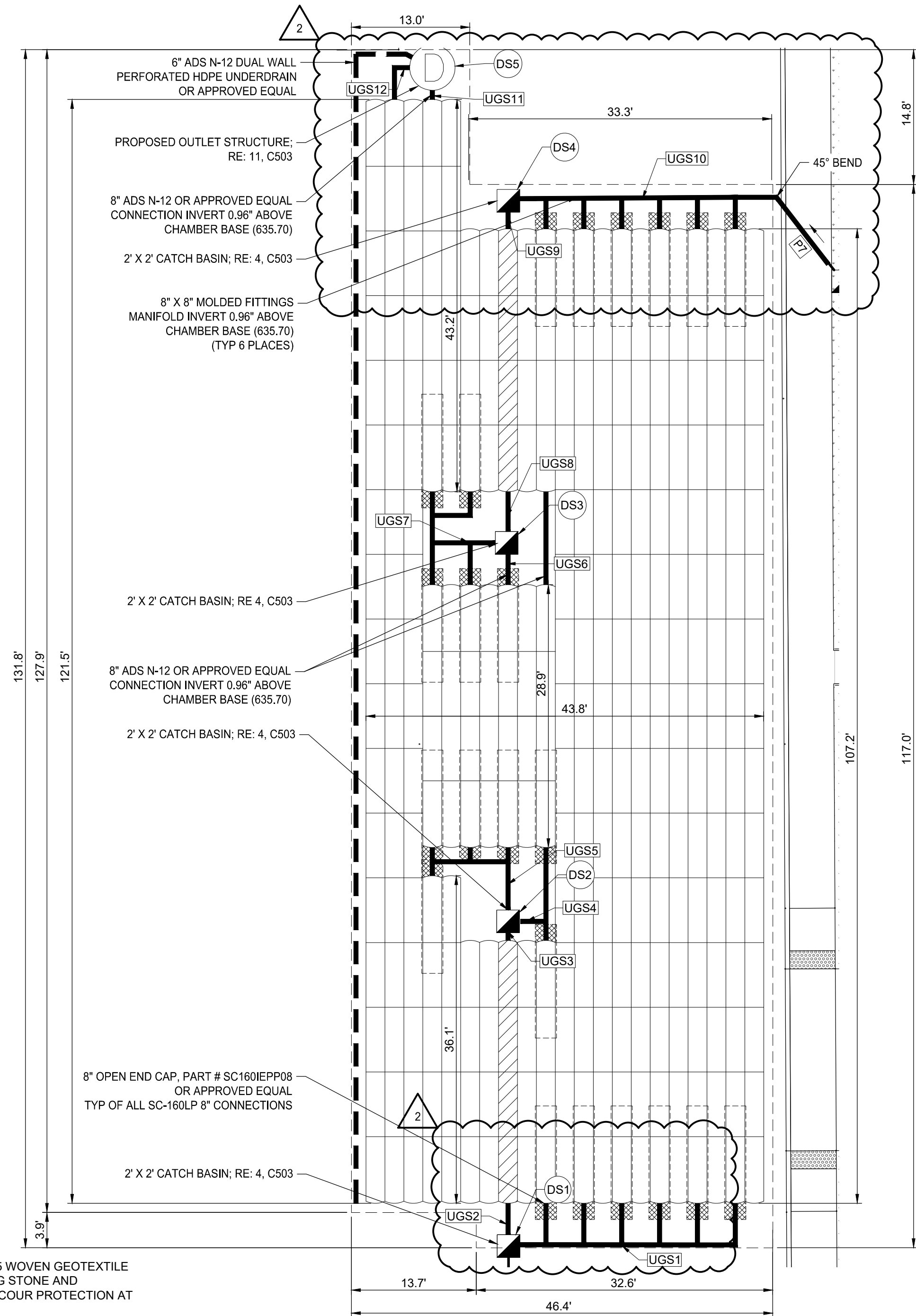
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- 640 PROPOSED MAJOR CONTOUR
- 641 PROPOSED MINOR CONTOUR
- 640 EXISTING MAJOR CONTOUR
- 641 EXISTING MINOR CONTOUR

GENERAL GRADING AND DRAINAGE NOTES:

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, MAINTAINED, AND ULTIMATELY REMOVED.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS TO FIELD VERIFY AND NOTIFY ENGINEER OF DISCREPANCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS IN RELATION TO PROPOSED GRADE PRIOR TO INSTALLATION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- ALL EARTHWORK AND SOIL COMPACTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND RECOMMENDATIONS.
- CONTRACTOR SHALL TOPSOIL (6" MIN DEPTH) AND SEED ALL DISTURBED AREAS TO BE VEGETATED.
- ALL STORM SEWER PIPE TO BE H.D.P.E UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ADJACENT ROADWAYS SWEEPED CLEAN AT ALL TIMES.
- ALL STORM INLETS WITHIN (OR IMPACTED) BY THE WORK AREA SHALL HAVE TEMPORARY INLET PROTECTION DURING CONSTRUCTION.
- ALL EARTHWORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE ENVIRONMENTAL CONSULTANT'S RECOMMENDATIONS AS PART OF THE BROWNFIELD CLEANUP PROJECT. REFER TO PLANS BY OTHERS.
- THE BASIS OF DESIGN FOR THE UNDERGROUND DETENTION SYSTEM REFLECTED ON THESE DRAWINGS IS AN ADS SYSTEM. THE CONTRACTOR SHALL SUBMIT A FINAL DESIGN FROM ADS OR OTHER APPROVED EQUAL FOR THE ENGINEER'S REVIEW AND APPROVAL.

CONSTRUCTION NOTES:

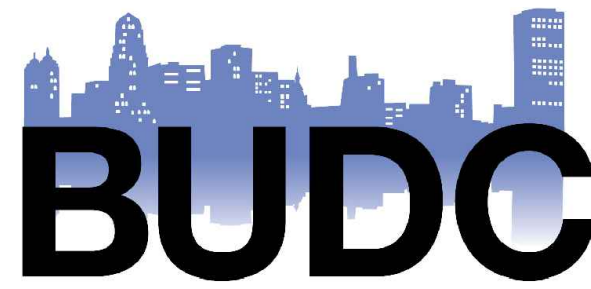
- DRAINAGE OUTLET CONTROL STRUCTURE; RE: 11, C503
- UNDERGROUND ADS DETENTION SYSTEM MODEL SC-160LP; RE: 2, C301 AND 6, 7, 8, 9, 10, 11, C503. CONTRACTOR TO PROVIDE DEMARCATION FABRIC LAYER BENEATH SYSTEM FOOTPRINT.
- 2' X 2' PRECAST CATCH BASIN; RE: 4, C503
- 48" PRECAST MANHOLE; RE: 2, C503
- PROVIDE NEW FRAME AND COVER FOR STRUCTURE. ADJUST FRAME AND COVER TO FINISHED GRADES; RE: 3, C504



- BED LIMITS
- ISOLATOR ROW PLUS; RE: 7, C503

PLACE MINIMUM 12.5' OF ADSPLUS625 WOVEN GEOTEXTILE OR APPROVED EQUAL OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS.

UNDERGROUND DRAINAGE SYSTEM ENLARGEMENT



Buffalo Urban Development Corporation
Hon. Christopher P. Scanlon, Chairman

**BUFFALO URBAN
DEVELOPMENT
CORPORATION**

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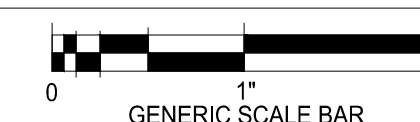
RE 574 Main Street, Suite 205
East Aurora, NY 14052
P.716.805.1526

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NO.	REVISIONS	DATE
01	BID ADDENDUM 1	10/22/25
02	ISSUED FOR PERMIT	10/01/25
03	ISSUED FOR BID	10/01/25

DWG. TITLE

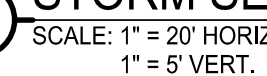
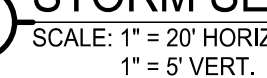
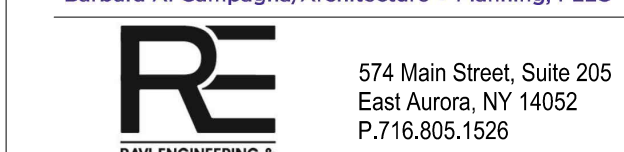
GRADING AND DRAINAGE PLAN



SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THE SHEET, ADJUST ACCORDINGLY.

DATE 06/27/2025
SCALE AS NOTED
DWN. DGR CHK. TAR
PROJ. No. 432607
DWG. No.

C301

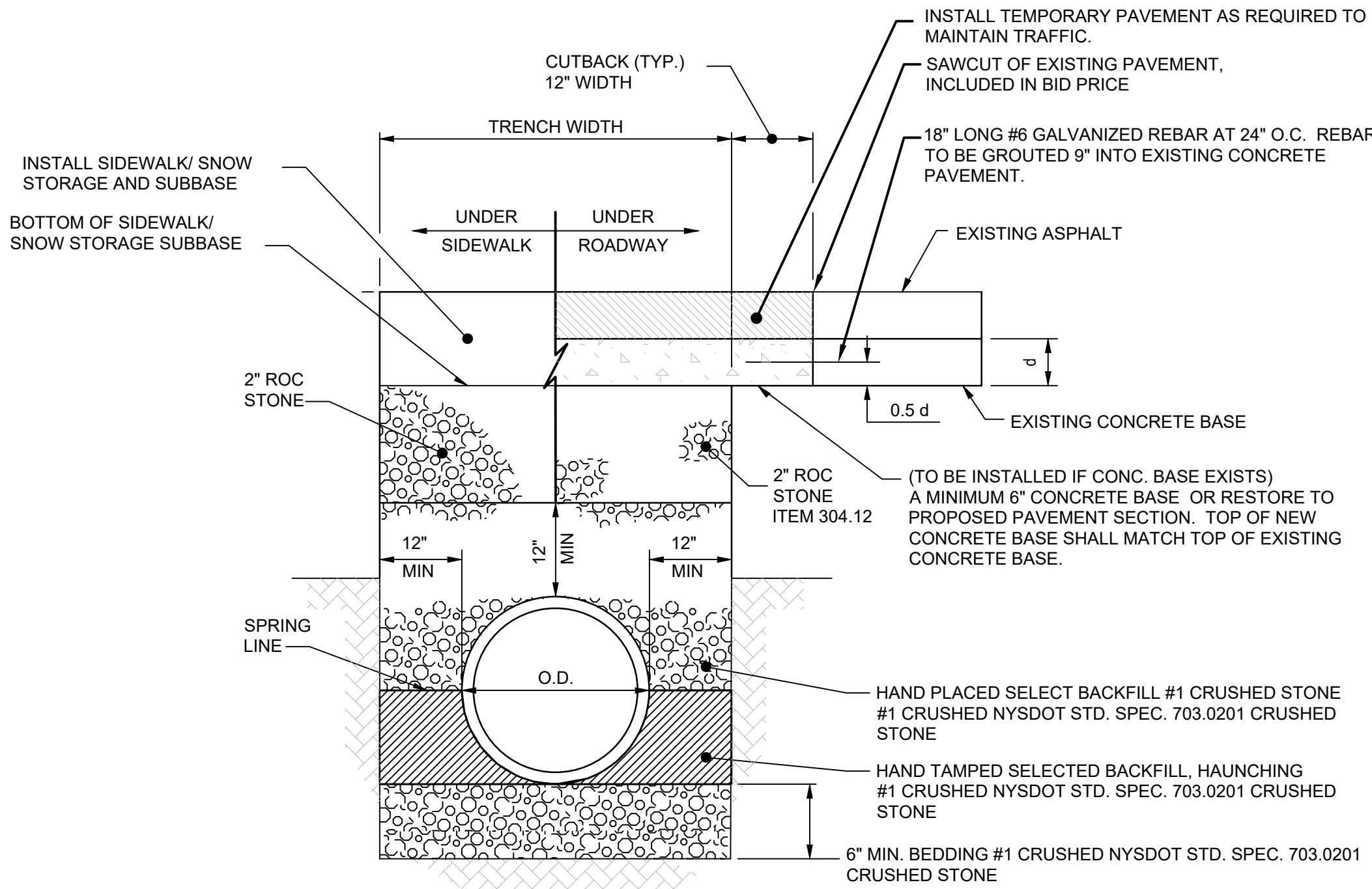


C302

STANDARD SANITARY SEWER NOTES:

- ALL UTILITY LOCATIONS ARE JUDGED TO BE APPROXIMATE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE PLANS.
- MANHOLE FRAMES AND COVERS CAN BE PURCHASED, IF AVAILABLE, BY THE CONTRACTOR FROM THE BUFFALO SEWER AUTHORITY AT THE FOOT OF FERRY ST.
- STANDARD MANHOLE STEPS SHALL BE SYRACUSE CASTING SALES CORP. PATTERN NO. 2592-1 DR. NEENAH FOUNDRY CO. NO. A-1982-T OR EQUAL. THE METHOD OF ATTACHING MANHOLE STEPS TO THE PRECAST SECTIONS SHALL BE APPROVED BY THE ENGINEER.
- WHERE PRECAST MANHOLE SECTIONS ARE USED, APPROVED NON-SHRINK MORTAR OR SELF-CONTAINED RUBBER GASKETS WILL BE USED TO MAKE EACH JOINT. THE OUTSIDE AND INSIDE OF EACH JOINT WILL BE GROUTED WITH NON-SHRINK MORTAR.
- THE CONTRACTOR SHALL CONSTRUCT, AT NO EXTRA COST, MANHOLES WITH FLAT SLAB COVERS OF APPROVED DESIGN WHERE THE MANHOLE DEPTH IS INSUFFICIENT TO PERMIT INSTALLATION OF THE TAPER TOP.
- ALL MANHOLES ARE TO HAVE A TOP OPENING OF 2' - 0". THIS WILL BE ACCOMPLISHED BY THE USE OF ECCENTRIC TAPER TOPS AND/OR APPROVED TAPER SECTIONS MEETING ASTM C478. UNLESS OTHERWISE SHOWN.
- OPENINGS SHALL BE PROVIDED IN PRECAST MANHOLE BASE SECTIONS WHERE A FUTURE CONNECTION IS CALLED FOR ON THE PLANS; THE INVERT FORMED AND THE OPENING SHALL BE BULKHEADED WITH BRICK.
- ALL PRECAST MANHOLE SECTIONS AND PRECAST MANHOLE BASE CHAMBERS TO COMPLY WITH ASTM C478 YEAR OF LATEST REVISION.
- MANHOLE TROUGHS TO BE CONSTRUCTED TO MAINTAIN SMOOTH HYDRAULIC FLOW PATTERNS.
- ALL MANHOLE FRAMES AND COVERS SHALL BE INSTALLED WITH SUFFICIENT CONCRETE RINGS OR BRICK COURSES TO ALLOW FOR AN ADJUSTMENT IN GRADE FOR A 12 INCH MAXIMUM CUT.
- ALL SDR 35 PVC PIPE MANHOLE CONNECTIONS SHALL BE ACCOMPLISHED USING AN APPROVED SEAL OR WATERSTOP. MANHOLE CONNECTIONS CAN BE MADE AS FOLLOWS:
 - MANHOLE COUPLINGS PROVIDING ELASTOMERIC GASKET SEAL. UNIT IS GROUTED INTO MANHOLE WALL. PIPE INSERTS INTO COUPLING.
 - WATERSTOP IN VARIOUS FORMS (E.G. FLEXIBLE BOOT OR SLEEVE, O-RING OR GASKET) PRODUCED FROM ELASTOMERIC COMPOUND IS GROUTED OR LOCKED INTO MANHOLE WALL. PIPE INSERTS INTO WATERSTOP.
 - PRECAST MANHOLE WITH CONNECTION PORTS WITH ELASTOMERIC SEALS PRECAST INTO MANHOLE WALL. PIPE INSERTS INTO CONNECTION PORT.
- THE CONTRACTOR SHALL REPLACE SERVICE LATERALS WITH SDR 35 PVC PIPE FROM THE SEWER MAIN AS INDICATED ON THE PLANS OR A.D.B.E. AND MAKE THE CONNECTIONS AS DESCRIBED IN SECTION 08.100 OF THE CITY OF BUFFALO SPECIFICATIONS.

- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DRAINAGE FACILITIES REQUIRED TO ENSURE THE SATISFACTORY DRAINAGE OF THE ENTIRE PROJECT DURING CONSTRUCTION. NO DIRECT PAYMENT WILL BE MADE FOR THE TEMPORARY DITCHES, CHANNELS AND SPECIAL GRADING, BUT THE COST SHALL BE INCLUDED IN THE PRICE BID FOR ALL THE ITEMS OF THIS CONTRACT.
- ANY BENDS NEEDED FOR CONNECTIONS FROM PROPOSED DRAINAGE STRUCTURES TO EXISTING STRUCTURES OR PIPE SHALL BE AS ORDERED BY THE ENGINEER.
- ALL SEWER AND DRAINAGE WORK SHALL CONFORM IN ALL RESPECTS TO THE BUFFALO SEWER AUTHORITY STANDARDS.
- MANHOLES AND COVERS SHALL BE ADEQUATE FOR HS20 LOADING.
- EXISTING SEWERS AND MANHOLES SHALL NOT BE ABANDONED UNTIL THE NEW SEWER HAS BEEN COMPLETED AND ALL SERVICE LATERALS CONNECTED.
- ON ALL EXISTING MANHOLES TO BE ABANDONED THE CONTRACTOR SHALL SALVAGE THE FRAME AND COVER AND RETURN THEM TO THE BUFFALO SEWER AUTHORITY MAINTENANCE GARAGE AT THE FOOT OF WEST FERRY STREET.
- ALL ABANDONED PIPES ENCOUNTERED DURING TRENCHING EXCAVATIONS SHALL BE PROPERLY BULKHEADED AT THE FACE OF THE TRENCH OR A.D.B.E. NO PIPE IS TO BE BULKHEADED WITHOUT A THOROUGH INVESTIGATION THAT IT IS ABANDONED.
- NEW SANITARY SEWER DEFLECTION SHALL NOT EXCEED 5% AFTER 30 DAYS.
- TESTING:
 - INFILTRATION AND LEAKAGE TESTING: ALL SANITARY SEWER CONSTRUCTION SHALL BE TESTED. TO ASSURE THAT INFILTRATION OR LEAKAGE SHALL NOT EXCEED 100 GALS. PER INCH OF INTERNAL PIPE DIAMETER PER MILE OF SEWER, PER 24 HOURS, THE ALLOWABLE RATE OF INFILTRATION GIVEN IN GALLONS PER MILE IS NOT TO BE CONSTRUED AS A COMMITMENT ON THE PART OF THE OWNER TO ACCEPT AN ENTIRE LINE WHERE OVERALL INFILTRATION IS LESS THAN THE ALLOWABLE, WHILE ONE OR MORE RUNS CONTRIBUTE EXCESSIVE INFILTRATION. PRIOR TO COMMENCING WORK ON THE SANITARY SEWER THE CONTRACTOR SHALL SUBMIT IN WRITING TO THE OWNER/ENGINEER HIS PROPOSED METHOD OF AIR TESTING TO INSURE THE ABOVE LIMITS OF POINT INTEGRITY. THESE AIR TESTS WILL BE PERFORMED AS THE WORK PROGRESSES. EACH RUN OF SEWER FROM MANHOLE TO MANHOLE SHALL BE TESTED FOR COMPLIANCE WITH THE INFILTRATION LIMITS. WHEN TESTS INDICATE DEFECTIVE CONSTRUCTION, THE DEFECTIVE PIPE RUN SHALL BE REPAIRED OR REPLACED AS REQUIRED TO COMPLY WITH THE ALLOWABLE RATE OF INFILTRATION AT NO ADDITIONAL COST TO THE OWNER.
 - ALL POLYVINYL CHLORIDE (PVC) SANITARY SEWER PIPE SHALL BE SDR-35 CONFORMING TO ASTM REQUIREMENTS IN D-3034 OR F679 AND D-1784 WITH RUBBER-RING BELL JOINTS AS IN D-3212.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES.

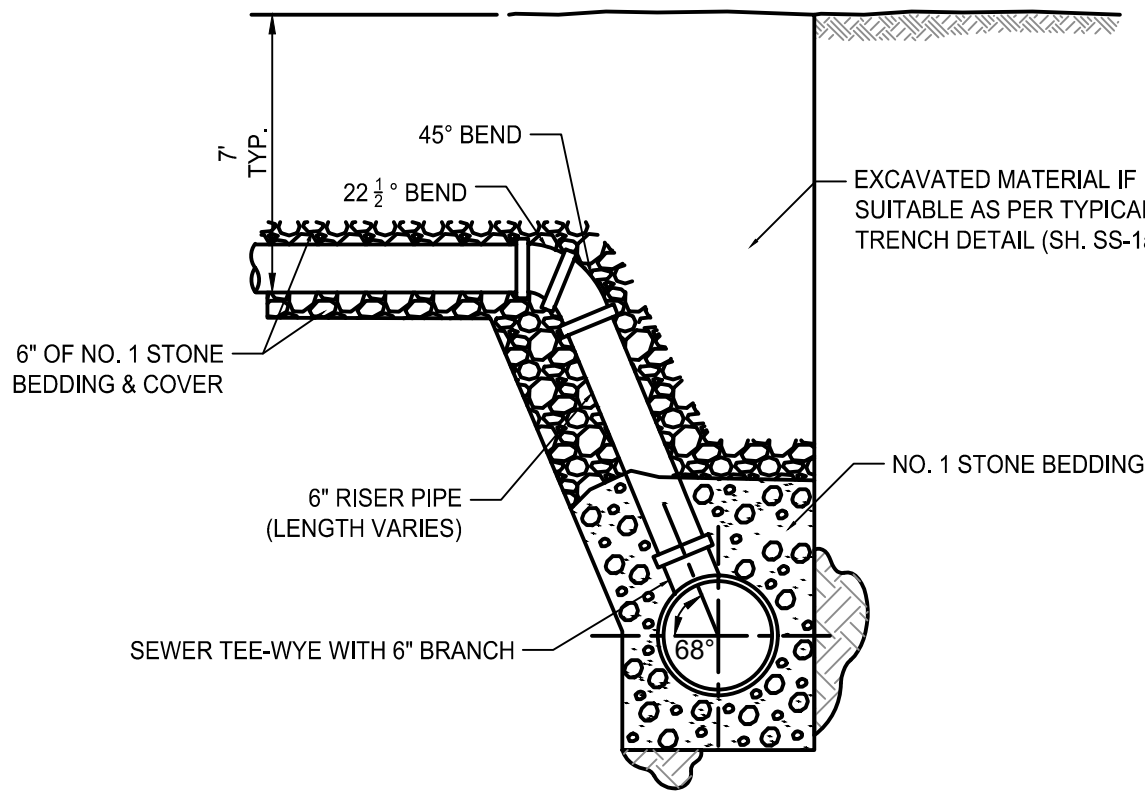


NOTES:

- CONNECT NEW PIPE TO EXISTING PIPE WITH MISSION COUPLING, APPROPRIATELY SIZED FOR CONNECTING PIPES. EXISTING PIPE EDGE MUST BE SQUARELY CUT, NO BROKEN EDGES.

1 SANITARY SEWER PIPE TRENCH DETAIL

NTS

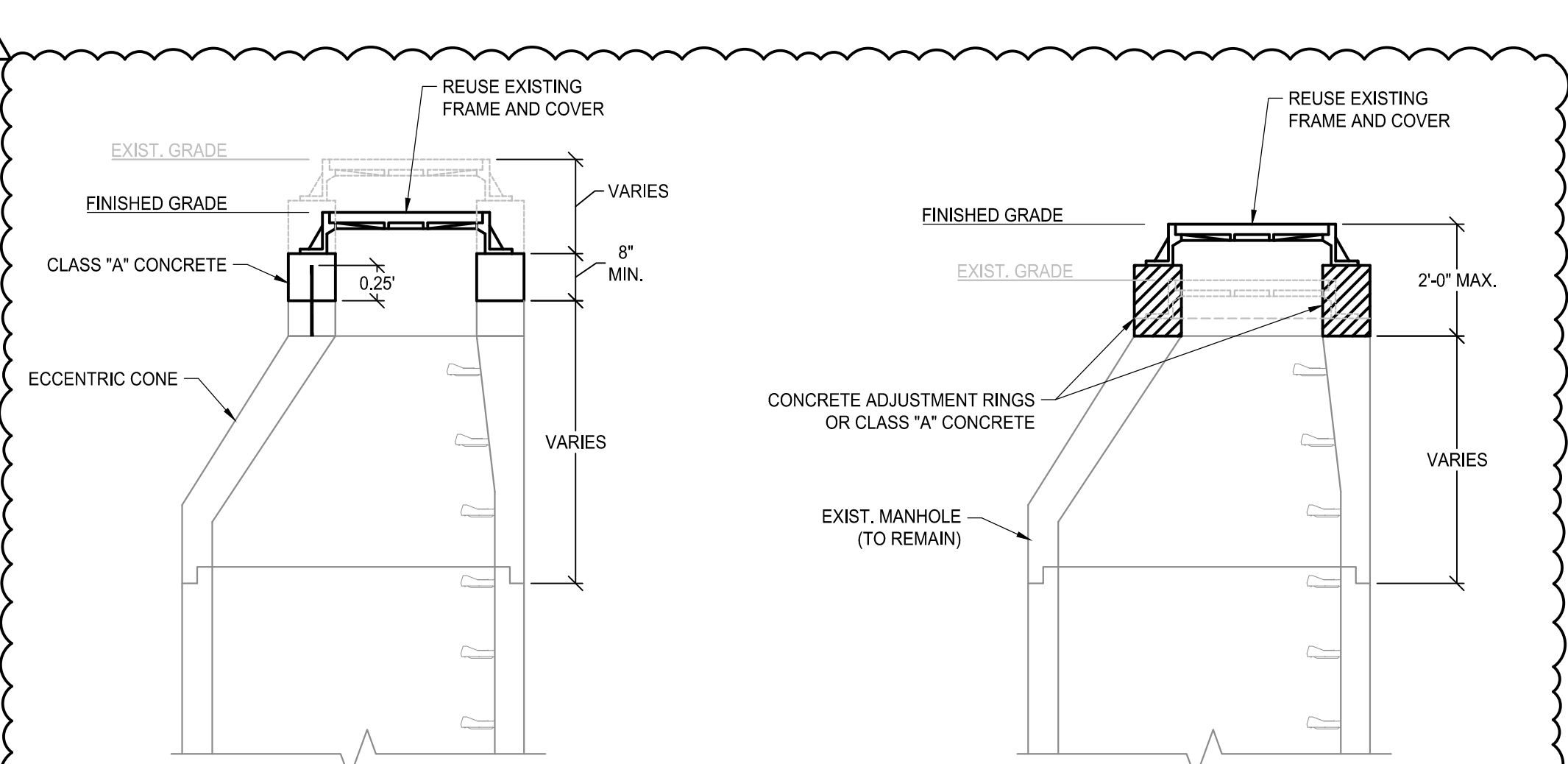


NOTES:

- COMPACTED STONE BEDDING FOR A DISTANCE OF 4' ALONG THE MAINLINE TRENCH EACH SIDE OF THE WYE OR THE RISER.
- SERVICE LATERALS AND RISER PIPE SHALL BE OF THE SAME MATERIAL & CLASS AS USED FOR SEWER MAINS.

2 DROP SEWER CONNECTION

NTS



LOWER MANHOLE FRAME AND COVER

RAISE MANHOLE FRAME AND COVER

NOTES:

- ONLY CLASS "A" CONCRETE SHALL BE USED IN CONSTRUCTING THE DRAINAGE STRUCTURES. THEY MAY BE EITHER CAST-IN-PLACE MEETING THE REQUIREMENTS OF STANDARD SHEETS 604-02, PRECAST REINFORCED CONCRETE UNITS MEETING THE REQUIREMENTS OF SECTION 706-04 OF THE STANDARD SPECIFICATIONS.
- PRECAST UNITS SHALL BE REINFORCED FOR HS25 LOADING. REINFORCEMENT FOR PRECAST UNITS SHALL BE UNCOATED BAR REINFORCEMENT FOR CONCRETE STRUCTURES.
- NO. 5 BARS 12" LONG SPACED AT 12" MAXIMUM, TO BE DRILLED AND GROUTED INTO EXISTING WALLS WITH 150mm EMBEDMENT.
- THE MANHOLE CASTINGS SHALL BE REMOVED AND CLEANED OF ALL EXTRANEOUS MATERIAL. BRICK AND MORTAR LEVELING COURSES SHALL BE CONSTRUCTED TO ACCOMMODATE THE NEW FINISH GRADE. THE CASTING AND NEW BRICK ADJUSTMENT OR CONCRETE RINGS SHALL BE ENCASED WITHIN A MINIMUM 8" THICK CONCRETE. THIS ENCASEMENT SHALL EXTEND A MINIMUM OF 12" OUTSIDE THE EXISTING CASTING WITH THE TOP OF THE CONCRETE ENCASEMENT BEING 2" BELOW FINISHED GRADE.
- THE UNIT PRICE BID SHALL INCLUDE THE COST OF: REMOVAL AND RESETTING OF THE FRAME, CLEANING THE EXISTING CATCH BASIN OR MANHOLE, DISPOSING OF DEBRIS, EXCAVATION AND BACKFILL, AND FURNISHING ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK AS SHOWN IN THIS DETAIL AND ON THE PLANS.

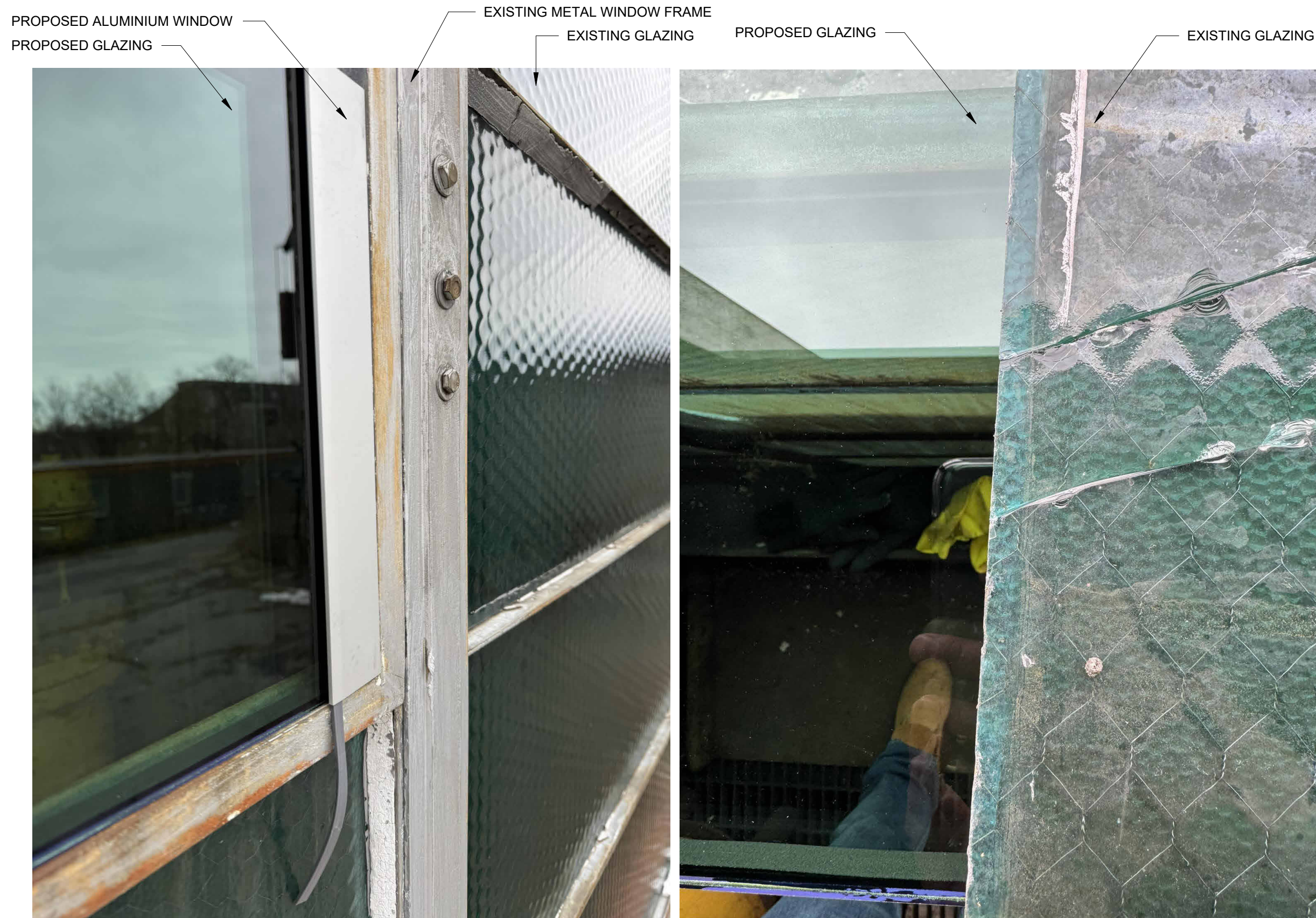
3 ALTERING EXISTING CONCRETE MANHOLE DETAIL

NTS

02	BID ADDENDUM 1	10/22/25
01	ISSUED FOR PERMIT	10/01/25
00	ISSUED FOR BID	10/01/25
NO.	REVISIONS	DATE

DWG. TITLE

SANITARY SEWER DETAILS

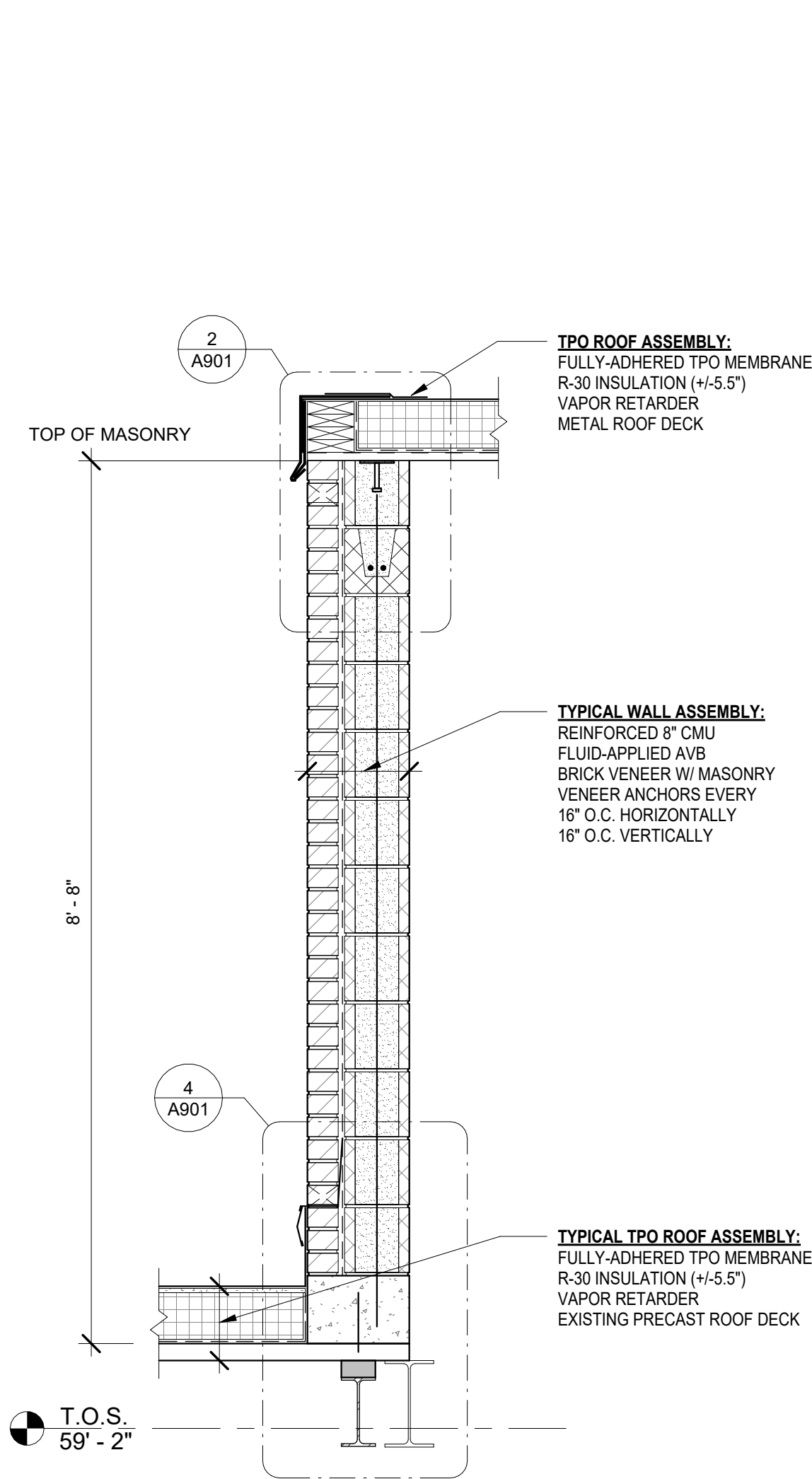


NEW AND ORIGINAL WINDOWS

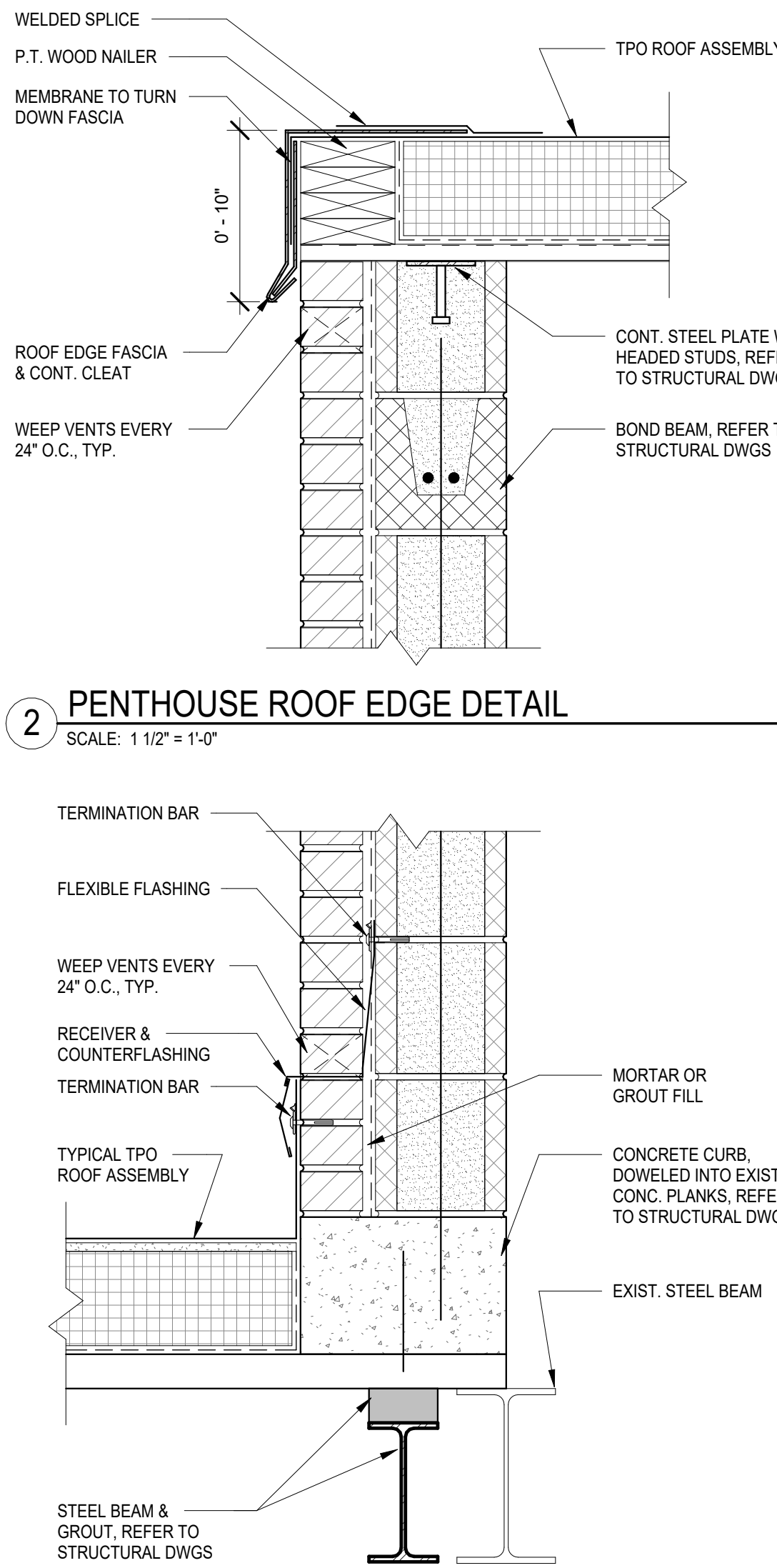
NEW AND ORIGINAL WINDOW GLAZING



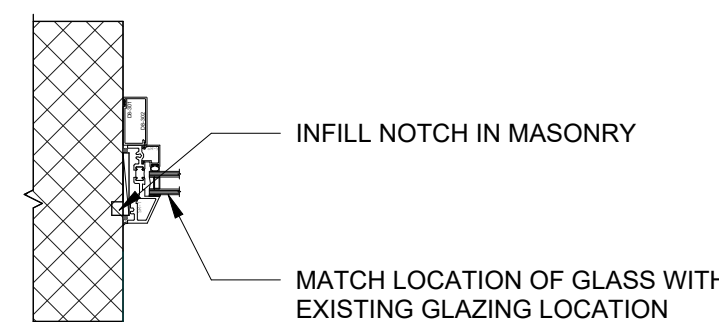
NEW AND ORIGINAL WINDOWS



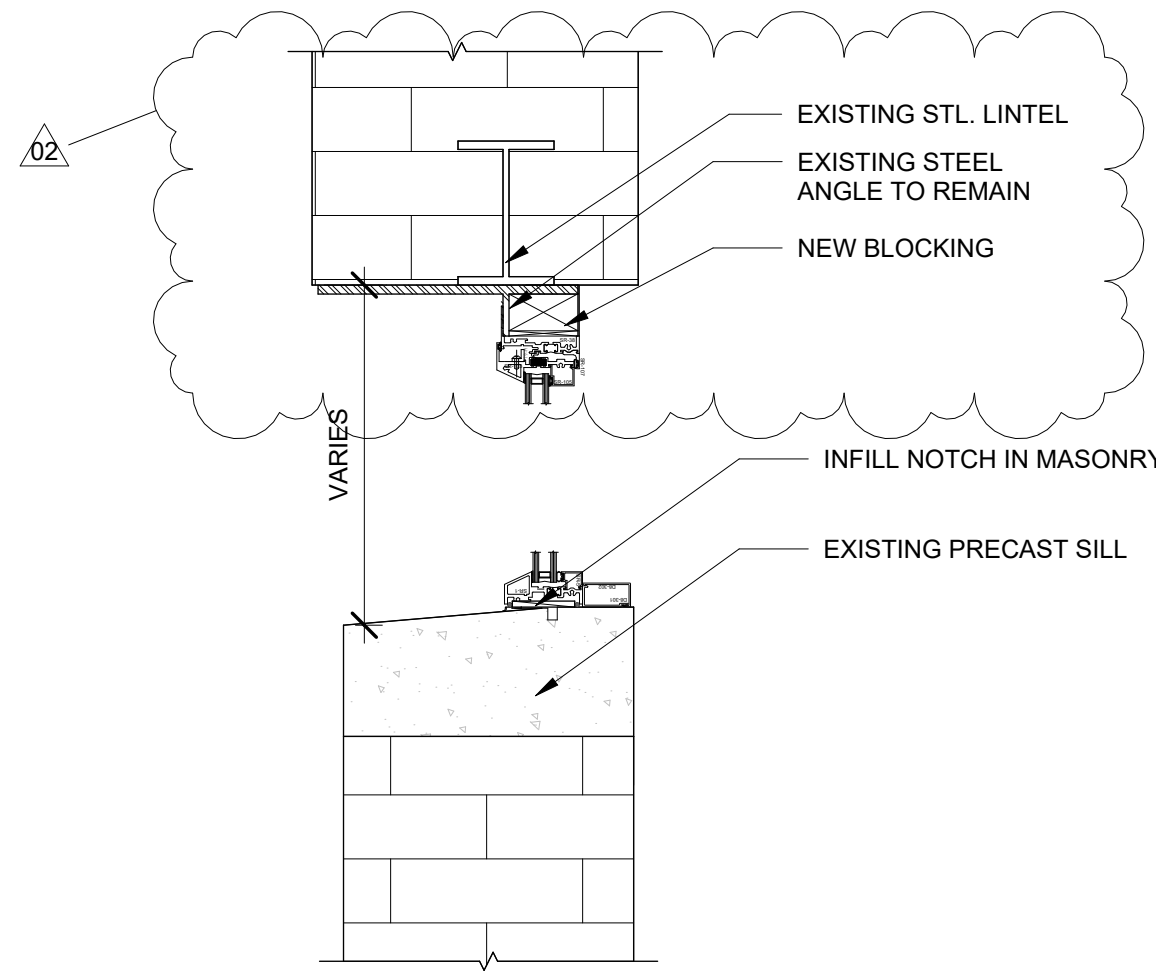
1 TYPICAL PENTHOUSE WALL SECTION
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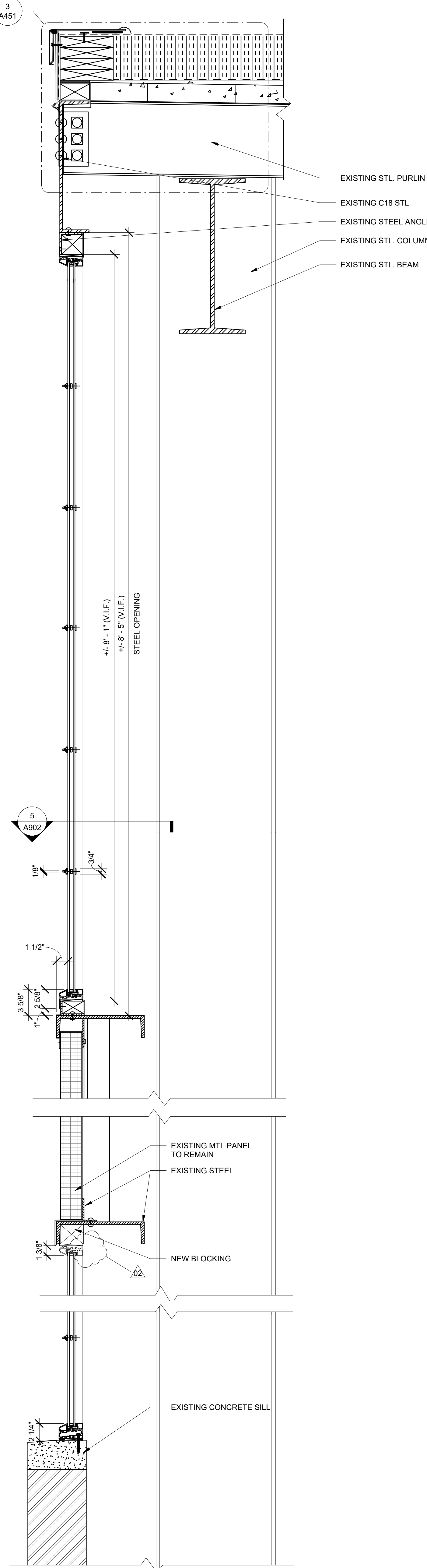
4 ROOF TO WALL TRANSITION
SCALE: 1 1/2\"/>



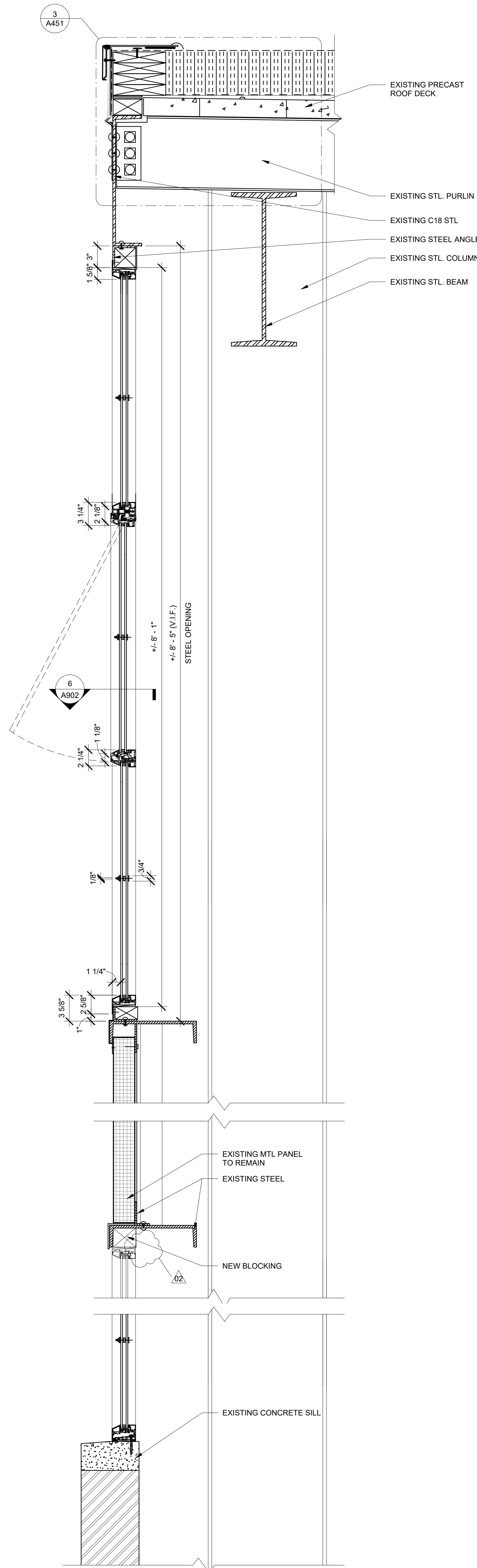
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SCALE: 1 1/2\"/>



5 SECTION DETAIL - MASONRY WINDOW INFILL
SCALE: 1 1/2\"/>



6 SECTION DETAIL - FIXED WINDOW
SCALE: 1 1/2\"/>



7 SECTION DETAIL - OPERABLE WINDOW
SCALE: 1 1/2\"/>

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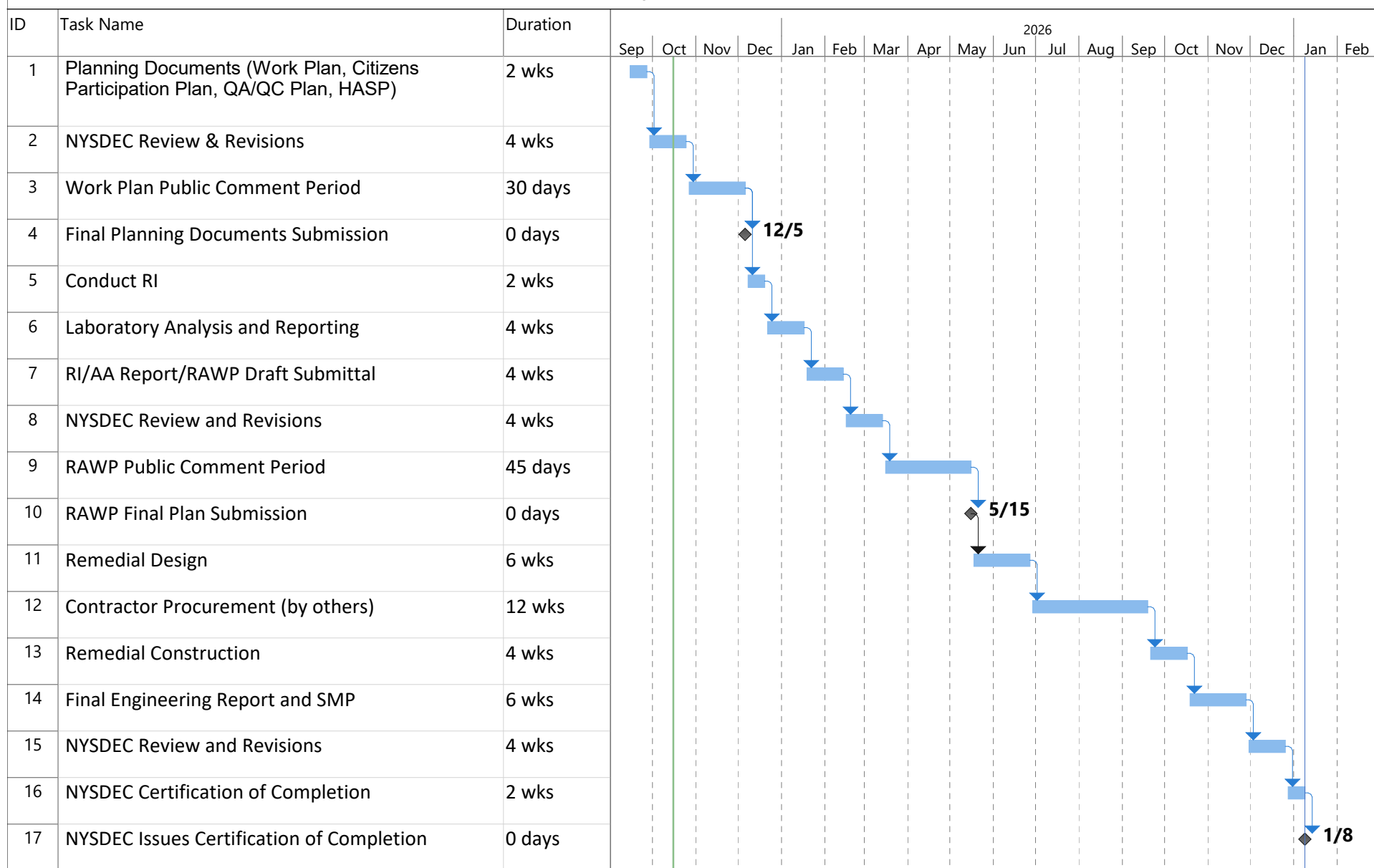
NO.	REVISIONS	DATE
02	ADDITIONAL #3	10/23/2023
01	ISSUED FOR PERMIT	10/01/2023
00	ISSUED FOR BID	10/01/2023

DWG. TITLE

DETAILS

DATE	SCALE	DWN.	CHK.
10/01/2023	As indicated	MJC	BS1
PROJ. No.	432607		
DWG. No.			

631 Northland BCP Proposed Schedule



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Task ■ Milestone ◆

NOTE: Agency review periods are estimated.