



# Humboldt Pkwy Apartments

## 95 Humboldt Parkway

### Buffalo, NY 14214



S.A. PROJECT # 24101.01  
DATE: 06-27-2025

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NONE REQUIRED THIS PROPERTY

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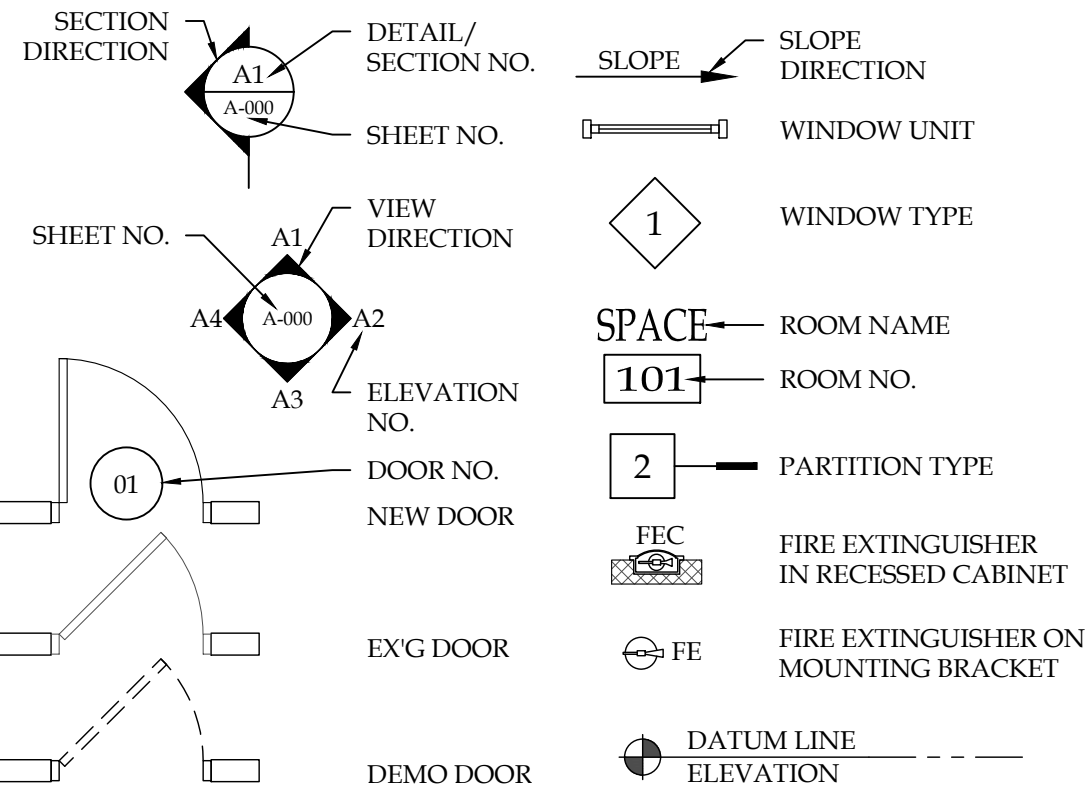
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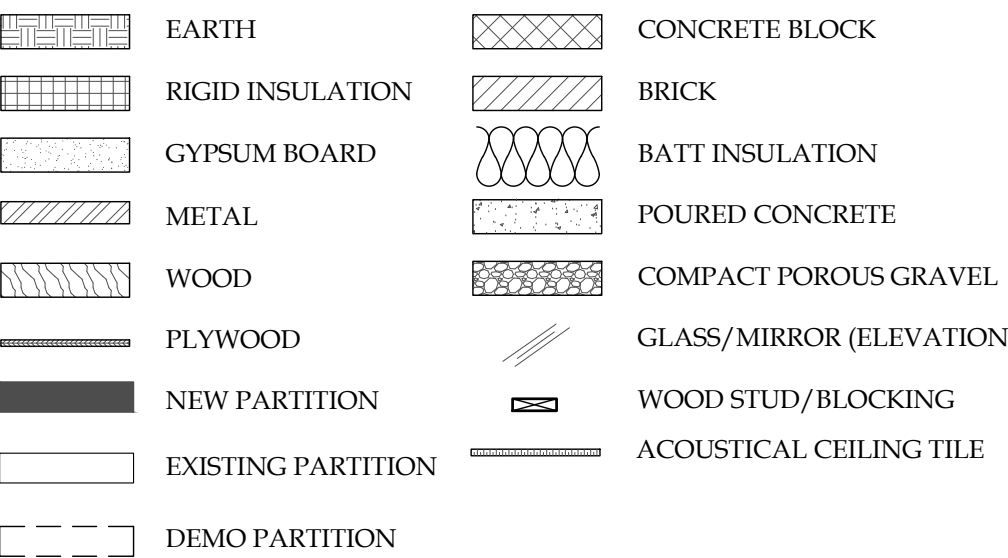
#### ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
AC	AIR CONDITION (ING)	MO	MASONRY OPENING
ALT	ALTERNATE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AUTO	AUTOMATIC	MET	METAL
BM	BEAM	MTP	METAL TOILET PARTITION
BRG	BEARING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	MULL	MULLION
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOMS	NOM	NOMINAL
BRK	BRICK	NO	NUMBER
BEJ	BRICK EXPANSION JOINT	OC	ON CENTER
BC	BRICK COURSE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BUR	BUILT-UP ROOFING	OPPH	OPPOSITE HAND
CTG	CEILING	OH	OVERHEAD
CAB	CABINET	PMBC	PREENGINEERED METAL BUILDING CONTRACTOR
CPT	CARPET	PNT	PAINT (ED)
CW	CASEWORK	PNL	PANEL
CB	CATCH BASIN	PTD	PAPER TOWEL DISPENSER
CEM	CEMENT	PTR	PAPER TOWEL RECEPTACLE
CT	CERAMIC TILE	PVMT	PAVEMENT
CHBD	CHALK BOARD	PGBD	PEG BOARD
CLR	CLEAR	PLAS	PLASTER
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PL	PLATE
CMU	CONCRETE MASONRY UNIT	POL	POLISHED
CONT	CONTINUOUS	PWD	PLYWOOD
CONTR	CONTRACTOR	PT	POINT
CJ	CONTROL JOINT	PSI	POUNDS PER SQ. INCH
CG	CORNER GUARD	PSF	POUNDS PER SQ. FOOT
CRS	COURSE	PREFAB	PREFABRICATED
DET	DETAIL	PREF	PREFINISHED
DIA	DIAMETER	PROJ	PROJECTION
DIM	DIMENSION	PL	PROPERTY LINE
DISP	DISPENSER	QT	QUARRY TILE
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	RWL	RAIN WATER LEADER
DWG	DRAWING	RECPT	RECEPTACLE, ELECTRIC
DF	DRINKING FOUNTAIN	REC	RECESS
DIFF	DIFFUSER	REFR	REFRIGERATOR
EA	EACH	REG	REGISTER
EIPS	EXTERIOR INSULATION & FINISH SYSTEM	REINF	REINFORCE (D) (ING)
ELC	ELECTRICAL	REQD	REQUIRED
EL	ELEVATOR	RES	RECESS (ED)
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RET	RETURN
EF	EXHAUST FAN	RA	RETURN AIR
EXIST EXG	EXISTING	RVS	REVERSE
EJ	EXPANSION JOINT	REV	REVISION
FB	FACE BRICK	RH	RIGHT HAND
FIN	FINISH (ED)	ROW	RIGHT OF WAY
FA	FIRE ALARM	R	RISER
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FHC	FIRE HOSE CABINET	RFG	ROOFING
FP	FIRE PROOFING	RM	ROOM
FL	FLOOR	RND	ROUND
FD	FLOOR DRAIN	SDL	SADDLE
FT	FOOT	STG	SEATING
FWC	FACE WALL COVERING	SHTH	SHEATHING
FTG	FOOTING	SHT	SHEET
FDTN	FOUNDATION	SHR	SHOWER
FUR	FURRING	SIM	SIMILAR
GAL	GALLON	SPKR	SPEAKER
GA	GAGE	SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	SQ	SQUARE
GL	GLASS	SST	STAINLESS STEEL
GB	GRAB BAR	SP	STAND PIPE
GWB	GYP SUM WALL BOARD	STD	STANDARD
GYP	GYP SUM	SD	STORM DRAIN
HDW	HARDWARE	SGT	STRUCTURAL GLAZED TILE
WD	HARDWOOD	STRUCT	STRUCTURAL
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SUSP	SUSPENDED
HT	HEIGHT	SW	SWITCH
HC	HOLLOW CORE	SV	SHEET VINYL
HM	HOLLOW METAL	TB	TACKBOARD
HORIZ	HORIZONTAL	TEL	TELEPHONE
HB	HOSE BIB	TEMP	TEMPERATURE
HW	HOT WATER	TEX	TEXTURE
INSUL	INSULATE (D) (ION)	THK	THICK (NESS)
INS GL	INSULATED GLASS	THR	THRUSTOLD
INV	INVERT	TP	TOILET PAPER HOLDER
JAN	JANITOR	T/O	TOP OF
IT	JOINT	TB	TOWEL BAR
KIT	KITCHEN	TYP	TYPICAL
KO	KNOCK OUT	UCL	UNDER CABINET LIGHT
LAM	LAMINATED	UC	UNDERCUT
LAV	LAVATORY	UR	URINAL
LH	LEFT HAND	VTR	VENT THRU ROOF
LGT	LENGTH	VENT	VENTILATOR
LT	LIGHT	VERT	VERTICAL
LF	LINEAR FEET	VEST	VESTIBULE
LTL	LINTEL	VCT	VINYL COMPOSITE TILE
LL	LIVE LOAD	VIF	VERIFY IN FIELD
LLH	LONG LEG HORIZONTAL	VWC	VINYL WALL COVERING
LLV	LONG LEG VERTICAL	WSCOT	WAINSCOT
LMF	LIGHT GAUGE METAL	WS	WEATHER STRIP
FRAMING		WT	WEIGHT
LVR	LOUVER	WWF	WELDED WIRE FABRIC
LP	LOW POINT	WCDF	WHEELCHAIR DRINKING FOUNTAIN
LVT	LUXURY VINYL TILE	W/	WITH
MACH	MACHINE	W/O	WITHOUT
MH	MANHOLE	WD	WOOD

#### DRAFTING SYMBOLS



#### MATERIAL SYMBOLS



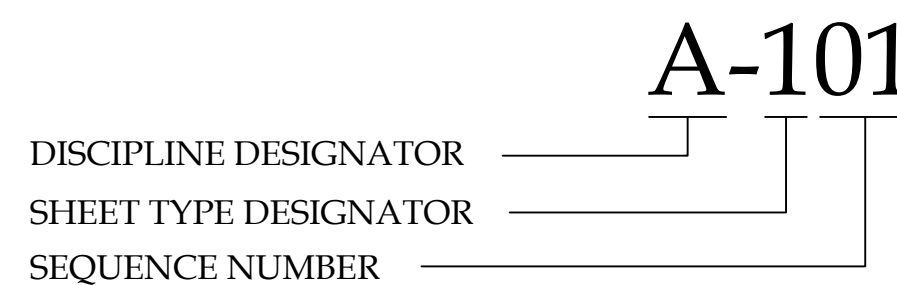
#### BUILDING DATA:

CONSTRUCTION TYPE: VB  
OCCUPANCY: R2  
SPRINKLERED: NO  
STORIES: 2  
GROSS FLOOR AREA: 3,329 SQ. FT.

#### ISSUE

2025-07-21 - ISSUED FOR PERMIT

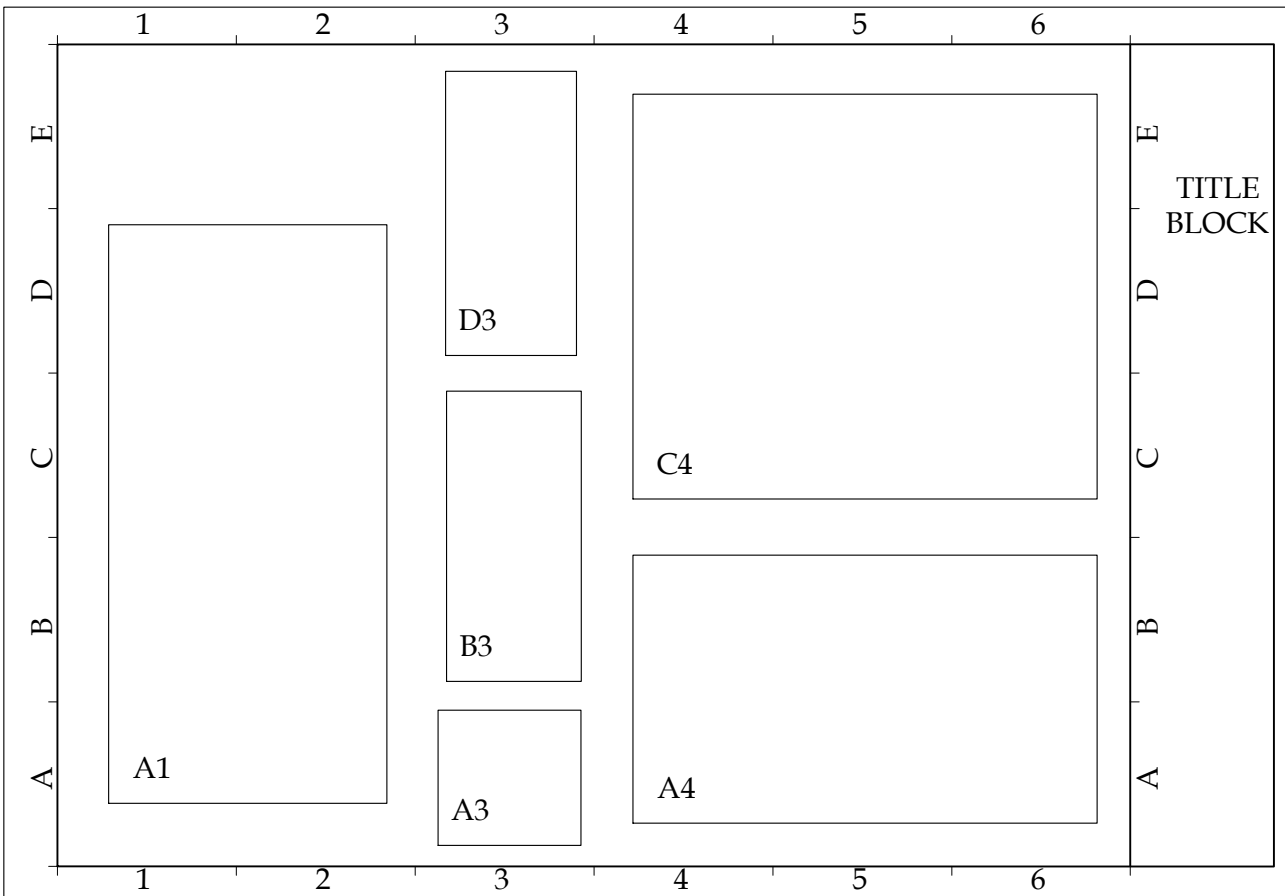
#### SHEET IDENTIFICATION LOGIC



DISCIPLINE DESIGNATOR	SHEET TYPE DESIGNATOR
G	GENERAL
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
F	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL

DISCIPLINE DESIGNATOR	SHEET TYPE DESIGNATOR
0	GENERAL
1	PLANS
2	ELEVATIONS
3	SECTIONS
4	LARGE SCALE VIEWS
5	DETAILS
6	SCHEDULES & DIAGRAMS

#### DRAWING AREA LOGIC



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### 95 Humboldt Parkway

#### Buffalo, NY 14214



SA PROJECT TEAM: PRINCIPAL: P.Silvestri POB CAPTAIN: D. Garry DRAFTER: B.Pacos INTERIORS: A. Nagle

S.A. PROJECT # 24101.01  
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	1	2	3	4	5	6
E						
D						
C						
B						
A						
	1	2	3	4	5	6

GENERAL NOTES:

1.

DO NOT SCALE DRAWINGS.
2.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.
3.

CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
4.

THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.
5.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
6.

THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS.
7.

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.
8.

CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS, AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.
9.

ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.
10.

THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.
11.

THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/ OWNER OF THE BUILDING.
12.

ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.
13.

THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.
14.

DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
15.

ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
16.

CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.
17.

THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.
18.

ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.
19.

PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.
20.

ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.
21.

CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.
22.

PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.
23.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.
24.

WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.
25.

ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.
26.

CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJECT MORE THAN 4" BEYOND THE FACE OF THE WALL. RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL.
27.

DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
28.

BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALL LEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.
29.

CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
30.

ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.
31.

DO NOT SCALE DRAWINGS, THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.
32.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.
33.

THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.
34.

DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.
35.

MECHANICAL, ELECTRICAL AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.
36.

CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.
37.

ALL GYPSUM WALL BOARD TO BE TAPED AND SANDED AT INTERSECTION OF CONSTRUCTION (NO "J" MOLD)
38.

PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.
39.

DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.
40.

CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.
41.

THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.
42.

CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.
43.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.
44.

SAFE WORKING CONDITIONS ARE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND/OR THE OWNER SHALL BE OBSERVED. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE MUST BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
45.

CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS FROM SITE AND LEAVE THE WORK AREA BROOM CLEAN ON A DAILY BASIS AND PROVIDE DUMPSTER SERVICE. PLACE DUMPSTERS AS DIRECTED BY THE "OWNER'S REPRESENTATIVE"
46.

CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.
47.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
48.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS AND APPROVALS NECESSARY FOR THE COMPLETION OF THE PROJECT.
49.

ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
50.

THE CONTRACTOR SHALL COORDINATE ALL FINISHES AND COLOR SELECTIONS WITH THE OWNER.
51.

ALL FASTENERS INTO PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS RECOMMENDED BY MANUFACTURER.

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SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

## GENERAL NOTES

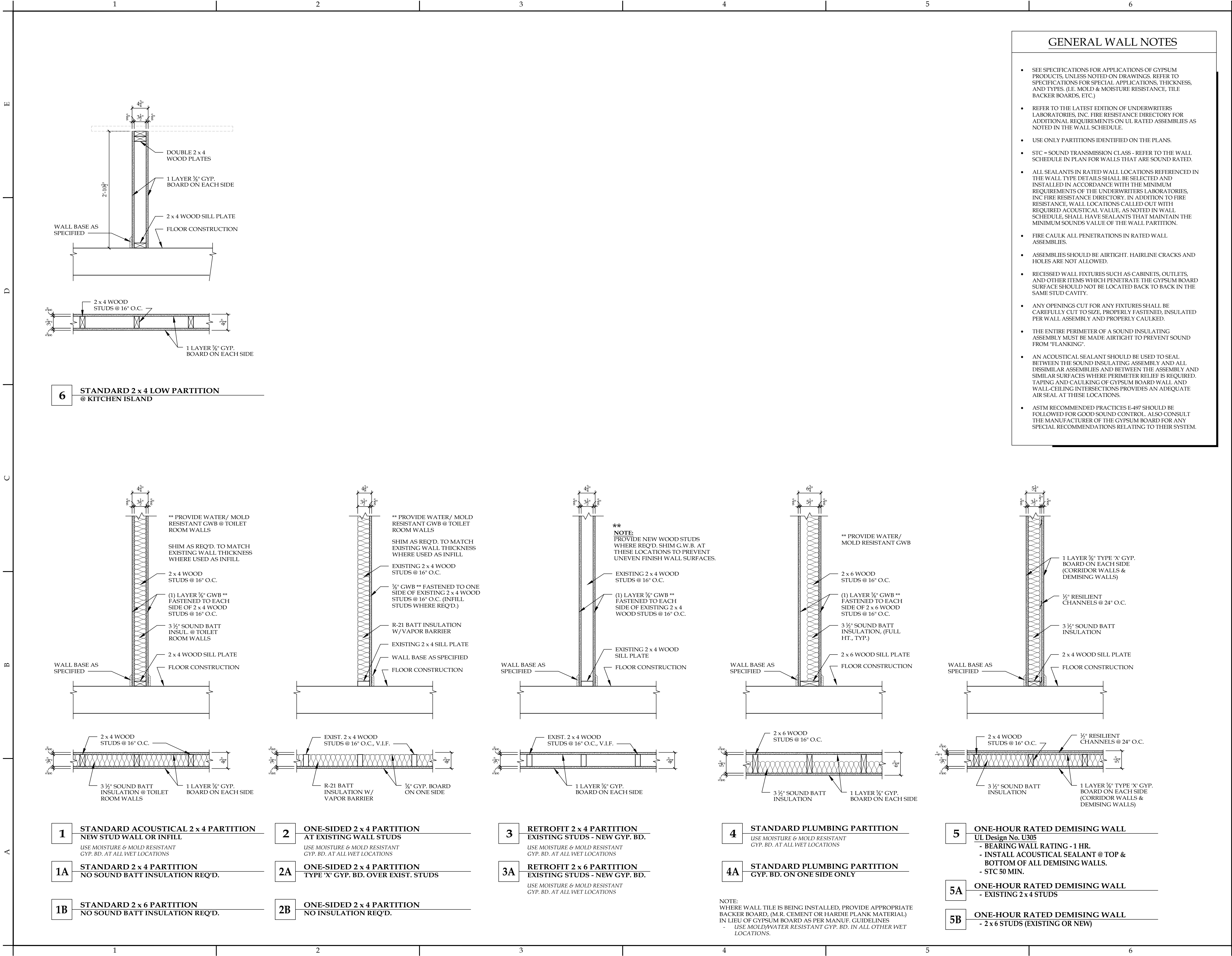
1321 MILLERSPORT HWY PH. 716.691.0900  
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**DOFI PROPERTIES**

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JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

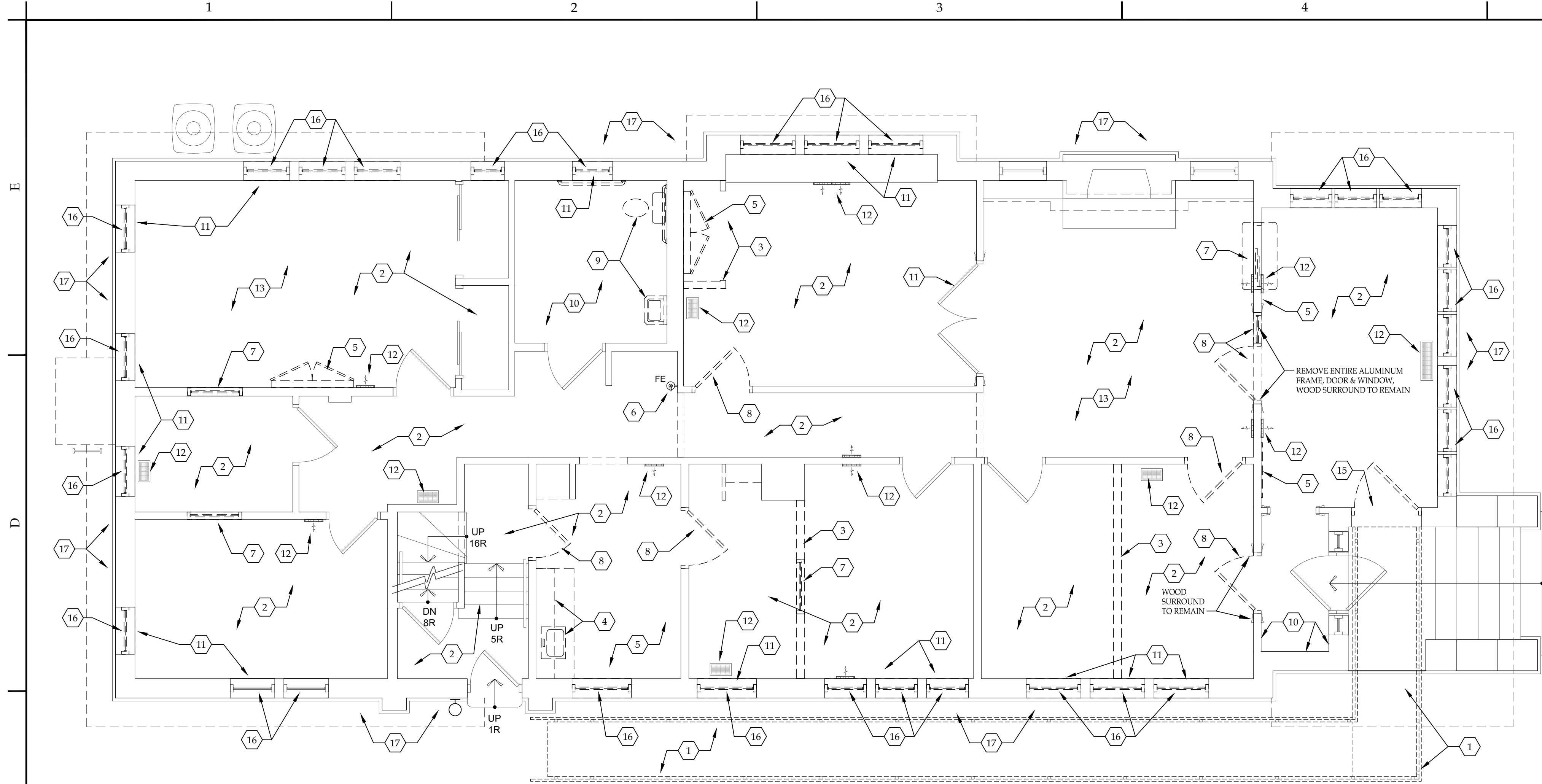
**PARTITION TYPES & DETAILS**



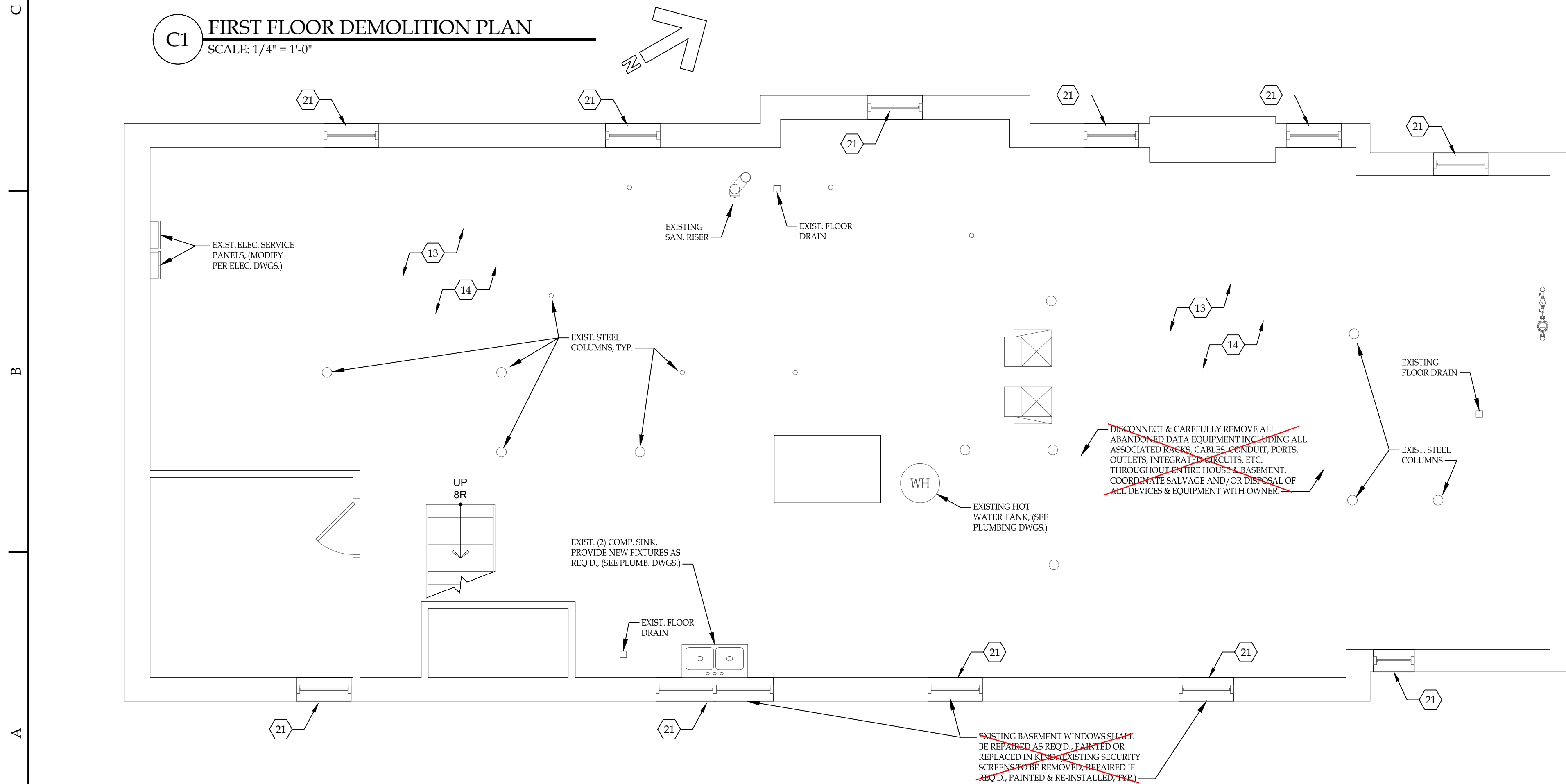
SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **A-002**





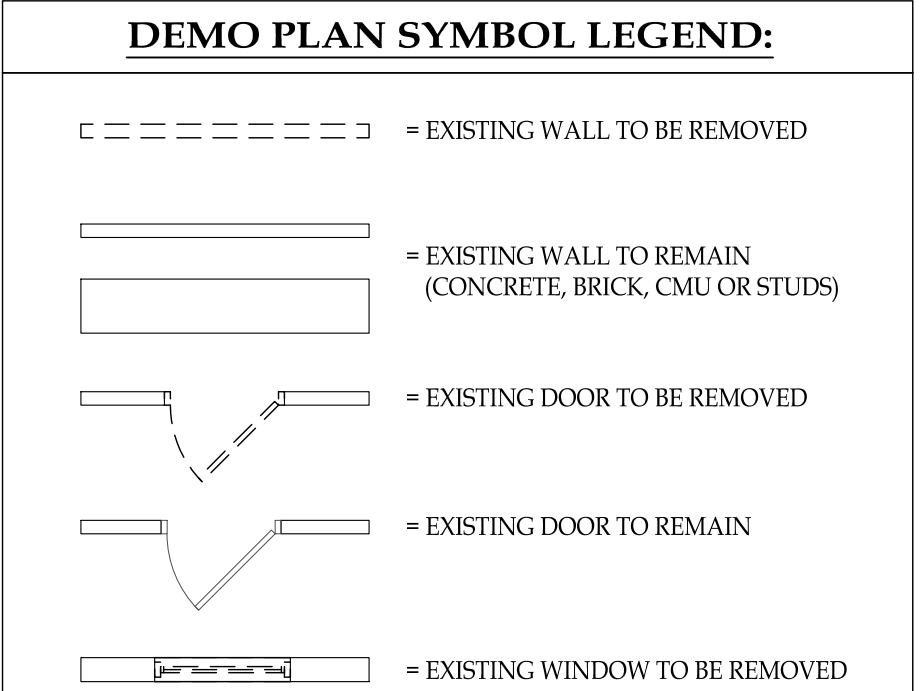
C1 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"



A1 BASEMENT DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

- DEMOLITION PLAN NOTES:**
- DISASSEMBLE & REMOVE EXISTING EXTERIOR ALUMINUM RAMP, PLATFORM & RAILING SYSTEM, INCLUDING ALL ANCHORAGE HARDWARE, PATCH & REPAIR ALL SURFACES AS REQ'D., COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
  - REMOVE EXISTING RUBBER COVE BASE & CARPETING OR FLOORING MATERIAL THROUGHOUT - FLOORS & STEPS - INCLUDING ANY TACK STRIPS AND ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES. (SEE FLOOR FINISH PLANS & SCHEDULES).
  - CAREFULLY REMOVE EXISTING WALL PARTITION IN ITS ENTIRETY OR TO THE EXTENT SHOWN DASHED, FULL HEIGHT, BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQ'D. TO MAINTAIN STRUCTURAL INTEGRITY, DISCONNECT & REMOVE ALL PLUMBING & ELECTRICAL DEVICES - INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS FIRE ALARMS, STROBES, WATER SUPPLY & DRAIN LINES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
  - DISCONNECT, REMOVE & DISPOSE OF EXISTING SINK, COUNTERTOP, VANITY, WALL CABINETS, ETC., IN THEIR ENTIRETY, CAP & REMOVE WATER SUPPLY & DRAIN LINES BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/ MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
  - CAREFULLY REMOVE EXISTING WALL TILE, COVE BASE, HAND SANITIZER, PAPER TOWEL DISPENSERS, CHALK OR WHITE DRY ERASER BOARD WALL CABINETS, ETC. & ANY FASTENERS OR RESIDUAL ADHESIVES. WALL TO BE PATCHED OR REPAIRED TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES. (SEE ROOM FINISH PLAN & SCHEDULES). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
  - REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE. COORD. SALVAGE & /OR DISPOSAL WITH OWNER.
  - CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC. PREPARE OPENING AS REQ'D. FOR WALL IN-FILL. CONSTRUCTION OR WORK. (SEE FLOOR PLAN).
  - CAREFULLY REMOVE EXISTING DOOR, DOOR HARDWARE & WOOD FRAME/TRIM. IN SOME AREAS, THE WOOD TRIM SHALL REMAIN. (SEE FLOOR PLAN). EITHER STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER. PREPARE OPENING AS REQ'D. FOR WALL IN-FILL.
  - DISCONNECT & REMOVE TOILET, SINK, SHOWER SURROUND, GRAB BARS, AUTOMATIC PAPER TOWEL DISPENSER, SOAP DISPENSER, ETC. (SHOWN DASHED), TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. (COORDINATE ALL DEMOLITION W/ PLUMB. & ELECT. DWGS.).
  - REMOVE EXISTING WALL FINISHES (WALL PAPER, CERAMIC TILE, ETC.) INCLUDING ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES. (SEE ROOM FINISH PLAN & SCHEDULES).
  - ~~REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADDES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.~~
  - REMOVE WOOD OR METAL WALL OR FLOOR MOUNTED AIR DIFFUSER GRATE & STORE FOR POSSIBLE REPAIR, REFINISHING & REUSE, CLEAN & PREPARE OPENING FOR GRATE REINSTALLATION OR REPLACEMENT, TYP.
  - ~~DISCONNECT & CAREFULLY REMOVE ALL ABANDONED DATA EQUIPMENT INCLUDING ALL ASSOCIATED RACKS, CABLES, CONDUIT, PORTS, OUTLETS, INTEGRATED CIRCUITS, ETC. THROUGHOUT ENTIRE HOUSE & BASEMENT. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.~~
  - ALL BASEMENT FLOOR & WALL SURFACES ARE TO BE CLEANED & PREPARED TO THE EXTENT REQUIRED FOR NEW FINISHES. COORDINATE EXACT SCOPE OF BASEMENT WORK WITH OWNER.
  - REMOVE & DISPOSE OF EXISTING EXTERIOR DOOR, HARDWARE & WEATHER STRIPPING. PREPARE OPENING AS REQUIRED FOR WALL CONSTRUCTION IN-FILL. (RESTORATION). DEMO CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL IN-FILL WALL CONSTRUCTION CAN OCCUR.
  - ~~CAREFULLY REMOVE EXISTING WINDOW IN ITS ENTIRETY. EXISTING WOOD TRIM, CASINGS, SILLS, APRONS & DECORATIVE TRANSOMS, ETC. SHALL BE PROTECTED, SALVAGED, PREPARE AS REQ'D. FOR REPAIR, RESTORATION OR REPLACEMENT - INTERIOR & EXTERIOR). CONTRACTOR SHALL PROVIDE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW WINDOWS CAN OCCUR. DEMO CONTRACTOR SHALL COORDINATE WINDOW REMOVALS WITH NEW WINDOW INSTALLATIONS SCHEDULE. IF NECESSARY, DOCUMENT & PROTECT ALL WOOD TRIM & STORE FOR REINSTALLATION AND/OR REPLICATION. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF EXISTING WINDOWS THAT ARE TO REMAIN. TO BE REPAIRED OR REPLACED IN KIND AS REQ'D.~~
  - REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. REPAIR, RE-POINT & CLEAN BRICK VENEER & EXPOSED FOUNDATION WALLS WHERE NECESSARY AT ENTIRE BUILDING PERIMETER - FULL HEIGHT - INCLUDING BRICK CHIMNEYS & FRONT PORCH.
  - DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, FIRE STROBES, ALARMS, CAMERAS, DOMES, SENSORS, SMOKE DETECTORS, CONTROL PANELS & ALL ASSOCIATED DEVICES, WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORD. ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECT. DWGS. COORD. SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
  - DISCONNECT & REMOVE EXISTING CEILING MOUNTED LIGHT FIXTURES, (LINEAR STRIP FIXTURES, ETC.), COORDINATE THE REMOVING OF ALL ELECTRICAL - SWITCHES, OUTLETS, DEVICES, ETC. WITH ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
  - REMOVE & DISPOSE OF SUSPENDED CEILING TILES SHOWN DASHED IN THIS AREA. THE SUSPENDED GRID SHALL REMAIN & BE REPAINTED/MODIFIED.
  - ~~EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D. OR REPLACED IN KIND. EXISTING WINDOW SECURITY BARS SHALL BE TEMPORARILY REMOVED HERE FOR RE-PAINTING & RE-INSTALLATION TO ALLOW FOR WINDOW REPAIR, PAINTING OR REPLACEMENT. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.~~

- GENERAL DEMOLITION NOTES:**
- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
  - THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
  - THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
  - DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
  - DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
  - DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
  - DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
  - CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
  - ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
  - WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
  - ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
  - PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
  - ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND/OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
  - THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
  - REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.



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**DOFI PROPERTIES**  
**Humboldt Pkwy Apartments**  
95 Humboldt Parkway  
Buffalo, NY 14214

ISSUE:  
2025-07-21 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:  
**BASEMENT & FIRST FLOOR DEMOLITION PLANS**

**SILVESTRI ARCHITECTS · PC**  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **AD-100**







AD-103





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**DOFI PROPERTIES**

**Humboldt Pkwy Apartments**

**95 Humboldt Parkway**  
Buffalo, NY 14214

**ISSUE:**  
2025-07-21 - ISSUED FOR PERMIT

**SA PROJECT TEAM:** PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



**TITLE:**

**DEMOLITION EXTERIOR ELEVATIONS**

**SILVESTRI ARCHITECTS · PC**

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AMHERST, NY 14221 FAX 716.691.4773

**SA JOB #:**  
**24101.01**

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**06-27-25**

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**AD-201**





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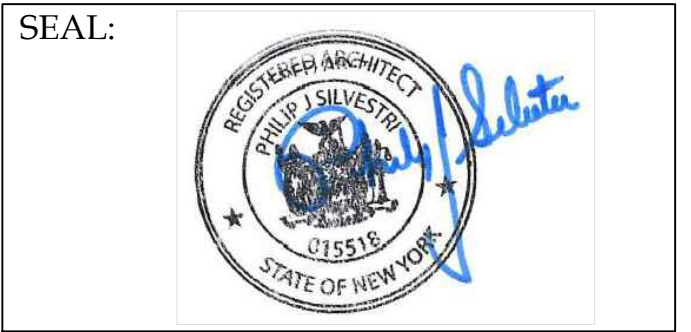
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**Humboldt Pkwy Apartments**

**95 Humboldt Parkway**  
Buffalo, NY 14214

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**SA PROJECT TEAM:** PRINCIPAL P.Silvestri  
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**TITLE:**

**DEMOLITION EXTERIOR ELEVATIONS**

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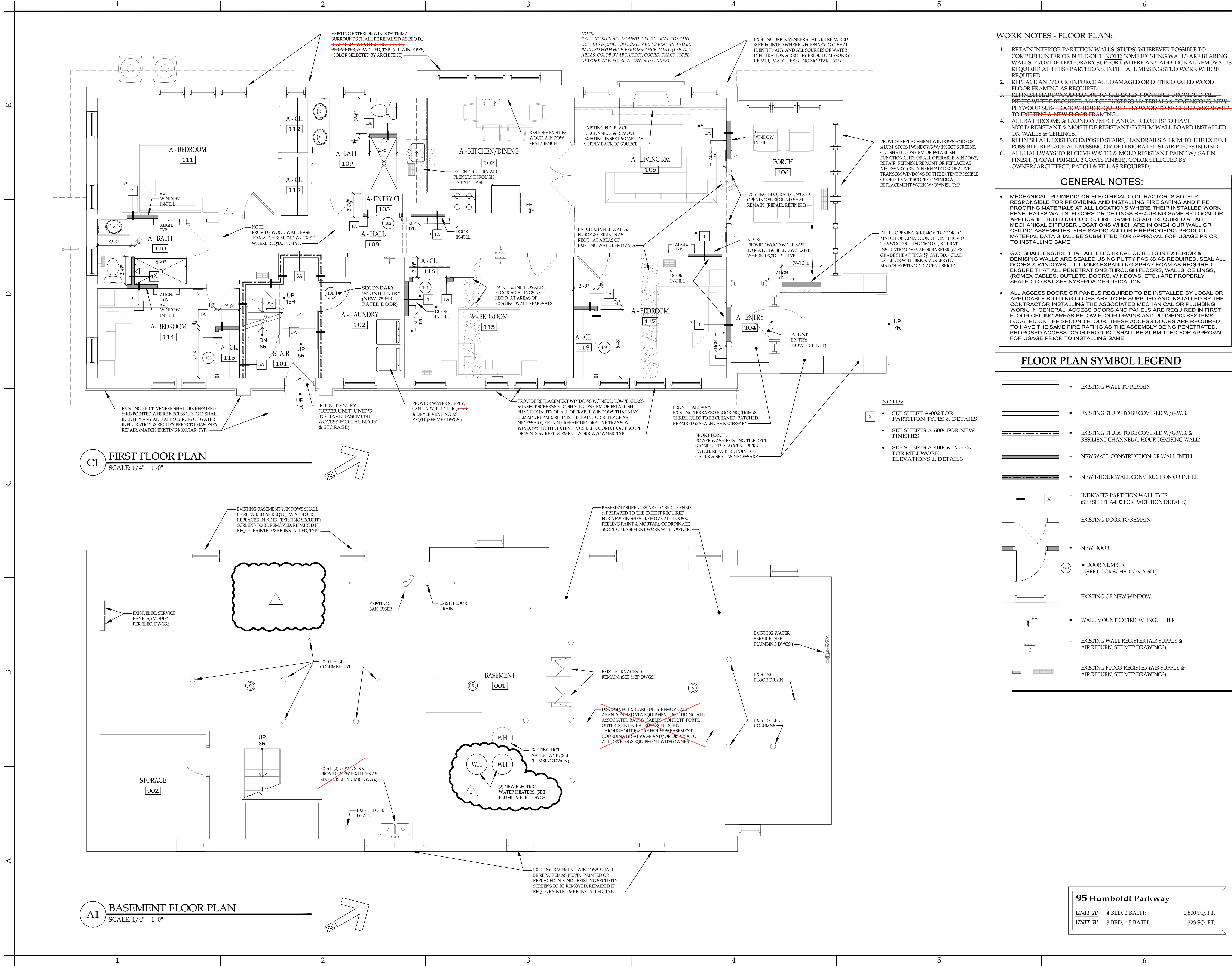
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

**SA JOB #:**  
24101.01

**DATE:**  
06-27-25

**DRAWING #:**  
AD-201





- WORK NOTES - FLOOR PLAN:**
- RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
  - REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
  - ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLAYWOOD SUB-FLOOR WHERE REQUIRED. PLAYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
  - ALL BATHROOMS & LAUNDRY MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
  - REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.
  -

- GENERAL NOTES:**
- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
  - G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSEDA CERTIFICATION.
  - ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

**FLOOR PLAN SYMBOL LEGEND**

	= EXISTING WALL TO REMAIN
	= EXISTING STUDS TO BE COVERED W/G.W.B.
	= EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
	= NEW WALL CONSTRUCTION OR WALL INFILL
	= NEW 1-HOUR WALL CONSTRUCTION OR INFILL
	= INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
	= EXISTING DOOR TO REMAIN
	= NEW DOOR
	= DOOR NUMBER (SEE DOOR SCHED. ON A-601)
	= EXISTING OR NEW WINDOW
	= WALL MOUNTED FIRE EXTINGUISHER
	= EXISTING WALL REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)
	= EXISTING FLOOR REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)

**95 Humboldt Parkway**

UNIT 'A'	4 BED, 2 BATH:	1,800 SQ. FT.
UNIT 'B'	3 BED, 1.5 BATH:	1,323 SQ. FT.

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**DOFI PROPERTIES**

**Humboldt Pkwy Apartments**

**95 Humboldt Parkway**  
Buffalo, NY 14214

ISSUE:  
2025-07-21 - ISSUED FOR PERMIT  
2025-09-04 REVISION 1

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

**BASEMENT & FIRST FLOOR PLANS**

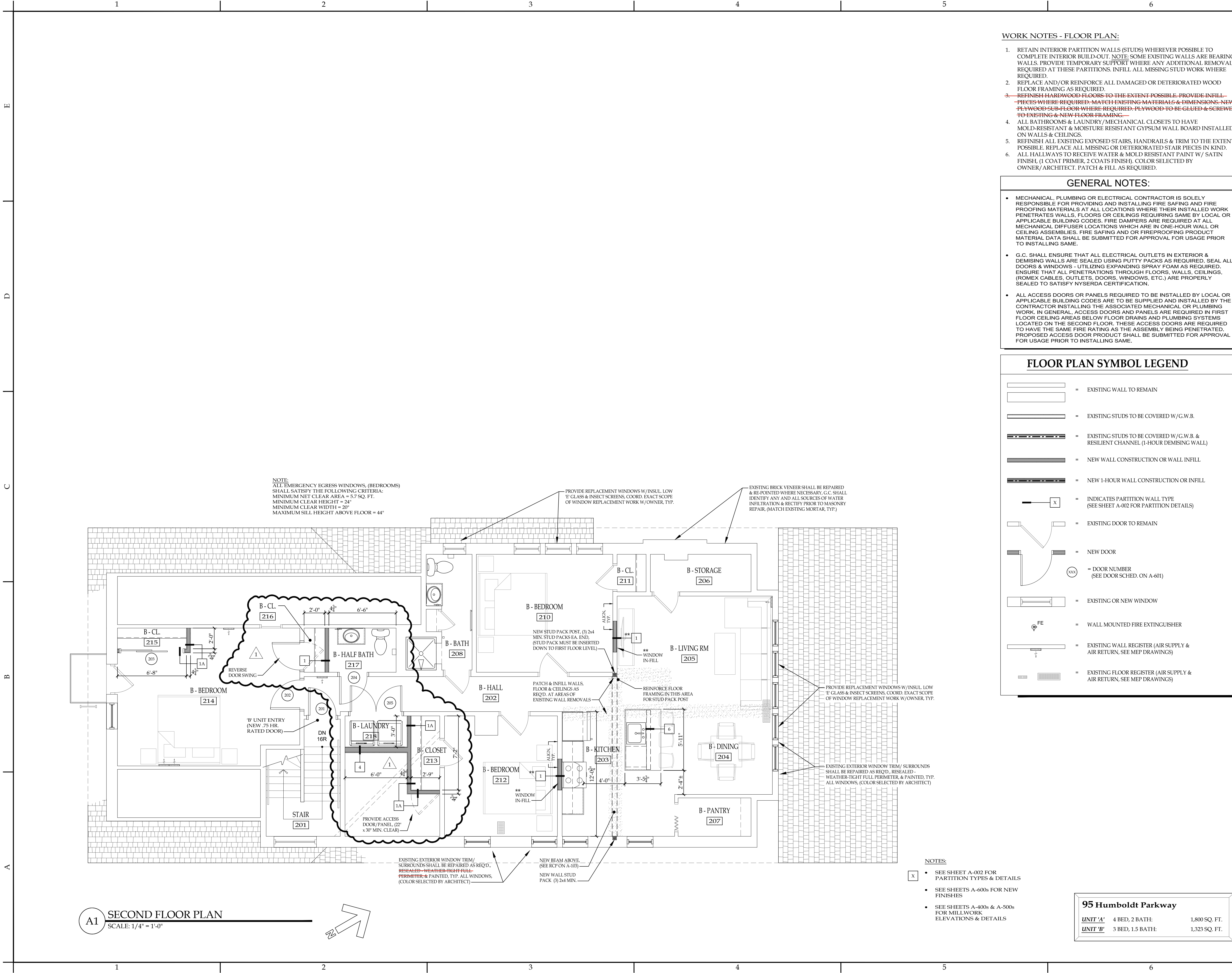
**SILVESTRI ARCHITECTS · PC**

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SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **A-101**





WORK NOTES - FLOOR PLAN:

1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLAYWOOD SUB-FLOOR WHERE REQUIRED. PLAYWOOD TO BE GLEUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
5. REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND.
6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH. (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.

GENERAL NOTES:

- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
- G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSEDA CERTIFICATION.
- ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

- = EXISTING WALL TO REMAIN
- = EXISTING STUDS TO BE COVERED W/G.W.B.
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- = EXISTING FLOOR REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)

NOTES:

- SEE SHEET A-002 FOR PARTITION TYPES & DETAILS
- SEE SHEETS A-600s FOR NEW FINISHES
- SEE SHEETS A-400s & A-500s FOR MILLWORK, ELEVATIONS & DETAILS

95 Humboldt Parkway

UNIT 'A'	4 BED, 2 BATH:	1,800 SQ. FT.
UNIT 'B'	3 BED, 1.5 BATH:	1,323 SQ. FT.

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Humboldt Pkwy Apartments

95 Humboldt Parkway  
Buffalo, NY 14214

ISSUE:

2025-07-21 - ISSUED FOR PERMIT  
2025-07-29 - ADDED DOOR #'s & DWG. A-601  
2025-09-04 REVISION 1

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

SECOND FLOOR PLAN



SILVESTRI  
ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

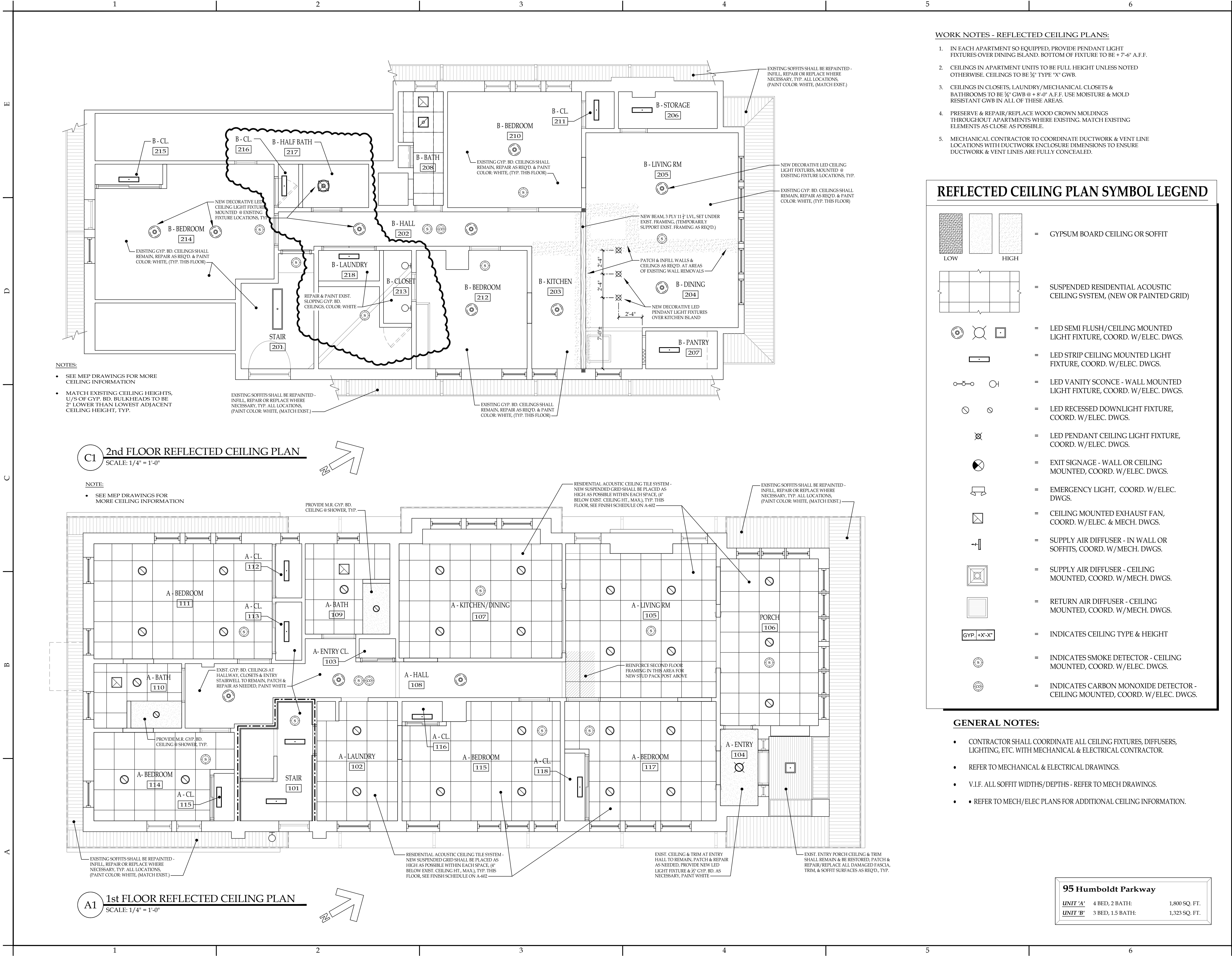
DATE:

06-27-25

DRAWING #:

A-102





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CONSTRUCTION SERVICES  
New York Certified Woman-Owned Business

DOFI PROPERTIES

**Humboldt Pkwy Apartments**

**95 Humboldt Parkway**  
Buffalo, NY 14214

ISSUE:  
2025-07-21 - ISSUED FOR PERMIT  
2025-09-04 REVISION 1

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

**1st & 2nd FLOOR REFLECTED CEILING PLANS**

**SILVESTRI ARCHITECTS - PC**

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **A-103**

**95 Humboldt Parkway**

UNIT 'A'	4 BED, 2 BATH:	1,800 SQ. FT.
UNIT 'B'	3 BED, 1.5 BATH:	1,323 SQ. FT.







UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE J-BOSS AT BOTTOM OF MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 54" A.F.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F.F. IN ALL UNITS.

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# Humboldt Pkwy Apartments

95 Humboldt Parkway  
Buffalo, NY 14214

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SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

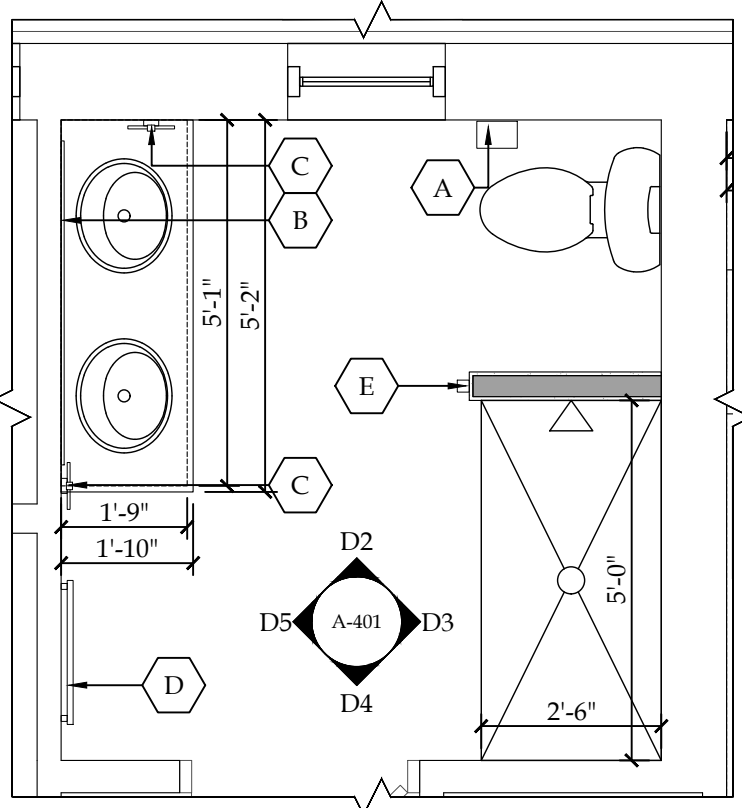


TITLE:  
**ENLARGED PLANS & ELEVATIONS**

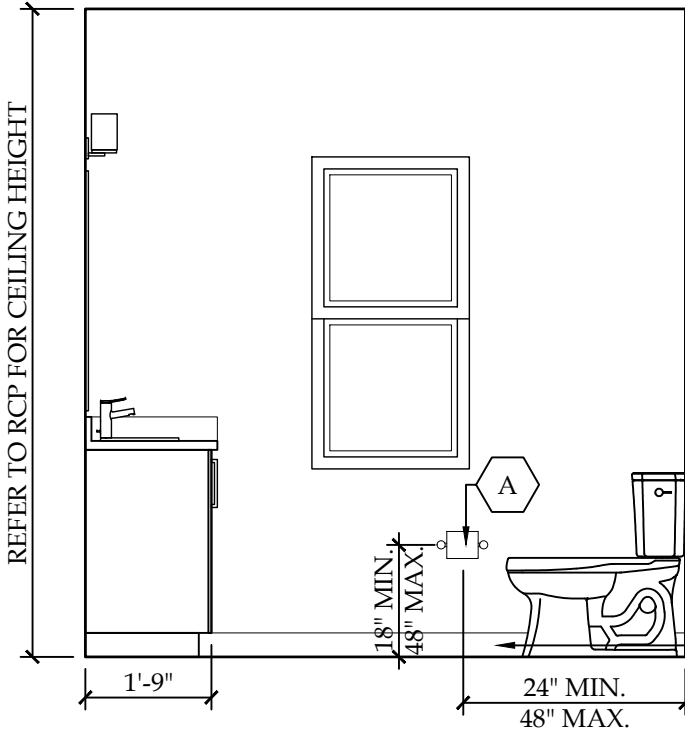
**SILVESTRI ARCHITECTS · PC**  
1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **A-401**

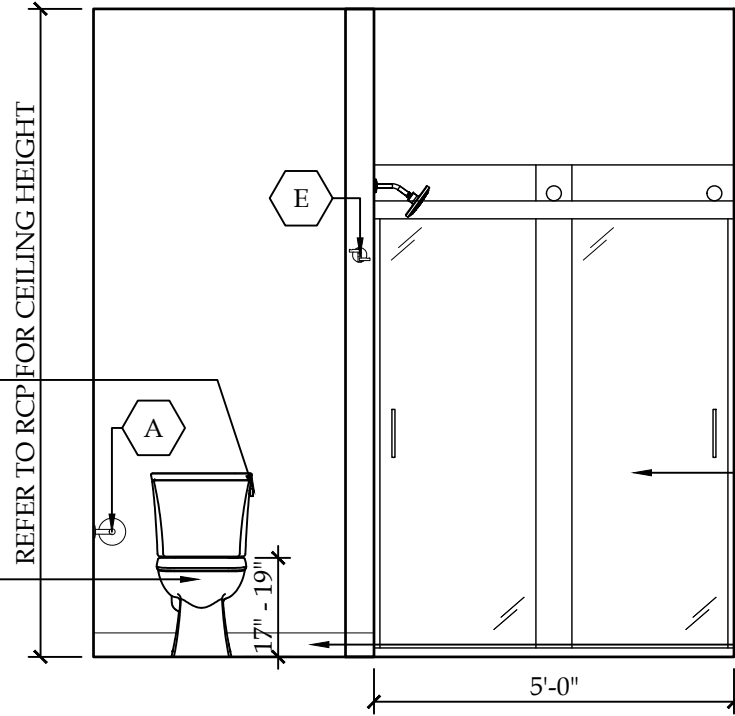


D1 A - BATH 109 | ENLARGED PLAN  
SCALE: 3/8" = 1'-0"

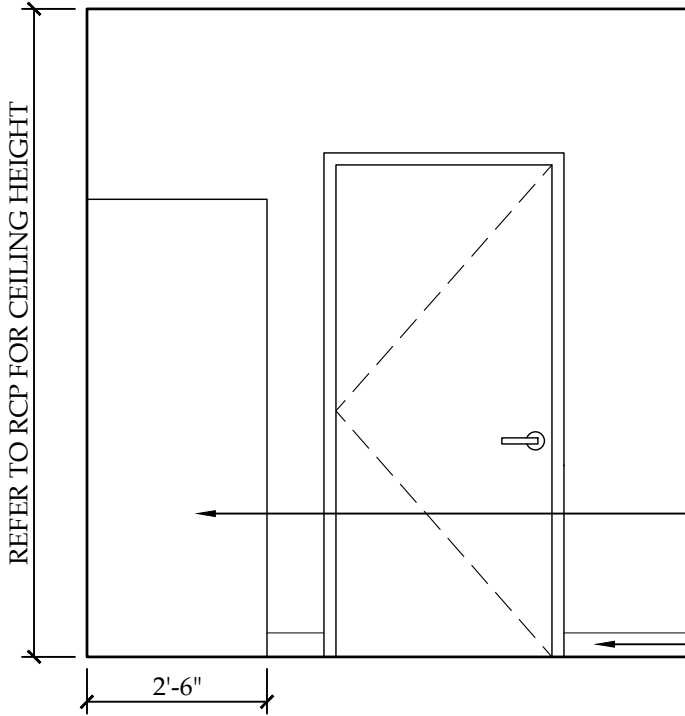


D2 B - BATH 109 | ELEVATION  
SCALE: 3/8" = 1'-0"

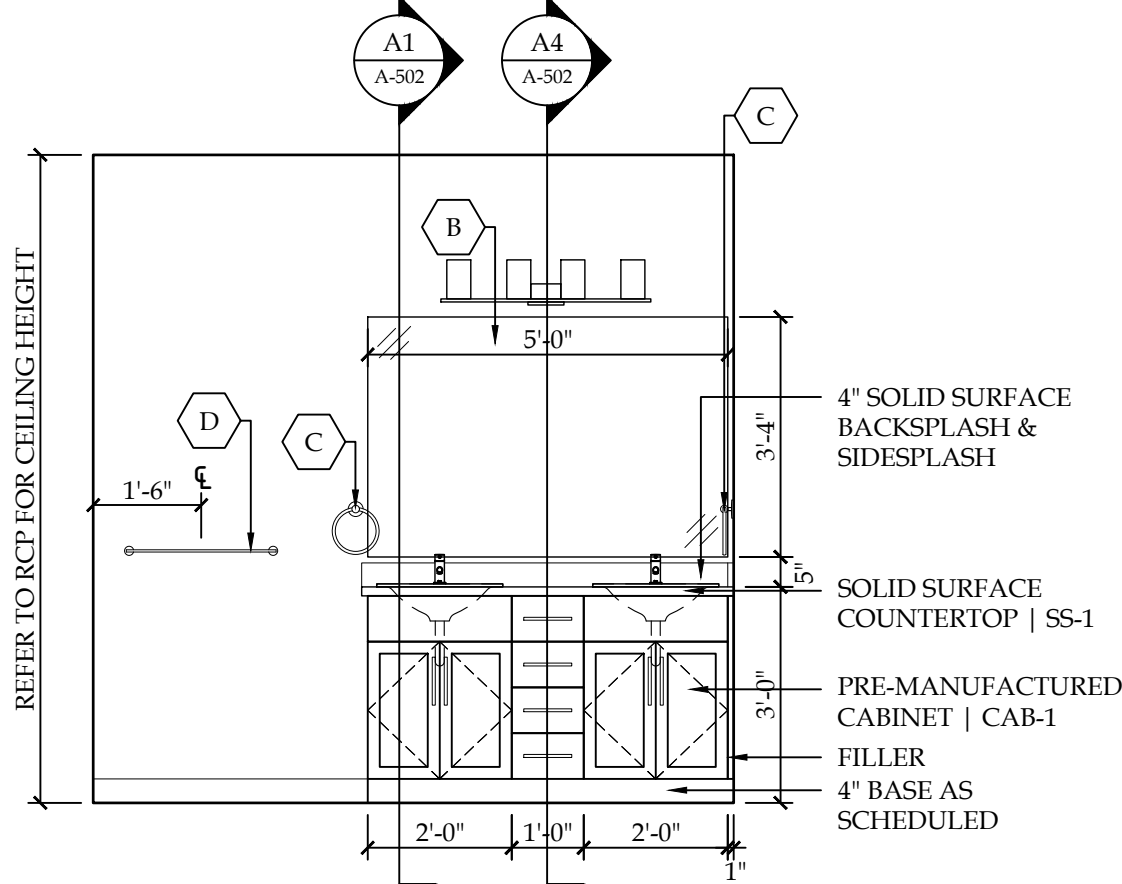
HAND-OPERATED FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET  
NEW TOILET TO BE LOCATED IN SAME SPOT AS EXISTING FIXTURE  
4" BASE AS SCHEDULED



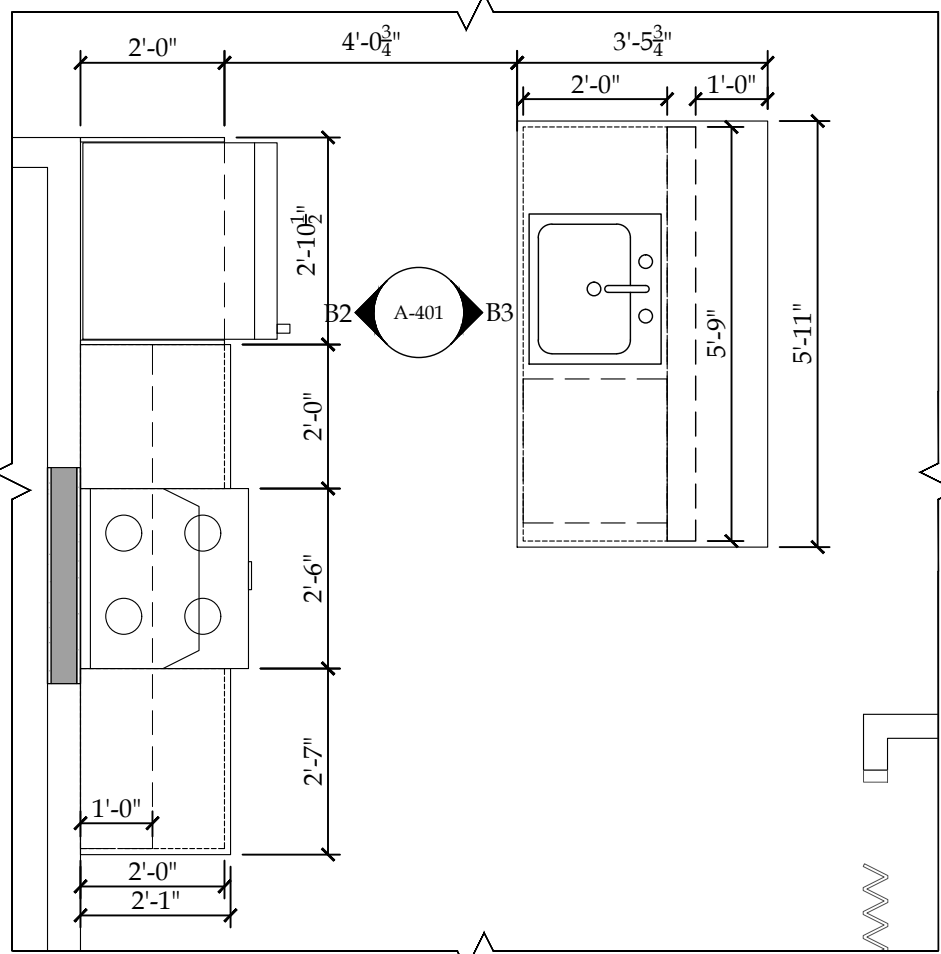
D3 B - BATH 109 | ELEVATION  
SCALE: 3/8" = 1'-0"



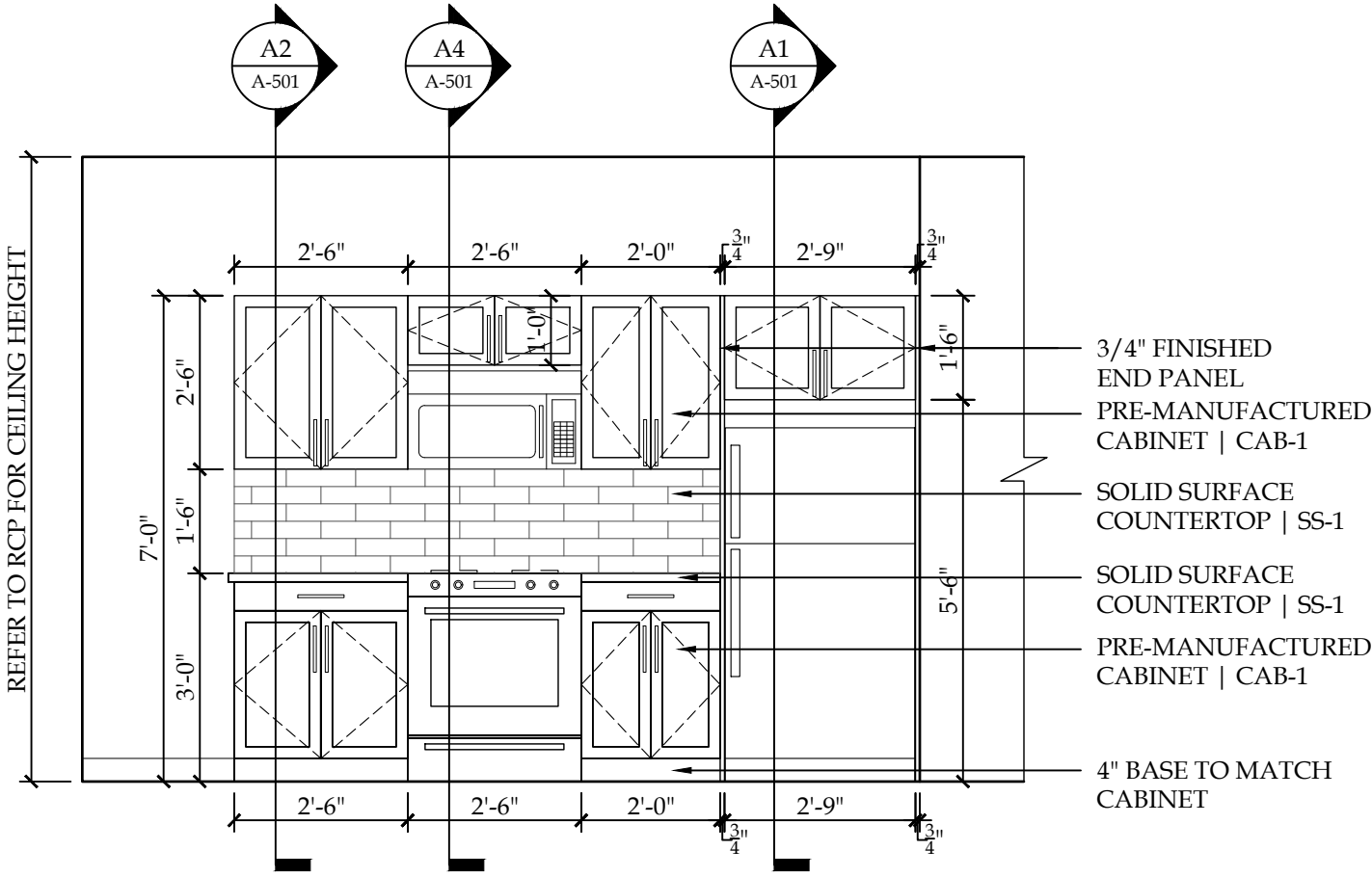
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SCALE: 3/8" = 1'-0"



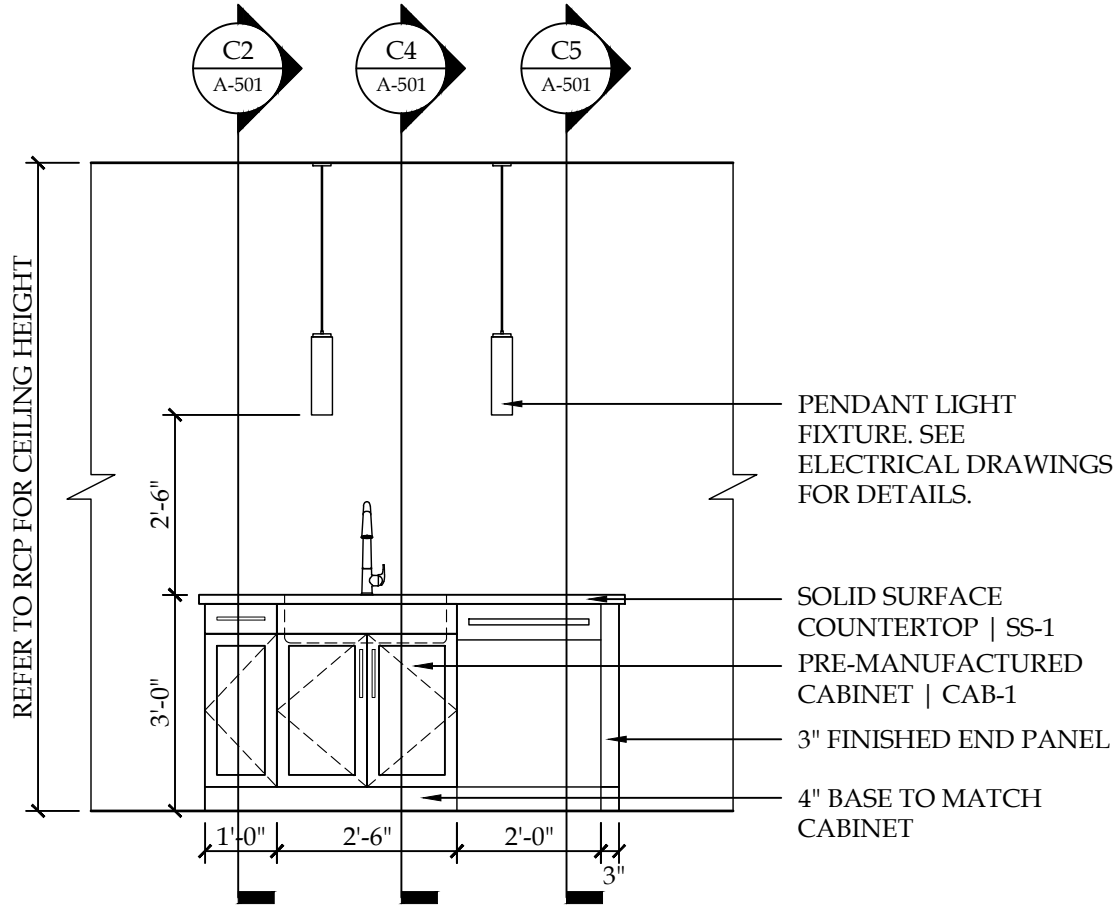
D5 B - BATH 109 | ELEVATION  
SCALE: 3/8" = 1'-0"



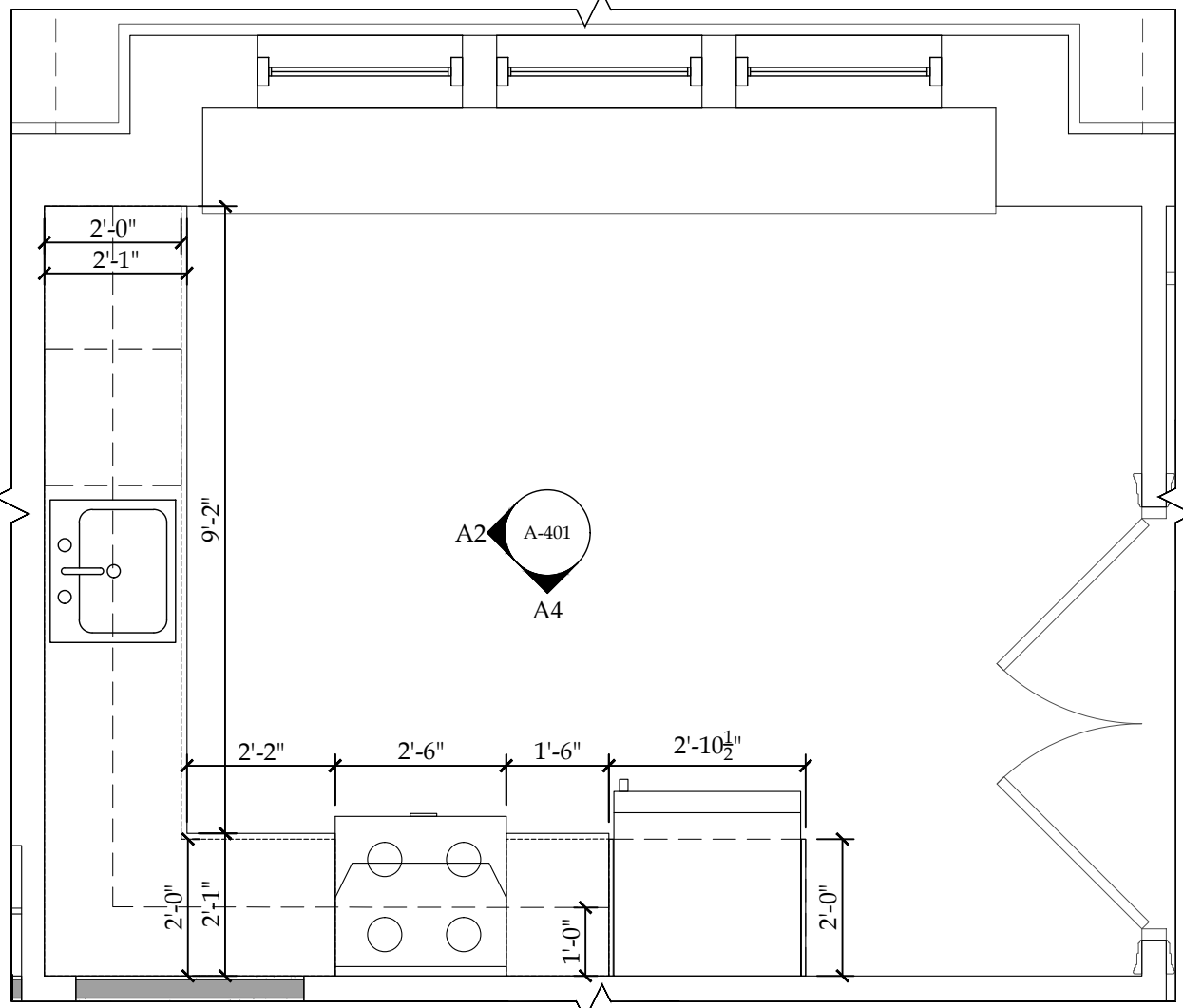
B1 B - KITCHEN 203 | ENLARGED PLAN  
SCALE: 3/8" = 1'-0"



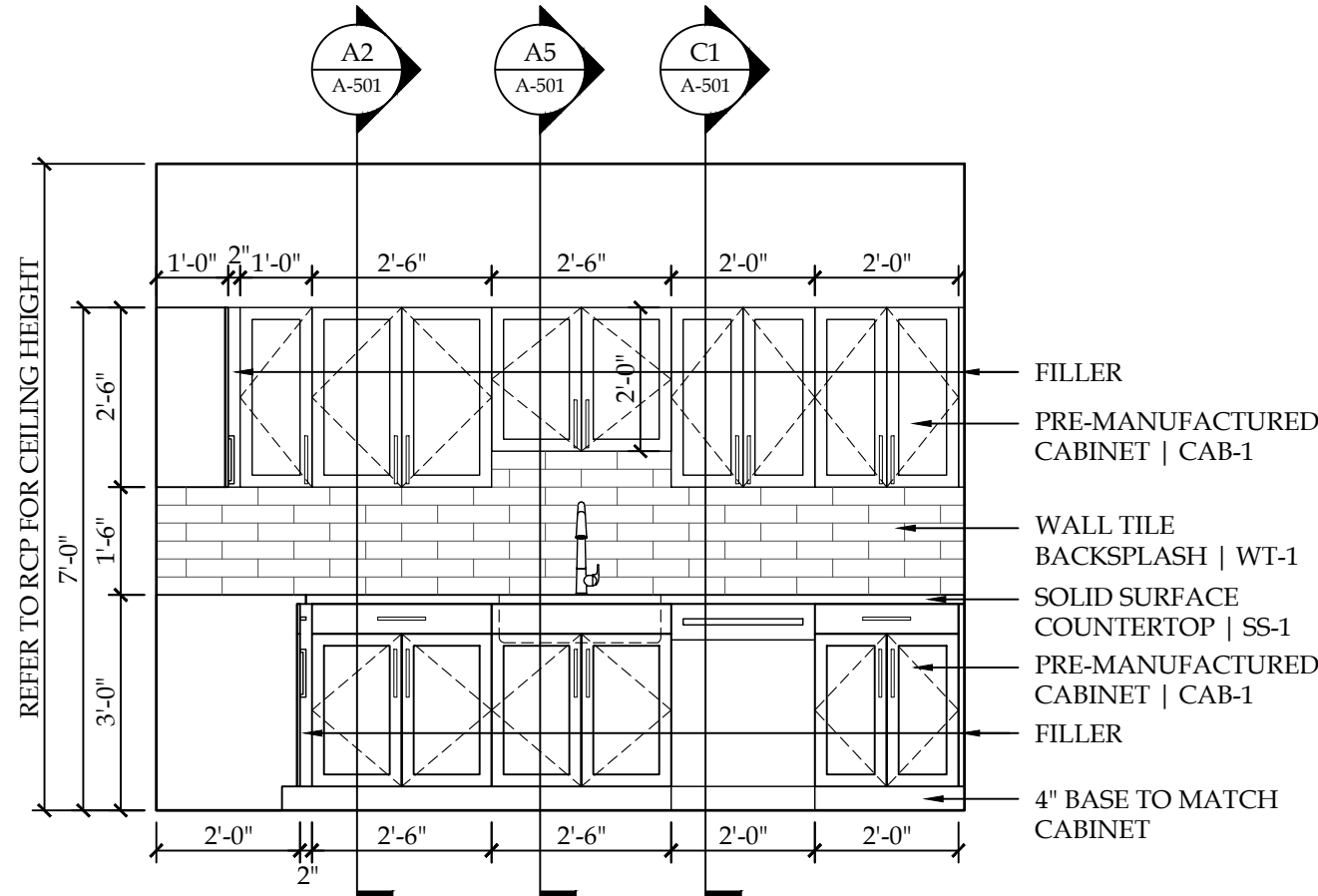
B2 B - KITCHEN 203 | ELEVATION  
SCALE: 3/8" = 1'-0"



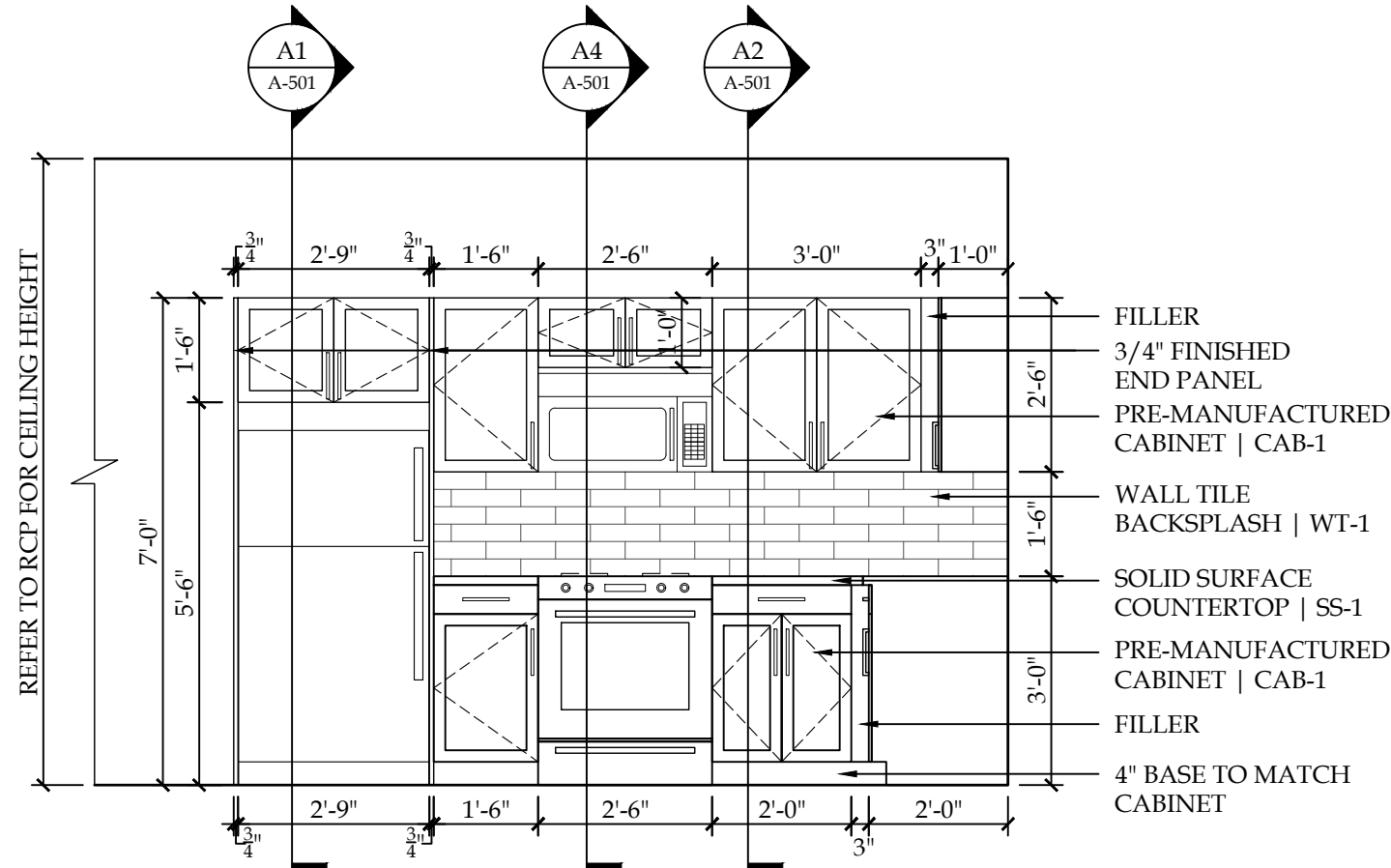
B3 B - KITCHEN 203 | ELEVATION  
SCALE: 3/8" = 1'-0"



A1 A - KITCHEN/DINING 107 | ENLARGED PLAN  
SCALE: 3/8" = 1'-0"



A2 A - KITCHEN/DINING 107 | ELEVATION  
SCALE: 3/8" = 1'-0"

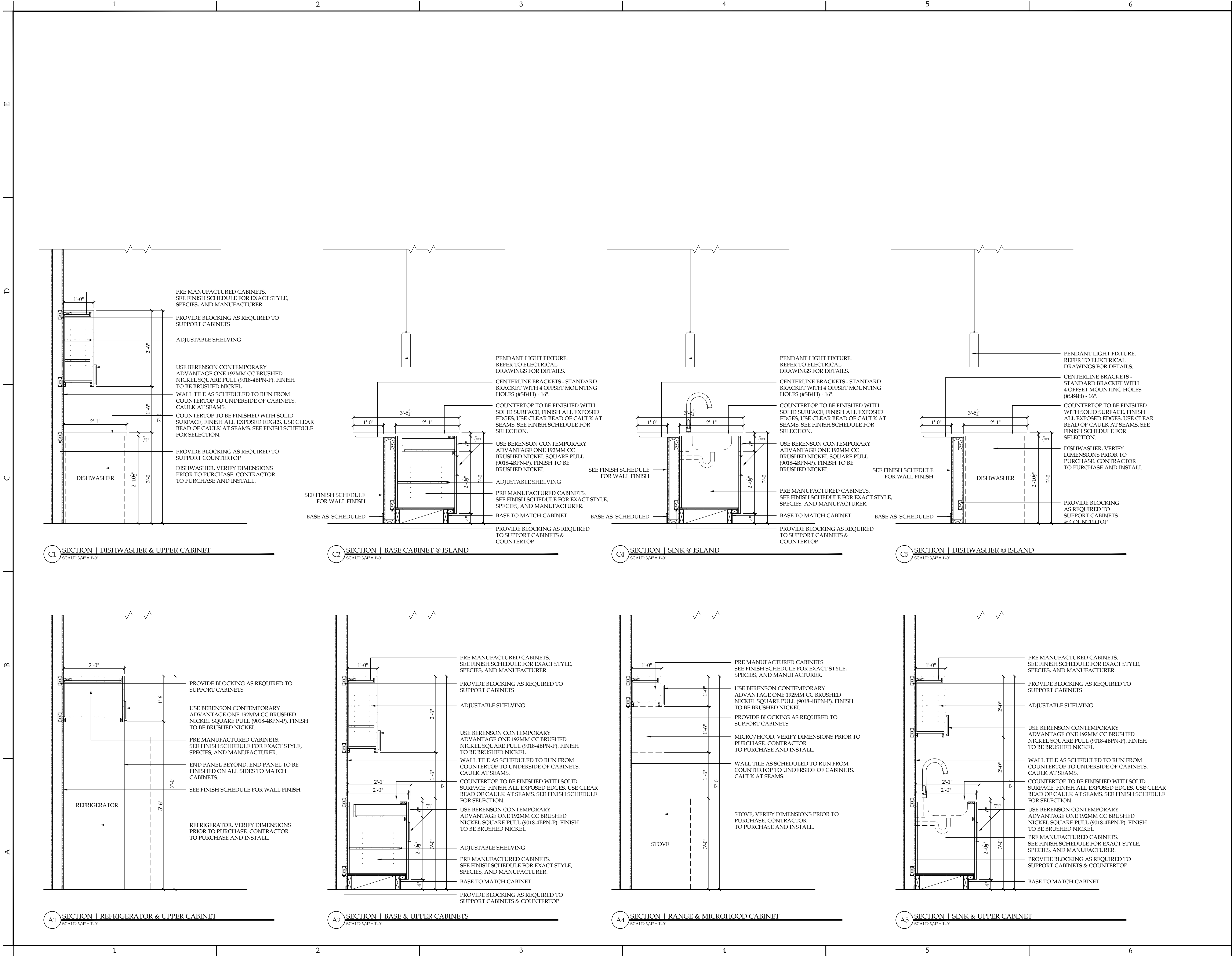


A4 A - KITCHEN/DINING 107 | ELEVATION  
SCALE: 3/8" = 1'-0"









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**DOFI PROPERTIES**  
**Humboldt Pkwy Apartments**  
**95 Humboldt Parkway**  
**Buffalo, NY 14214**

**ISSUE:**  
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**SA PROJECT TEAM:** PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



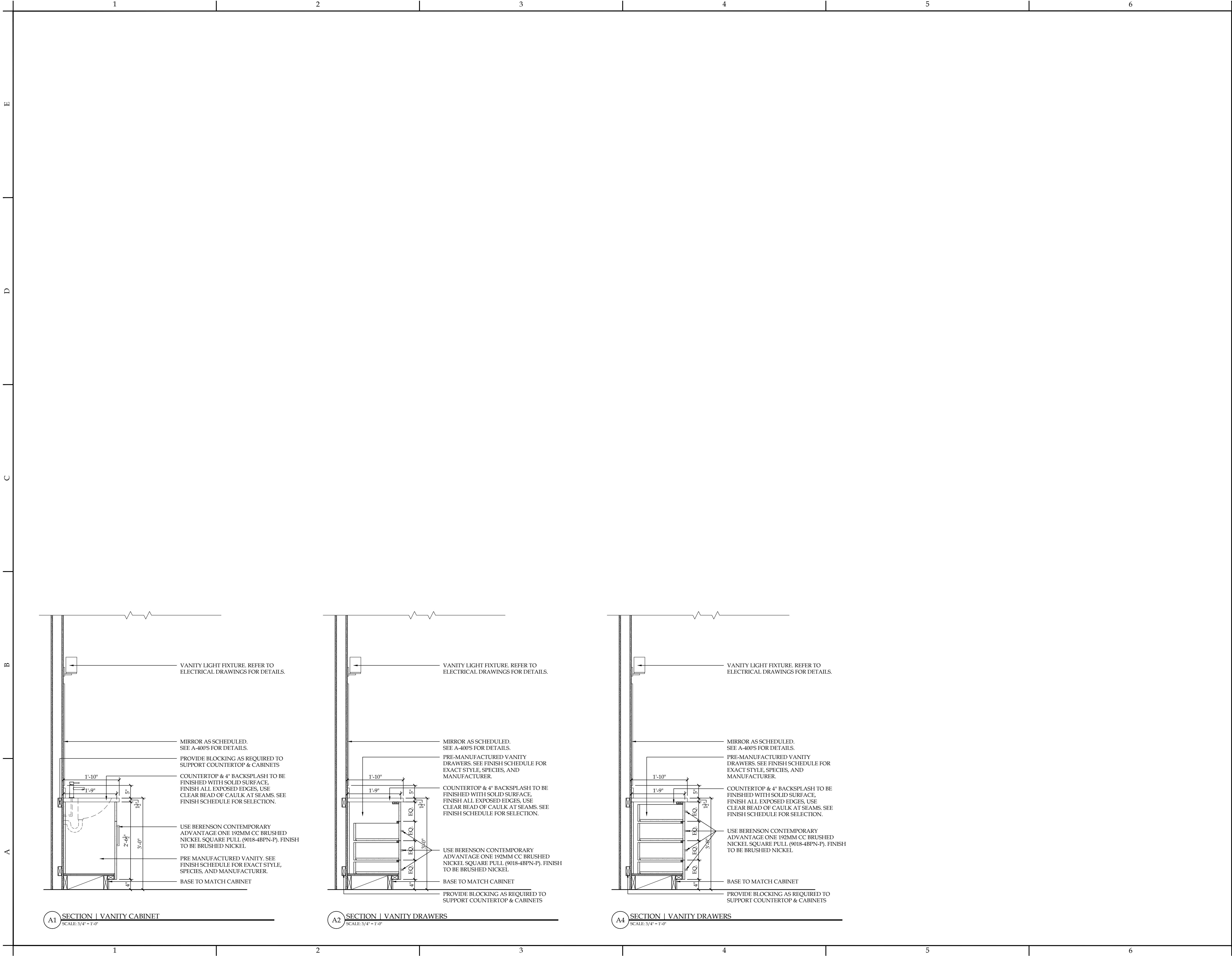
**TITLE:**  
**MILLWORK DETAILS**



**SA JOB #:** 24101.01  
**DATE:** 06-27-25

**DRAWING #:** A-501





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**DOFI PROPERTIES**

# Humboldt Pkwy Apartments

**95** Humboldt Parkway  
Buffalo, NY 14214

ISSUE:  
2025-07-21 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

## MILLWORK DETAILS

**SILVESTRI ARCHITECTS · PC**

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:	DATE:
<b>24101.01</b>	<b>06-27-25</b>
DRAWING #:	
<b>A-502</b>	

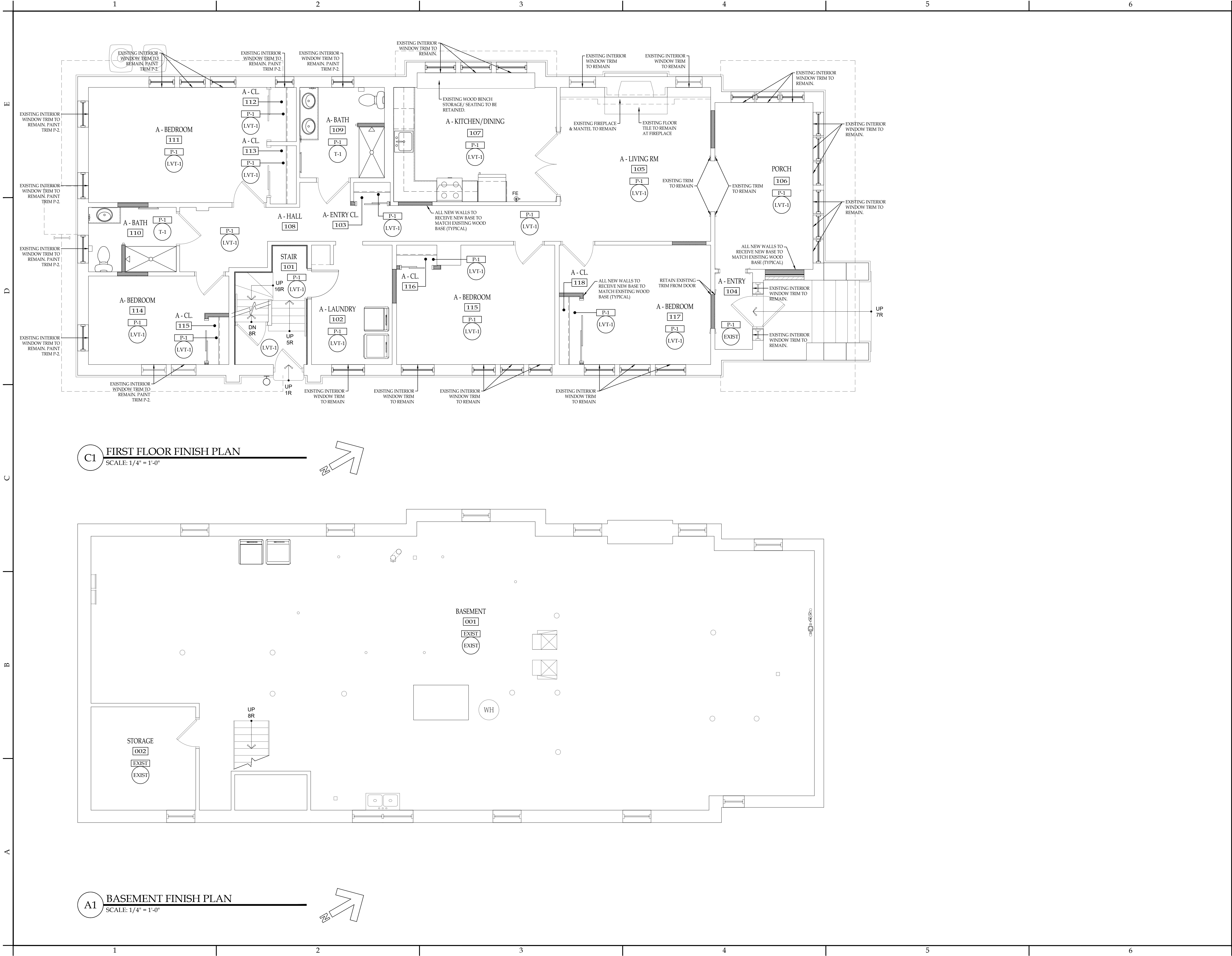












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Apartments**

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PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



**TITLE:**

**BASEMENT &  
FIRST FLOOR  
FINISH PLAN**

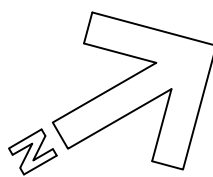


**SA JOB #:**  
**24101.01**

**DATE:**  
**06-27-25**

**DRAWING #:**  
**A-603**



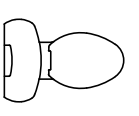

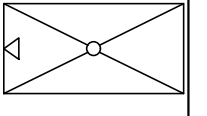

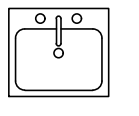
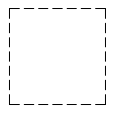








A-604



B  
D  
C  
B  
A

PLUMBING FIXTURE SCHEDULE

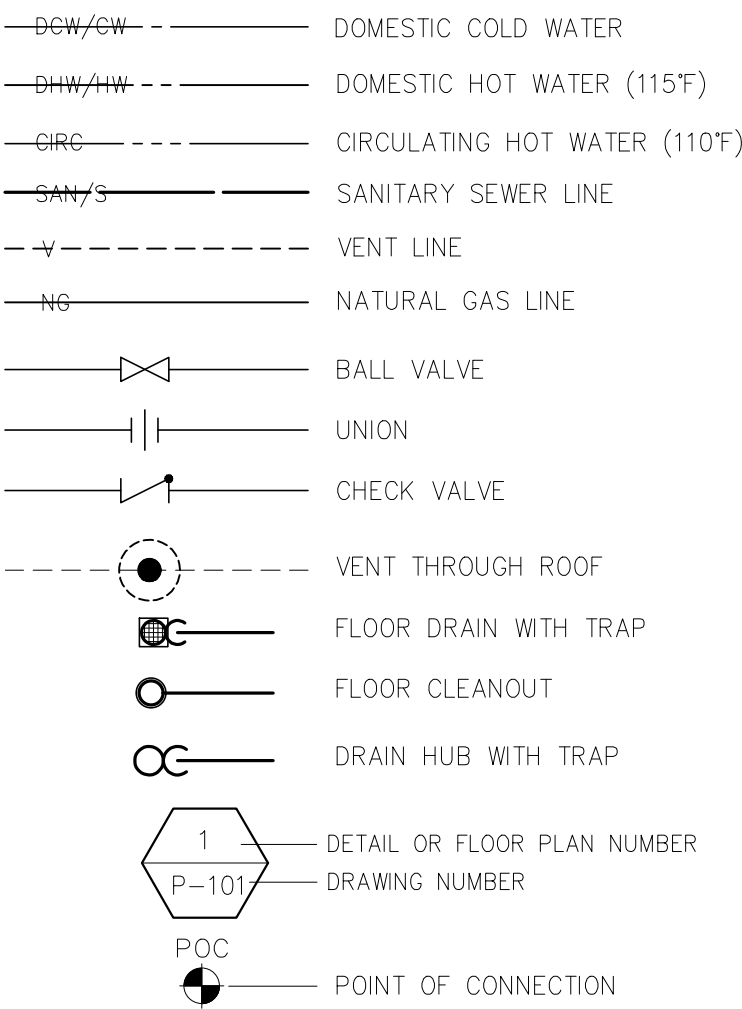
MARK	FIXTURE	SYMBOL	DRAINAGE		WATER			REMARKS
			SAN	VENT	CW	HW	TW	
WC1	WATER CLOSET -BATHROOM -10" ROUGH-IN -- -- --		3"	2"	1/2"	-	-	MANUFACTURER: MANSFIELD, GERBER, KOLHER MODEL: PER OWNER FLUSH TANK TYPE TOILET, 1.28 GPF WITH SLOW CLOSED SEAT AND CLOSED TOILET SEAT
LV1	LAVATORY -BATHROOM -COUNTER MOUNT -- -- --		1-1/2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: MANSFIELD, GERBER, KOLHER MODEL: PER OWNER, OVAL, COUNTER MOUNT FAUCET: 4" CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN)
SH1	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR, SIZE PER ARCHITECTURAL PLANS, FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)
SH2	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR, SIZE PER ARCHITECTURAL PLANS, FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)
KS1	KITCHEN SINK -KITCHEN -SINGLE BOWL -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: ELKAY, DAYTON, KOLHER MODEL: PER OWNER, SINGLE BOWL, COUNTER MOUNT FAUCET: SINGLE HANDLE WITH HOSE SPRAY, 8" CENTER, 1.5 GPM AND DRAIN (SYMMONS, DELTA, MOEN)
DW1	DISHWASHER -- -- --		1" DRAIN TO KST	-	-	1/2"	-	MANUFACTURER: PER OWNER MODEL: PER OWNER PROVIDED BY OWNER, INSTALLED BY PLUMBING CONTRACTOR 
WMB	WASHER MACHINE BOX -PROVIDE WATER HAMMER ARRESTER (WHA) -BASEMENT -- -- --		2"	2"	1/2"	1/2"	-	MANUFACTURER: OATEY WASHING MACHINE BOX (2) 1/4 TURN BALL VALVES AND ONE 2" CENTER DRAIN WITH DRAIN PAIN AND 1" DRAIN
IMB	ICE MACHINE BOX -KITCHEN -- -- --		-	-	1/2"	-	-	MANUFACTURER: OATEY VALVE BOX (1) 1/4 TURN BALL VALVE
AAV	AIR ADMITTANCE VALVE -KITCHEN ISLAND SINK -- -- --		-	-	-	-	-	MANUFACTURER: OATEY SIZE PER DRAWING (PROVIDED AND INSTALLED BY PLUMBER)
WH1	WATER HEATER -EXISTING 75 GAL. -NATURAL GAS -- -- --		-	-	3/4"	3/4"	-	MANUFACTURER: EXISTING GENERAL ELECTRIC SIZE PER DRAWING (RECONNECTED/INSTALLED BY PLUMBER)
MV1	MIXING VALVE -- -- --		-	-	3/4"	3/4"	3/4"	CALEFFEL - MODEL 5213959A - HOT WATER TEMPERATURE CONTROL VALVE WITH BRONZE BODY CONSTRUCTION, SOLID WAX HYDRAULIC PRINCIPLE THERMOSTAT THAT CONTROLS BOTH HOT AND COLD WATER, INTEGRAL FILTER WASHERS AND CHECK VALVES, AND ADJUSTMENT CAP WITH LOCKING FEATURE SET TO PROVIDE MAXIMUM 110 DEG. F HOT WATER TO THE LAVATORY FAUCETS
WHY	WALL HYDRANT -NON-FREEZE -- -- --		-	-	3/4"	-	-	MANUFACTURER: MIFAB MODEL: MHY-20 -PROVIDE EXTRA KEY (OR APPROVED EQUAL)

PLUMBING FIXTURE NOTE:  
ALL PLUMBING FIXTURES TO BE APPROVED BY BUILDING OWNER REPRESENTATIVE PRIOR TO ORDERING.

PLUMBING FIXTURE NOTES:

- ROUGH ACCORDING TO ABOVE SCHEDULE UNLESS OTHERWISE INDICATED ON DRAWINGS.
- PROVIDE ALL ACCESSORIES REQUIRED FOR A COMPLETE PLUMBING INSTALLATION AS SPECIFIED IN SPECIFICATIONS AND ON DRAWINGS.
- PROVIDE ACCESS PANEL ON ALL NON-ACCESSIBLE CEILINGS BELOW PLUMBING VALVES.
- REFER TO DRAWINGS FOR ADDITIONAL PLUMBING EQUIPMENT SPECIFICATIONS.
- PLUMBING FIXTURES (TOILETS, LAVATORIES, SHOWERS, TUB/SHOWERS, KITCHEN SINKS AND ACCESSORIES) TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.

LEGEND



ABBREVIATIONS

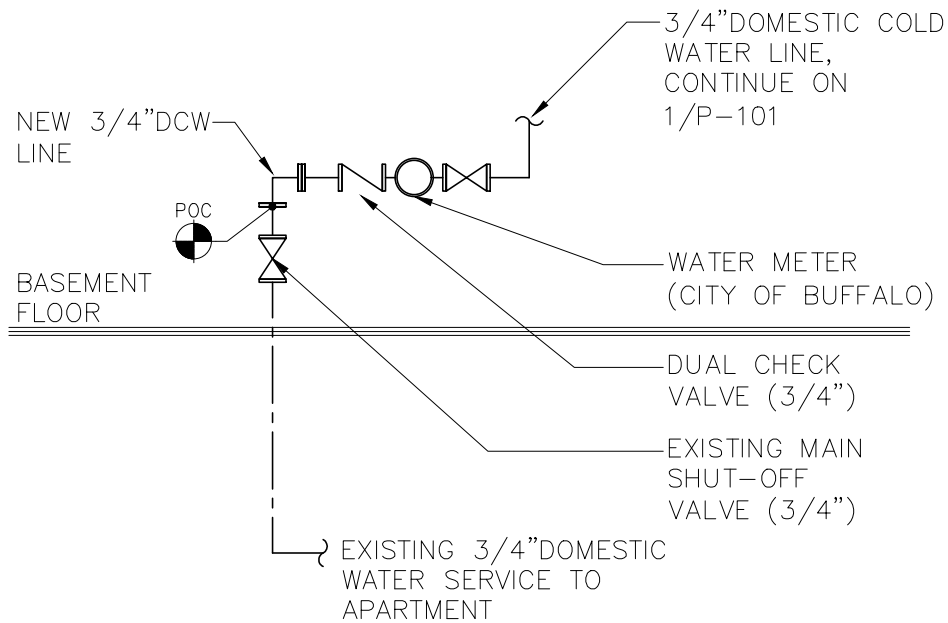
- DCW/CW: DOMESTIC COLD WATER
- DHW/HW: DOMESTIC HOT WATER
- TW: TEMPERED WATER
- CIRC: CIRCULATING HOT WATER
- NG: NATURAL GAS
- SAN/S: SANITARY SEWER
- V/VT: VENT
- VTR: VENT THROUGH ROOF
- FCO: FLOOR CLEANOUT
- WCO: WALL CLEANOUT
- POC: POINT OF CONNECTION
- SOV: SHUTOFF VALVE
- AFF: ABOVE FINISHED FLOOR
- BFF: BELOW FINISHED FLOOR
- AFG: ABOVE FINISHED GRADE
- BFG: BELOW FINISHED GRADE
- CFH: CUBIC FEET PER HOUR
- MEP: MECHANICAL-ELECTRICAL-PLUMBING
- AAV: AIR ADMITTANCE VALVE
- DFU: DRAINAGE FIXTURE UNIT
- WSFU: WATER SUPPLY FIXTURE UNIT
- WHY: WALL HYDRANT
- IMB: ICE MACHINE BOX

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES.
- DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN PIPING, EQUIPMENT LOCATIONS, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.
- ALL CUTTING AND PATCHING OF BUILDING COMPONENTS REQUIRED TO ACCOMMODATE THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THIS CONTRACT. ALL PATCHING SHALL MATCH THE EXISTING COMPONENTS AND FINISHES. CUTTING AND PATCHING WORK SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH SERVICES.
- PLUMBING CONTRACTOR TO PROVIDE ALL ACCESSORIES REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEM..

GENERAL PLUMBING NOTES

- GENERAL NOTES ARE APPLICABLE TO ALL PLUMBING WORKING DRAWINGS.
- THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH BASE BUILDING SPECIFICATION AND WITH THE LATEST EDITION OF THE PREVAILING LOCAL PLUMBING AND BUILDING CODES AND ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
- ALL PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION BY THE ENGINEER OF RECORD.
- NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING RELATED FEES.
- ROUGH-IN DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH CONTRACTOR AND FIELD SUPERVISOR.
- INSTALL BALL VALVES ON ALL BRANCH SUPPLY LINES.
- PROVIDE ACCESS PANELS ON ALL INACCESSIBLE VALVES AND CLEANOUTS. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION. MOUNT SHUT-OFF VALVES NO HIGHER THAN 12'-8" AFF.
- ALL WORK SHALL BE PROPERLY TESTED, BALANCED AND CLEANED. PROVIDE A ONE (1) YEAR WARRANTY FROM DATE OF FINAL INSPECTION ON ALL PARTS AND LABOR.
- FOLLOW PDI STANDARDS FOR WATER HAMMER ARRESTORS.
- CONTRACTOR SHALL COORDINATE WATER METER LOCATION AND INSTALLATION WITH LOCAL AUTHORITIES AND CIVIL DRAWINGS IF NOT EXISTING
- SANITARY SEWER PIPING SHOWN IS BASED ON 0.125"/FT FOR 3"-6" & 0.25"/FT FOR 2 1/2" OR LESS FOR ALL PIPING. COORDINATE BUILDING SEWER LOCATION AND INVERT ELEVATION WITH CIVIL DRAWINGS.
- SURE SEAL WATERLESS TRAP PRIMERS ARE TO BE PROVIDED AT ALL FLOOR DRAIN.



- DUAL CHECK BACKFLOW PREVENTER (DCBP) WATTS MODEL No. SERIES L7 (3/4")



PLUMBING SPECIFICATIONS:

DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

PLUMBING WORK SHALL BE AS INDICATED ON THE PLANS AND AS HEREIN SPECIFIED. WORK SHALL CONSIST OF PROVIDING A COMPLETE AND OPERATIONAL SYSTEM INCLUDING ALL FIXTURES, PIPING, VALVES, AND OTHER REQUIRED DEVICES, EQUIPMENT, ETC. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS. WHERE THERE ARE CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS, AND CODE REQUIREMENTS, THE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUIRED FOR COMPLIANCE WITH ALL CODES AND FOR APPROVAL OF THE SYSTEM. THE SYSTEM SHALL EXTEND TO AND CONNECT INTO THE EXISTING PROJECT WATER AND WASTE SYSTEM AS INDICATED ON THE DRAWINGS.

WHENEVER A MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT IS IDENTIFIED ON THE DRAWINGS BY REFERENCE TO MANUFACTURERS' OR VENDORS NAMES, TRADE NAMES, CATALOG NUMBERS, OR THE LIKE, IT IS SO IDENTIFIED FOR THE PURPOSE OF ESTABLISHING A STANDARD, AND ANY MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT OF OTHER MANUFACTURERS OR VENDORS WHICH WILL PERFORM ADEQUATELY THE DUTIES IMPOSED BY THE GENERAL DESIGN WILL BE CONSIDERED EQUALLY ACCEPTABLE PROVIDED THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SO PROPOSED IS, IN THE OPINION OF THE ARCHITECT/ENGINEER, OF EQUAL SUBSTANCE, APPEARANCE, AND FUNCTION. THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SHALL NOT BE PURCHASED OR INSTALLED BY THE CONTRACTOR WITHOUT THE ARCHITECT'S/ ENGINEER'S WRITTEN APPROVAL.

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL, SHOP DRAWINGS AND/OR MANUFACTURERS SUBMITTAL DATA WITH CAPACITY AND CHARACTERISTICS OF ALL MATERIAL AND EQUIPMENT FOR APPROVAL PRIOR TO PURCHASE AND OR INSTALLATION OF THE WORK. A MINIMUM OF FIVE (5) COPIES SHALL BE SUBMITTED. SUBMITTALS SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BEGINNING WORK FOR THE PURPOSE OF OBSERVING EXISTING CONDITIONS AND TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR PROVIDING ALL MATERIAL, EQUIPMENT, AND LABOR AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL CODE REQUIREMENTS.

ALL WATER PIPING SHALL BE TYPE "L" HARD COPPER WITH WROUGHT COPPER FITTINGS. JOINTS SHALL BE SOLDERED WITH LEAD FREE SOLDER. ALL EXPOSED PIPING SHALL BE CHROME PLATED, WASTE AND VENT SHALL BE SERVICE WEIGHT CAST IRON WITH EITHER NO-HUB OR "CHARLOTTE SEAL" JOINTS. NO-HUB JOINTS ARE NOT PERMITTED BELOW GRADE. ALL EQUIPMENT REQUIRING PLUMBING CONNECTIONS SHALL BE CONNECTED BY THE PLUMBER REGARDLESS OF WHO PROVIDES THE EQUIPMENT OR FIXTURE. UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER OR SCHEDULE 40 PVC. FORCED MAINS SHALL BE PVC OR APPROVED EQUAL.

ALL HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH (HOT/CIRCULATING WATER PIPING MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE), (COLD WATER PIPING 1/2" INSULATION UP TO 2" PIPE AND 1" INSULATION ON 2-1/2" PIPE AND ABOVE WITH 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE). ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER.

HORIZONTAL STORM/SEWER PIPING ABOVE GRADE SHALL BE INSULATED WITH MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE. ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER. (TO AVOID CONDENSATION) DRAIN HUBS TO BE INSULATED.

VACUUM BREAKERS SHALL BE PROVIDED FOR ALL HOSE CONNECTIONS AND OTHER POINTS WHERE GROSS CONTAMINATION CAN OCCUR. REDUCED PRESSURE BACKFLOW PREVENTERS SHALL BE PROVIDED WHERE REQUIRED BY CODE. ALL FIXTURES, HOSE BIBBS, FLOOR DRAINS, ETC., SHALL BE PROVIDED AS INDICATED AND SCHEDULED ON THE PLANS. THE SYSTEM SHALL BE TESTED, CLEANED, AND DISINFECTED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.

THE ENTIRE PLUMBING SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE (1) YEAR FROM ACCEPTANCE BY THE OWNER. ALL GUARANTEES SHALL BE WRITTEN, DATED, AND FORWARDED TO THE OWNER. ALL DEFECTIVE EQUIPMENT AND/OR MATERIAL SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

AT THE CONTRACTOR'S OPTION, PVC MAY BE UTILIZED ABOVE GRADE IN CONCEALED LOCATIONS FOR DWV SYSTEM, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED.

AT THE CONTRACTOR'S OPTION, PEX OR CPVC PIPING MAY BE UTILIZED ABOVE GRADE AND IN CONCEALED SPACES, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED. (HOT WATER PEX PIPING TO BE INSULATED)

PVC/CPVC PIPING SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DEVELOPMENT RATING LESS THAN 50.

GAS PIPING - SCHEDULE 40 BLACK STEEL WITH MALLEABLE SCREWED FITTING IN SIZE UP TO 3" AND OVER 3" TO BE SCHEDULE 40 BLACK STEEL WITH WELDED FITTINGS.

NATURAL GAS PIPING - COORDINATE ALL NEW GAS LINES ROUTING PER PLANS IN FIELD. PAINT EXTERIOR GAS PIPING AND SUPPORTS TWO COATS EXTERIOR ENAMEL.

INSTALL EQUIPMENT AND PIPING TO AVOID INTERFERENCE WITH THE OPERATION OR SERVICING AND MAINTENANCE OF EQUIPMENT.

PIPES PENETRATING FIRE WALLS AND FLOORS SHALL BE FIRESTOPPED AS SPECIFIED. REFER TO THE ARCHITECTURAL DRAWINGS FOR FIRE WALL AND FLOOR LOCATIONS.

ALL PHYSICAL ATTRIBUTES OF EQUIPMENT AND DEVICES ARE BASED ON THOSE MANUFACTURERS LISTED IN THE SPECIFICATIONS AND/OR THE EQUIPMENT SCHEDULES. THE CONTRACTORS ARE RESPONSIBLE FOR ALL CHANGES BROUGHT ABOUT BY USE OF ITEMS BY OTHER MANUFACTURERS. THE ARCHITECT/ENGINEER HAS RESERVED THE RIGHT TO REJECT ITEMS BY OTHER MANUFACTURERS IF THOSE ITEMS DO NOT MATCH THE PHYSICAL ATTRIBUTES OF THE MANUFACTURERS LISTED.

ALL PLUMBING SERVICE PIPING USE ON PROJECT TO MEET ALL STATE AND LOCAL CODES. COORDINATE USE OF PVC PIPING ABOVE AND BELOW GRADE WITH LOCAL AUTHORITIES PRIOR TO WORK START-UP. (NATURAL GAS, WASTE, STORM, VENT, DOMESTIC HOT, COLD AND CIRCULATING WATER LINES)

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SEAL:



TITLE:

SCHEDULES  
AND  
SPECIFICATIONS



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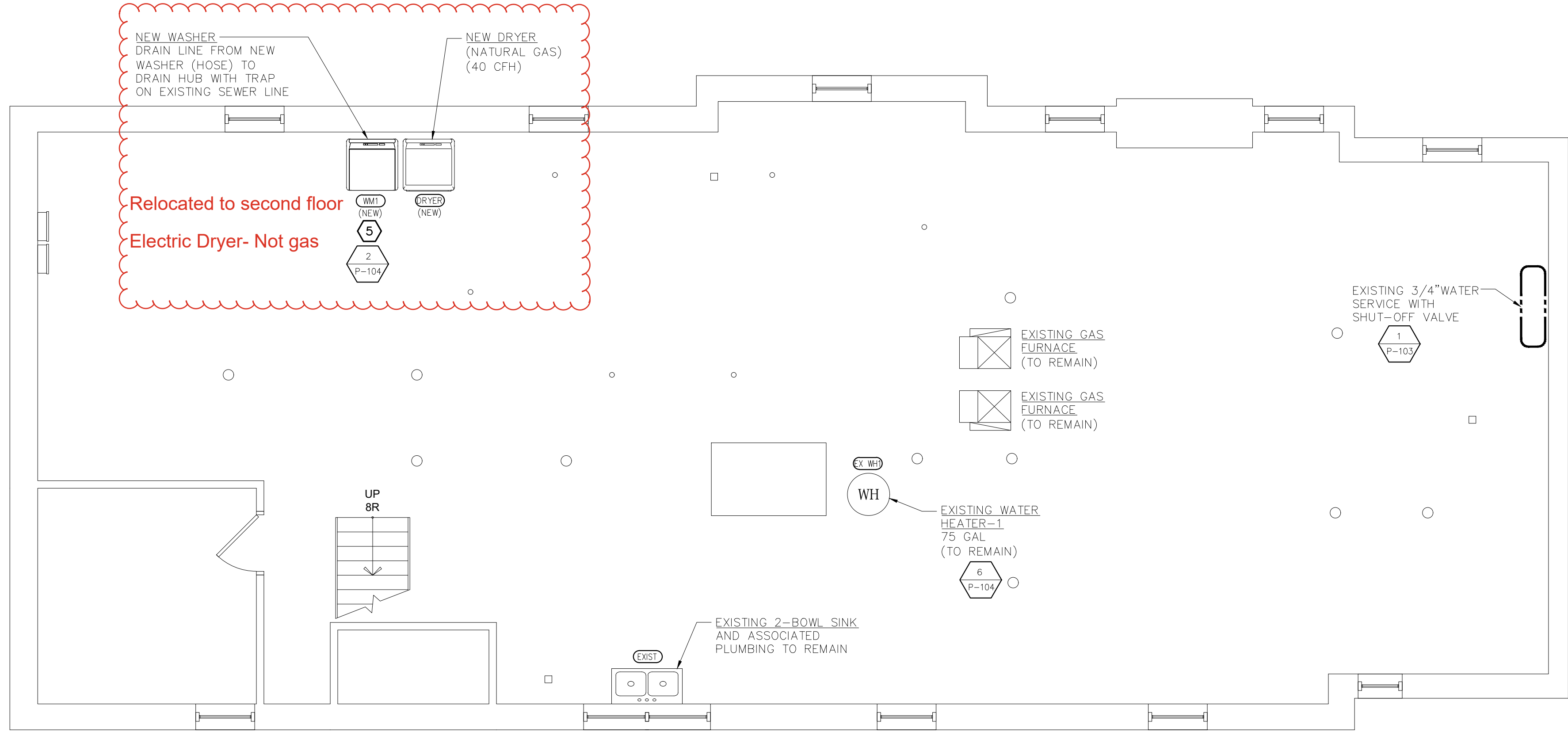
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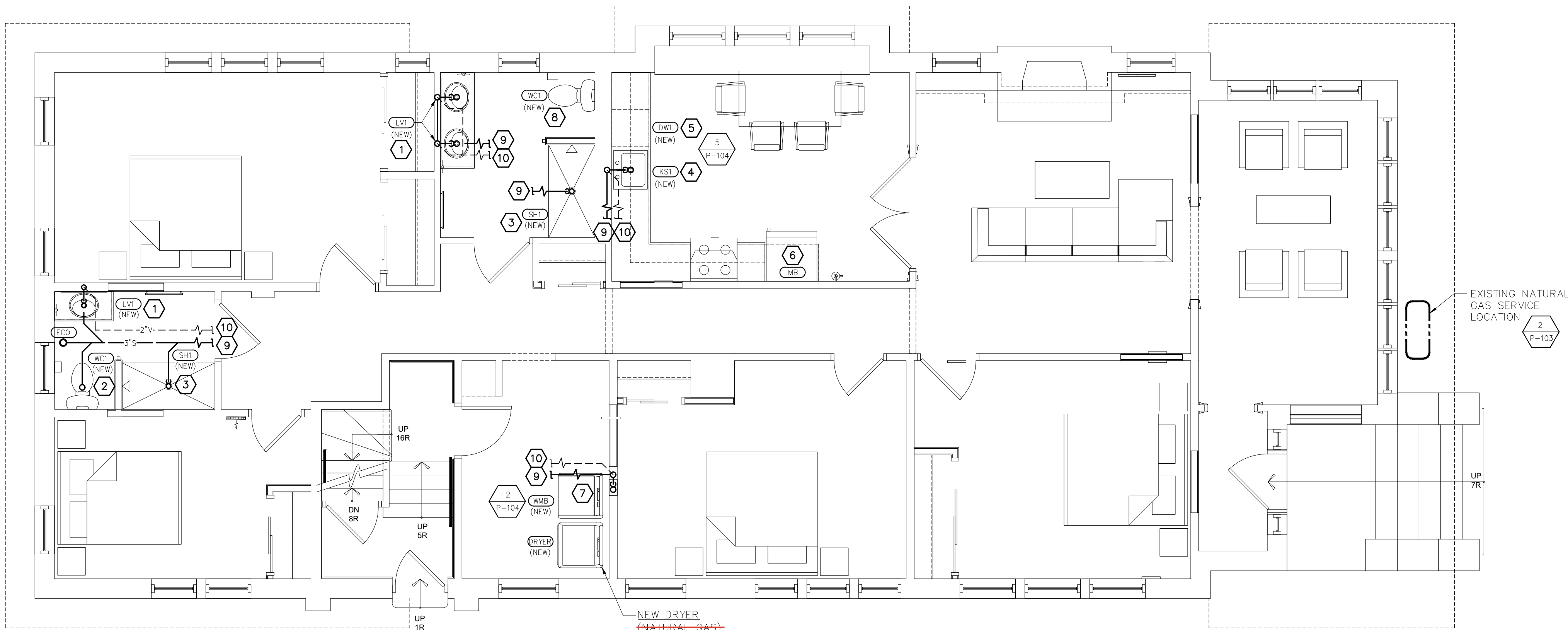
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1 **BAEMENT PLAN**  
P-101 SCALE: 1/4" = 1'-0"



2 **FIRST FLOOR PLAN**  
P-101 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- DOMESTIC WATER – REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- NATURAL GAS – REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- DETAILS – REFER TO DETAILS ON DRAWING P-104.

**PLUMBING NOTES:**

- NEW LAVATORY (LV1):
  - EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1, 2"WASTE, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
- NEW WATER CLOSET (WC1):
  - EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- NEW SHOWER (SH1):
  - EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH1, 1-1/2"DRAIN WITH TRAP TO NEW SH1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. VERIFY/PROVIDE PROPER VENTING.
  - EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH1, CONNECT PER LOCAL AND STATE CODES.
- NEW KITCHEN SINK (KS1):
  - EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.
- NEW DISHWASHER (DW1):
  - EXTEND/CUTBACK EXISTING 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTER, CONNECT PER LOCAL AND STATE CODES.
- NEW ICE MACHINE BOX (IMB):
  - NEW 3/8"DCW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.
- NEW WASHER MACHINE (WMB)
  - EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
  - EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.
- NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
  - EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
  - EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
- EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

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**95 Humboldt Parkway**  
**Buffalo, NY 14214**

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

**BASEMENT AND FIRST FLOOR PLANS**

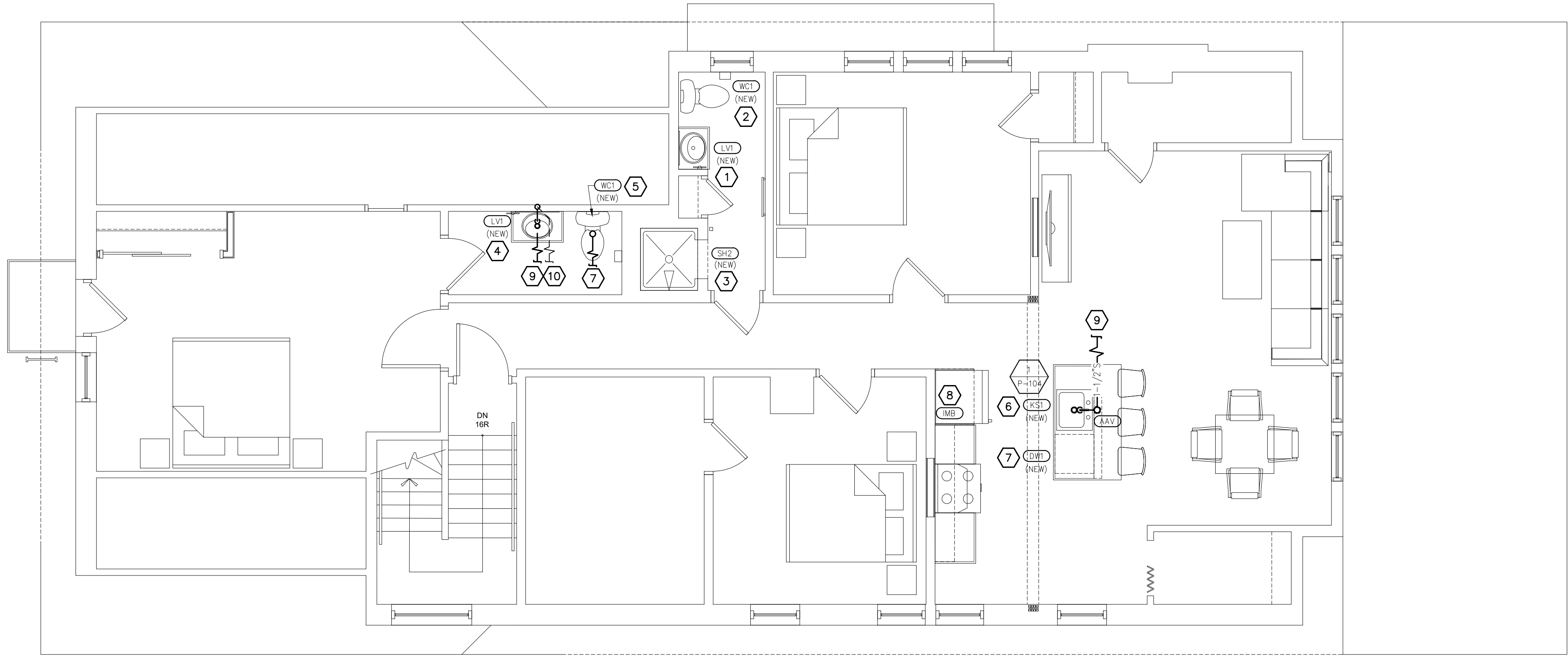


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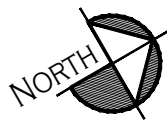
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1  
P-102 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES:**

- A. DOMESTIC WATER – REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS – REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS – REFER TO DETAILS ON DRAWING P-104.

**PLUMBING NOTES:**

- NEW LAVATORY (LV1) TO REPLACE EXISTING:
  - EXTEND/CUTBACK EXISTING 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
- NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
  - EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
  - EXTEND/CUTBACK EXISTING 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- NEW SHOWER (SH1) TO REPLACE EXISTING:
  - EXTEND/CUTBACK EXISTING 1-1/2"DRAIN WITH TRAP TO NEW SH1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH1, CONNECT PER LOCAL AND STATE CODES.
- NEW LAVATORY (LV1):
  - EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
- NEW WATER CLOSET (WC1):
  - EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- NEW KITCHEN SINK (KS1):
  - EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.
- NEW DISHWASHER (DW1):
  - EXTEND/CUTBACK EXISTING 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
  - EXTEND 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTER, CONNECT PER LOCAL AND STATE CODES.
- NEW ICE MACHINE BOX (IMB):
  - NEW 3/8"DCW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.
- EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
- EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

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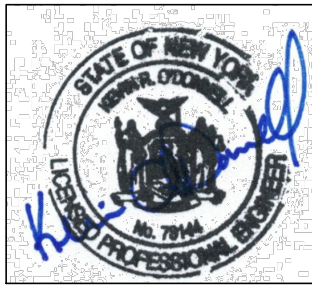
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JOB CAPT. D.Garry INTERIORS A.Nagle

**SEAL:**



**TITLE:**

**SECOND FLOOR  
PLAN**



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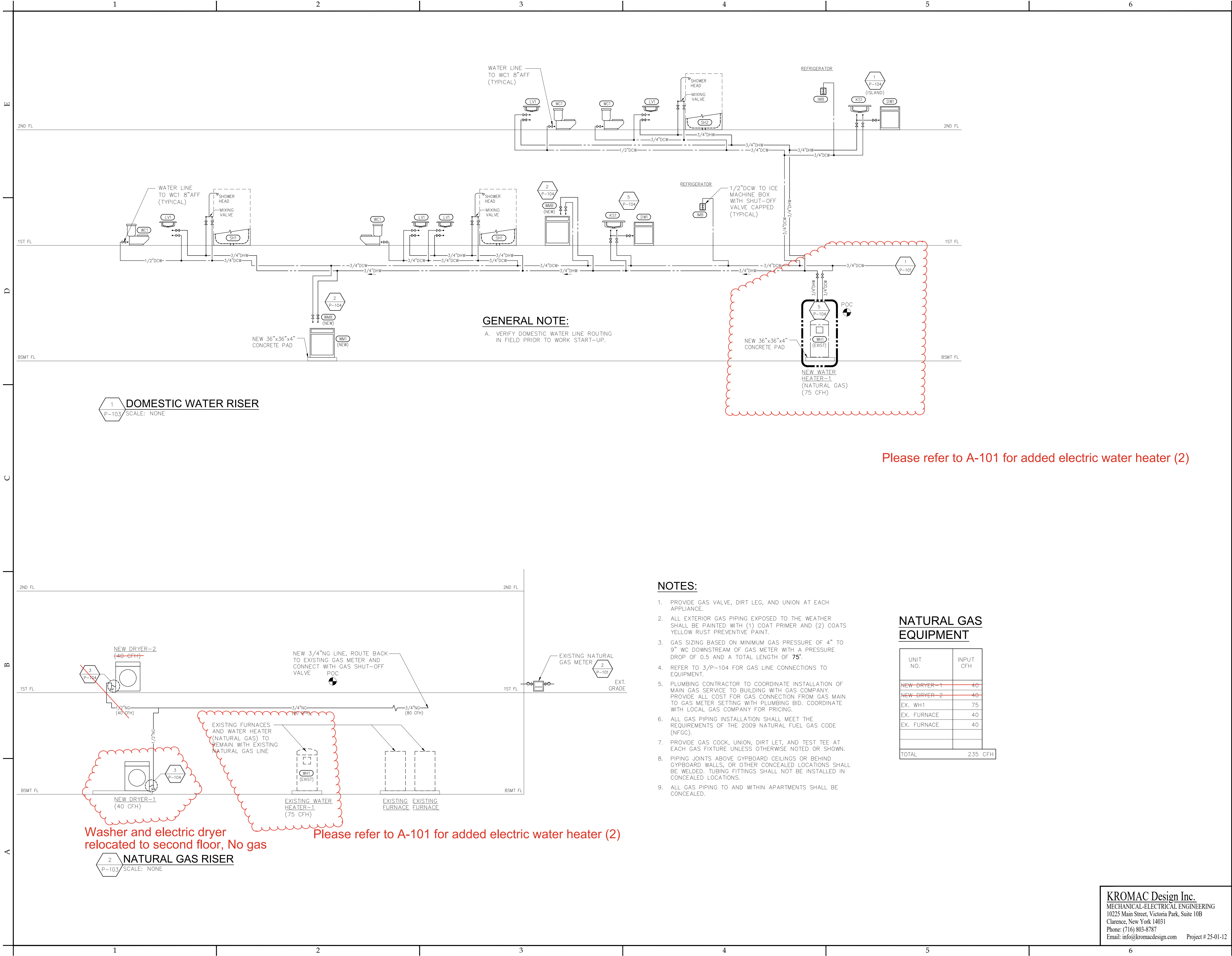
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SEAL:

TITLE:

**PLUMBING RISERS**

**SILVESTRI**  
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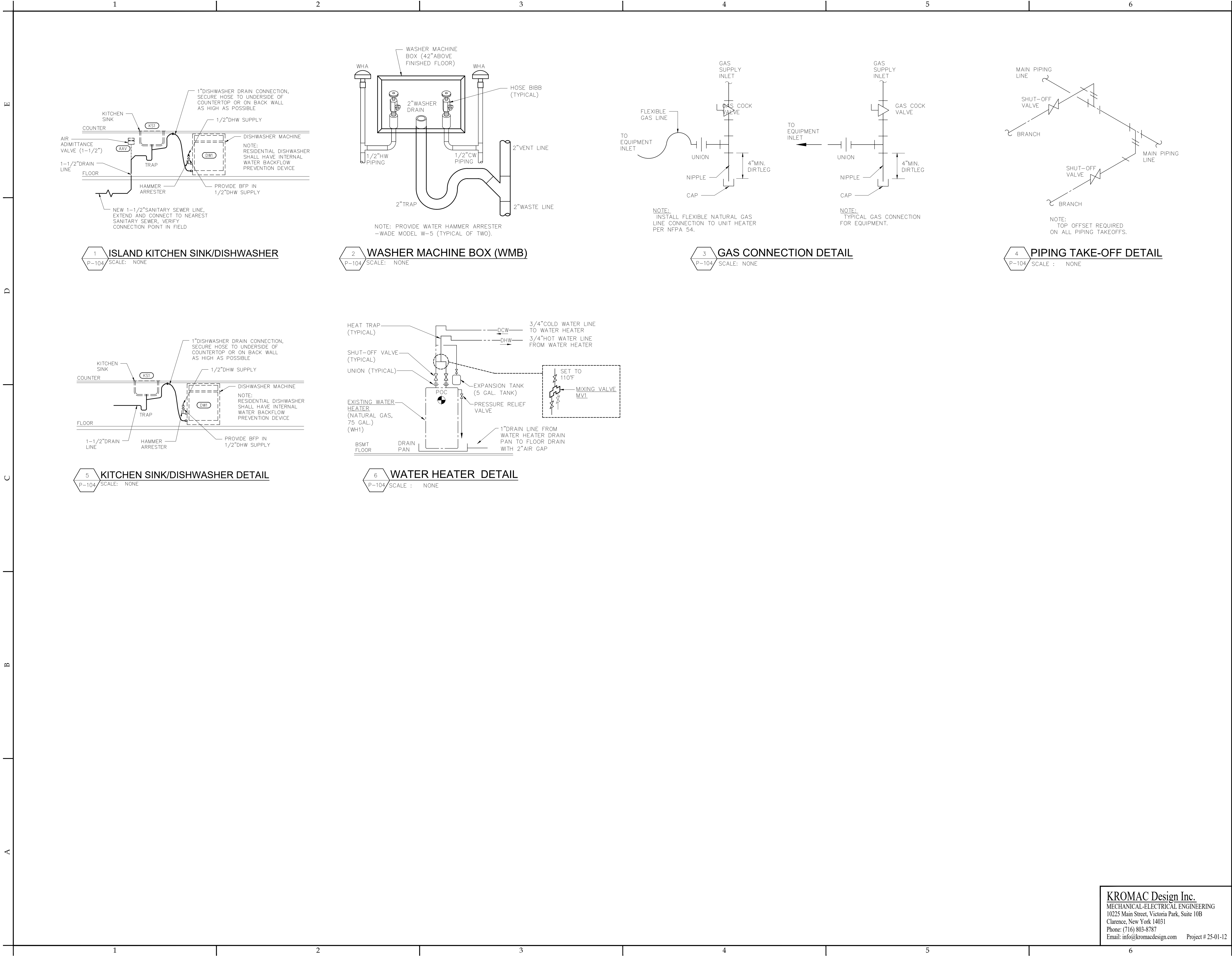
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**PLUMBING DETAILS**

**SA**

**SILVESTRI**  
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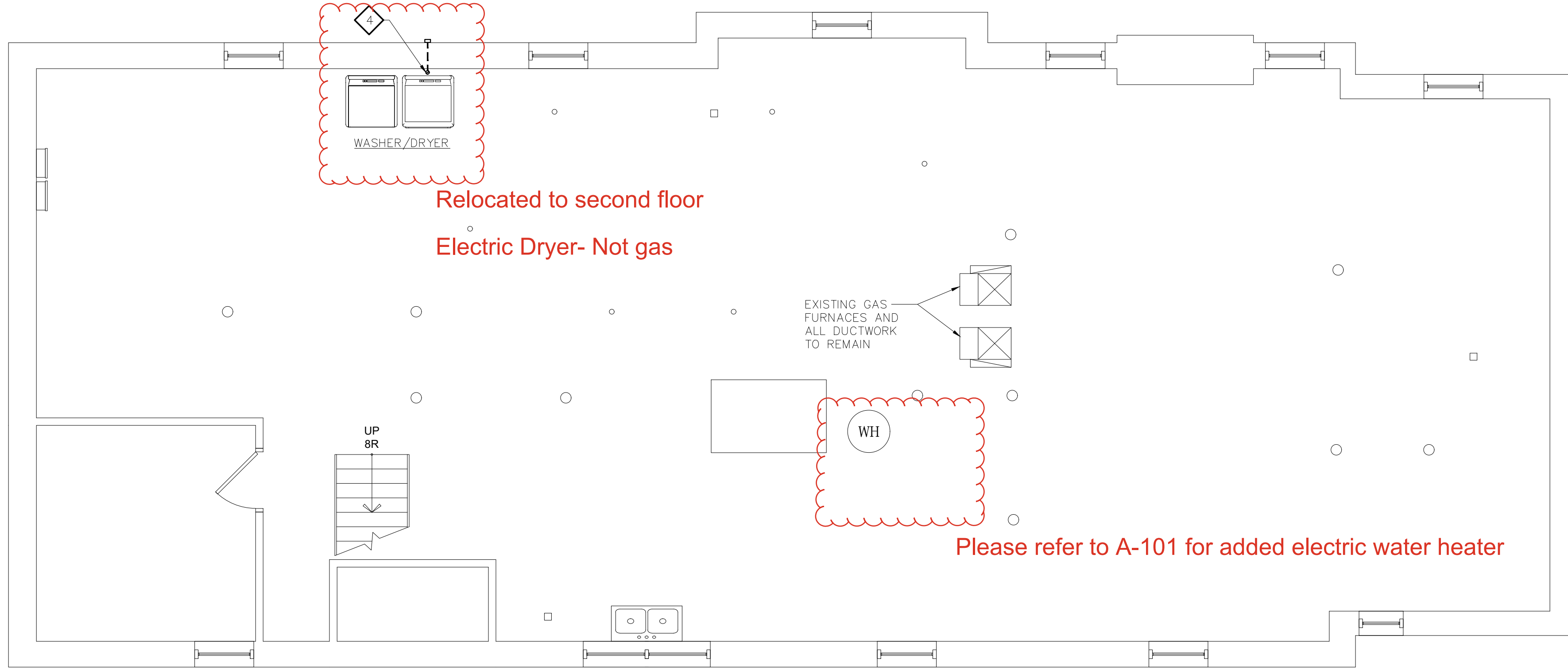
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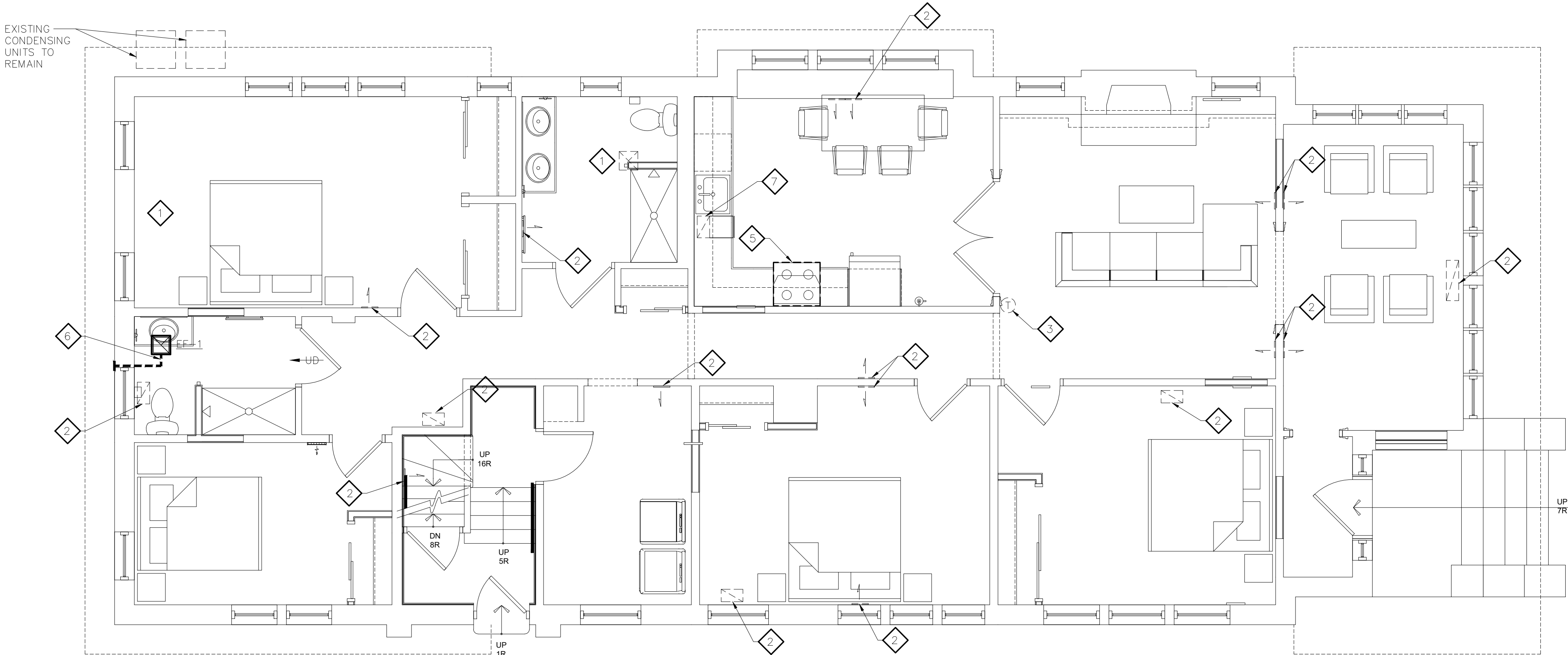








1 BASEMENT PLAN  
M=101 SCALE: 1/4" = 1'-0" NORTH



2 FIRST FLOOR PLAN  
M=101 SCALE: 1/4" = 1'-0" NORTH

- # NOTES:
- NOTES PERTAIN TO THIS DRAWING ONLY.
- EXISTING EXHAUST FAN TO REMAIN.
  - EXISTING FLOOR REGISTER/GRILLE TO REMAIN.
  - EXISTING THERMOSTAT TO REMAIN.
  - CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
  - MICROWAVE/RECIRCULATING HOOD BY OTHERS.
  - 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
  - REMOVE FLOOR REGISTER EXTEND DUCTWORK AS NEEDED AND INSTALL REGISTER IN TOE-SPACE UNDER CABINET.

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SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

BASEMENT AND  
FIRST FLOOR  
PLANS



SILVESTRI  
ARCHITECTS · PC

1321 MILLERSPORT HWY PH. 716.691.0900  
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

24101.01

DATE:

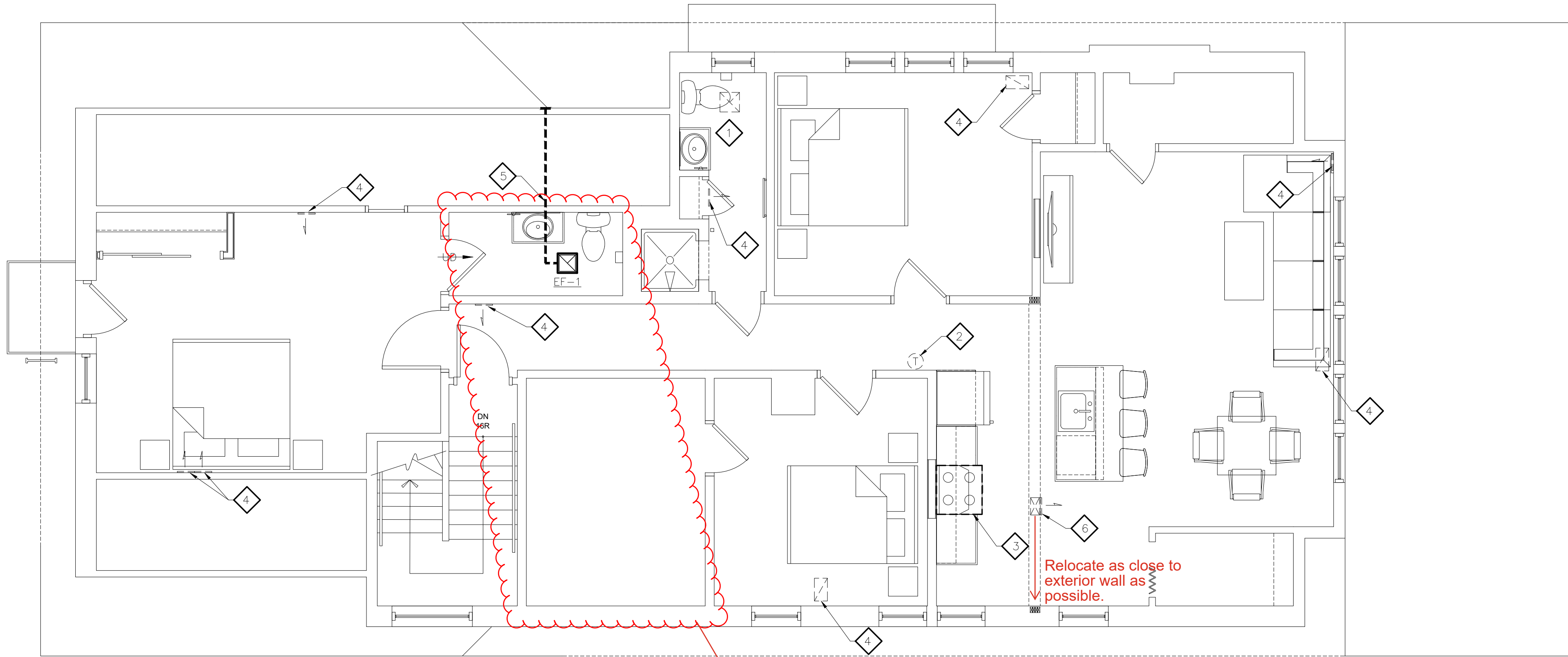
06-27-25

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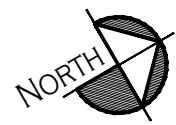
M-101

KROMAC Design Inc.  
MECHANICAL-ELECTRICAL ENGINEERING  
10225 Main Street, Victoria Park, Suite 10B  
Clarence, New York 14031  
Phone: (716) 803-8787  
Email: info@kromacdesign.com Project # 25-01-12





1 SECOND FLOOR PLAN  
M-102 SCALE: 1/4" = 1'-0"



Please see A-102 for layout changes-  
MEP updated drawings coming soon.

NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

1. EXISTING EXHAUST FAN TO REMAIN.
2. EXISTING THERMOSTAT TO REMAIN.
3. MICROWAVE/RECIRCULATING HOOD BY OTHERS.
4. EXISTING REGISTER/GRILLE TO REMAIN.
5. 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
6. REMOVE EXISTING WALL REGISTER, CUT BACK DUCT AND INSTALL NEW FLOOR REGISTER.

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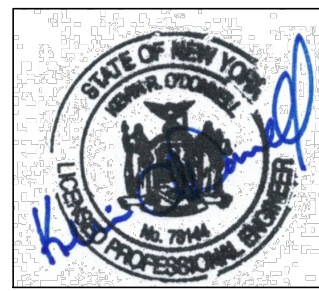
**Humboldt Pkwy  
Apartments**

**95** Humboldt Parkway  
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

**SECOND FLOOR  
PLAN**



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**06-27-25**

DRAWING #:

**M-102**



	1	2	3	4	5	6			
	<div>POWER SYMBOLS</div> <div><div><div></div><div>DUPLEX RECEPTACLE. X = BRANCH CIRCUIT NUMBER GFCI = PROTECTED BY GFI CIRCUIT BREAKER F = FURNISHED WITH EQUIPMENT COORDINATE INSTALLATION WITH MANUFACTURER SPECIFICATIONS IG = ISOLATED GROUND RECEPTACLE REFER TO DRAWING E-2 FOR SPECIFICATION. (TYP. FOR ALL RECEPTACLES)</div></div><div><div></div><div>TOP HALF OF RECEPTACLE TO BE HOT. BOTTOM HALF OF RECEPTACLE TO BE CONTROLLED BY WALL SWITCH.</div></div><div><div></div><div>DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER (GFI) WP-WEATHER PROOF WHILE IN USE COVER PLATE</div></div><div><div></div><div>SPECIAL PURPOSE RECEPTACLE X=NEMA CONFIGURATION</div></div><div><div></div><div>QUAD RECEPTACLE (TWO DUPLEX RECEPTACLES IN A TWO GANG BOX)</div></div><div><div></div><div>CEILING MOUNTED DUPLEX RECEPTACLE</div></div><div><div></div><div>SURFACE MOUNT 208/120 VOLT 3ø PANELBOARD FOR POWER.</div></div><div><div></div><div>JUNCTION BOX</div></div><div><div></div><div>○ CONDUIT UP TO ● CONDUIT DOWN TO HOME RUN TO PANELBOARD CONDUIT SLEEVE POWER OUTLET X= REFER TO MECHANICAL EQUIPMENT SCHEDULE DRAWING E-XXX.</div></div><div><div></div><div>TRANSFORMER</div></div><div><div></div><div>FUSIBLE DISCONNECT SWITCH</div></div><div><div></div><div>NON-FUSIBLE DISCONNECT SWITCH</div></div><div><div></div><div>INDICATES GANGED DEVICES</div></div><div><div></div><div>FLUSH MOUNT TELEPHONE OUTLET WITH 4 PAIR TWISTED BARE COPPER CABLE</div></div><div><div></div><div>FLUSH MONT TELEVISION OUTLET F TYPE CONNECTOR FED WITH RG-6 COAXIAL CABLE</div></div><div><div></div><div>120 VOLT COMPLETE CONNECTION</div></div><div><div></div><div>240 VOLT COMPLETE CONNECTION</div></div><div><div></div><div>EMERGENCY CALL</div></div><div><div></div><div>EMERGENCY DOME LIGHT</div></div><div><div></div><div>HANDICAP PUSH BUTTON</div></div><div><div></div><div>ELECTRIC DOOR STRIKE</div></div><div><div></div><div>CARD READER</div></div><div><div></div><div>PHOTOCELL</div></div><div><div></div><div>FIRE ALARM CONNECTION TO SPRINKLER FLOW SWITCH</div></div><div><div></div><div>FIRE ALARM CONNECTION TO SPRINKLER TAMPER SWITCH</div></div><div><div></div><div>TWIN REMOTE WEATHER PROOF HEAD. WIRED TO LOCALE LIGHTING CIRCUIT.</div></div></div> <div><div>LIGHTING SYMBOLS</div><div><div><div></div><div>LIGHTING FIXTURES, UPPERCASE LETTER INDICATES FIXTURE TYPE (SEE LIGHTING FIXTURE SCHEDULE) LOWER CASE LETTER CORRESPONDS SWITCH. NUMBER INDICATES CIRCUIT. TRACK LIGHTING 2'x4' RECESSED FLUORESCENT LUMINAIRE A--INDICATES FIXTURE TYPE REFER TO LUMINAIRE SCHEDULE ARCHITECTURAL DWGS 1--INDICATES CIRCUIT NUMBER a--INDICATES SWITCHING LEGS TYPICAL OF ALL LIGHTING FIXTURES</div></div><div><div></div><div>3--WAY SWITCH II -- INDICATES TWO SWITCHES GANCED TOGETHER a,b -- INDICATES SWITCHING LEGS K -- INDICATES KEYED SWITCH F -- FAN SPEED CONTROL SWITCH.</div></div><div><div></div><div>SAME AS ABOVE EXCEPT 4--WAY SWITCH</div></div><div><div></div><div>EMERGENCY LIGHT</div></div><div><div></div><div>"MESSENGER" PLASTIC LED EXIT SIGN WITH INNOVATIVE DOWNLIGHT, SERIES PDLEX COMPLETE WITH SNC BATTERY FOR 1.5 HRS OF OPERATION. TEST SWITCH, UNIVERSAL SNAP IN CHEVRONS, UNIVERSAL MOUNT, DAMP UL LISTED, 120 VOLTS.</div></div><div><div></div><div>CEILING MOUNTED OCCUPANCY WITH POWER PACK, WATTSTOPPER DT-200.</div></div><div><div></div><div>WALL MOUNTED OCCUPANCY SENSOR, SINGLE BUTTON, WATTSTOPPER PW-SERIES.</div></div><div><div></div><div>LIGHTING CONTACTOR</div></div><div><div></div><div>TIME CLOCK</div></div><div><div></div><div>DIMMER SWITCH</div></div></div><div><div>EQUIPMENT MOUNTING HEIGHTS:</div><div>UNLESS OTHERWISE NOTED, MOUNT DEVICES AND EQUIPMENT AT HEIGHTS MEASURED FROM FINISHED FLOOR TO DEVICE CENTERLINE AS FOLLOWS:  TOGGLE SWITCHES -- 46" MANUAL MOTOR STARTERS (ROOM EXHAUST FAN) -- 46" RECEPTACLE OUTLETS -- 18" RECEPTACLE OUTLETS ABOVE COUNTERS -- 8" ABOVE COUNTER CLOCK OUTLETS -- 104" TELEPHONE OUTLETS -- 18" WALL MOUNTED TELEPHONE OUTLET -- 46" FIRE ALARM MANUAL PULL STATION -- 46" FIRE ALARM HORN/STROBE -- 90" TO TOP OF DEVICE AND 6" &gt;BELOW FINISHED CEILING FIRE ALARM STROBE -- 80" &gt; ENTIRE LENS &lt; 96" BRANCH CIRCUIT PANELBOARDS -- 72" TO TOP OF ENCLOSURE DISTRIBUTION PANELBOARDS -- 72" TO TOP OF ENCLOSURE DISCONNECT SWITCHES -- 72" TO TOP OF ENCLOSURE MOTOR STARTERS -- 72" TO TOP OF ENCLOSURE ENCLOSED CIRCUIT BREAKERS -- 72" TO TOP OF ENCLOSURE  WHERE STRUCTURAL OR OTHER INTERFERENCES PREVENT COMPLIANCE WITH MOUNTING HEIGHTS LISTED ABOVE, CONSULT OWNER'S REPRESENTATIVE, ARCHITECT AND/OR ENGINEER IN WRITING FOR APPROVAL TO CHANGE LOCATION BEFORE INSTALLATION.</div></div></div> <div><div>ABBREVIATIONS</div><div><div><div><div>A.F.F</div><div>ABOVE FINISHED FLOOR</div></div><div><div>A.F.G</div><div>ABOVE FINISHED GROUND</div></div><div><div>AHU</div><div>AIR HANDLING UNIT</div></div><div><div>ANN</div><div>ANNUNCIATION UNIT</div></div><div><div>AWG</div><div>AMERICAN WIRE GAUGE</div></div><div><div>C</div><div>CONDUIT</div></div><div><div>CB</div><div>CIRCUIT BREAKER</div></div><div><div>DC</div><div>DIRECT CURRENT</div></div><div><div>EC</div><div>ELECTRICAL CONTRACTOR</div></div><div><div>E/F, E/F</div><div>EXHAUST FAN</div></div><div><div>EH</div><div>ELECTRIC HEATER</div></div><div><div>EM</div><div>EMERGENCY LIGHTING</div></div><div><div>EMT</div><div>ELECTRICAL METALLIC TUBING</div></div><div><div>EXH</div><div>EXHAUST</div></div><div><div>EX</div><div>EXISTING</div></div><div><div>EWC</div><div>ELECTRICAL WATER COOLER</div></div><div><div>FACP</div><div>FIRE ALARM CONTROL PANEL</div></div><div><div>GC</div><div>GENERAL CONTRACTOR</div></div><div><div>HC</div><div>HVAC CONTRACTOR</div></div><div><div>GFI</div><div>GROUND FAULT INTERRUPTER</div></div><div><div>GFCI</div><div>GROUND FAULT INTERRUPTING CIRCUIT</div></div><div><div>LTG</div><div>LIGHTING</div></div><div><div>LC</div><div>LIGHTING CONTACTOR</div></div><div><div>NEC</div><div>NATIONAL ELECTRIC CODE</div></div><div><div>NL</div><div>NIGHT LIGHT</div></div><div><div>NF</div><div>NON-FUSED</div></div><div><div>NTS</div><div>NOT TO SCALE</div></div><div><div>OC</div><div>OVER COUNTER</div></div><div><div>PVC-XXX</div><div>POLYVINYL CHLORIDE</div></div><div><div>80</div><div>= SCHEDULE 80</div></div><div><div>40</div><div>= SCHEDULE 40</div></div><div><div>SM</div><div>SURFACE MOUNT</div></div><div><div>SR</div><div>SURFACE RACEWAY</div></div><div><div>UC</div><div>UNDER CABINET</div></div><div><div>WP</div><div>WEATHER PROOF</div></div></div></div></div> <div><div>GENERAL PROJECT NOTES:</div><div><div><div>1.</div><div>ALL WORK SHALL CONFORM TO LATEST ADOPTED NATIONAL FIRE ALARM CODE (NFPA 72), NEC, NEW YORK STATE DEPARTMENT OF LABOR RULES AND REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), LOCAL CODES AND ORDINANCES, AND LIFE SAFETY CODE (NFPA 101).</div></div><div><div>2.</div><div>"WIRING" REFERS TO WIRE AND RACEWAY, (2) #12, (1) #12 GROUND IN 3/4" CONDUIT, MC, BX OR NM MAY BE USED INDOORS WHERE NOT EXPOSED, PROVIDED E.C. OBTAINS APPROVAL BY LOCAL AUTHORITY HAVING JURISDICTION IN AND LANDLORD IN WRITING PRIOR TO INSTALLATION.</div></div><div><div>3.</div><div>REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE DEVICE LOCATIONS WITH GENERAL CONTRACTORS WORK.</div></div><div><div>4.</div><div>COORDINATE LOCATION OF TEMPERATURE CONTROL PANELS WITH HC. PROVIDE 120 VOLT WIRING TO PANELS AND EQUIPMENT. LOW VOLTAGE WIRING BY OTHERS.</div></div><div><div>5.</div><div>E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL.</div></div><div><div>6.</div><div>WHERE DEVICE IS NOTED WITH 'OC' OR 'UC', PROVIDE DEVICE SO THAT BOTTOM OF OUTLET BOX IS 2" ABOVE COUNTER TOP, OF BACKSPASH. COORDINATE FINAL LOCATION WITH G.C.</div></div><div><div>7.</div><div>ALL DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE FLUSH MOUNTED WITH CONCEALED WIRING, UNLESS SHOWN OTHERWISE. COLOR AS SELECTED BY THE OWNER PRIOR TO ORDERING MATERIAL.</div></div><div><div>8.</div><div>ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL WHERE APPLICABLE.</div></div><div><div>9.</div><div>PROVIDE PVC SCHEDULE 80 FOR ALL UNDERGROUND CONDUIT AND WHEN IN CONCRETE. CONDUIT EXPOSED TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL CONDUIT.</div></div><div><div>10.</div><div>ALL WORK SHALL BE IN A NEAT AND WORKMANLIKE MANNER.</div></div><div><div>11.</div><div>ALL EQUIPMENT (i.e. CONDUIT, BACKBOXES, PANELBOARDS, LIGHTING FIXTURES, ETC.) SHALL BE SECURELY SUPPORTED FROM THE PRIMARY BUILDING STRUCTURE.</div></div><div><div>12.</div><div>E.C. IS RESPONSIBLE TO HAVE ALL WORK INSPECTED ON A REGULAR BASIS BY LOCAL AUTHORITY, PROVIDE CERTIFICATE OF APPROVED INSTALLATION UPON COMPLETION AND PAY ALL ASSOCIATED FEES.</div></div><div><div>13.</div><div>CONTACT ARCHITECT/ENGINEER OF ANY CONFLICT WITH LOCATION OF EQUIPMENT PRIOR TO INSTALLATION.</div></div><div><div>14.</div><div>FIRESTOP ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS WITH U.L. LISTED MATERIAL.</div></div><div><div>15.</div><div>CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR (1) FROM THE DATE OF ACCEPTANCE.</div></div><div><div>16.</div><div>CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.</div></div><div><div>17.</div><div>IT IS NOT THE INTENT OF THE THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.</div></div><div><div>18.</div><div>"AC" AND "MC" CABLE ARE PERMITTED PROVIDED THE FOLLOWING CRITERIA IS MET: a) THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN PERMISSION THE "AC" OR "MC" CABLE IS APPROVED BY THE OWNER. b) PROVIDED PART "a" ABOVE IS MET, THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN APPROVAL FROM THE LOCAL AUTHORITY HAVING JURISDICTION.</div></div><div><div>19.</div><div>IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING 1 WEEK PRIOR TO BID SUBMISSION.</div></div><div><div>20.</div><div>THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTING SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES, CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF EQUIPMENT.</div></div><div><div>21.</div><div>DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN ROUTING OF CONDUIT AND PLACEMENT OF EQUIPMENT, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.</div></div><div><div>22.</div><div>ELECTRICAL DEVICES (OUTLETS, SWITCHES, ETC.) SHALL BE WHITE.</div></div><div><div>23.</div><div>PANELBOARDS LOCATED WITHIN HANDICAP UNITS SHALL BE MOUNTED SO THAT THE TOP BREAKER IS MOUNTED NO HIGHER THE 48" ABOVE FINISHED FLOOR.</div></div></div></div> <div><div>GENERAL WIRING NOTES:</div><div><div><div>1.</div><div>PROVIDE A EQUIPMENT GROUND CONDUCTOR IN EACH BRANCH CIRCUIT HOMERUN.</div></div><div><div>2.</div><div>WHERE DEDICATED BRANCH CIRCUIT IS CALLED FOR PROVIDE (1) PHASE CONDUCTOR, (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR ALL IN (1) RACEWAY.</div></div><div><div>3.</div><div>MULTI-WIRE NON-DEDICATED BRANCH CIRCUITS MAY BE INSTALLED IN (1) RACEWAY WHERE (3) PHASE CONDUCTORS (PHASE A,B,&amp;C) MAY SHARE (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR.</div></div><div><div>4.</div><div>MINIMUM SHARED NEUTRAL CONDUCTOR SIZE SHALL BE #10 AWG. WHERE PHASE ARE INCREASED IN SIZE FOR VOLTAGE DROP THE NEUTRAL CONDUCTOR SHALL BE INCREASED PROPORTIONALLY.</div></div><div><div>5.</div><div>FOR (3) OR MORE CURRENT CARRYING CONDUCTORS IN A RACEWAY (INCLUDING NEUTRAL) DERATE CONDUCTORS PER NEC TABLE 310-15(b)(2)(c).</div></div><div><div>6.</div><div>120 VOLT CIRCUITS EXCEEDING 150'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND CONDUCTORS.</div></div><div><div>7.</div><div>208 VOLT CIRCUITS EXCEEDING 280'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND.</div></div><div><div>8.</div><div>ANY WIRE LOCATED IN CEILING ABOVE SECOND FLOOR TENANT TO BE PLENUM RATED.</div></div></div></div> <div><div>GENERAL NOTES (ALL DRAWINGS):</div><div><div><div>A.</div><div>CIRCUIT NUMBERS INDICATED ON THE DRAWINGS ARE SHOWN FOR THE PURPOSE OF CLARIFYING THE GROUPING OF OUTLETS. THE ACTUAL NUMBER ASSIGNED TO THE CIRCUIT IN THE PANELBOARD SHALL SUIT THE BUSSING AND BRANCH CIRCUITING TO THE PANEL. PROVIDE COMPLETE AND ACCURATE TYPEWRITTEN PANEL DIRECTORIES FOR ALL NEW AND EXISTING BRANCH CIRCUIT PANELBOARDS.</div></div><div><div>B.</div><div>LOCATIONS INDICATED FOR LIGHT FIXTURES ARE APPROXIMATE. LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING AND NEW BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSERS, SMOKE DETECTORS, etc. FIELD COORDINATE THE LOCATIONS AS NEAR AS POSSIBLE TO THOSE INDICATED ON THE PLANS. ALSO REFER TO ARCHITECTURAL REFLECTED CEILING PLANS.</div></div><div><div>C.</div><div>ALL CIRCUITING SHALL BE CONCEALED (EXCEPT IN ELECTRICAL AND MECHANICAL SPACES). ALL CONDUITS SHALL BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED CEILINGS AND CONCEALED IN WALLS UNLESS OTHERWISE INDICATED.</div></div><div><div>D.</div><div>EXACT LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS AND EXIT SIGNS SHALL BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT TO AVOID CONFLICT. LOCATE DEVICES AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF THREE (3) FEET AWAY FROM SUPPLY OR RETURN AIR GRILLES OR PER SYSTEM MANUFACTURERS INSTALLATION REQUIREMENTS AND NFPA 72.</div></div><div><div>E.</div><div>THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW OTHER TRADES PROJECT CONTRACT DOCUMENTS TO DETERMINE MOUNTING HEIGHTS FOR ELECTRICAL DEVICES OR EQUIPMENT. THE LOCATIONS FOR MECHANICAL AND PLUMBING EQUIPMENT THAT REQUIRES ELECTRICAL CONNECTIONS ARE SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS. COORDINATE EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PRIOR TO INSTALLATION.</div></div><div><div>F.</div><div>E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL.</div></div></div></div> <div><div>NOTICE</div><div>This document, the property of, prepared and issued by the architect, is submitted for the specific project namely _____ and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect. This document is the exclusive property of the architect, no right to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.</div></div> <div><div><div><div><div><div>H</div><div>HAYES</div><div>CONSTRUCTION SERVICES</div><div>New York Certified Woman-Owned Business</div></div></div></div></div></div> <div><div><div><div><div><div></div><div>DOFI PROPERTIES</div></div></div></div></div></div> <div><div>Humboldt Pkwy Apartments</div><div>95 Humboldt Parkway Buffalo, NY 14214</div></div> <div><div>ISSUE:</div><div></div></div> <div><div>SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. _____ DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle</div></div> <div><div>SEAL:</div><div><div><div>STATE OF NEW YORK</div><div>PLUMBING</div><div>NO. 7944</div><div>P. SILVESTRI</div></div></div></div> <div><div>TITLE:</div><div>ELECTRICAL LEGENDS AND NOTES</div></div> <div><div><div><div><div>SILVESTRI</div><div>ARCHITECTS • PC</div><div>1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773</div></div></div></div></div> <div><div>SA JOB #: 24101.01</div><div>DATE: 06-27-25</div></div> <div><div>DRAWING #: E-100</div></div> <div><div>KROMAC Design Inc. MECHANICAL-ELECTRICAL ENGINEERING 10225 Main Street, Victoria Park, Suite 10B Clarence, New York 14031 Phone: (716) 803-8787 Email: info@kromacdesign.com Project # 25-01-12</div></div> <tr><td></td><td>1</td><td>2</td><td>3</td><td>4</td><td>5</td><td>6</td><td></td></tr>		1	2	3	4	5	6	
	1	2	3	4	5	6			

GENERAL PROJECT NOTES:

1. ALL WORK SHALL CONFORM TO LATEST ADOPTED NATIONAL FIRE ALARM CODE (NFPA 72), NEC, NEW YORK STATE DEPARTMENT OF LABOR RULES AND REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), LOCAL CODES AND ORDINANCES, AND LIFE SAFETY CODE (NFPA 101).  
  
2. "WIRING" REFERS TO WIRE AND RACEWAY, (2) #12, (1) #12 GROUND IN 3/4" CONDUIT. MC, BX OR NM MAY BE USED INDOORS WHERE NOT EXPOSED, PROVIDED E.C. OBTAINS APPROVAL BY LOCAL AUTHORITY HAVING JURISDICTION IN AND LANDLORD IN WRITING PRIOR TO INSTALLATION.  
  
3. REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE DEVICE LOCATIONS WITH GENERAL CONTRACTORS WORK.  
  
4. COORDINATE LOCATION OF TEMPERATURE CONTROL PANELS WITH HC. PROVIDE 120 VOLT WIRING TO PANELS AND EQUIPMENT. LOW VOLTAGE WIRING BY OTHERS.  
  
5. E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL.  
  
6. WHERE DEVICE IS NOTED WITH 'oc' OR 'uc', PROVIDE DEVICE SO THAT BOTTOM OF OUTLET BOX IS 2" ABOVE COUNTER TOP, OF BACKSPLASH. COORDINATE FINAL LOCATION WITH G.C.  
  
7. ALL DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE FLUSH MOUNTED WITH CONCEALED WIRING, UNLESS SHOWN OTHERWISE. COLOR AS SELECTED BY THE OWNER PRIOR TO ORDERING MATERIAL.  
  
8. ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL WHERE APPLICABLE.  
  
9. PROVIDE PVC SCHEDULE 80 FOR ALL UNDERGROUND CONDUIT AND WHEN IN CONCRETE, CONDUIT EXPOSED TO PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL CONDUIT.  
  
10. ALL WORK SHALL BE IN A NEAT AND WORKMANLIKE MANNER.  
  
11. ALL EQUIPMENT (i.e. CONDUIT, BACKBOXES, PANELBOARDS, LIGHTING FIXTURES, ETC.) SHALL BE SECURELY SUPPORTED FROM THE PRIMARY BUILDING STRUCTURE.  
  
12. E.C. IS RESPONSIBLE TO HAVE ALL WORK INSPECTED ON A REGULAR BASIS BY LOCAL AUTHORITY, PROVIDE CERTIFICATE OF APPROVED INSTALLATION UPON COMPLETION AND PAY ALL ASSOCIATED FEES.  
  
13. CONTACT ARCHITECT/ENGINEER OF ANY CONFLICT WITH LOCATION OF EQUIPMENT PRIOR TO INSTALLATION.  
  
14. FIRESTOP ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS WITH U.L. LISTED MATERIAL.  
  
15. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR (1) FROM THE DATE OF ACCEPTANCE.  
  
16. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.  
  
17. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.  
  
18. "AC" AND "MC" CABLE ARE PERMITTED PROVIDED THE FOLLOWING CRITERIA IS MET:  
a) THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN PERMISSION THE "AC" OR "MC" CABLE IS APPROVED BY THE OWNER.  
b) PROVIDED PART "a" ABOVE IS MET, THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN APPROVAL FROM THE LOCAL AUTHORITY HAVING JURISDICTION.  
  
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING 1 WEEK PRIOR TO BID SUBMISSION.  
  
20. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTING SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF EQUIPMENT.  
  
21. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN ROUTING OF CONDUIT AND PLACEMENT OF EQUIPMENT, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.  
  
22. ELECTRICAL DEVICES (OUTLETS, SWITCHES, ETC.) SHALL BE WHITE.  
  
23. PANELBOARDS LOCATED WITHIN HANDICAP UNITS SHALL BE MOUNTED SO THAT THE TOP BREAKER IS MOUNTED NO HIGHER THE 48" ABOVE FINISHED FLOOR.

GENERAL WIRING NOTES:

1. PROVIDE A EQUIPMENT GROUND CONDUCTOR IN EACH BRANCH CIRCUIT HOMERUN.  
  
2. WHERE DEDICATED BRANCH CIRCUIT IS CALLED FOR PROVIDE (1) PHASE CONDUCTOR, (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR ALL IN (1) RACEWAY.  
  
3. MULTI-WIRE NON-DEDICATED BRANCH CIRCUITS MAY BE INSTALLED IN (1) RACEWAY WHERE (3) PHASE CONDUCTORS (PHASE A,B,&C) MAY SHARE (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR.  
  
4. MINIMUM SHARED NEUTRAL CONDUCTOR SIZE SHALL BE #10 AWG. WHERE PHASE ARE INCREASED IN SIZE FOR VOLTAGE DROP THE NEUTRAL CONDUCTOR SHALL BE INCREASED PROPORTIONALLY.  
  
5. FOR (3) OR MORE CURRENT CARRYING CONDUCTORS IN A RACEWAY (INCLUDING NEUTRAL) DERATE CONDUCTORS PER NEC TABLE 310-15(b)(2)(c).  
  
6. 120 VOLT CIRCUITS EXCEEDING 150'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND CONDUCTORS.  
  
7. 208 VOLT CIRCUITS EXCEEDING 280'-0" MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. INCLUDING EQUIPMENT GROUND.  
  
8. ANY WIRE LOCATED IN CEILING ABOVE SECOND FLOOR TENANT TO BE PLENUM RATED.

GENERAL NOTES (ALL DRAWINGS):

A. CIRCUIT NUMBERS INDICATED ON THE DRAWINGS ARE SHOWN FOR THE PURPOSE OF CLARIFYING THE GROUPING OF OUTLETS. THE ACTUAL NUMBER ASSIGNED TO THE CIRCUIT IN THE PANELBOARD SHALL SUIT THE BUSSING AND BRANCH CIRCUITING TO THE PANEL. PROVIDE COMPLETE AND ACCURATE TYPEWRITTEN PANEL DIRECTORIES FOR ALL NEW AND EXISTING BRANCH CIRCUIT PANELBOARDS.  
  
B. LOCATIONS INDICATED FOR LIGHT FIXTURES ARE APPROXIMATE. LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING AND NEW BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSERS, SMOKE DETECTORS, etc. FIELD COORDINATE THE LOCATIONS AS NEAR AS POSSIBLE TO THOSE INDICATED ON THE PLANS. ALSO REFER TO ARCHITECTURAL REFLECTED CEILING PLANS.  
  
C. ALL CIRCUITING SHALL BE CONCEALED (EXCEPT IN ELECTRICAL AND MECHANICAL SPACES). ALL CONDUITS SHALL BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED CEILINGS AND CONCEALED IN WALLS UNLESS OTHERWISE INDICATED.  
  
D. EXACT LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS AND EXIT SIGNS SHALL BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT TO AVOID CONFLICT. LOCATE DEVICES AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF THREE (3) FEET AWAY FROM SUPPLY OR RETURN AIR GRILLES OR PER SYSTEM MANUFACTURERS INSTALLATION REQUIREMENTS AND NFPA 72.  
  
E. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW OTHER TRADES PROJECT CONTRACT DOCUMENTS TO DETERMINE MOUNTING HEIGHTS FOR ELECTRICAL DEVICES OR EQUIPMENT. THE LOCATIONS FOR MECHANICAL AND PLUMBING EQUIPMENT THAT REQUIRES ELECTRICAL CONNECTIONS ARE SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS. COORDINATE EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PRIOR TO INSTALLATION.  
  
F. E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL.

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Humboldt Pkwy  
Apartments  
  
95 Humboldt Parkway  
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

ELECTRICAL  
LEGENDS AND  
NOTES

SILVESTRI  
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SA JOB #: 24101.01 DATE: 06-27-25

DRAWING #: E-100

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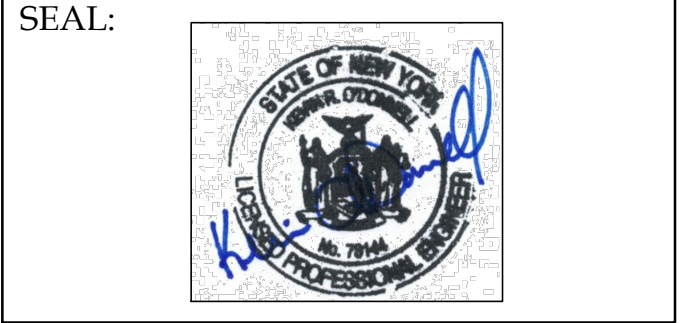
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SA PROJECT TEAM: PRINCIPAL P.Silvestri  
PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

**ELECTRICAL FLOOR PLANS - LIGHTING**

**SILVESTRI ARCHITECTS • PC**

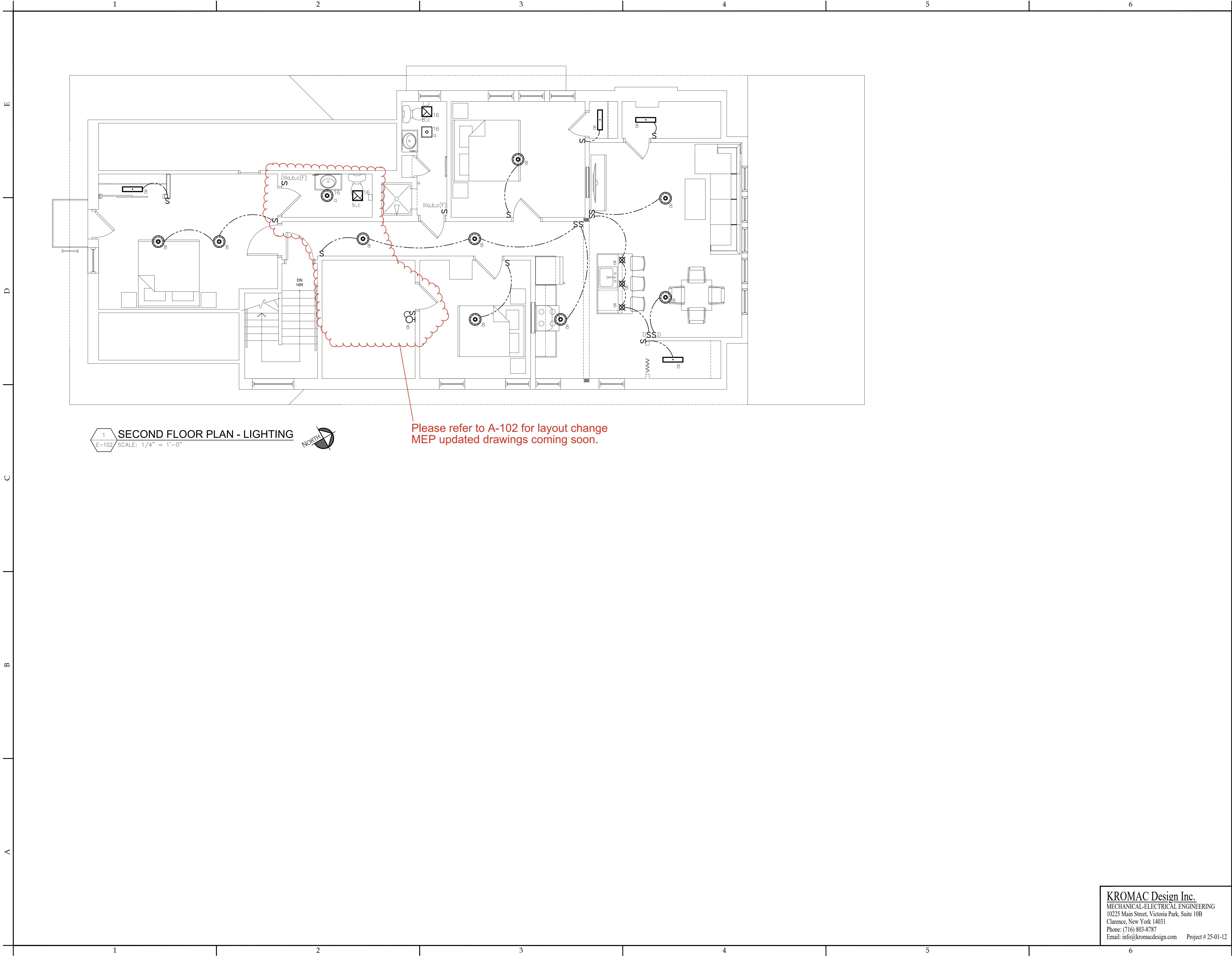
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SA JOB #: **24101.01** DATE: **06-27-25**

DRAWING #: **E-101**

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1  
E-102  
SECOND FLOOR PLAN - LIGHTING  
SCALE: 1/4" = 1'-0"  
NORTH

Please refer to A-102 for layout change  
MEP updated drawings coming soon.

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TITLE:  
**ELECTRICAL  
FLOOR PLANS -  
LIGHTING**

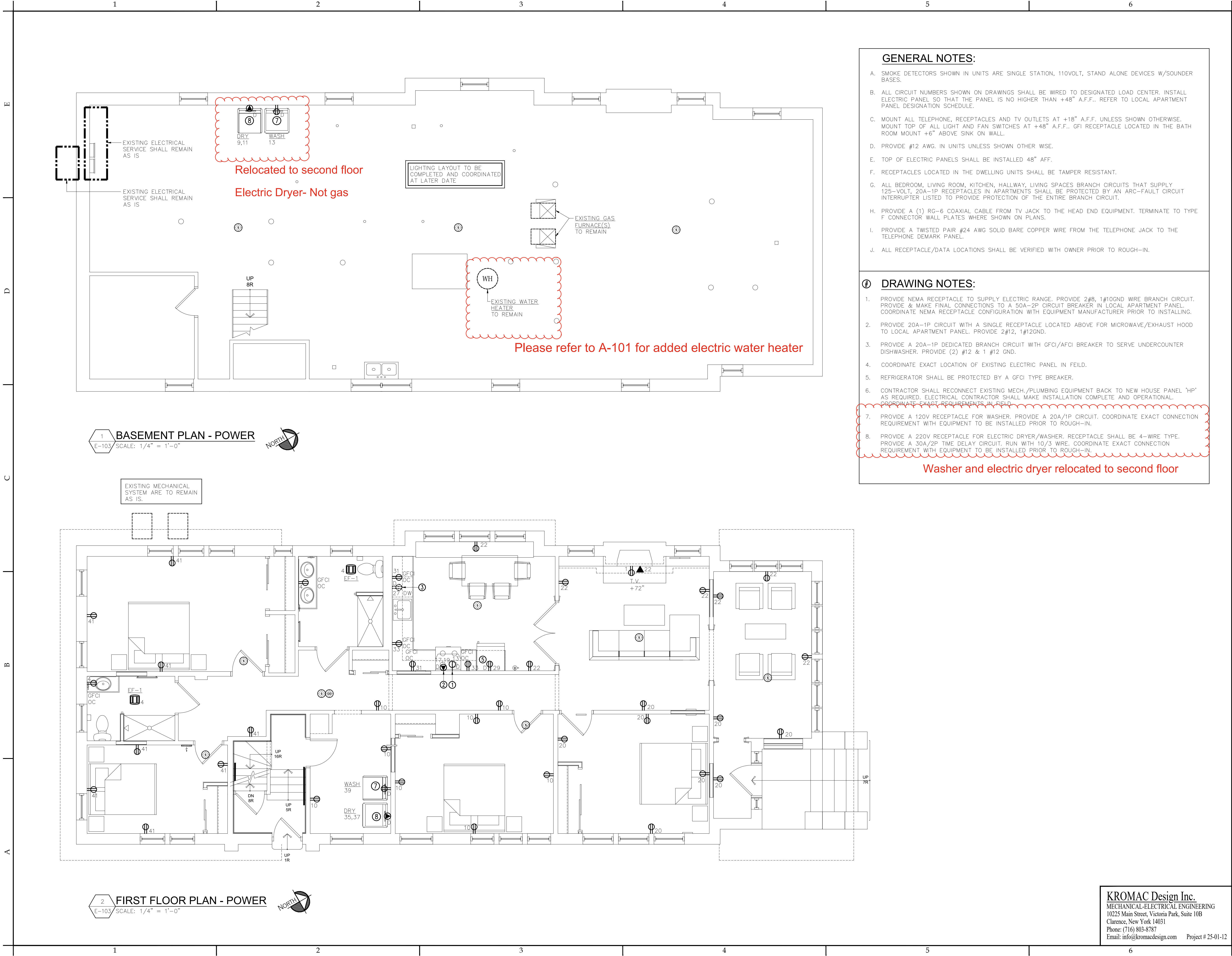


SA JOB #: 24101.01  
DATE: 06-27-25

DRAWING #: **E-102**

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**GENERAL NOTES:**

- A. SMOKE DETECTORS SHOWN IN UNITS ARE SINGLE STATION, 110VOLT, STAND ALONE DEVICES W/SOUNDER BASES.
- B. ALL CIRCUIT NUMBERS SHOWN ON DRAWINGS SHALL BE WIRED TO DESIGNATED LOAD CENTER. INSTALL ELECTRIC PANEL SO THAT THE PANEL IS NO HIGHER THAN +48" A.F.F.. REFER TO LOCAL APARTMENT PANEL DESIGNATION SCHEDULE.
- C. MOUNT ALL TELEPHONE, RECEPTACLES AND TV OUTLETS AT +18" A.F.F. UNLESS SHOWN OTHERWISE. MOUNT TOP OF ALL LIGHT AND FAN SWITCHES AT +48" A.F.F.. GFI RECEPTACLE LOCATED IN THE BATH ROOM MOUNT +6" ABOVE SINK ON WALL.
- D. PROVIDE #12 AWG. IN UNITS UNLESS SHOWN OTHER WISE.
- E. TOP OF ELECTRIC PANELS SHALL BE INSTALLED 48" AFF.
- F. RECEPTACLES LOCATED IN THE DWELLING UNITS SHALL BE TAMPER RESISTANT.
- G. ALL BEDROOM, LIVING ROOM, KITCHEN, HALLWAY, LIVING SPACES BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 20A-1P RECEPTACLES IN APARTMENTS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- H. PROVIDE A (1) RG-6 COAXIAL CABLE FROM TV JACK TO THE HEAD END EQUIPMENT. TERMINATE TO TYPE F CONNECTOR WALL PLATES WHERE SHOWN ON PLANS.
- I. PROVIDE A TWISTED PAIR #24 AWG SOLID BARE COPPER WIRE FROM THE TELEPHONE JACK TO THE TELEPHONE DEMARK PANEL.
- J. ALL RECEPTACLE/DATA LOCATIONS SHALL BE VERIFIED WITH OWNER PRIOR TO ROUGH-IN.

**DRAWING NOTES:**

- 1. PROVIDE NEMA RECEPTACLE TO SUPPLY ELECTRIC RANGE. PROVIDE 2#8, 1#10GND WIRE BRANCH CIRCUIT. PROVIDE & MAKE FINAL CONNECTIONS TO A 50A-2P CIRCUIT BREAKER IN LOCAL APARTMENT PANEL. COORDINATE NEMA RECEPTACLE CONFIGURATION WITH EQUIPMENT MANUFACTURER PRIOR TO INSTALLING.
- 2. PROVIDE 20A-1P CIRCUIT WITH A SINGLE RECEPTACLE LOCATED ABOVE FOR MICROWAVE/EXHAUST HOOD TO LOCAL APARTMENT PANEL. PROVIDE 2#12, 1#12GND.
- 3. PROVIDE A 20A-1P DEDICATED BRANCH CIRCUIT WITH GFCI/AFCI BREAKER TO SERVE UNDERCOUNTER DISHWASHER. PROVIDE (2) #12 & 1 #12 GND.
- 4. COORDINATE EXACT LOCATION OF EXISTING ELECTRIC PANEL IN FEILD.
- 5. REFRIGERATOR SHALL BE PROTECTED BY A GFCI TYPE BREAKER.
- 6. CONTRACTOR SHALL RECONNECT EXISTING MECH./PLUMBING EQUIPMENT BACK TO NEW HOUSE PANEL 'HP' AS REQUIRED. ELECTRICAL CONTRACTOR SHALL MAKE INSTALLATION COMPLETE AND OPERATIONAL. COORDINATE EXACT REQUIREMENTS IN FIELD.
- 7. PROVIDE A 120V RECEPTACLE FOR WASHER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
- 8. PROVIDE A 220V RECEPTACLE FOR ELECTRIC DRYER/WASHER. RECEPTACLE SHALL BE 4-WIRE TYPE. PROVIDE A 30A/2P TIME DELAY CIRCUIT. RUN WITH 10/3 WIRE. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.

Washer and electric dryer relocated to second floor

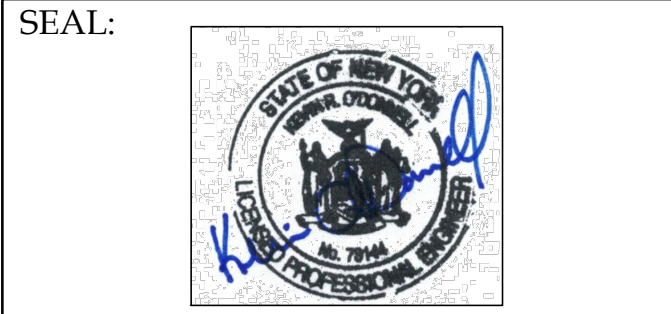
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PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:  
**ELECTRICAL FLOOR PLANS - POWER**

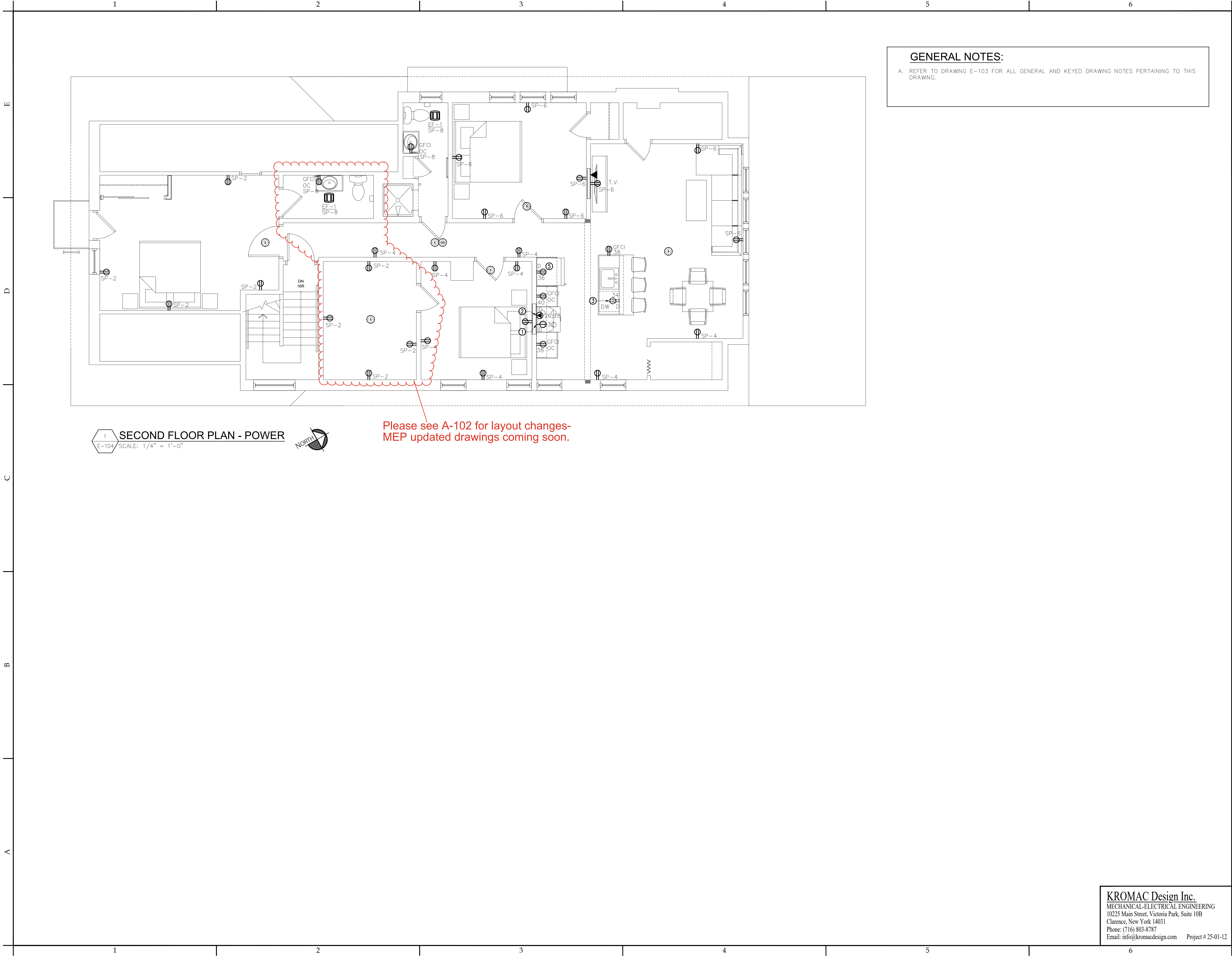
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SA JOB #: 24101.01 DATE: 06-27-25

DRAWING #: E-103

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**GENERAL NOTES:**

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

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TITLE:

**ELECTRICAL  
FLOOR PLAN -  
POWER**



**SILVESTRI  
ARCHITECTS - PC**

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**06-27-25**

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**E-104**

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E  
D  
C  
B  
A

MECHANICAL EQUIPMENT CONNECTION SCHEDULE												
EQUIPMENT / MOTOR DATA						SOURCE PROTECTION DEVICE				BRANCH CIRCUIT CONDUIT & WIRE		REFERENCE NOTES
EQUIPMENT DESIGNATION RTU-1 (M)	LOCATION	HP	MCA	PHASE	VOLTS	BREAKER	POLE	PANELBOARD SOURCE	CIRCUIT NO.	QUANTITIES AND SIZE		
EF-1*	EXHAUST FAN	RESTROOM	-	20.0W	1	115	20	1	AP1/AP2	SEE PNL SCHED	2#12 & 1#12 IN 1/2" C	1,2
<b><u>WIRING SCHEDULE GENERAL NOTES</u></b>												
A. EC SHALL BE RESPONSIBLE TO VERIFY ALL CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERES, ETC.) OF MECHANICAL EQUIPMENT PRIOR TO CONNECTION AGAINST APPROVED SHOP DRAWINGS.												
B. *INDICATED MULTIPLE UNITS.												
<b><u>WIRING SCHEDULE REFERENCE NOTES</u></b>												
1. EC SHALL PROVIDE AND INSTALL HACR TYPE CIRCUIT BREAKER.												
2. FAN CONTROLLED BY WALL SWITCH.												

EXISTING (2) ELECTRIC PANELS TO BE RE-USED. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION. CIRCUIT SHOWN ARE FRO REFERENCE ONLY

MOUNTING SURFACE				LOADCENTER				"LP"				MAIN: EXIST									
120 / 240 VOLTS				1 Ø 3 WIRE				A.I.C. RATING: 10,000				BUS: 200A									
DESCRIPTION	WIRE & CONDUIT SIZE	EQ. NUM.	WATTS			LIGHTS	KITCHEN REC/SPR	MISC	BRKR	CIRCUIT	CIRCUIT	BRKR	MISC	REC/SPR	KITCHEN LIGHTS	WATTS			WIRE & CONDUIT SIZE	EQ. NUM.	DESCRIPTION
			Ø A	Ø B	Ø C											Ø A	Ø B	Ø C			
SUB-PANEL									X	50/2	1	2	15/1		X						LIGHTING
									X		3	4	15/1		X						LIGHTING
MECH									X	30/2	5	6	15/1	X							FURNACE
									X		7	8	15/1		X						LIGHTING
BASEMENT RECLIGHT									X	20/1	9	10	20/1				1440				RECEPTACLES
									X		11	12	20/1	X							BASEMENT RECLIGHT
DRYER									X	30/2	13	14	20/1	X							BASEMENT RECLIGHT
WASHER									X	15/1	15	16	15/1	X							TOILET ROOMS
									X		17	18	15/1	X							FURNACE
RANGE									X	50/2	19	20	20/1	X			1440				RECEPTACLES
									X		21	22	20/1	X			1440				RECEPTACLES
MECH									X	30/2	23	24	20/1	X				1440			BASEMENT RECLIGHT
									X		25	26	50/2	X							RANGE
MICROWAVE									X	20/1	27	28		X							SMOKE DETECTORS
DISHWASHER									X	20/1	29	30	20/1	X							MICROWAVE
REFRIGERATOR									X	20/1	31	32	20/1	X							DISHWASHER
RECEPTACLES									X	20/1	33	34	20/1	X							REFRIGERATOR
									X	30/2	35	36	20/1	X							RECEPTACLES
DRYER									X		37	38	20/1	X							RECEPTACLES
WASHER									X	20/1	39	40	20/1	X							SPACE
RECEPTACLES									X	20/1	41	42									SPACE
PANEL LOAD ANALYSIS																					
TOTAL WATTS ØA= 0										ITEM		LOAD		DIVERSITY		DEMAND					
TOTAL WATTS ØB= 2,880										LIGHTING		0.00 KW		125 %		0.00 KW					
TOTAL WATTS ØC= 1,440										KITCHEN		0.00 KW		65 %		0.00 KW					
TOTAL LOAD (WATTS)= 4,320										RECEPT/SPARES		4.32 KW		100 %		4.32 KW					
TOTAL AMPS = 12.00										MISCELLANEOUS		0.00 KW		100 %		0.00 KW					
										TOTAL		4.32 KW									
**ALL LIGHTING CIRCUIT WITH EMERGENCY LIGHTING SHALL BE ON A LOCKABLE TYPE BREAKER																					

MOUNTING: SURFACE										LOADCENTER										"SP"										MAIN: EXIST			
120 / 240 VOLTS										1 Ø 3 WIRE										A.I.C. RATING: 10,000										BUS: 50A			
DESCRIPTION		WIRE & CONDUIT SIZE	EQ. NUM.	WATTS			LIGHTS	KITCHEN REC/SPR	MISC	BRKR	CIRCUIT	CIRCUIT	BRKR	MISC	REC/SPR	LIGHTS	WATTS			WIRE & CONDUIT SIZE	EQ. NUM.	DESCRIPTION											
				Ø A	Ø B	Ø C											Ø A	Ø B	Ø C														
SPARE										20/1	1	2	20/1	X				1440					RECEPTACLES										
SPARE										20/1	3	4	20/1	X				1440					RECEPTACLES										
SPARE										20/1	5	6	20/1	X					1440				RECEPTACLES										
SPARE										20/1	7	8	20/1	X	X			1000					TOILET ROOMS										
FIRE ALARM										15/1	9	10	20/1										SPARE										
IT PANEL										20/1	11	12	20/1										SPARE										
SPACE											13	14											SPACE										
SPACE											15	16											SPACE										
PANEL LOAD ANALYSIS																																	
*ALL LIGHTING CIRCUIT WITH EMERGENCY LIGHTING SHALL BE ON A LOCKABLE TYPE BREAKER												TOTAL WATTS Ø A = 2,940											ITEM				LOAD		DIVERSITY		DEMAND		
												TOTAL WATTS Ø B = 1,440											LIGHTING				0.00 KW		125 %		0.00 KW		
												TOTAL WATTS Ø C = 1,440											KITCHEN				0.00 KW		65 %		0.00 KW		
												TOTAL LOAD (WATTS) = 5,820											RECEPT/SPARES				5.32 KW		100 %		5.32 KW		
												TOTAL AMPS = 16.17											MISCELLANEOUS				1.00 KW		100 %		1.00 KW		
												TOTAL											6.32 KW				6.32 KW						

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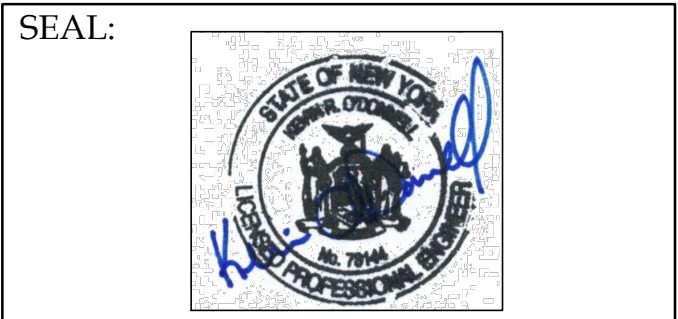
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ISSUE:

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PROJ. ARCH. \_\_\_\_\_ DRAFTER B.Pacos  
JOB CAPT. D.Garry INTERIORS A.Nagle



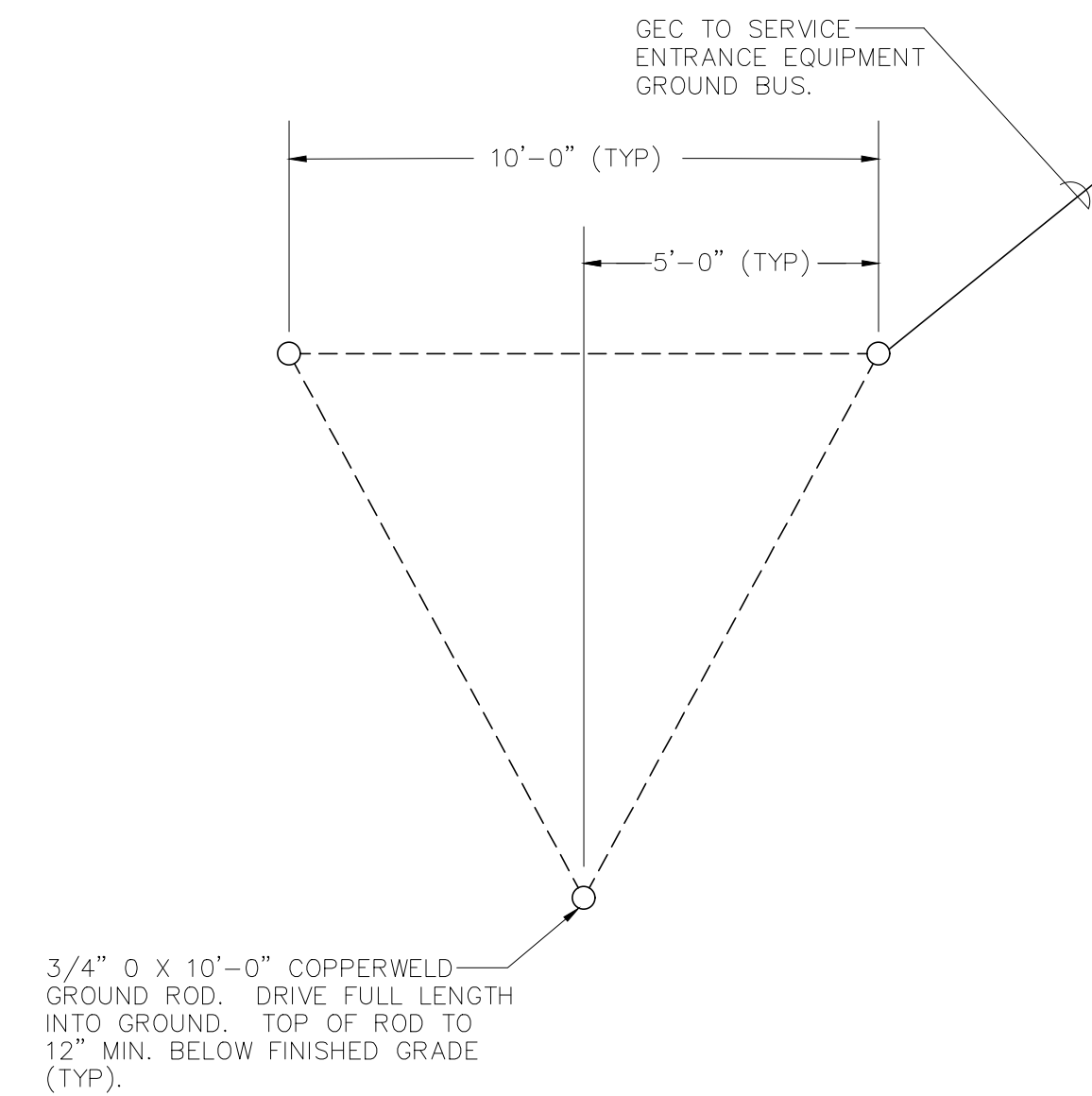
TITLE:  
ELECTRICAL  
SCHEDULES

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SA JOB #: 24101.01  
DATE: 06-27-25

DRAWING #: E-105





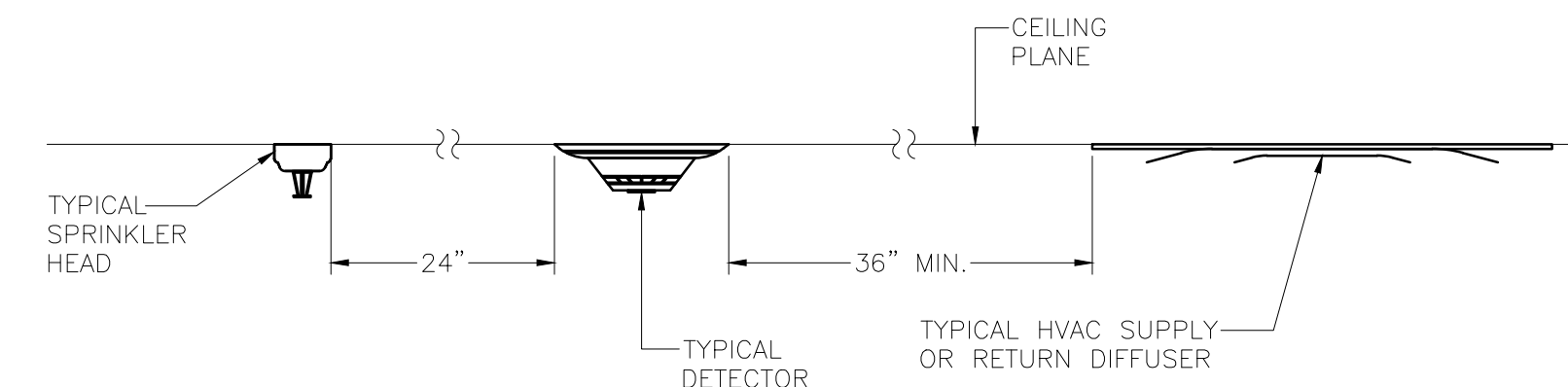
1. MAIN BONDING JUMPER #4 AWG.
2. GROUND ELECTRODE SYSTEM BONDING JUMPER CONDUCTOR #6 AWG.
3. GROUNDED (NEUTRAL) CONDUCTOR (REFER TO ONE LINE DIAGRAM FOR SIZE)
4. GROUNDING ELECTRODE SYSTEM BONDING JUMPER CONDUCTOR #4 AWG.
5. GROUNDING ELECTRODE SYSTEM BONDING JUMPER CONDUCTOR #4 AWG.
6. GROUNDING ELECTRODE SYSTEM BONDING JUMPER CONDUCTOR #4 AWG, COPPER WIRE.
7. GROUNDING ELECTRODE SYSTEM BONDING JUMPER CONDUCTOR #4 AWG, COPPER WIRE.

A. PROVIDE ADDITIONAL RODS AND INTERCONNECTIONS AS NECESSARY TO OBTAIN SPECIFIED MAXIMUM RESISTANCE TO GROUND PER N.E.C.

B. SIZE PER LATEST ADOPTED NEC TABLE 250.122.

C. ALL GROUNDING ELECTRODE SYSTEMS TO BE CONNECTED TOGETHER PER LATEST ADOPTED NEC TABLE 250.58.

2 ELECTRODE GROUND TRI-ROD DETAIL  
E-106 SCALE : NOT TO SCALE



# SMOKE DETECTOR INSTALLATION CLEARANCES

[illegible]

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## ELECTRICAL DETAILS



06-27-25

E-106

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Project # 25-01-12



ELECTRICAL SPECIFICATIONS

BASIC ELECTRICAL REQUIREMENTS

~~A. THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS, AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS WORK.~~

B. "THE CONTRACTOR", "THIS CONTRACTOR", "EC", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL", "SUPPLY", AND "INSTALL", AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.

C. WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.

D. CODES AND STANDARDS:

1. NEW YORK STATE BUILDING CODE
2. NFPA STANDARDS
3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES
4. STATE CONSERVATION CONSTRUCTION CODE
5. LATEST ADOPTED NATIONAL ELECTRICAL CODE

E. THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO:

1. BRANCH CIRCUIT WIRING AND RACEWAYS
2. WIRING DEVICES
3. DISCONNECTS
4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT
5. GROUNDING AND BONDING
6. LIGHTING FIXTURES AND LAMPS
7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT DEVICES, AND FEEDERS
8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK
9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, CONTROL PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS

F. PAY FOR ALL PERMITS, INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.

G. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).

H. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).

I. ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).

J. THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATIONS. WHERE STRUCTURAL CONDITIONS ENCOUNTERED NECESSITATE MINOR CHANGES, THESE SHALL BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT. WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.

K. NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING CONCRETE, ETC.

L. DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS. INSTALL ALL SLEEVES NECESSARY FOR THE WORK. WHEREVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR. RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATERTIGHT BY THIS CONTRACTOR.

M. THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.

N. PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE SURFACES WITH THE WALLS. THIS CONTRACTOR SHALL PAY FOR ALL NECESSARY PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.

O. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED TO:

1. TEMPORARY POWER DISTRIBUTION
2. LAMP SOCKETS AND LAMPS
3. OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS
4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION

P. THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.

Q. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

R. PROVIDE PRODUCT DATA, CATALOG OUT SHEETS WITH MFG. SPECIFICATIONS FOR REVIEW BY ARCH./ENGR. FOR THE FOLLOWING ITEMS:

1. PANELBOARDS
2. SAFETY DISCONNECT SWITCHES
3. OUTLET BOXES
4. FITTINGS
5. LIGHTING FIXTURES
6. LAMPS
7. CONDUCTORS
8. DEVICES
9. TIME SWITCHES
10. TRANSFORMERS
11. FIRE ALARM SYSTEM

S. PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.

T. MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB.

U. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75° C OPERATION.

RACEWAYS AND FITTINGS

A. WHERE CALLED FOR ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE-THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR LEW.

B. WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.

C. ALL FEEDERS AND BRANCH CIRCUIT HOMERUNS SHALL BE INSTALLED IN EMT. WHERE ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.

D. FOR USE IN UNFINISHED AREAS: WIRE IN SURFACE MOUNTED RGS CONDUIT.

E. FOR OUTDOOR USE: WIRE IN THREADED, RIGID STEEL CONDUIT.

F. FOR UNDERGROUND USE: WIRE IN SCHEDULE 80 RIGID PVC NONMETALLIC CONDUIT.

G. FOR FINAL CONNECTION IN DAMP OR WET LOCATIONS: LIQUID TIGHT FLEXIBLE METAL CONDUIT, WITH LISTED FITTINGS.

H. NOT USED

I. IN ALL INSTANCES, INCLUDE A SEPARATE GROUNDING CONDUCTOR IN EACH FEEDER AND BRANCH CIRCUIT, SIZE PER NEC.

J. FURNISH ALL FITTINGS REQUIRED, BUT NOT LIMITED TO: BUSHINGS TO PREVENT WIRE ABRASION; SINGLE-AND MULTIPLE-GANG BOXES TO ACCOMMODATE DEVICE INSTALLATION; ADAPTERS FROM CONDUIT TO RACEWAY; TRANSITIONS TO BOTH LARGER AND SMALLER SURFACE METAL RACEWAYS; 90 DEGREE ELBOWS, TEES, FUTURE BOXES, AND FLEXIBLE SECTIONS.

K. SURFACE METAL RACEWAY AND FITTINGS SHALL MEET ALL REQUIREMENTS OF NEC ARTICLE 352A AND SHALL BE UL LISTED.

L. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION, INSTALLATION, AND LOCATION OF ALL NECESSARY AND REQUIRED INSERTS, SUPPORTS, AND ANCHOR BOLTS, AND FOR A SATISFACTORY RACEWAY SYSTEM UPON COMPLETION OF THE PROJECT.

M. WHERE ANY COMPONENT OF THE RACEWAY SYSTEM IS DAMAGED PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE SAME OR PROVIDE A NEW RACEWAY SYSTEM, AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.

N. CONDUITS SHALL BE RUN TO AVOID ADVERSE CONDITIONS SUCH AS HEAT AND MOISTURE AND TO AVOID ALL MATERIALS AND EQUIPMENT OF OTHER TRADES. CONDUITS SHALL MAINTAIN A MINIMUM CLEARANCE OF SIX INCHES FROM ALL HOT WATER PIPES, FLUES, OR HIGH TEMPERATURE PIPING OR DUCTWORK. SHOULD IT BE FOUND NECESSARY TO INSTALL CONDUIT CLOSER THAN THIS TO HOT WATER PIPES AN INSULATING COVERING SHALL BE USED TO PROTECT THE CONDUIT FROM HIGH TEMPERATURE.

O. RACEWAYS SHALL NOT BE SMALLER THAN THE SIZE REQUIRED BY THE NATIONAL ELECTRICAL CODE FOR THE CONDUCTORS ENCLOSED AND SHALL BE LARGER WHERE SO SPECIFIED OR INDICATED ON THE PLANS.

P. ALL EXPOSED RUNS OF CONDUIT SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO WALLS OR CEILINGS. SUPPORTS SHALL BE FROM THE MASONRY OR STEEL STRUCTURE RATHER THAN FROM OTHER MECHANICAL WORK SUCH AS DUCTS, PIPING, ETC., IN ACCORDANCE WITH GOOD INDUSTRY PRACTICE IN A MANNER ACCEPTABLE TO THE ARCHITECT.

Q. SUPPORTS AND ATTACHMENTS PROVIDED SHALL BE SPECIFICALLY DESIGNED FOR APPLICATIONS, PERFORATIONS, HANGERS OR WIRE TIE SUPPORTS ARE NOT ACCEPTABLE. ALL HANGERS AND SUPPORTS SHALL HAVE CORROSION RESISTANT FINISH.

R. ALL CONDUITS AND RACEWAYS PASSING THROUGH WALLS, FLOORS, AND CEILINGS SHALL BE SLEEVED WITH A PIECE OF SCHEDULE 40 GALVANIZED STEEL PIPE WITH PLAIN ENDS; ALL SLEEVES SHALL BE SEALED WATERTIGHT USING A MATERIAL SIMILAR IN APPEARANCE TO THE SURROUNDING AREA OR APPROVED MATERIAL.

S. CONDUITS EXTENDING THROUGH ROOFS SHALL BE EQUIPPED WITH PITCH POCKETS.

~~T. ALL EMPTY RACEWAYS SHALL BE PROVIDED WITH A NON-CONDUCTIVE~~

~~U. ALL CONDUIT PASSING THROUGH A FIRE ZONE SHALL HAVE A FIRE RATED~~

~~V. CONDUIT SHALL BE INSTALLED SO THAT A CONTINUOUS GROUNDING SYSTEM WILL BE MAINTAINED FROM THE FURTHEMOST OUTLET TO THE ESTABLISHED WATER PIPE GROUND.~~

W. CONDUITS, UNILETS, OR SIMILAR APPROVED TYPE FITTINGS SHALL BE USED ON EXPOSED WORK WHERE CONDUIT CHANGES DIRECTION AND WHERE BENDS WILL NOT MAKE A NEAT JOB.

X. EXPOSED CONDUIT SHALL BE SECURELY FASTENED TO THE BUILDING AT TWO-FOOT MINIMUM INTERVALS, USING APPROVED HANGERS, STRAPS, CLAMPS, OR SCREWS. WOOD PLUGS SHALL NOT BE USED FOR FASTENING PURPOSES. CONDUIT RUN ABOVE HUNG CEILING OR IN CRAWL SPACES SHALL BE SUPPORTED IN THE SAME MANNER AS FOR EXPOSED RUNS. WIRE TIES ARE NOT ACCEPTABLE SUPPORTS.

Y. CARE SHALL BE EXERCISED TO MAKE CERTAIN THAT THE CONDUIT SYSTEM NOW PLANNED WILL PERMIT REMOVAL OF CONDUCTORS FOR FUTURE CHANGES AS MAY BE REQUIRED. ALTHOUGH UP TO FOUR 90 DEGREE BENDS ARE PERMITTED BY THE NATIONAL ELECTRICAL CODE, THE PRACTICE OF USING MORE THAN THREE 90 DEGREE BENDS PER RUN SHALL BE AVOIDED. PULL BOXES SHALL BE USED IF AT ALL FEASIBLE.

Z. PULLBOXES SHALL BE INSTALLED AT 100 FOOT INTERVALS IN LONG STRAIGHT RUNS. CLOSE NIPPLES WILL NOT BE PERMITTED.

AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.

THE REQUIRED STRENGTH OF THE SUPPORTING EQUIPMENT AND THE SIZE AND TYPE OF ANCHORS SHALL BE BASED ON THE COMBINED WEIGHT OF CONDUIT, HANGERS, AND CONDUCTORS. THE USE OF PERFORATED IRON STRAPS FOR SUPPORTING CONDUITS WILL NOT BE PERMITTED.

BB. SINGLE RUNS:

1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS
  2. IN HOLLOW MASONRY; EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY; MACHINE SCREWS OR BOLTS IN METAL RACEWAYS; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE PERMITTED.
  3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS.
- WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY NO. C-149.

CC. MULTIPLE RUNS:

1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS.
2. HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE.

DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.

EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.

FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.

GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.

WIRE AND CABLE

A. ACCEPTABLE MANUFACTURERS SHALL BE ANACONDA, GENERAL ELECTRIC, CERRO, OR BRAND REX.

B. ALL CONDUCTORS SHALL BY COPPER, WITH 600 VOLT INSULATION, UNLESS OTHERWISE NOTED; STRANDING AND INSULATION TYPES AS FOLLOWS:

C. BRANCH CIRCUIT FEEDERS

1. #10 AWG AND SMALLER (SOLID) – TYPE THHN/THWN INSULATION.
2. #8 AWG AND LARGER (STRANDED) – TYPE THHN/THWN INSULATION.

D. ALL WIRE AND CABLE SHALL BE NEW, WITHIN ONE YEAR OF MANUFACTURE WHEN DELIVERED TO THE SITE AND BEAR THE UL LABEL, INSULATION TYPE, VOLTAGE, AND MANUFACTURER'S NAME AT REGULAR INTERVALS ON THE INSULATION.

E. ALL WIRING SHALL BE DONE SO THAT THE SYSTEM WILL BE CONTINUOUSLY POLARIZED THROUGHOUT, FOLLOWING THE COLOR CODING INDICATED IN THE NEC.

F. ALL CONNECTIONS USING COPPER SHALL BE MADE WITH CONNECTORS THAT ARE DESIGNED AND APPROVED FOR COPPER.

G. JOINTS, TAPS AND SPLICES OF WIRES OF SIZES #10 AWG AND SMALLER SHALL BE MADE BY MEANS OF "SCOTCHLOK" SPRING CONNECTORS.

H. JOINTS, TAPS AND SPICES OF WIRES OF SIZE #8 AWG AND LARGER SHALL BE MADE WITH THOMAS AND BETTS ALUMINUM/COPPER COLOR –KEYED COMPRESSION CONNECTORS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

I. WIRE SIZES SHALL BE AS SHOWN ON THE DRAWINGS OR SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

J. ALL FEEDER CABLES SHALL BE CONTINUOUS FROM ORIGIN TO EQUIPMENT. TERMINATION WITHOUT RUNNING SPLICES IN INTERMEDIATE PULL OR SPLICE BOXES AS FAR AS PRACTICABLE. NO SPLICES ARE ALLOWED IN "C" CONDUITS.

K. CONDUCTORS SHALL NOT BE SMALLER THAN CODE SIZE FOR THE LOADS BEING HANDLED AND SHALL BE LARGER IF SO INDICATED IN THE PLANS OR SPECIFICATIONS. NO CONDUCTOR SHALL BE LESS THAN #12 AWG EXCEPT FOR CONTROL CIRCUITS, WHICH MAY BE #14 WIRE WHEN INDICATED.

L. PROVIDE SEPARATE GREEN GROUND (EQUIPMENT GROUND) CONDUCTOR WITH EACH FEEDER AND BRANCH CIRCUIT.

M. WIRING IN DUCTS, PLENUMS, AND OTHER AIR HANDLING SPACES SHALL BE PROVIDED PER NEC ART. 300.22 AND ALL OTHER APPLICABLE CODE SECTIONS. WHERE PROVIDED PLENUM CABLE SHALL BE LISTED AS BEING SUITABLE FOR USE IN DUCTS, PLENUMS, AND OTHER SPACES USED FOR ENVIRONMENTAL AIR AND SHALL ALSO BE LISTED AS HAVING ADEQUATE FIRE-RESISTANT AND LOW SMOKE-PRODUCING CHARACTERISTICS. WIRING SHALL INCLUDE BUT NOT LIMITED TO POWER, LIGHTING, TELEPHONE, DATA, FIRE ALARM, SECURITY, ETC.

N. ALL WIRING IN TREATMENT ROOMS MUST COMPLY WITH 2008 NEC SECTION 517.

CABINETS, BOXES, AND FITTINGS

A. USE SHEET STEEL JUNCTION, OUTLET AND PULL BOXES SIZED PER NEC IN ALL DRY LOCATIONS.

B. USE CAST BOXES FOR EXTERIOR USE, WHERE IN CONCRETE FLOORS, AND IN ALL DAMP OR WET LOCATIONS.

C. NOT USED.

D. USE STEEL OR MALLEABLE IRON FITTINGS SPECIFICALLY DESIGNED FOR EACH RACEWAY TYPE, AS DICTATED BY GOOD PRACTICE.

E. IN ALL CASES, ALL CABINETS, JUNCTION AND OUTLET BOXES SHALL BE ACCESSIBLE.

ELECTRICAL CONNECTIONS FOR EQUIPMENT

A. FIXED EQUIPMENT REQUIRING ATTACHED PLUGS SHALL BE PROVIDED WITH APPROPRIATE RECEPTACLE TO MATCH PLUG.

B. FIXED EQUIPMENT REQUIRING DIRECT WIRE CONNECTIONS SHALL BE PROVIDED WITH LOCAL JUNCTION BOX, AND FLEXIBLE NONMETALLIC CONDUIT, OR LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT CONNECTIONS TO EQUIPMENT.

C. PROVIDE SEPARATE FUSIBLE DISCONNECT FOR EQUIPMENT NOT FURNISHED WITH INTEGRAL OR FACTORY FURNISHED DISCONNECTING MEANS.

D. PROVIDE MOTOR STARTER FOR EQUIPMENT NOT FURNISHED WITH FACTORY STARTER.

WIRING DEVICES

A. FOR FINISHED AREAS, USE SPECIFICATION GRADE DEVICES, COLOR AS SELECTED BY ARCHITECT, WITH SMOOTH THERMOPLASTIC WALL PLATE, COLOR TO MATCH DEVICE.

B. FOR UNFINISHED DRY INTERIOR SPACES, USE SPECIFICATION GRADE DEVICE IN STEEL UTILITY BOXES WITH MATCHING STEEL DEVICE COVERS.

C. FOR INTERIOR AND EXTERIOR WET LOCATIONS, USE SPECIFICATION GRADE DEVICES INSTALLED WITH AN OUTLET ENCLOSURE CLEARLY MARKED "SUITABLE FOR WET LOCATIONS WHILE IN USE", AS MANUFACTURED BY TAYMAC CORP., WITH PUSH-BUTTON RELEASE.

D. RECEPTACLES:

- 20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) 5362
- 20A, 125V DUPLEX GF RECEPTACLE: GF20 (NON TAMPER) / TRGF20 (TAMPER)
- 20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) I05362RN (ORANGE)

E. SWITCHES:

- 20A, 120/277V A.C. TOGGLE SWITCH: EATON (ARROW HART) 1221
- 20A, 120/277V A.C. THREE-WAY SWITCH: EATON (ARROW HART) 1223
- 20A, 120/277V A.C. FOUR-WAY SWITCH: EATON (ARROW HART) 1224

F. MOUNTING: MOUNT DEVICES IN SINGLE OR GANGED ARRANGEMENT, AS CALLED FOR ON THE DRAWINGS. PROVIDE APPROPRIATE STEEL BACKBOX AS REQUIRED; USE SINGLE OR MULTIPLE DEVICE COVERS, AS REQUIRED; MULTIPLE DEVICES TO BE EQUALLY SPACED, AND ALIGNED STRAIGHT SO AS TO ALLOW DEVICE PLATE TO FIT SNUGLY AND MILLWORK.

G. WHERE MOUNTING ON MILLWORK OR OTHER EQUIPMENT, VERIFY PROPER ROUGH-IN DIMENSIONS WITH ARCHITECT.

H. DEVICES IN MECHANICAL EQUIPMENT ROOMS MAY BE WIRED USING SURFACE MOUNTED CONDUIT. DEVICES TO BE INSTALLED AT HEIGHTS TO COMPLY WITH APPLICABLE HANDICAPPED REQUIREMENTS: RECEPTACLES 4'18" UNLESS OTHERWISE NOTED; WALL SWITCHES 4'8"; FIRE ALARM PULLSTATIONS 4'8"; FIRE ALARM AUDIO VISUAL DEVICES 4'6"-8" TO CENTERLINE OF STROBE UNLESS OTHERWISE NOTED. DIMENSIONS ABOVE FROM FINISHED FLOOR TO CENTERLINE. REFER TO TYPICAL MOUNTING HEIGHT DETAIL ON DRAWINGS FOR FURTHER REQUIREMENTS.

I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.

SAFETY DISCONNECT DEVICES

A. DISCONNECT DEVICES RATING SHALL BE AS SHOWN ON THE DRAWINGS, HEAVY-DUTY, "QUICK-MAKE, QUICK-BREAK", SAFETY SWITCHES WITH INTERLOCKING COVER, CONSTRUCTED OF CODE GAGE STEEL (UL 98), ENCLOSURES SHALL BE TREATED WITH RUST INHIBITING PHOSPHATE AND FINISHED IN GRAY BAKED ENAMEL.

B. DISCONNECTS SHALL BE FUSED OR NON-FUSED AS INDICATED ON THE DRAWINGS, OR AS REQUIRED BY NEC. NUMBER OF POLES, WITH OR WITHOUT SOLID NEUTRAL, SHALL BE AS INDICATED ON THE DRAWINGS, OR AS REQUIRED.

C. ENCLOSURES FOR INDOOR USE SHALL BE NEMA 1; ENCLOSURES FOR EXTERIOR USE SHALL BE NEMA 3R; ENCLOSURES FOR HAZ. LOCATIONS SHALL BE CLASS II DIV. 1 LISTED.

D. DISCONNECTS SHALL REQUIRE THE USE OF A SCREWDRIVER FOR ACCESS TO INTERIOR WITHOUT OPENING CONTACTS.

E. DISCONNECTS SHALL HAVE PROVISIONS FOR PADLOCKING THE SWITCH IN THE "OFF", OR "OPEN" POSITION.

F. ACCEPTABLE MANUFACTURERS ARE SQUARE D, ITE, WESTINGHOUSE, OR GENERAL ELECTRIC.

G. FURNISH A SAFETY DISCONNECT DEVICE ON ALL EQUIPMENT CONNECTIONS WHERE INDICATED ON THE DRAWINGS, OR AS REQUIRED BY CODE.

H. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.

I. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC ART. 250. USE COPPER CONDUCTORS. J. NAMEPLATES SHALL BE PLASTIC LAMINATE WITH WHITE BACKGROUND AND 1/4" BLACK ENGRAVING. EQUIPMENT SHALL BE IDENTIFIED BY EQUIPMENT THAT IS FED. NAMEPLATES SHALL BE ATTACHED USING RIVETS OR NUTS, WASHERS, AND BOLTS.

GROUNDING

A. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC ART. 250. USE COPPER CONDUCTORS.

PANELBOARDS

A. SHALL BE UL LISTED AS "SUITABLE FOR USE AS SERVICE ENTRANCE EQUIPMENT", WHERE APPLICABLE.

B. PHASE, NEUTRAL AND GROUND BUSES SHALL BE COPPER, AND PHASE BUSES SHALL EXTEND THE ENTIRE HEIGHT OF PANELBOARD, FOR FUTURE INSTALLATION OF ADDITIONAL CIRCUIT BREAKERS, WITHOUT THE NEED FOR CONNECTORS, BUT CIRCUIT BREAKERS CONNECTIONS TO THE BUS SHALL BE: BOLT-ON, DOUBLE ROW ARRANGEMENT, DISTRIBUTED PHASE BUS TYPE.

C. CIRCUIT BREAKERS SHALL BE MOLDED CASE, INSTANTAL MAGNETIC, BOLT-ON TYPE, DEAD FRONT DESIGN, WITH QUICK-MAKE, QUICK-BREAK, COMMON TRIP TYPE SINGLE TOGGLE OPERATING MECHANISMS, 1, 2, OR 3 POLE, AND HACR LISTED WHEN USED FOR HVAC EQUIPMENT, SIZED PER PANELBOARD SCHEDULE.

D. BACKBOXES SHALL BE FABRICATED FROM GALVANIZED, CODE GAUGE, SHEET STEEL, MEETING OR EXCEEDING NECESSARY REQUIREMENT FOR WIRE BENDING SPACE, WITHOUT KNOCKOUTS.

E. COVERS SHALL BE DEAD FRONT DESIGN, WITH HINGED DOOR, CONCEALED FASTENERS, FABRICATED FROM CODE GAGE STEEL WITH POINTED ENAMEL FINISH, FLUSH LOCK AND CATCH.

F. PANELBOARD DIRECTORY CARD, WITH CLEAR PLASTIC COVER, SHALL BE PROVIDED ON BACK OR DOOR. CONTRACTOR SHALL COMPLETE DIRECTORY CARD, WITH CIRCUIT BREAKER NUMBERS CROSS REFERENCED TO THEIR RESPECTIVE LOAD(S), BY LOAD TYPE AND ROOM OR SPACE NAME AND NUMBER.

G. PROVIDE PERMANENT LAMACOID OR EQUAL TYPE LABEL INSIDE PANELBOARD DOOR, IDENTIFYING PANELBOARD NAME.

H. DESIGN EQUIPMENT SHALL BE SQUARE D CO. – TYPE NQ00 FOR 208Y/120V PANELBOARDS; TYPE NF FOR 480Y/277V PANELBOARDS; TYPE L-LINE FOR DISTRIBUTION PANELBOARDS. ALTERNATE MANUFACTURERS ARE: OUTLIER-HAMMER/WESTINGHOUSE, OR SIEMENS/ITE.

FUSES

A. PROVIDE INSTANTANEOUS OR TIME DELAY TYPE FUSES FOR EACH FUSIBLE DEVICE, INCLUDING DISCONNECTS, FUSIBLE MOTOR STARTERS, SERVICE SWITCHES. PROVIDE TIME CURRENT CURVES FOR EACH TYPE AND SIZE FUSE USED, PROVIDE ONE SPARE SET OF FUSES FOR EACH SIZE INSTALLED.

CARTRIDGE FUSE APPLICATION:

1. MAIN SERVICE: CLASS L FAST ACTING.
  2. MAIN FEEDERS: CLASS J TIME DELAY.
  3. MOTOR BRANCH CIRCUITS: CLASS RK1 TIME DELAY.
  4. OTHER BRANCH CIRCUITS: CLASS RK5 NON-TIME DELAY.
- C. MANUFACTURERS: BUSSMAN, EAGLE ELECTRIC, GENERAL ELECTRIC, GOULD.

MOTOR STARTERS

A. FRACTIONAL HORSEPOWER MOTOR CIRCUIT SWITCH: FOR MANUALLY CONTROLLED MOTORS LESS THAN 1 H.P., USE MOTOR CIRCUIT SWITCH WITH PILOT LIGHT, WITH THERMAL UNITS, ONE AUXILIARY N.O./N.C. CONTACT, PILOT LIGHT, BASIS FOR DESIGN: SQUARE D TYPE K.

B. MANUAL MOTOR STARTER: FOR MANUALLY CONTROLLED MOTORS 1 H.P. THROUGH 3 H.P., USE INTEGRAL HORSEPOWER MANUAL STARTER, PUSH-BUTTON TYPE, WITH THERMAL UNITS, ONE AUXILIARY N.O./N.C. CONTACT, PILOT LIGHT, BASIS FOR DESIGN: SQUARE D TYPE M.

C. COMBINATION MOTOR STARTER: FOR ALL OTHER MOTORS, OR WHEN INDICATED ON THE DRAWINGS, USE COMBINATION MOTOR STARTER, FUSIBLE DISCONNECT TYPE, WITH OVERLOADS, CONTROL POWER TRANSFORMER AND FUSES, HAND-OFF-AUTO SELECTOR SWITCH, OFF AND RUNNING PILOT LIGHTS, (2) N.O./N.C. AUX CONTACTS; NEMA 1 ENCLOSURE FOR INDOOR USE, NEMA 4 ENCLOSURE FOR EXTERIOR USE. NON-REVERSING OR REVERSING AS INDICATED ON THE DRAWINGS. SIZE AS REQUIRED FOR MOTOR HORSEPOWER SERVED; LARGER SIZE REQUIRED WHERE A SPECIFIC SIZE IS INDICATED ON THE DRAWINGS, FUSIBLE TYPE SHALL BE FURNISHED, UNLESS INDICATED OTHERWISE ON THE DRAWINGS. BASIS FOR DESIGN: SQUARE D CLASS 8538(FUSIBLE, NON-REVERSING); CLASS 8738(FUSIBLE, REVERSING); CLASS 8539(CIRCUIT BREAKER, NON-REVERSING); CLASS 8739(CIRCUIT BREAKER, REVERSING).

D. MANUFACTURERS: SQUARE-D, GENERAL ELECTRIC, CHALLENGER, SIEMENS.

INTERIOR LIGHTING

A. PROVIDE AND INSTALL ITEMS AS SPECIFIED HEREIN AND LISTED ON THE LIGHTING FIXTURE SCHEDULE ON THE DRAWINGS.

B. CATALOG NAMES AND NUMBERS USED IN THE LIGHTING FIXTURE SCHEDULE ARE TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION.

C. IF ALTERNATED, OR OPTIONAL METHODS ARE PROPOSED AS SUBSTITUTION FOR ANY ONE OF THE LIGHTING FIXTURES, THEY MUST BE EQUAL IN DESIGN AND QUALITY, AS DETERMINED BY THE ARCHITECT/ENGINEER. THE DATA SUBMITTED MUST INCLUDE A DESCRIPTION OF THE LIGHTING FIXTURE, LENS, BALLAST, SHEET METAL GAGE, PHOTOMETRIC DATA, ETC.

D. UPON REQUEST OF THE ENGINEER, A SAMPLE OF THE PROPOSED SUBSTITUTION SHALL BE PROVIDED.

E. FURNISH AND INSTALL ALL LIGHTING FIXTURES COMPLETE WITH LAMPS. PROVIDE 10% ADDITIONAL LAMPS FOR EACH TYPE OF LAMP REQUIRED ON PROJECT AND TURN OVER TO OWNER.

F. ALL LIGHTING FIXTURES SHALL CARRY THE UNDERWRITER'S LABEL OF APPROVAL.

G. FIXTURES SHALL BE FREE OF IMPERFECTIONS, HANDLING, OR INSTALLATION DAMAGE.

H. OBTAIN EXACT LOCATION OF ALL CEILING OUTLETS FROM THE ARCHITECT.

I. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIT OF ALL LIGHTING FIXTURES INTO THE ACTUAL CEILING INSTALLED.

J. ALL WIRING WITHIN EACH LIGHTING FIXTURE SHALL BE CONTAINED IN METALLIC WIRING CHANNEL AND NOT IN THE LAMP CHAMBER.

K. FLOURESCENT LIGHTING FIXTURES SHALL BE "P" RATED, PREMIUM GRADE, AND SO LABELED AS PER NEC.

L. CONFIRM COMPATIBILITY AND INTERFACE OF OTHER MATERIALS WITH LUMINAIRE AND CEILING SYSTEM. REPORT DISCREPANCIES TO THE ENGINEER/ARCHITECT AND DEFER ORDERING UNTIL CLARIFIED.

M. COORDINATE WITH DIVISION 15 TO AVOID CONFLICTS BETWEEN LUMINAIRES, SUPPORTS, FITTINGS, AND MECHANICAL EQUIPMENT.

N. ALL INCANDESCENT, FLOURESCENT, METAL HALIDE, AND HIGH PRESSURE SODIUM LAMPS SHALL BE AS MANUFACTURED BY GENERAL ELECTRIC, GTE-SYLVANIA, WESTINGHOUSE, OR PHILLIPS.

O. ALL FLOURESCENT LIGHTING FIXTURES SHALL HAVE HIGH POWER FACTOR BALLASTS HAVING A SOUND LEVEL OF "A". BALLASTS CONSIDERED BY THE OWNER OR ENGINEER TO HAVE OBJECTIONABLE NOISE OR HUM SHALL BE REPLACED DURING THE PERIOD OF GUARANTEE AT THE DIVISION 16 CONTRACTOR'S EXPENSE.

P. NOT USED.

Q. IT WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY, WITH THE CONSTRUCTION CONTRACTOR, THE TYPES OF CEILINGS IN ALL ROOMS HAVING TROFFERS, AS TO THE TYPE OF TROFFER CONSTRUCTION REQUIRED TO MATCH THE CEILING CONSTRUCTION

R. MOUNT HIGH INTENSITY DISCHARGE BALLASTS ON RUBBER GROMMETS TO REDUCE NOISE TRANSMISSION.

S. ALL METAL PARTS SHALL BE GROUNDED AS A COMMON UNIT.

T. SUPPORT FLOURESCENT LUMINAIRES DIRECTLY FROM BUILDING STRUCTURE BY ROD HANGERS AND INSERTS, OR METAL ANGLE HEADERS SUPPORTED FROM FRAMING STRUCTURE OF CEILING SUSPENSION SYSTEM.

U. INSTALL RECESSED LUMINAIRES TO PERMIT REMOVAL FROM BELOW, TO GAIN ACCESS TO OUTLET OR PRE-WIRED LIGHTING FIXTURE BOX.

LED FIXTURES

-QUALITY

A. LIGHTING