

# Humboldt Pkwy Apartments

85 Humboldt Parkway
Buffalo, NY 14214





S.A. PROJECT # 24101.01 DATE: 07-21-2025

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# SHEET INDEX

### TITLE SHEET

#### STRUCTURAL:

## NONE REQUIRED THIS PROPERTY

#### ARCHITECTURAL

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BASEMENT & FIRST FLOOR PLANS SECOND FLOOR PLAN

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ELECTRICAL SPECIFICATIONS

# **ABBREVIATIONS**

DISP

FTG

FDTN FUR GAL

GA

**GWB** 

GYP

**HORIZ** 

**INS GL** 

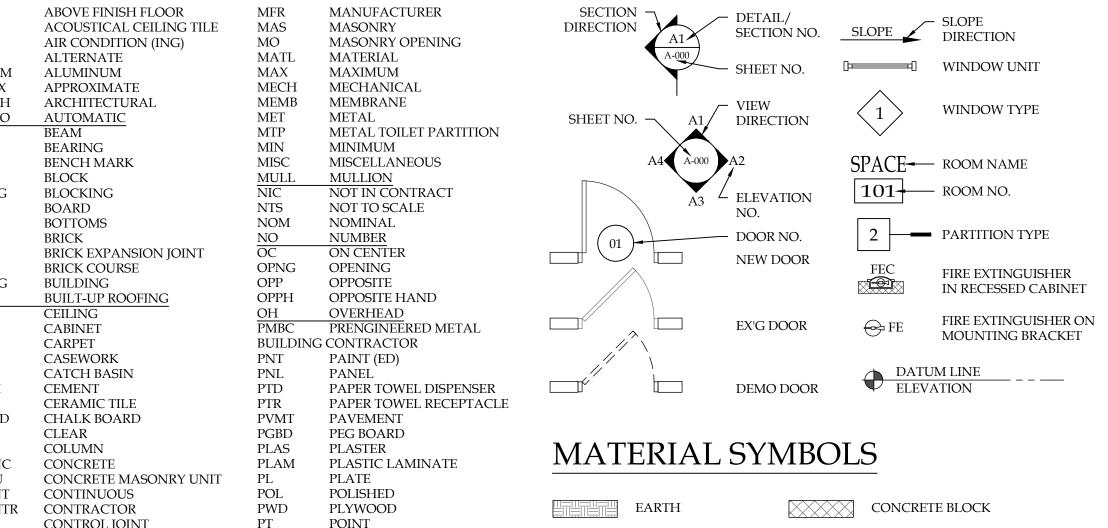
LTL

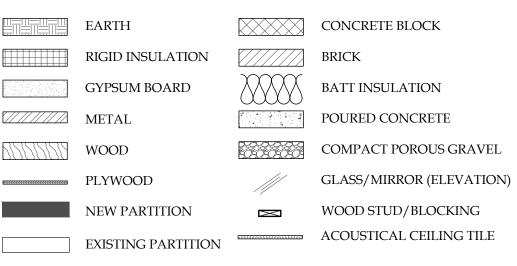
LLV

LMF

LVR

MANHOLE





# **BUILDING DATA:**

DEMO PARTITION

DRAFTING SYMBOLS

**CONSTRUCTION TYPE: VB** OCCUPANCY: R3 SPRINKLERED: NO STORIES: 3 GROSS FLOOR AREA: 3,537 SQ. FT.

# **ISSUE**

2025-08-22- ISSUED FOR PERMIT

GENERAL CIVIL

STRUCTURAL **ARCHITECTURAL** FIRE PROTECTION

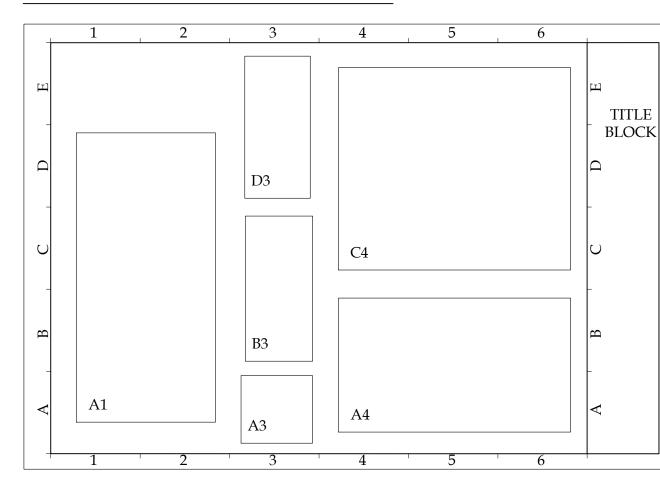
SHEET TYPE DESIGNATOR **GENERAL** PLANS

> **ELEVATIONS SECTIONS** LARGE SCALE VIEWS

DETAILS SCHEDULES & DIAGRAMS



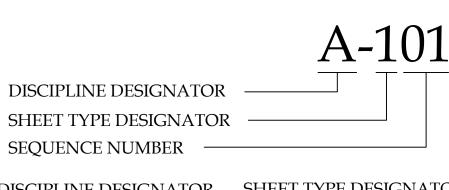
# DRAWING AREA LOGIC





WITHOUT

# SHEET IDENTIFICATION LOGIC



# DISCIPLINE DESIGNATOR



PLUMBING MECHANICAL

ELECTRICAL

# GENERAL NOTES:

- 1. DO <u>NOT</u> SCALE DRAWINGS.
- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.
- CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- 4. THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
- 6. THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD
- THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.
- 8. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISLINDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS, AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.
- 9. ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.
- 10. THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/OWNER OF THE BUILDING.
- 12. ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.
- 13. THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.
- 14. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- 15. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

- 16. CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.
- 17. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.
- 18. ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.
- 19. PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.
- 20. ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.
- 21. CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.
- 22. PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.
- 23. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.
- 24. WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.
- 25. ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.
- 26. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJECT MORE THAN 4" BEYOND THE FACE OF THE WALL RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL
- 27. DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- 28. BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALLEGED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.
- 29. CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- 30. ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.

- 31. DO NOT SCALE DRAWINGS, THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.
- 32. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.
- 33. THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.
- 34. DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.
- 35. MECHANICAL, ELECTRICAL, AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.
- 36. CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.
- 37. ALL GYPSUM WALL BOARD TO BE TAPED AND SANDED AT INTERSECTION OF CONSTRUCTION (NO. "J" MOLD)
- 38. PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- 39. DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE
- 40. CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.
- 41. THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.
- 42. CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.
- 43. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.

- 44. SAFE WORKING CONDITIONS ARE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND/OR THE OWNER SHALL BE OBSERVED. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE MUST BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
- 45. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS FROM SITE AND LEAVE THE WORK AREA BROOM CLEAN ON A DAILY BASIS AND PROVIDE DUMPSTER SERVICE. PLACE DUMPSTERS AS DIRECTED BY THE "OWNER'S REPRESENTATIVE"

EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO

PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.

47. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO

THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.

46. CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, HOISTING

- 48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS AND APPROVALS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- 49. ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND
- 50. THE CONTRACTOR SHALL COORDINATE ALL FINISHES AND COLOR SELECTIONS WITH THE OWNER.
- 51. ALL FASTENERS INTO PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS RECOMMENDED BY MANUFACTURER.

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Humboldt Pkwy

**85** Humboldt Parkway Buffalo, NY 14214

2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>



| TITLE:

GENERAL

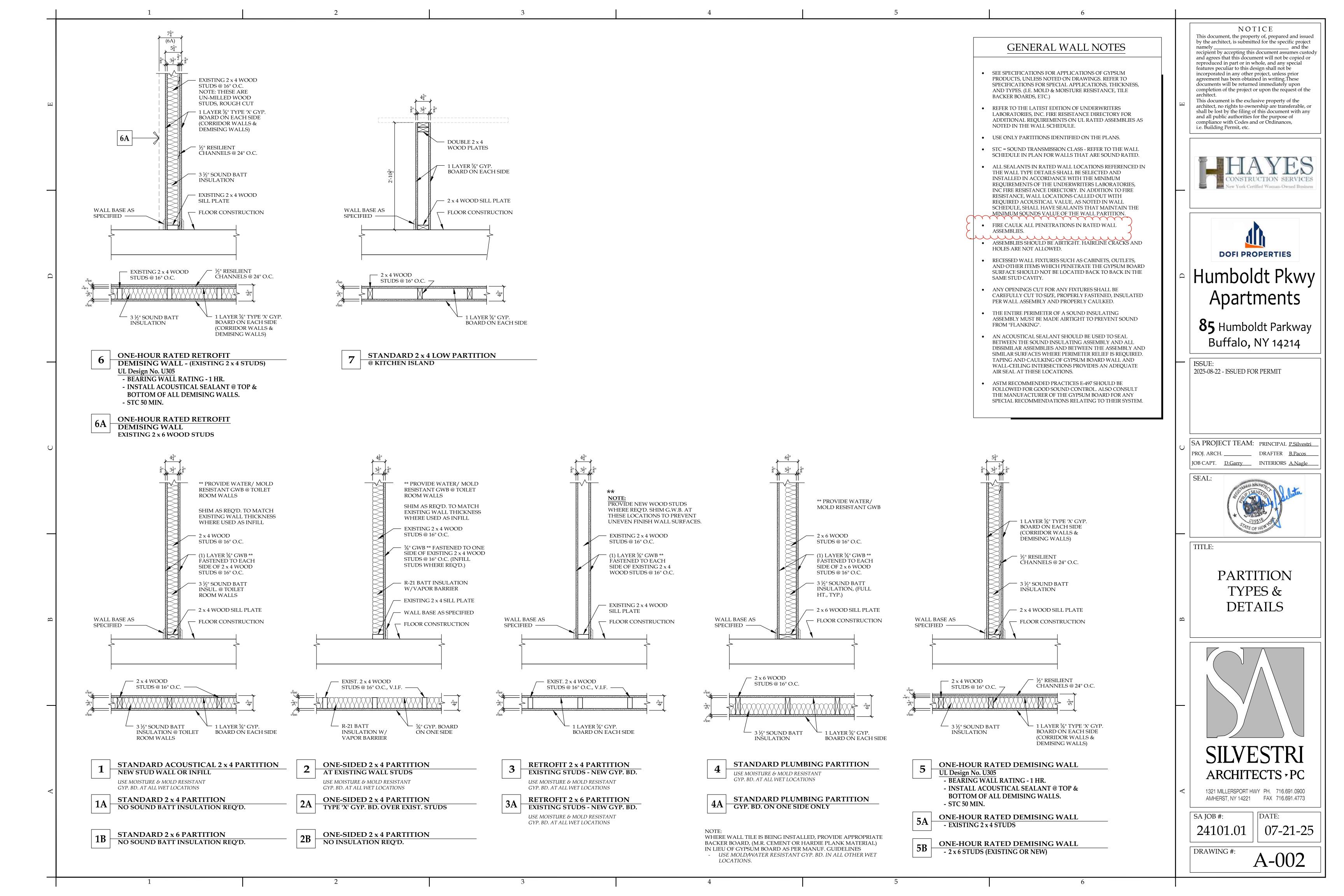


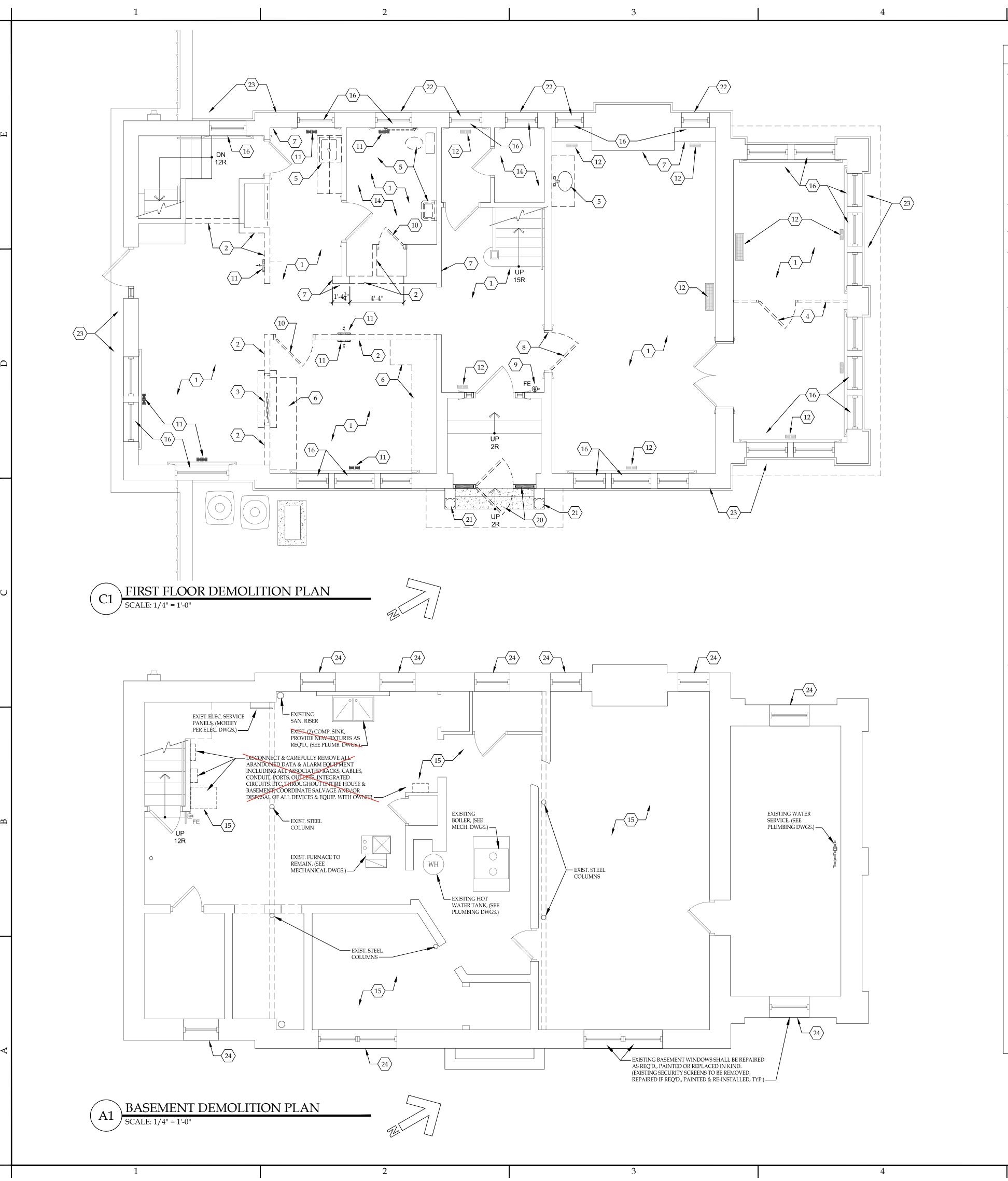
AMHERST, NY 14221 FAX 716.691.4773 DATE:

SA JOB #: 24101.01

07-21-25

DRAWING #:





# $\langle x \rangle$ DEMOLITION PLAN NOTES:

- 1. REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS -INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES), NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- 2. CAREFULLY REMOVE EXISTING WALL PARTITION IN IT'S ENTIRETY, FULL HT. OR TO THE EXTENT SHOWN DASHED. BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY. DISCONNECT & REMOVE ALL MECHANICAL & ELECTRICAL DEVICES INCLUDING WALL DIFFUSERS, ASSOCIATED DUCTWORK, WALL SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS STROBES ETC BACK TO SOURCE COORDINATE ALL DEMOLITION WORK W/MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- 3. CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC., COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
- 4. REMOVE EXISTING TEMPORARY PARTITION PANELS, DOOR & MOUNTING
- 5. DISCONNECT, REMOVE & DISPOSE OF EXISTING TOILET, WALL-MOUNTED SINK OR SINK/VANITY, BASE & WALL CABINETS, PAPER TOWEL & TOILET PAPER DISPENSERS, SOAP DISPENSERS, GRAB BARS, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. COORDINATE ALL PLUMBING DEMOLITION W/PLUMBING DRAWINGS. COORD. SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER, TYP.
- 6. REMOVE EXISTING WALL MOUNTED COUNTERTOPS, MOUNTING BRACKETS, CLEATS & ANY FASTENERS OR RESIDUAL ADHESIVES. WALL TO BE PATCHED OR REPAIRED TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES). COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- CAREFULLY REMOVE EXISTING RUBBER COVE WALL BASE & RESIDUAL ADHESIVES WHERE OCCURS, PREPARE WALL SURFACES AS REQ'D. FOR THE INSTALLATION OF NEW BASE AFTER FLOORING INSTALLATION. NOTE: EXISTING WOOD BASE, WHERE OCCURS, SHALL REMAIN. REPAIR IF REQ'D. & PREPARE FOR NEW FINISH, (SEE FLOOR FINISH PLANS & SCHEDULES).
- 8. REMOVE EXISTING DOOR, ASSOCIATED HARDWARE & WOOD DOOR STOPS IN THIS LOCATION. TRIM SURROUND IS TO REMAIN. EITHER STORE DOOR FOR POSSIBLE RE-USE OR COORDINATE DISPOSAL WITH OWNER.
- 9. REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE., COORD. SALVAGE &/OR DISPOSAL WITH OWNER.
- $\langle$  10. $\rangle$  REMOVE EXISTING DOOR, ASSOCIATED HARDWARE & WOOD FRAME/TRIM. STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.

W/MECHANICAL CONTRACTOR & MEP DWGS.) PREPARE OPENING AS

- 11.) REMOVE EXISTING WALL OR FLOOR MOUNTED AIR DIFFUSER IN THIS LOCATION, CAP SUPPLY OR RETURN DUCT IN BASEMENT, (COORDINATE
- 12. REMOVE FLOOR MOUNTED HVAC DIFFUSER GRATE & STORE FOR POSSIBLE REPAIR, REFINISHING & REUSE, CLEAN & PREPARE OPENING FOR GRATE REINSTALLATION OR REPLACEMENT, SEE MECH. DWGS., TYP.

REQ'D. FOR INFILL CONSTRUCTION & FINISHES.

- 13. DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, FIRE STROBES, ALARMS, PULL STATIONS, CAMERAS, DOMES, SENSORS, SMOKE DETECTORS CONTROL PANELS & ALL ASSOCIATED WIRING SURFACE MOUNTED CONDUIT & JUNCTION BOXES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECT. DWGS. COORD. SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS
- 14.) CAREFULLY REMOVE EXISTING WALL FINISHES, (WALL PAPER, CERAMIC TILE, ETC.) IN THIS AREA, INCLUDING ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES).
- 15.) CAREFULLY DISCONNECT & REMOVE ALL I.T. & DATA EQUIPMENT INCLUDING ALL ASSOCIATED SUPPORTING INFRASTRUCTURE, RACKS, CABLES, CONDUIT, PORTS, OUTLETS, SPEAKERS, ETC. THROUGHOUT ENTIRE HOUSE & BASEMENT. COORDINATE ALL ELECTRICAL & MECHANICAL DEMOLITION WITH MEP DRAWINGS & ELECTRICAL & MECHANICAL CONTRACTORS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
- 16.> REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.
- (17.) REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN MOST CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT, NEW RESIDENTIAL ACOUSTIC TILES WILL BE INSTALLED. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
- (18.) DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES. COORDINATE THE REWORKING OF ALL ELECTRICAL - SWITCHES, OUTLETS, DEVICES, ETC. WITH ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- 19.) EXISTING CEILING MOUNTED MECHANICAL SUPPLY & RETURN AIR DIFFUSERS ARE TO BE REPLACED, REMOVE GRILLES, PROTECT & TEMPORARILY SECURE EXISTING DUCT RUNS TO ALLOW FOR NEW HVAC WORK & CEILING PANEL INSTALLATION. COORD. EXTENT OF DEMOLITION, SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- 20. CAREFULLY REMOVE EXISTING EXTERIOR DOOR & SIDELIGHTS IN THEIR ENTIRETY, INCLUDING STORM DOOR & TRIM SURROUND. PREPARE OPENING AS REQUIRED FOR THE INSTALLATION OF NEW DOOR & SIDELIGHT ASSEMBLY. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW DOOR & WINDOW UNIT CAN
- 21.) EXISTING COLUMN SURROUNDS AT SOUTH ENTRY SHALL BE CAREFULLY REMOVED, (REPLACEMENT REQUIRED). GC SHALL EVALUATE & CONFIRM STRUCTURAL INTEGRITY OF COLUMNS, ROOF FRAMING & FOUNDATION ANCHORAGE
- 22.) CAREFULLY REMOVE EXISTING DAMAGED STORM WINDOW WHERE REQ'D. EXISTING WINDOW SURROUNDS (CASINGS, SILLS, APRONS, ETC.) SHALL BE PROTECTED & SALVAGED, PREPARE AS REQ'D. FOR REPAIR, REPAINTING. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW STORM WINDOWS CAN OCCUR. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF ALL WINDOWS THAT ARE TO REMAIN.
- 23. REMOVE ANY PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING BRICK VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, RE-POINTED & CLEANED WHERE NECESSARY @ ENTIRE PERIMETER, FULL HEIGHT, INCLUDING CHIMNEYS. IF NECESSARY, G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.
- 24.) EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D., OR REPLACED IN KIND. EXISTING STEEL SECURITY SCREENS SHALL BE TEMPORARILY REMOVED (STORE FOR RE-PAINTING & RE-INSTALLATION) TO ALLOW FOR WINDOW REPAIR, PAINTING OR REPLACEMENT, G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS

## GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL **EXISTING CONDITIONS PRIOR TO STARTING** DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- **DUMPSTERS & MEANS OF MATERIAL** REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR MATERIALS & METHODS.
- THIS DEMOLITION DRAWING ONLY
- WITH ALL APPLICABLE LAWS. APPLICABLE CODES.

**DEMO PLAN SYMBOL LEGEND:** 

TO BE REMOVED

= EXISTING WALL TO

REMAIN (CONCRETE,

= EXISTING DOOR

TO BE REMOVED

= EXISTING DOOR

TO REMAIN

= EXISTING WINDOW TO BE REMOVED

∟ \_ \_ BE REMOVED.

= EXISTING ITEM TO

(SHOWN DASHED)

BRICK, CMU OR STUDS)

= EXISTING WALL

- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- DEMO CONTRACTOR TO PROVIDE
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND
- DEMO CONTRACTOR IS RESPONSIBLE FOR
- SALVAGE & REUSE WITH OWNER.
- WORK SHALL MATCH EXISTING, ADJACENT
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- YKOVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE ORDINANCES, OSHA STANDARDS AND

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Humboldt Pkwy Apartments

**85** Humboldt Parkway Buffalo, NY 14214

2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u> JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



| TITLE:

BASEMENT & FIRST FLOOR **DEMOLITION** PLANS

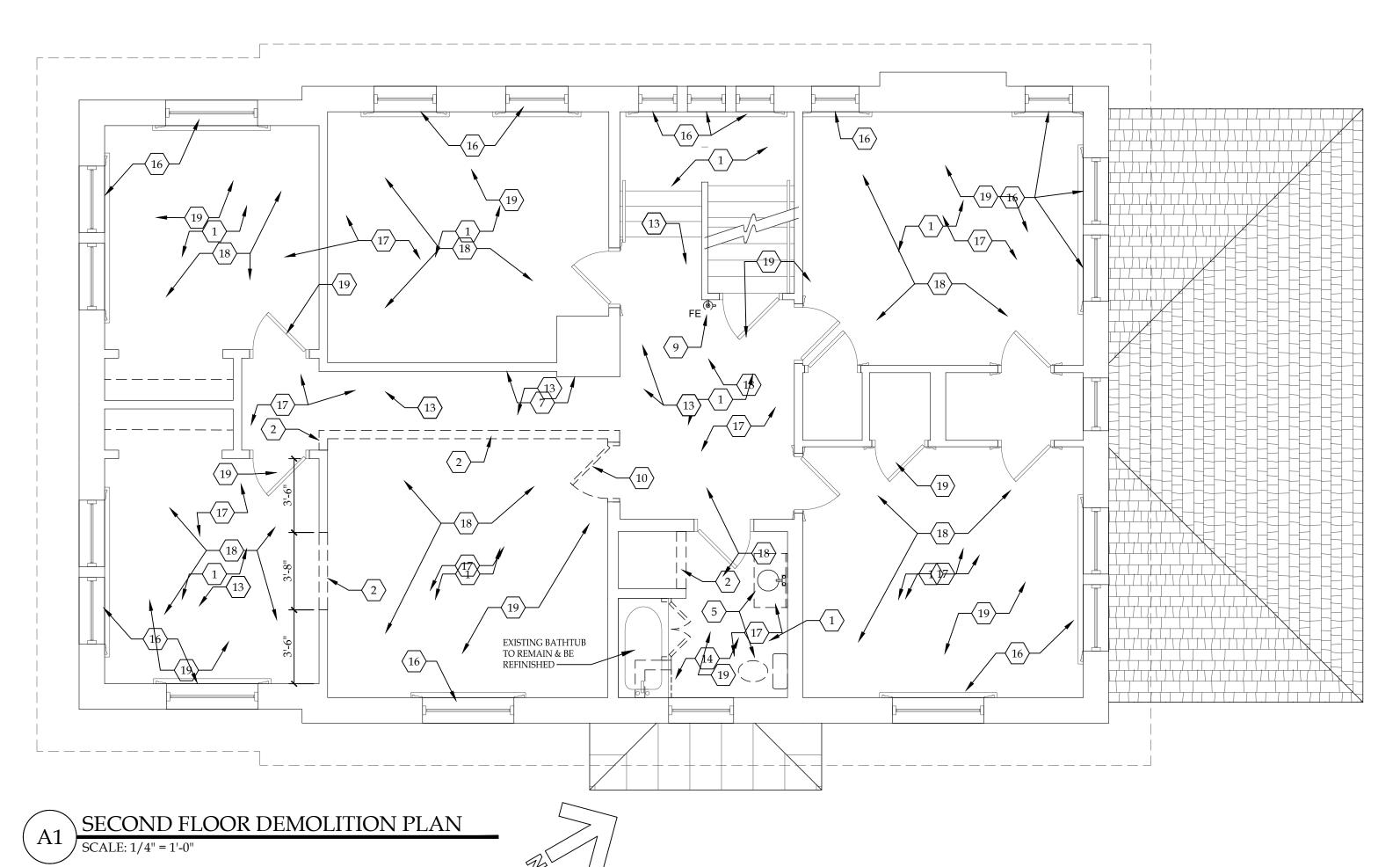


AMHERST, NY 14221 FAX 716.691.4773 DATE:

SA JOB #: 24101.01

07-21-25

12R — EXIST. FURNACE TO EXCEPT HVAC WORK, DUC REMAIN, (SEE RUN MODIFICATIONS MECHANICAL DWGS.) THIS AREA WILL BE LOCKED, (NO TENANT ACCESS) — THIRD FLOOR DEMOLITION PLAN



# $\langle x \rangle$ DEMOLITION PLAN NOTES:

- 1. REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS -INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS. INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
- 2. CAREFULLY REMOVE EXISTING WALL PARTITION IN IT'S ENTIRETY, FULL HT. OR TO THE EXTENT SHOWN DASHED. BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY. DISCONNECT & REMOVE ALL MECHANICAL & ELECTRICAL DEVICES -INCLUDING WALL DIFFUSERS, ASSOCIATED DUCTWORK, WALL SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
- 3. CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC., COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
- 4. REMOVE EXISTING TEMPORARY PARTITION PANELS, DOOR & MOUNTING HARDWARE. COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
- 5. DISCONNECT, REMOVE & DISPOSE OF EXISTING TOILET, WALL-MOUNTED SINK OR SINK/VANITY, BASE & WALL CABINETS, PAPER TOWEL & TOILET PAPER DISPENSERS, SOAP DISPENSERS, GRAB BARS, ETC. (SHOWN DASHED). TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. COORDINATE ALL PLUMBING DEMOLITION W/PLUMBING DRAWINGS, COORD. SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER, TYP.
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- 20. CAREFULLY REMOVE EXISTING EXTERIOR DOOR & SIDELIGHTS IN THEIR ENTIRETY, INCLUDING STORM DOOR & TRIM SURROUND. PREPARE OPENING AS REQUIRED FOR THE INSTALLATION OF NEW DOOR & SIDELIGHT ASSEMBLY. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW DOOR & WINDOW UNIT CAN
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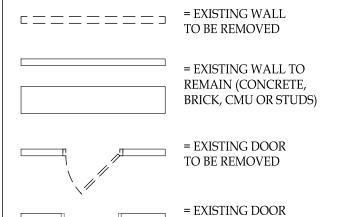
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- ITEMS TO BE DISPOSED OF IN ACCORDANCE

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**DEMO PLAN SYMBOL LEGEND:** 





= EXISTING ITEM TO ∟ \_ \_ BE REMOVED. (SHOWN DASHED)

TO REMAIN

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Humboldt Pkwy

Apartments

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Buffalo, NY 14214

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TITLE:

SECOND & THIRD FLOOR **DEMOLITION** PLANS

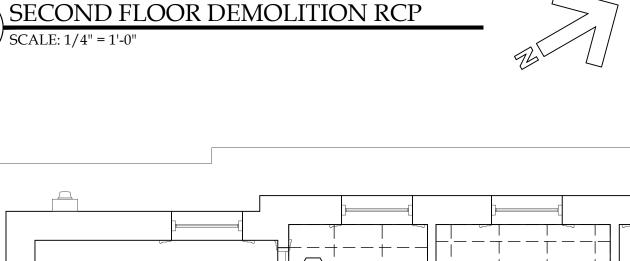


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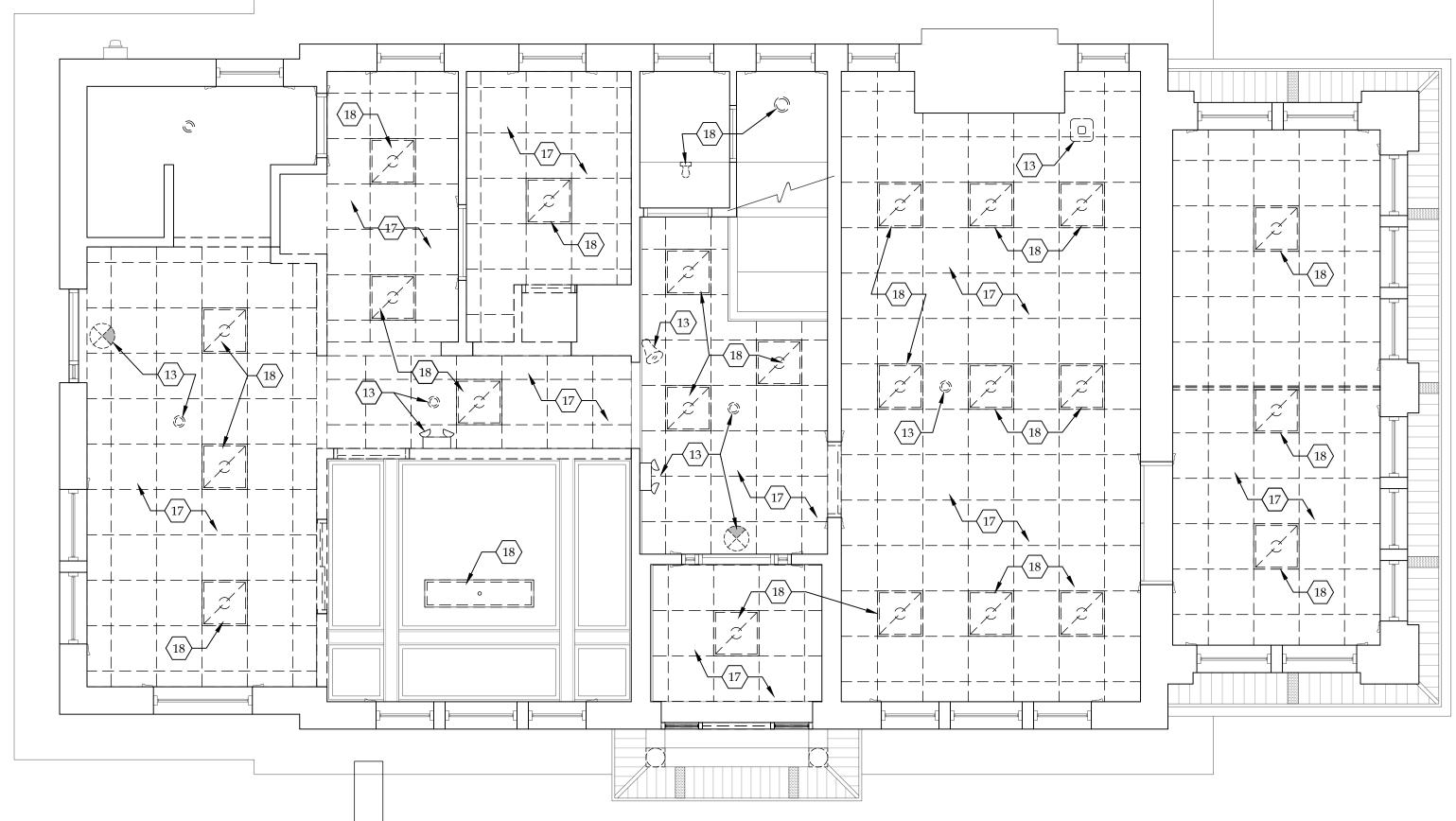
DATE: 07-21-25

AMHERST, NY 14221 FAX 716.691.4773

4 19



FIRST FLOOR DEMOLITION RCP



 $\langle x \rangle$  DEMOLITION PLAN NOTES:

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THE CONTRACTOR IS TO VERIFY ALL TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.

THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.

THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR

THE CONTRACTOR IS RESPONSIBLE FOR ITEMS FROM THE SITE. ALL DEMOLISHED WITH ALL FEDERAL, STATE AND LOCAL

DEMO CONTRACTOR TO PROVIDE **DUMPSTERS & MEANS OF MATERIAL** AUTHORITIES HAVING JURISDICTION.

DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.

OF INSURANCE TO ARCHITECT AND

DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.

CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.

ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.

ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE PROJECT AREA. COORDINATE ALL

PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.

ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM

• THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER

REMOVAL OF ALL LEAD AND ASBESTOS WITH ALL APPLICABLE LAWS, APPLICABLE CODES.

**EXISTING CONDITIONS PRIOR TO STARTING** DEMOLITION OR CONSTRUCTION AND IS

NEW CONSTRUCTION.

THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE LAWS AND REGULATIONS.

REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS &

DEMO CONTRACTOR TO PROVIDE PROOF

WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.

SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN SALVAGE & REUSE WITH OWNER.

CONSTRUCTION DURING CONSTRUCTION.

TRADE WORK.

MATERIALS SHALL BE IN ACCORDANCE ORDINANCES, OSHA STANDARDS AND

**DEMO RCP SYMBOL LEGEND:** - -|- -|- -|- -SUSPENDED ACOUSTIC CEILING -EXISTING TO DEMOLISHED, (TILES ONLY, RETAIN EXISTING GRID, SOME LOCATIONS, SEE RCP) - -|- -|- -|- -1 1 1

EXISTING TO BE REMOVED

TO BE REMOVED

EXISTING STRIP LIGHT FIXTURE

LIGHT FIXTURE EXISTING TO BE REMOVED

EXIT SIGNAGE - EXISTING

MECH. SUPPLY OR RETURN DIFFUSER - EXISTING TO REMAIN OR BE RELOCATED

MISC. DEVICE TO BE REMOVED, (SPEAKER, ALARM, SMOKE, C.O. DETECTOR, EMER. LIGHT, ETC.) **SILVESTRI** ARCHITECTS , PC

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Humboldt Pkwy

Apartments

85 Humboldt Parkway
Buffalo, NY 14214

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>

JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>

1st & 2nd FLOOR

**DEMOLITION** 

REFL. CEILING

PLANS

TITLE:

2025-08-22 - ISSUED FOR PERMIT

York Certified Woman-Owned Busine

namely\_

1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

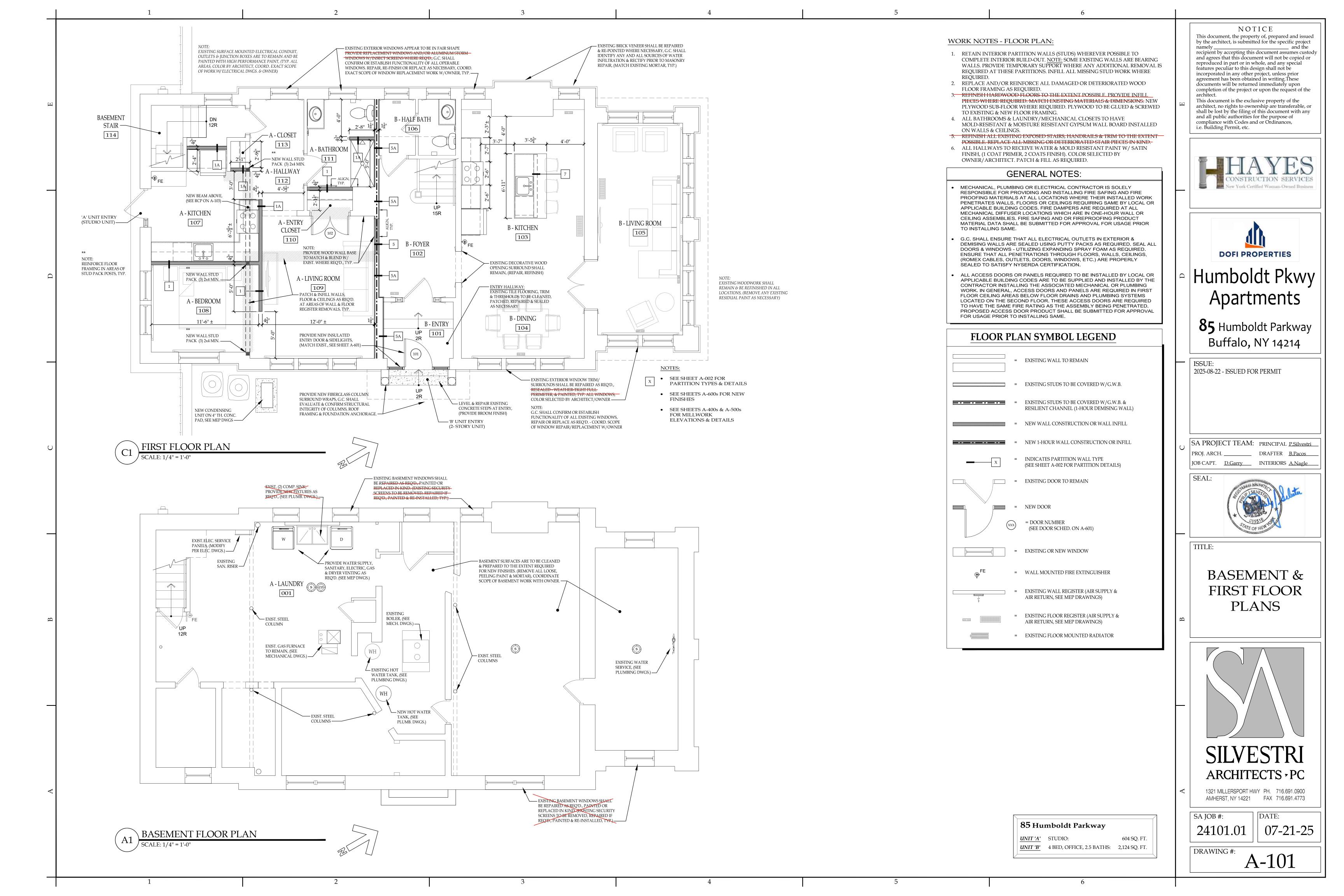
SA JOB #: 24101.01 DATE: 07-21-25

DRAWING #:









NOTICE This document, the property of, prepared and issued by the architect, is submitted for the specific project WORK NOTES - FLOOR PLAN: namely \_\_ 1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS features peculiar to this design shall not be REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED. 2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED. completion of the project or upon the request of the 3. REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB-FLOOR WHERE REQUIRED. PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING. and all public authorities for the purpose of 4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE compliance with Codes and or Ordinances, MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED i.e. Building Permit, etc. ON WALLS & CEILINGS. 5. REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND. 6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY MECHANICAL OWNER/ARCHITECT. PATCH & FILL AS REQUIRED. 12R MECHANICAL 302 303 **GENERAL NOTES:** MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE — EXISTING GAS FURNACE & PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK ASSOCIATED DUCTWORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR TO REMAIN, SEE MEP DWGS. APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR EXCEPT HVAC WORK, DUCT RUN MODIFICATIONS AS REQ'D. MECHANICAL THIS AREA WILL BE LOCKED, 306 MECHANICAL ∕NO TENANT ACCESS) —— G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL 301 DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. DOFI PROPERTIES ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSERDA CERTIFICATION. Humboldt Pkwy Apartments ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED **MECHANICAL** TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. 305 PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL **85** Humboldt Parkway Buffalo, NY 14214 FOR USAGE PRIOR TO INSTALLING SAME. FLOOR PLAN SYMBOL LEGEND = EXISTING WALL TO REMAIN 2025-08-22 - ISSUED FOR PERMIT = EXISTING STUDS TO BE COVERED W/G.W.B. = EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL) = NEW WALL CONSTRUCTION OR WALL INFILL = NEW 1-HOUR WALL CONSTRUCTION OR INFILL THIRD FLOOR PLAN – EXISTING EXTERIOR WINDOWS APPEAR TO BE IN FAIR SHAPE PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u> PROVIDE REPLACEMENT WINDOWS AND/OR ALUMINUM STORM = INDICATES PARTITION WALL TYPE WINDOWS W/INSECT SCREENS WHERE REO'D., G.C. SHALL JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u> WINDOWS. REPAIR, RE-FINISH OR REPLACE AS NECESSARY, COORD. NOTE:
ALL EMERGENCY EGRESS WINDOWS, (BEDROOMS)
SHALL SATISFY THE FOLLOWING CRITERIA: EXACT SCOPE OF WINDOW REPLACEMENT WORK W/OWNER, TYP. — = EXISTING DOOR TO REMAIN MINIMUM NET CLEAR AREA = 5.7 SQ. FT. - — — — — — — — — — — — — MINIMUM CLEAR HEIGHT = 24" MINIMUM CLEAR WIDTH = 20" MAXIMUM SILL HEIGHT ABOVE FLOOR = 44" NEW DOOR B - STAIR = DOOR NUMBER (SEE DOOR SCHED. ON A-601) 201 TITLE: B - BEDROOM = EXISTING OR NEW WINDOW 209 B-OFFICE B - BEDROOM 214 203 SECOND & = WALL MOUNTED FIRE EXTINGUISHER PROVIDE WOOD WALL BASE EXISTING SURFACE MOUNTED ELECTRICAL CONDUIT TO MATCH & BLEND W/ OUTLETS & JUNCTION BOXES ARE TO REMAIN AND BE EXISTING WALL REGISTER (AIR SUPPLY & EXIST. WHERE REQ'D., PT., TYP. — PAINTED WITH HIGH PERFORMANCE PAINT, (TYP. ALI AIR RETURN, SEE MEP DRAWINGS) AREAS, COLOR BY ARCHITECT, COORD. EXACT SCOPE PLANS OF WORK W/ ELECTRICAL DWGS. & OWNER) – B - CLOSET B - CLOSET DOOR TO THIRD FLOOR V 210 = EXISTING FLOOR REGISTER (AIR SUPPLY & TO BE LOCKED TO AIR RETURN, SEE MEP DRAWINGS) TENANT, (NO ACCESS) — B - CLOSET 215 = EXISTING FLOOR MOUNTED RADIATOR B - HALLWAY 202 B - CLOSET 217 PATCH & INFILL WALLS, FLOOR & CEILINGS AS REQ'D. AT AREAS OF WALL & FLOOR EXISTING EXTERIOR WINDOW TRIM/ SURROUNDS SHALL BE REPAIRED AS REQ'D., REGISTER REMOVALS —— RESEALED WEATHER TICHT FULL PERIMETER, & PAINTED, TYP. ALL WINDOWS, B - BEDROOM COLOR SELECTED BY ARCHITECT/OWNER B - BEDROOM B - GALLEY 216 \ B - BATHROOM 206 G.C. SHALL CONFIRM OR ESTABLISH CLOSET FUNCTIONALITY OF ALL EXISTING WINDOWS, REPAIR OR REPLACE AS REQ'D. - COORD. SCOPE B - BATH OF WINDOW REPAIR/REPLACEMENT W/OWNER ROOM 208 NOTES: SEE SHEET A-002 FOR 1321 MILLERSPORT HWY PH. 716.691.0900 PARTITION TYPES & DETAILS AMHERST, NY 14221 FAX 716.691.4773 EXISTING BRICK VENEER SHALL BE REPAIRED • SEE SHEETS A-600s FOR NEW & RE-POINTED WHERE NECESSARY, G.C. SHALL EXISTING WOODWORK SHALL IDENTIFY ANY AND ALL SOURCES OF WATER **FINISHES** REMAIN & BE REFINISHED IN ALL INFILTRATION & RECTIFY PRIOR TO MASONRY SA JOB #: DATE: LOCATIONS. (REMOVE ANY EXISTING REPAIR, (MATCH EXISTING MORTAR, TYP.) —— • SEE SHEETS A-400s & A-500s RESIDUAL PAINT AS NECESSARY) 85 Humboldt Parkway FOR MILLWORK 24101.01 ELEVATIONS & DETAILS SECOND FLOOR PLAN **UNIT 'A'** STUDIO: 604 SQ. FT. SCALE: 1/4" = 1'-0" UNIT 'B' 4 BED, OFFICE, 2.5 BATHS: 2,124 SQ. FT. DRAWING #: A-102

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2025-07-29 - ADDED DOOR #'s & DWG. A-601

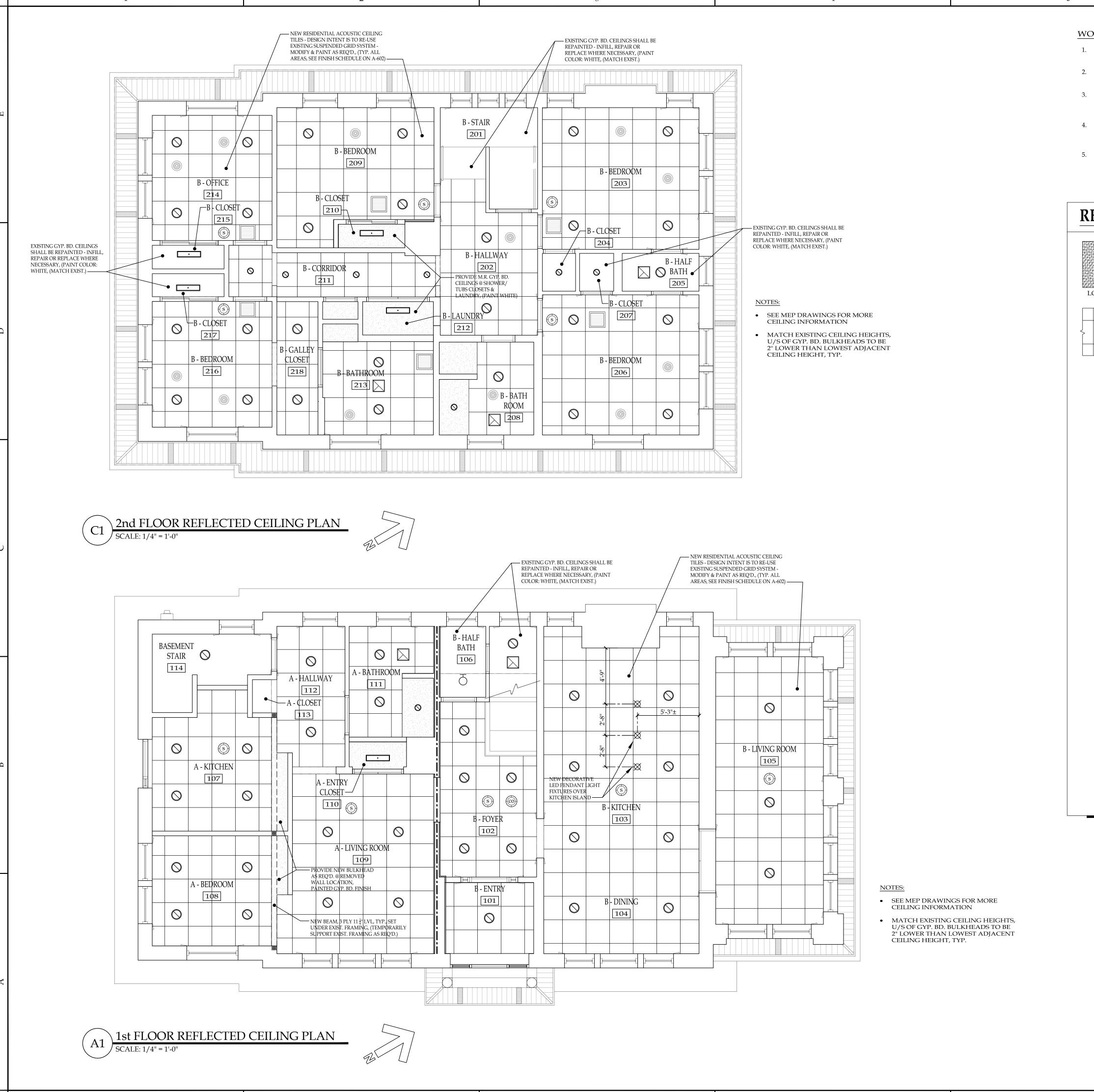
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THIRD FLOOR



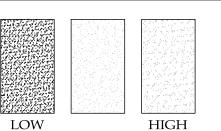
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### WORK NOTES - REFLECTED CEILING PLANS:

- 1. IN EACH APARTMENT SO EQUIPPED, PROVIDE PENDANT LIGHT FIXTURES OVER DINING ISLAND. BOTTOM OF FIXTURE TO BE + 7'-6" A.F.F.
- 2. CEILINGS IN APARTMENT UNITS TO BE FULL HEIGHT UNLESS NOTED OTHERWISE. CEILINGS TO BE \( \frac{5}{8} \) TYPE "X" GWB.
- 3. CEILINGS IN CLOSETS, LAUNDRY/MECHANICAL CLOSETS & BATHROOMS TO BE 5/8" GWB @ + 8'-0" A.F.F. USE MOISTURE & MOLD RESISTANT GWB IN ALL OF THESE AREAS.
- 4. PRESERVE & REPAIR/REPLACE WOOD CROWN MOLDINGS THROUGHOUT APARTMENTS WHERE EXISTING. MATCH EXISTING ELEMENTS AS CLOSE AS POSSIBLE.
- 5. MECHANICAL CONTRACTOR TO COORDINATE DUCTWORK & VENT LINE LOCATIONS WITH DUCTWORK ENCLOSURE DIMENSIONS TO ENSURE DUCTWORK & VENT LINES ARE FULLY CONCEALED.

# REFLECTED CEILING PLAN SYMBOL LEGEND





= SUSPENDED RESIDENTIAL ACOUSTIC CEILING SYSTEM, (NEW OR PAINTED GRID)

= GYPSUM BOARD CEILING OR SOFFIT

- = LED SEMI FLUSH/CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
- = LED STRIP CEILING MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
- = LED VANITY SCONCE WALL MOUNTED LIGHT FIXTURE, COORD. W/ELEC. DWGS.
- $\bigcirc$   $\bigcirc$ = LED RECESSED DOWNLIGHT FIXTURE, COORD. W/ELEC. DWGS.

  - = LED PENDANT CEILING LIGHT FIXTURE, COORD. W/ELEC. DWGS.
  - = EXIT SIGNAGE WALL OR CEILING MOUNTED, COORD. W/ELEC. DWGS.
  - = EMERGENCY LIGHT, COORD. W/ELEC.
  - = CEILING MOUNTED EXHAUST FAN,
- COORD. W/ELEC. & MECH. DWGS. = SUPPLY AIR DIFFUSER - IN WALL OR
- SOFFITS, COORD. W/MECH. DWGS. = SUPPLY AIR DIFFUSER - CEILING
- MOUNTED, COORD. W/MECH. DWGS.
- = RETURN AIR DIFFUSER CEILING MOUNTED, COORD. W/MECH. DWGS.
- GYP. +X'-X" = INDICATES CEILING TYPE & HEIGHT
  - = INDICATES SMOKE DETECTOR CEILING  $\bigcirc$ S MOUNTED, COORD. W/ELEC. DWGS.
    - = INDICATES CARBON MONOXIDE DETECTOR -CEILING MOUNTED, COORD. W/ELEC. DWGS.

# **GENERAL NOTES:**

- CONTRACTOR SHALL COORDINATE ALL CEILING FIXTURES, DIFFUSERS, LIGHTING, ETC. WITH MECHANICAL & ELECTRICAL CONTRACTOR.
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS.
- V.I.F. ALL SOFFIT WIDTHS/DEPTHS REFER TO MECH DRAWINGS.
- REFER TO MECH/ELEC PLANS FOR ADDITIONAL CEILING INFORMATION.

85 Humboldt Parkway

**UNIT** 'A' STUDIO: UNIT 'B' 4 BED, OFFICE, 2.5 BATHS: 2,124 SQ. FT.

604 SQ. FT.

24101.01

DRAWING #:

A-103

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TITLE:

1st & 2nd FLOOR REFLECTED CEILING PLANS

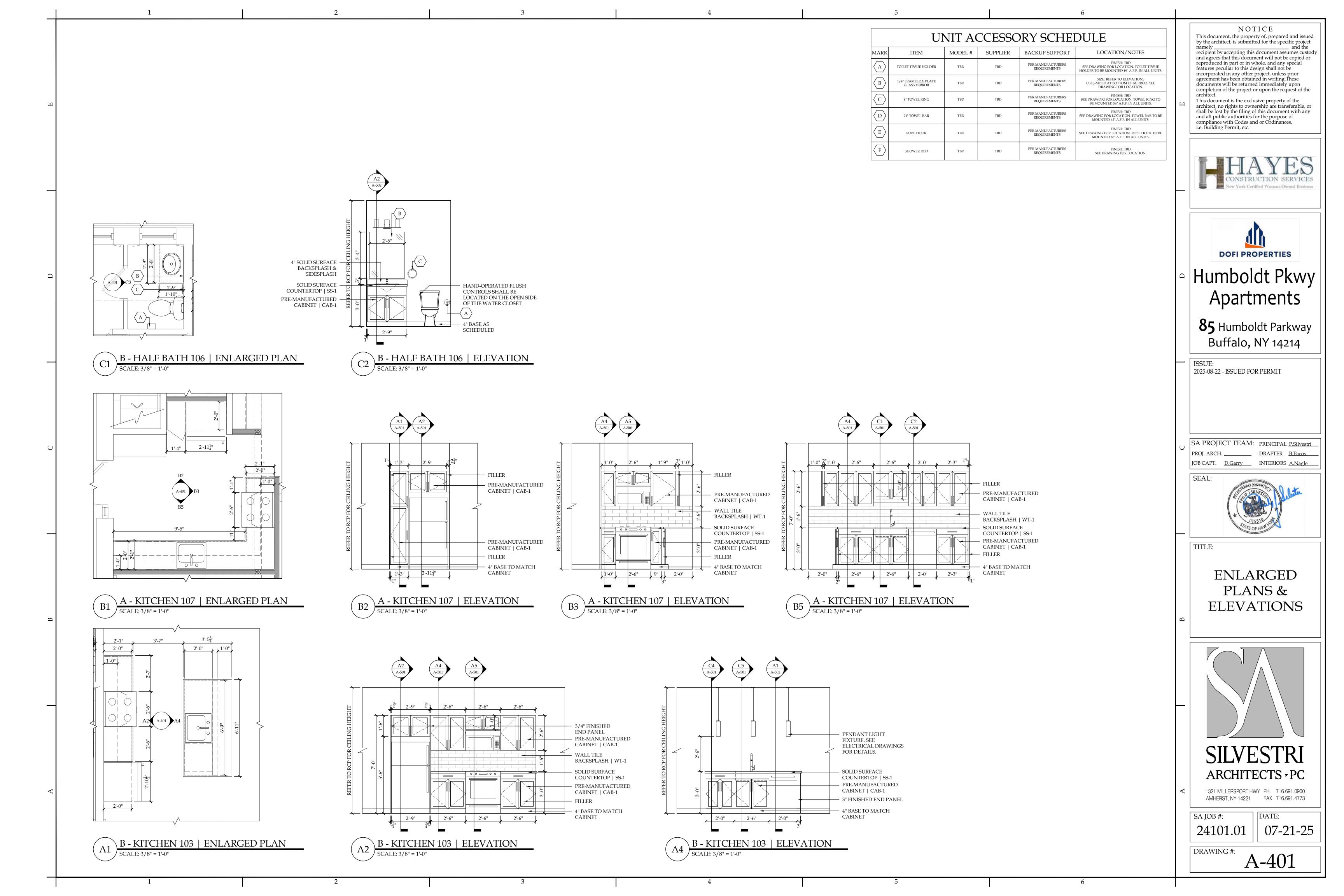


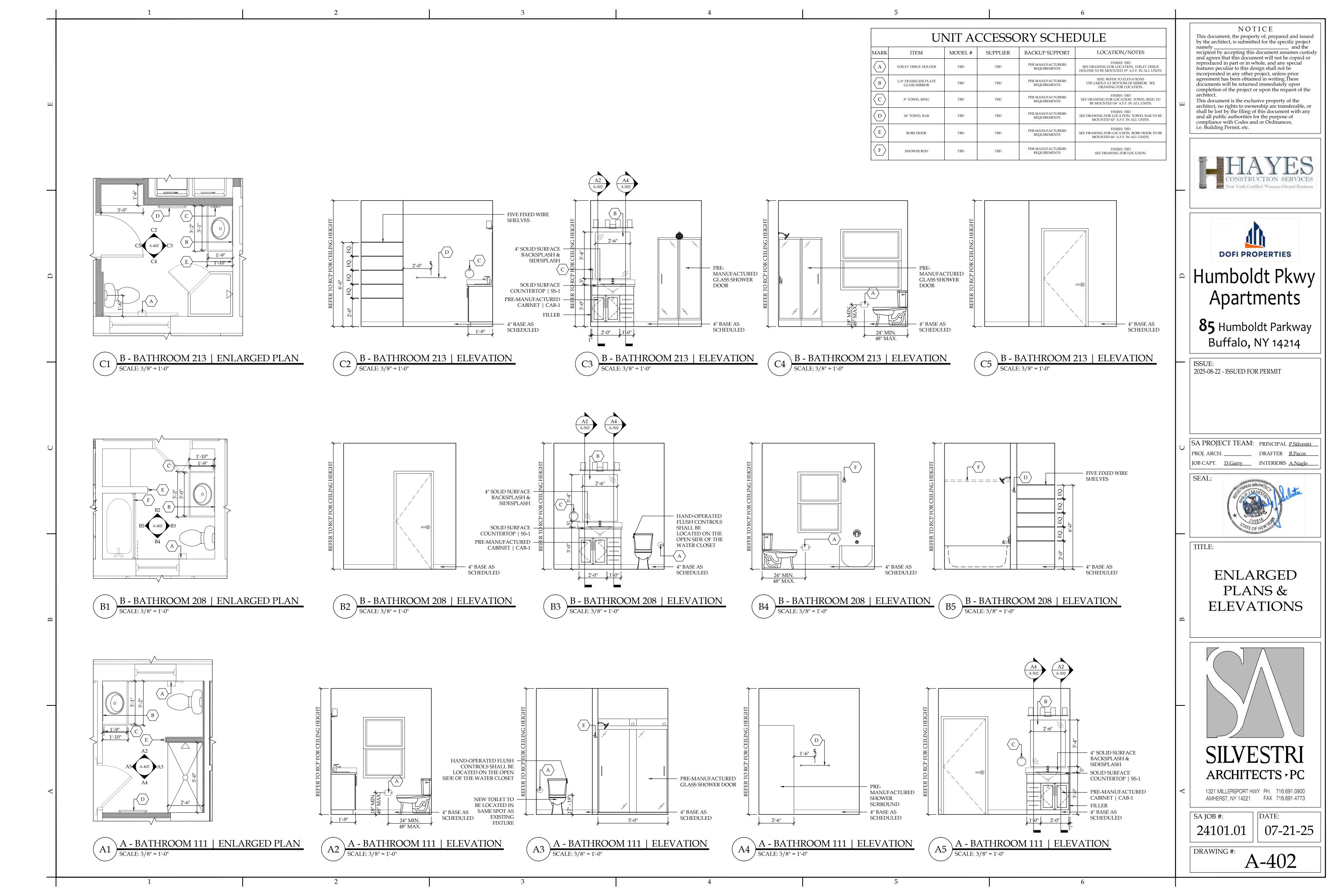
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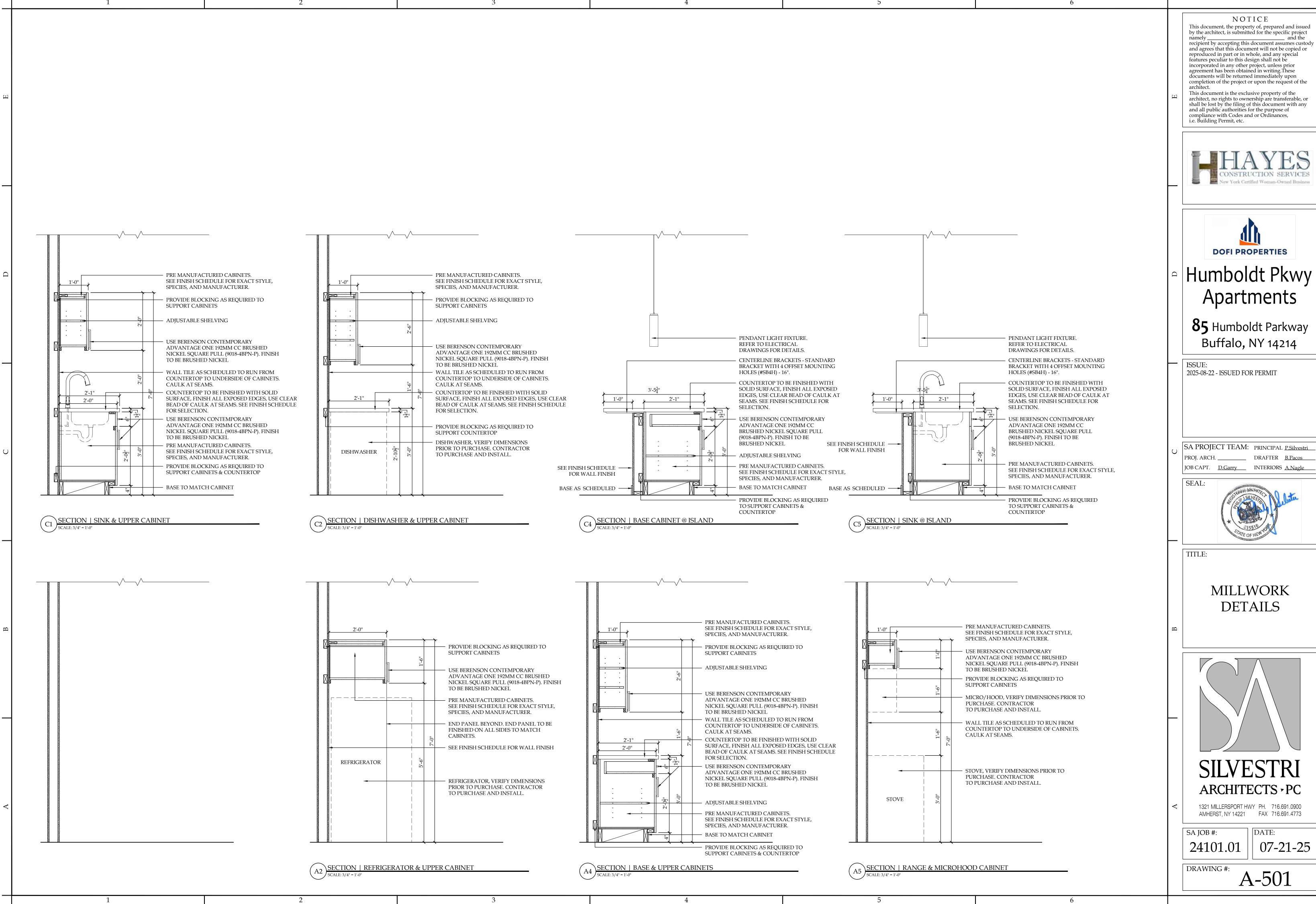
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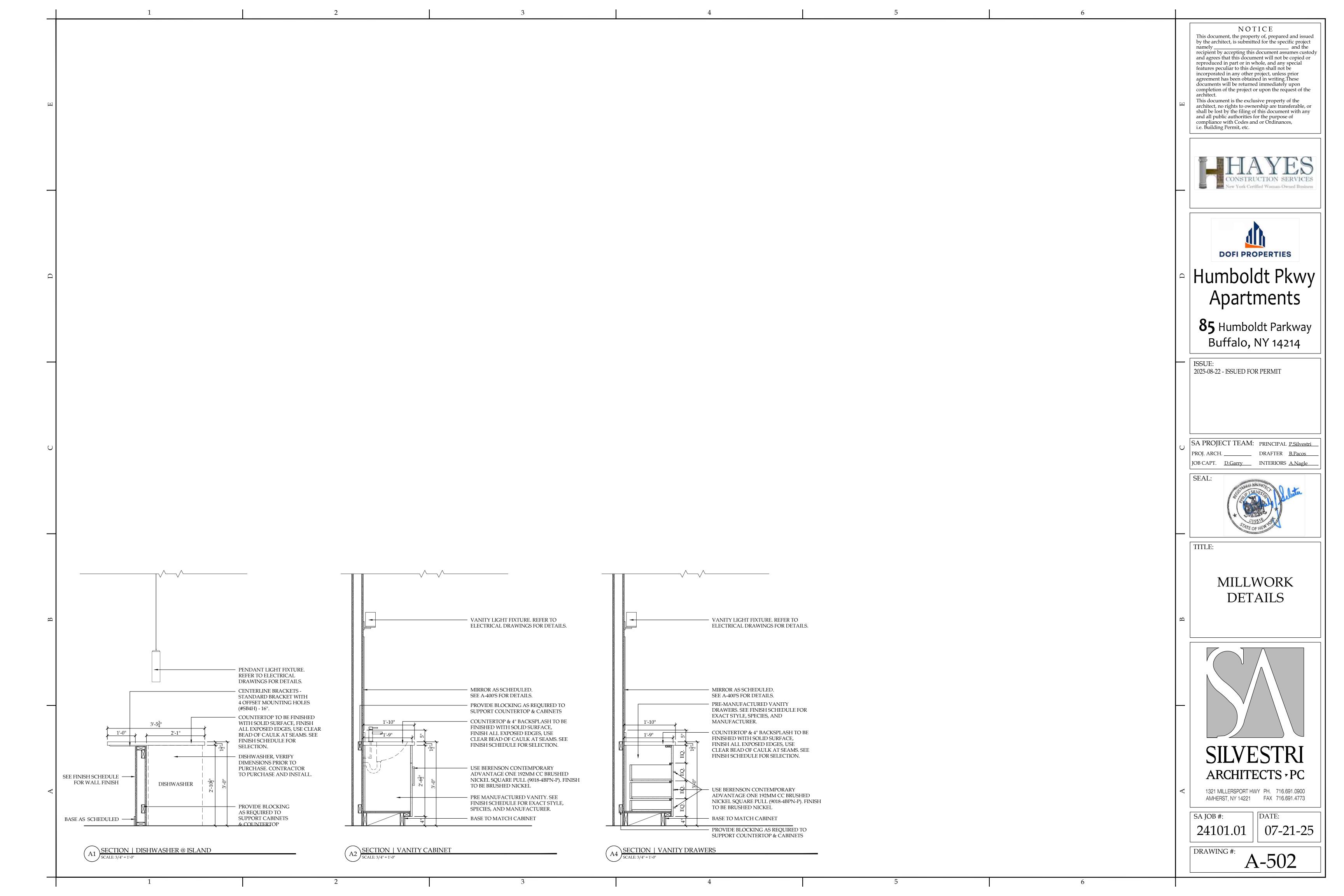


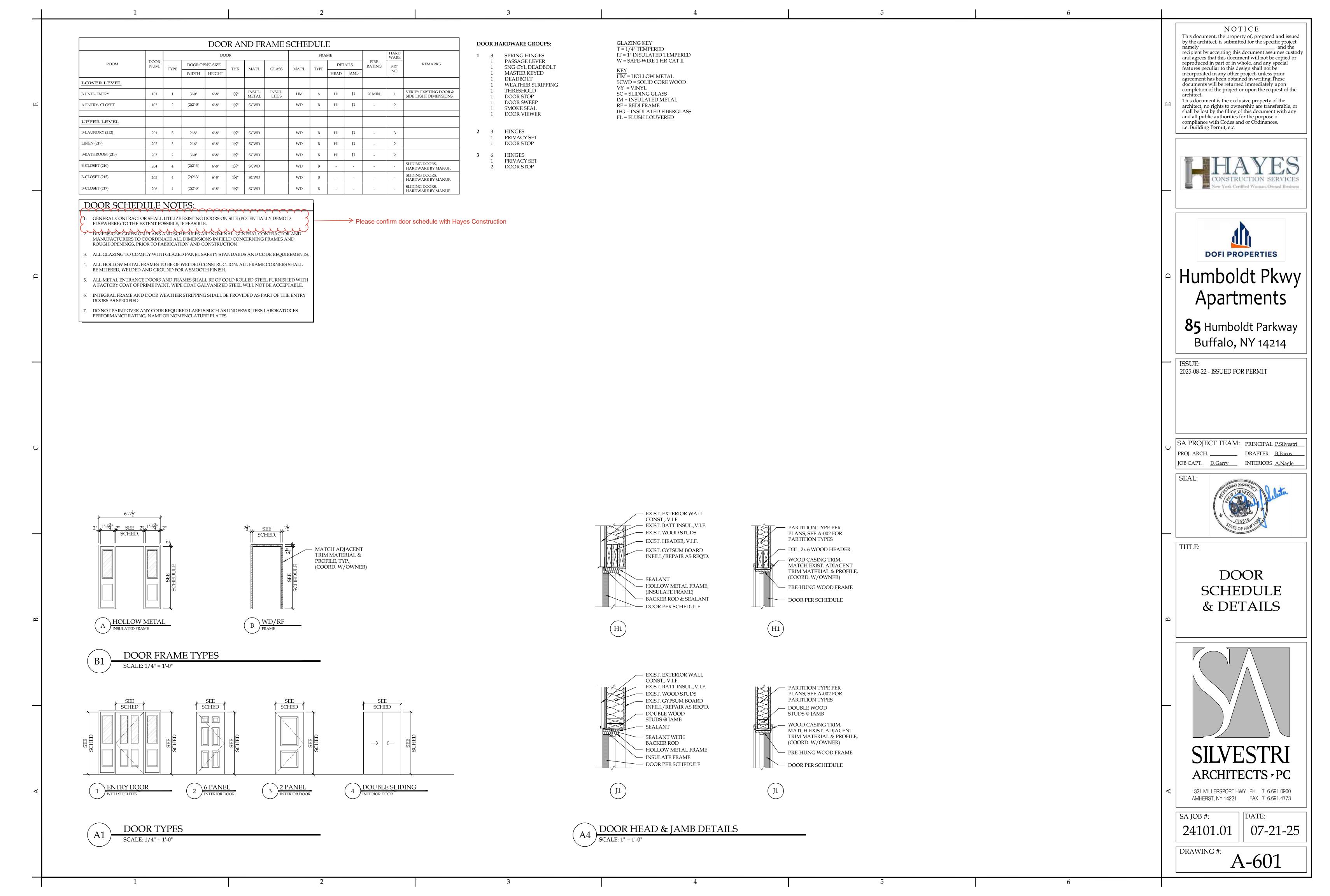


SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>









ROOM					CEILI	NG	MILLWORK/	COLINITED	
NUMBER	ROOM NAME	FLOOR	BASE	WALLS	MATERIAL	HEIGHTS	SHROUD	TOP	REMARKS
BASEMENT					<u> </u>				
001	LAUNDRY	EXIST	EXIST	EXIST	EXIST	EXIST			1
FIRST FLOOF	2			1	l	l			
101	B - ENTRY	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			7,8
102	B - FOYER	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 7, 8
103	B - KITCHEN	LVT-1	EXIST/WDB-1	WT-1/GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	3, 5, 7, 8
104	B - DINING	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 7, 8
105	B - LIVING ROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 7, 8
106	B - HALF BATH	EXIST	WDB-1	GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	6, 7, 8
107	A - KITCHEN	LVT-1	EXIST/WDB-1	WT-1/GYP-P-1	EXIST/GYP (P-3)	EXIST	CAB-1	SS-1	5, 7, 8
108	A - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST/GYP (P-3)	EXIST			5, 7, 8
109	A - LIVING ROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8
110	A - ENTRY CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	GYP (P-3)	EXIST			5, 8
111	A - BATHROOM	T-1	TB-1	GYP-P-1	EXIST/GYP (P-3)	EXIST	CAB-1	SS-1	5, 7, 8
112	A - HALLWAY	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8
113	A - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			8
114	A - BASEMENT STAIR	EXIST/LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8
ECOND FLO	OOR		,	•		•			
201	B - STAIR	EXIST/LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			4, 7, 8
202	B - HALLWAY	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5
203	B - BEDROOM	EXIST	EXIST	GYP-P-1	SCT-1	EXIST			3, 7
204	B - CLOSET	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 8
205	B - HALF BATH	T-1	TB-1	GYP-P-1	EXIST (P-3)	EXIST			6, 7, 8
206	B - BEDROOM	LVT-1	EXIST	GYP-P-1	SCT-1	EXIST			3, 7
207	B - CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 8
208	B - BATHROOM	T-1	TB-1	GYP-P-1	SCT-1/GYP (P-3)	EXIST	CAB-1	SS-1	6, 7, 8
209	B - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7
210	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8
211	B - CORRIDOR	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			3, 5
212	B - LAUNDRY	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8
213	B - BATHROOM	T-1	TB-1	GYP-P-1	SCT-1/GYP (P-3)	EXIST	CAB-1	SS-1	7,8
214	B - OFFICE	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7
215	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 8
216	B - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7
217	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 8
218	B - GALLEY CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5
219	B - LINEN	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8
HIRD FLOC	rR		1					1	1
301	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2
302	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2
303	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2
304	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2
305	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2
306	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2

# **REMARKS**

- CLEAN ALL BASEMENT WALLS, FLOORS, & CEILINGS THOROUGHLY.
- CLEAN ALL THIRD FLOOR WALLS, FLOORS, & CEILINGS THOROUGHLY.
- EXISTING CARPET TO BE REMOVED. AFTER DEMOLITION, CONDITION OF HARDWOOD FLOORS IS TO BE ASSESSED, ANY EXISTING HARDWOOD FLOORING IN ACCEPTABLE CONDITION IS TO REMAIN AND BE REPAIRED/REFINISHED AS NECESSARY. WHERE EXISTING HARDWOOD FLOORING IS NOT IN AN ACCEPTABLE CONDITION, LVT IS TO BE INSTALLED AS SCHEDULED.
- EXISTING CARPET ON STAIRS TO BE REMOVED. RESTORE EXISTING HARDWOOD STAIR TREADS & RISERS.
- ALL NEW WALLS / WALLS WITH RUBBER BASE TO RECEIVE NEW WOOD BASE TO MATCH EXISTING WOOD BASE.
- REMOVE EXISTING TILE WAINSCOTING ON ALL WALLS. REPAIR WALL AS NECESSARY AND REPAINT AS SCHEDULED.
- PROVIDE NEW BLINDS ON ALL WINDOWS AS SCHEDULED.
- EXISTING CEILINGS TO BE PATCHED/REPAIRED AND PAINTED P-3 AS SCHEDULED. NEW GYP. CEILINGS TO BE PAINTED P-3 AS SCHEDULED.

# DRYWALL FINISH LEVELS

LEVEL 0: NO TAPING, FINISHING, OR ACCESSORIES REQUIRED

LEVEL 1: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE SET IN JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE.

LEVEL 2: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH A COAT OF JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE. JOINT COMPOUND APPLIED OVER THE BODY OF THE TAPE AT THE TIME OF TAPE EMBEDMENT SHALL BE CONSIDERED A SEPARATE COAT OF JOINT COMPOUND AND SHALL SATISFY THE CONDITION OF THIS LEVEL.

LEVEL 3: ALL JOINTS AND INFERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. ONE ADDITIONAL COAT OF JOINT COMPOUND SHALL BE APPLIED OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.

LEVEL 4: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/WALLCOVERING SPECIFICATION IN THIS REGARD.

LEVEL 5: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF IOINT COMPOUND. A THIN SKIM COAT OF IOINT COMPOUND TROWEL APPLIED, OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING SPECIFICATION IN THIS REGARD.

## UNIT FINISH SELECTIONS

## LUXURY VINYL TILE (LVT-X):

MANUFACTURER: PATCRAFT NATURAL STATE COLLECTION: 1531V STYLE: COLOR: SPICED CHESTNUT 00750 WEAR LAYER THICKNESS: 12 MIL INSTALLATION: FLOATING

TILE (T-X):

MANUFACTURER: **UMORE** CONTACT: TIM WESTER (585) 622-0753 TWESTER@SPARTANSURFACES.COM

COLLECTION: PALERMO COLOR: HAZELWOOD SIZE: 12" X 24" **INSTALL:** BRICK LAY  $\frac{1}{3}$  OFFSET GROUT: **BOSTIK** GROUT COLOR: MOBE PEARL H145

TILE BASE (TB-X):

JOINT THICKNESS:

TO MATCH T-1/ ONLY TO BE USED STYLE: WITH T-1

WOOD BASE

NOTE: SCHLUTER EDGE TO BE PROVIDED

WOOD BASE (WDB-X): (WDB-1)

TO MATCH ADJACENT EXISTING WOOD BASE TO MATCH ADJACENT EXISTING

PAINT (P-X): (P-1) TYPICAL

STYLE:

FINISH:

MANUFACTURER: SHERWIN WILLIAMS PROMAR 200 TYPE: COLOR: PACER WHITE SW 6098 FINISH: **EGGSHELL** 

(P-2) TRIM MANUFACTURER: SHERWIN WILLIAMS PROMAR 200 TYPE: COLOR: TO BE DETERMINED FINISH: SEMI-GLOSS

(P-3) CEILINGS SHERWIN WILLIAMS MANUFACTURER: PROMAR 200 COLOR: TO BE DETERMINED

WALL TILE (WT-X):

FINISH:

MANUFACTURER: **UMORE** CONTACT: TIM WESTER (585) 622-0753

TWESTER@SPARTANSURFACES.COM **COLLECTION:** BOLOGNA **ADMIRAL** COLOR: 3" X 12" SIZE: GROUT: **BOSTIK GROUT COLOR:** TO BE DETERMINED

FLAT

JOINT THICKNESS:

CABINETS (CAB-X): MANUFACTURER: BLUE VALLEY CABINETS ACME CABINET CO. DISTRIBUTOR: DOVE WHITE COLOR: CLASSIC DOOR STYLE:

OVERLAY: FULL KITCHEN & BATHROOM LOCATION:

CABINET PULLS (CP-X):

MANUFACTURER: BERENSON HARDWARE STYLE: METRO 224MM CC BRUSHED NICKEL FINISH: MODEL #: 9828-1BPN-P SIZE:  $9^{1}_{4}$ " (TYPICAL). SEE A-500'S FOR EXACT

**SOLID SURFACE (SS-X):** 

(SS-1) COUNTERTOPS MANUFACTURER: WILSONART PEARL MIRAGE 9199MG COLOR: PROFILE: EASED EDGE

TRANSITION STRIP (TS-X):

THICKNESS:

(TS-1) GENERAL FLOORING FOR SLOPED TRANSITIONS SCHLUTER SYSTEMS RENO-U SIZE TO BE V.I.F. IN STYLE & SIZE: ACCORDANCE WITH MATERIAL(S)

1-1/2"

THICKNESS FINISH: CLEAR SATIN ANODIZED ALUMINUM LOCATION(S): ALL FLOORING MATERIAL CHANGES AS NECESSARY

NOTE(S): SEE GENERAL NOTES

(TS-2) TILE BASE CAP MANUFACTURER: STYLE & SIZE:

COLOR:

SCHLUTER SYSTEMS JOLLY SIZE TO BE V.I.F. IN ACCORDANCE WITH MATERIAL(S) THICKNESS

FINISH: CLEAR SATIN ANODIZED ALUMINUM LOCATION(S): ALL WALL MATERIAL CHANGES AS NECESSARY NOTE(S): SEE GENERAL NOTES

SUSPENDED CEILING TILE (ACT-X):

ARMSTRONG CEILINGS MANUFACTURER:

24" X 24" SINGLE RAISED PANEL STYLE: EDGE PROFILE: **TEGULAR** 24" X 24" SIZE:

THICKNESS: COLOR: WHITE SUSPENSION SYS.: PRELUDE 15 GRID SYSTEM

**MISCELLANEOUS (MISC-X):** (MISC-1) BLINDS HUNTER DOUGLAS ARCHITECTURAL MANUFACTURER: STYLE: EXPRESS BASICS ALTERNATIVE WOOD

LILY

ROOM FINISH LEGEND

## **FLOORS**

LVT = LUXURY VINYL TILE

T = TILE

#### **BASE**

TB = TILE BASE

WDB = WOOD BASE

## WALLS

GWB = GYPSUM WALL BOARD

P = PAINT

WT = WALL TILE

# **CEILING**

GYP = GYPSUM BOARD

SCT = SUSPENDED CEILING TILE

# **MATERIALS**

GYP = GYPSUM BOARD

## **MISCELLANEOUS**

CAB = CABINET

CP = CABINET PULLS

EGG = EGGSHELL EXIST = EXISTING

MEP = MECHANICAL, ELECTRICAL, PLUMBING

MISC = MISCELLANEOUS

TS = TRANSITION STRIP

SG = SEMI GLOSS

SS = SOLID SURFACE

# GENERAL NOTES

- G1. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE TO THE FOLLOWING FINISHES UNLESS DIRECTED BY THE OWNER OR THE ARCHITECT.
- G2. MANY FINISH MATERIALS REQUIRE A SUBSTANTIAL LEAD TIME. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ORDER ALL MATERIALS AT THE APPROPRIATE TIME. ANY FEES INCURRED AS A RESULT OF FINISHES NOT BEING ORDERED ON TIME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- G3. ANY AND ALL FINISH SELECTIONS/COLORS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL ACCOUNTING FOR PROPER LEAD TIME. ANY FINISH THAT IS INSTALLED WITHOUT ARCHITECTS APPROVAL MAY BE REQUIRED TO BE REMOVED AND REPLACED BY THE GENERAL CONTRACTOR.
- G4. ANY DISCREPANCIES BETWEEN ARCHITECTURAL ELEVATION(S), PLAN(S), SCHEDULE(S) AND NOTES MUST BE BROUGHT TO ARCHITECTS ATTENTION. ARCHITECTS MUST BE CONTACTED AND GIVE APPROVAL TO MOVE FORWARD WITH SPECIFIC DIRECTION PRIOR TO ANTICIPATED ACTION.
- G5. IF COLOR OR FINISH IS NOT SPECIFIED CONTACT THE ARCHITECT FOR CLARIFICATION.
- G6. ALL PAINTING, INCLUDING MEP ITEMS THAT REQUIRE PAINTING, IS UNDER THE PAINTER'S SCOPE OF
- G7. ALL INTERIOR PRODUCTS TO MEET/EXCEED FLAME SPREAD RATING PER CODE.

# WINDOWS

G1. ALL GLAZING FACING EXTERIOR TO RECEIVE BLINDS AS SCHEDULED (MISC-1).

#### **CEILINGS:**

- G1. ALL GYPSUM BOARD CEILINGS AND GYPSUM BOARD SOFFITS SHALL BE FINISHED TO LEVEL 4 DRYWALL FINISH AND ARE TO BE PAINTED IN A FLAT FINISH.
- G2. ALL EXPOSED MECHANICAL DUCT COVERS SHALL BE PAINTED TO MATCH THE SURROUNDING WALL/CEILING COLOR. PRIME AS NECESSARY.
- G3. ALL EXPOSED PLUMBING FIXTURES/ MECHANICAL DUCT/SUPPLY/RETURN SYSTEMS TO BE PAINTED AND/OR PURCHASED IN A COLOR TO MATCH THE SURROUNDING WALL/CEILING COLOR.
- G4. ANY CEILING HVAC SUPPLY/DIFFUSERS TO BE PAINTED TO MATCH SURROUNDING CEILING FINISH. ANY QUESTION OR CONCERN TO BE BROUGHT TO ARCHITECTS ATTENTION FOR FINAL DECISION PRIOR TO ORDER/INSTALL BY CONTRACTOR OR OTHERS.

# WALLS

- G1. ALL GWB WALLS SHALL BE FINISHED TO LEVEL 4 DRYWALL FINISH AND INCLUDE (1) COAT WALL PRIMER FOLLOWED BY (2) COATS WALL PAINT ON ALL INTERIOR WALL SURFACE UNLESS OTHERWISE NOTED IN SPECIFICATIONS. SEE SPEC FOR DETAILS.
- G2. ALL SURFACE MOUNTED CONDUITS SHALL BE PAINTED TO MATCH WALL PAINT.
- G3. PROVIDE SCHLUTER STRIP AS SCHEDULED AT EXPOSED UNFINISHED TILE EDGES. NECESSARY SIZES TO BE DETERMINED BY CONTRACTOR AND V.I.F. BASED ON MATERIAL THICKNESS.
- G4. ALL ELECTRICAL PANEL COVERS AND/OR MECHANICAL EQUIPMENT AND/OR DUCTING TO BE PAINTED TO MATCH ADJOINING WALL.

## FLOORS:

- G1. ALL FLOOR FINISHES TO EXTEND BELOW ALL MILLWORK.
- G2. CONTRACTOR TO PROVIDE TRANSITION STRIP AS SCHEDULED AT ALL FLOORING MATERIAL CHANGES NEEDING THRESHOLDS. NECESSARY SIZES TO BE DETERMINED BY CONTRACTOR AND V.I.F. BASED ON MATERIAL THICKNESS.

## **MILLWORK:**

- G1. PROVIDE CLEAR BEAD OF SILICONE OR CLEAR CAULK TO SEAL BETWEEN MILLWORK PIECES (IE:COUNTERTOP AND BACKSPLASH) AND MILLWORK AND WALL (TYPICAL.).
- G2. MILLWORK FINISHES ON SHOP DRAWINGS MUST BE APPROVED BY ARCHITECT PRIOR TO PRODUCTION. G3. USE BERENSON HARDWARE METRO- 224MM CC IN BRUSHED NICKEL FINISH (9828-1BPN-P) FOR ALL
- G4. PROVIDE TRIM UNDER ALL KITCHEN ISLAND COUNTERS/OVERHANGS.

# **OUTLETS:**

MILLWORK.

G1. ALL PLATE COLORS AND RECEPTACLES TO BE WHITE

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**DOFI PROPERTIES** 

Humboldt Pkwy

Apartments

85 Humboldt Parkway
Buffalo, NY 14214

2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>



| TITLE:

**FINISH** 

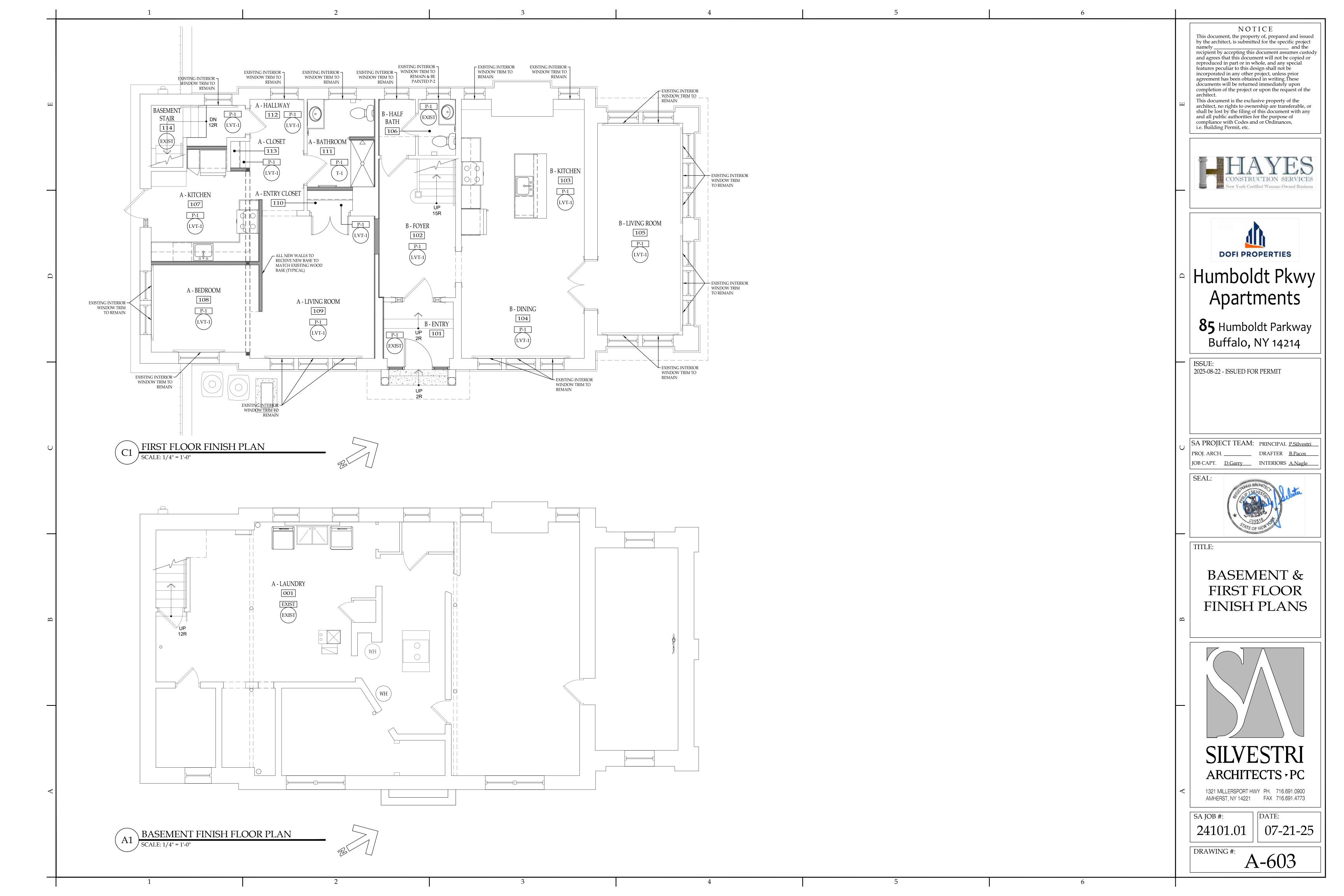


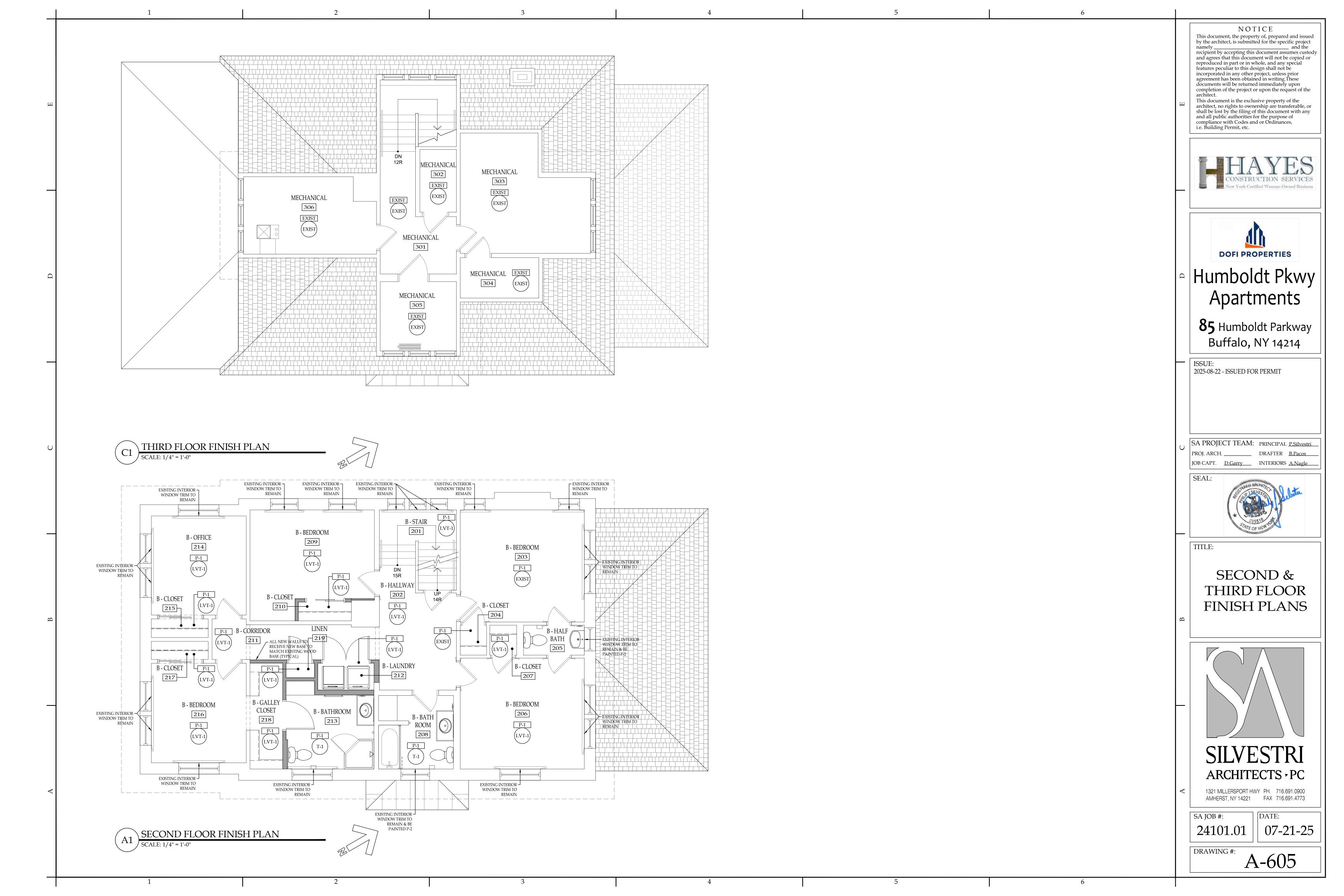
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

DATE:

DRAWING #:





## DUCTED SPLIT SYSTEM AIR-CONDITIONING UNITS

			COOLING	CAPACITY	HEATING (	CAPACITY		INDOOR	UNIT		OUTDOOF	R UNIT		MODEL	VIIIMDED	
MARK	COND	SERVICE	TOTAL	EAT	TOTAL	HSPF2		ESP	PINTS/	SEER2	ELE	ECTRICA	\L	MODEL 1	NOMBEK	NOTES
IVIAITT	UNIT	JENVICE	(BTUH)	(℉ DB/WB)	(BTUH)	113112	CFM	(IN WC)	HOUŔ	JLLINZ	POWER	MCA	MOP	INDOOR	OUTDOOR	110120
AHU-1	HP-1	BACK APT	14000	80/67	14000	10	500	0	2.3	22.2	208/1	16	28	MITSUBISHI MODEL MSZ-GX15NL	MITSUBISHI MODEL MUZ-GX15NLHZ	1,2,3,4,5

MICROPROCESSOR CONTROL.

LOW AMBIENT CONTROL (0°F) WITH REQUIRED OPTIONS.

DISCONNECT SWITCH.

4. LOW VOLTAGE WALL MOUNTED T-STAT. 5. PROVIDE CONDENSATE PUMP

# EXHAUST FAN SCHEDULE

UNIT NO.	AREA	GREENHECK	TYPE	CFM	S.P.	FAN	LIGHT	OPERATING	MOTOR I	NFORMA	TION	SONES	NOTES
	SERVED	MODEL NO.			(IN WC.)	RPM	LIGHT	POWER	VOLTAGE	ENCL.	RPM		
EF-1*	BATHROOM	SP-B90	CEILING	80	0.125	700	NO	20 W	115/60/1ø	ODP	700	1.0	1,2,3,4

NOTES: 1. CONTROLLED BY SWITCH

2. PROVIDE MANUFACTURER'S WALL/ROOF CAP.

3. PROVIDE BACKDRAFT DAMPER 4. PROVIDE HANGING KIT WITH VIBRATION ISOLATORS.

# ELECTRIC HEATER SCHEDULE

MARK	SERVICE	TYPE	CFM	POWER	MOTOR AMPS	HEAT K.W.	STEPS	MODEL	ACC
EWH-1	BATHROOM	WALL	100	208/1	7.2	1.5	1	QMARK AWH4404F	1,2,3,4

**ACCESSORIES** 

1. INTEGRAL TAMPER PROOF THERMOSTAT.

2. SECURITY COVER.

3. MOUNTING FRAME KIT. 4. FACTORY MOUNTED DISCONNECT SWITCH.

LE	EGEND
	EXHAUST FAN WITH AIR GRILLE
<b>~</b> ∪D	UNDERCUT DOOR (3/4")  EXHAUST AIR DUCTWORK
Ţ	NEW THERMOSTAT
	EXISTING THERMOSTAT

# ABBREVIATIONS

AFF AFG ARCH BMS BTU CLG CFM CRAC CONST DET DIA DWG EC FLR G GPM HP HT HTG HVAC INV KW MBH MCA MOP MTD NIC NTS OA ODP	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE ARCHITECT BUILDING MANAGEMENT SYSTEM BRITISH THERMAL UNIT CEILING CUBIC FEET PER MINUTE COMPUTER ROOM AIR CONDITIONER CONNECTION CONSTRUCTION DETAIL DIAMETER DOWN DRAWING ELECTRICAL CONTRACTOR FLOOR GAS GALLONS PER MINUTE HORSEPOWER HEIGHT HEATING HEATING VENTILATING AND AIR COND INVERT KILOWATTS THOUSAND BTU PER HOUR MIN. CIRCUIT AMPACITY MAX. OVERCURRENT PROTECTION MOUNTED NOT IN CONTRACT NOT TO SCALE OUTSIDE AIR OPEN DRIP PROOF
MTD NIC	MOUNTED NOT IN CONTRACT
ODP PVC	OUTSIDE AIR OPEN DRIP PROOF POLYVINYLCHLORIDE
RPM S.P. TYP UTIL	REVOLUTIONS PER MIN. STATIC PRESSURE TYPICAL UTILITY
WH NG	WATER HEATER NATURAL GAS

# AIR DEVICE SCHEDULE

MARK	TYPE	STYLE	FACE	BASIS OF DESIGN
А	SUPPLY	SURFACE	12"	TITUS TMRA
В	RETURN	PERF, LAY-IN	12"x12"	TITUS PDR

\* MULTIPLE UNITS, SEE FLOOR PLANS

MARK — A 8"ø — NECK 150 — CFM

1. FINISH TO MATCH ARCHITECTURAL. 2. OPTIONAL VOLUME DAMPER ON ALL DIFFUSERS MOUNTED IN

GYPSUM CEILINGS OR SOFFITS. 3. PROVIDE ALL REQUIRED MOUNTING FRAMES AND HARDWARE.

# **GENERAL HVAC NOTES**

- A. CONTRACTOR SHALL MAINTAIN A MIN. OF 10 FEET CLEARANCE BETWEEN OUTSIDE AIR INTAKES AND EXHAUSTS, PLUMBING VENTS, ETC.
- B. CONTRACTOR SHALL MAINTAIN RECOMMENDED CLEARANCES FOR MAINTENANCE, OPERATION, ETC. ON ALL MECHANICAL EQUIPMENT.
- C. CONTRACTOR SHALL COORDINATE ALL HVAC WORK WITH OTHER TRADES, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.
- D. ALL WORK SHALL BE IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS.
- E. HVAC EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- F. COORDINATE EXACT LOCATION OF HVAC UNITS WITH ARCHITECTURAL DRAWINGS AND STRUCTURAL STEEL.
- G. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THERMOSTATS WITH OWNER.
- H. EXISTING HVAC SPLIT SYSTEMS TO REMAIN. SMALLER BACK APARTMENT TO BE REMOVED FROM BASEMENT HVAC UNIT EXCEPT WHERE NOTED. MODIFY CFM FOR BASEMENT UNIT AS NEEDED. NEW DUCTLESS SPLIT SYSTEM TO BE ADDED FOR BACK APARTMENT.

# **HVAC SPECIFICATIONS**

NOTE: MANUFACTURERS' NAMES ON WHICH THIS SPECIFICATION IS BASED INDICATE THE MINIMUM QUALITY OF PRODUCT REQUIRED. SUBSTITUTION MAY BE MADE TO THOSE SPECIFIED IF DEEMED EQUIVALENT BY THE OWNER'S REPRESENTATIVE. ALL WORK AND PRODUCTS SHALL MEET THE REQUIREMENTS OF GOVERNING CODES.

- 1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE CODES.
- 2. SEE ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS. ALL CONDITION REQUIREMENTS SHALL APPLY UNLESS OTHERWISE NOTED.
- 3. ALL WORK SHALL BE PERFORMED AS INDICATED ON DRAWINGS UNLESS FIELD CONDITIONS REQUIRED MINOR CHANGES BE MADE. MINOR CHANGES SHALL BE MADE WITH NO ADDITIONAL COST.
- 4. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- 5. CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE OWNER AND THE LANDLORD. AS-BUILT DRAWINGS SHALL INDICATE THE ACTUAL MANUFACTURER OF THE EQUIPMENT THAT WAS INSTALLED, THE EXACT LOCATION OF THE EQUIPMENT AND PERTINENT CAPACITIES FOR HEATING, COOLING, ELECTRICAL, ETC.
- 6. DEFICIENCIES AND NON-CONFORMING ITEMS SHALL BE CORRECTED BY THE CONTRACTOR. FAILURE TO CORRECT SUCH ITEMS SHALL PERMIT THE OWNER TO CORRECT SAME AT A COST TO THE CONTRACTOR
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND PAYING FOR SAME. HE SHALL INCLUDE IN HIS BID CHARGES FOR ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE SPACE INCLUDING BUT NOT LIMITED TO LOCAL, COUNTY, OR STATE SERVICE CHARGES AND PERMIT FEES.
- 8. THE SCOPE OF WORK OF THIS CONTRACT INCLUDES, BUT SHALL NOT BE LIMITED
- A. PROVIDE AND INSTALL ALL EQUIPMENT, APPLIANCES, CONTROL DEVICES, ACCESSORIES, MATERIAL AND LABOR.
- B. PROVIDE AND INSTALL ALL DUCTWORK, INSULATION, AIR DEVICES DUCT ACCESSORIES, MATERIAL AND LABOR
- C. PROVIDE AND INSTALL ALL PIPING, FITTINGS, VALVES, INSULATION, ACCESSORIES , MATERIAL AND LABOR
- D. PROVIDE AND INSTALL TOILET EXHAUST SYSTEM INDICATED.
- E. CLEAN, TEST AND PUT INTO SERVICE ALL SYSTEMS SPECIFIED.
- F. PROVIDE A BALANCE REPORT PREPARED BY AN INDEPENDENT AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR.
- G. WARRANTY ALL WORK AND MATERIALS HEREIN SPECIFIED FOR A PERIOD OF NOT LESS THAN ONE YEAR.

#### 9. MATERIALS

9.1. ALL MATERIALS SHALL BE NEW AND OF RECOGNIZED COMMERCIAL QUALITY. USED MATERIALS WILL NOT BE PERMITTED.

## 9.2. DUCTWORK

SHALL BE GALVANIZED SHEET METAL, FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF SMACNA - "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE".

DUCTWORK 18" WIDTH AND LARGER SHALL BE CROSS-BROKEN OR RIBBED AND STIFFENED SO THAT IT WILL NOT "BREATHE", RATTLE, VIBRATE OR

# 9.3. FLEXIBLE DUCTWORK

FLEXIBLE DUCTS SHALL BE FLAT METAL SPIRAL WITH FLAME RESISTANCE PER NBFU AND NFPA STANDARDS. DUCTS SHALL HAVE INTEGRAL INSULATION 1" THICK, 3/4 LB. DENSITY GLASS FIBER ENCLOSED IN A VINYL VAPOR BARRIER.MINIMUM R VALUE = 5. SECURE INSULATED JACKET TO DUCT TAKEOFFS AND DIFFUSER COLLARS. MAXIMUM LENGTH OF FLEXIBLE DUCT IS 5'-0".

ALL FLEX DUCT SHALL BE FULLY STRETCHED OUT TO REDUCE AIR

CONNECTIONS TO FITTINGS OR AIR DEVICES SHALL BE MADE WITH TWO (2) STAINLESS STEEL BANDS. THE INNER LINER SHALL BE CLAMPED TIGHT WITH THE FIRST BAND, THEN THE INSULATION AND VAPOR-PROOF JACKET PULLED TO BE TIGHT AGAINST THE DUCT FITTING OR AIR DEVICE AND SECURED WITH THE SECOND BAND. INSTALLATION SHALL BE AS RECOMMENDED BY THE DUCT MANUFACTURER AND SMACNA

SUPPORT THE FLEXIBLE DUCT WITH ADEQUATE HANGERS TO RELIEVE STRAIN ON ANY FITTING. UNNECESSARY BENDS, SAGS, TWISTS., WILL NOT BE ALLOWED.

# 9.4. DUCT INSULATION

INSULATION SUPPLY AND RETURN AIR DUCTWORK WITH MINIMUM R=6 FOR NON-CONDITIONED SPACE AND MIN R=12 FOR OUTSIDE DUCTS IN ACCORDANCE WITH THE STATE ENERGY CONSERVATION CODE. PROVIDE VAPOR BARRIER.

LINED DUCT SHALL BE LINED WITH 1" THICK COATED FIBERGLASS BOARD EQUAL TO JOHNS MANVILLE "PERMACOTE" INSULATION. SHALL BE PER SMACNA STANDARDS AND MANUFACTURER'S INSTRUCTIONS. LINED DUCTWORK SHALL BE USED WHERE INDICATED ON DRAWING

ALL DUCT INSULATION SHALL BE UL LABELED FOR FIRE AND SMOKE

DUCT INSULATION SHALL BE EQUAL TO PRODUCTS MANUFACTURED BY CERTAINTEED AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

# 9.5. AIR DEVICES

CEILING DIFFUSERS SHALL HAVE A FRAME STYLE COMPATIBLE WITH THE TYPE OF CEILING USED. THE DIFFUSER FACE SIZE OR FACE PLATE SIZE SHALL BE OF THE SAME NORMAL SIZE AS THE CEILING MODULE. DIFFUSERS SHALL HAVE HIGH ANTI-SMUDGE CHARACTERISTICS. REFER TO AIR DEVICE SCHEDULE.

# 9.6. PIPING AND FITTINGS

CONDENSATE DRAIN PIPING SHALL BE TYPE L COPPER WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS.

#### 10. EQUIPMENT

HVAC EQUIPMENT SHALL BE AS SCHEDULED ON THE DRAWINGS AND/OR SPECIFIED HEREIN. EQUIVALENT EQUIPMENT AND/OR COMPONENTS THEREOF MAY BE SUBSTITUTED FOR SPECIFIED EQUIPMENT ONLY AS APPROVED BY THE OWNER AND/OR THE PROJECT ENGINEER.

#### 11. EXECUTION

#### 11.1. GENERAL

ACCESSIBILITY - ALL EQUIPMENT SHALL BE INSTALLED IN SUCH A MANNER THAT ALL COMPONENTS REQUIRING ACCESS ARE LOCATED AND INSTALLED THAT THEY MAY BE SERVICED, RESET, REPLACED, OR RECALIBRATED, ETC., BY SERVICE PEOPLE WITH NORMAL SERVICE TOOLS AND EQUIPMENT.

WORK BY OTHER TRADES — FOR THE WORK REQUIRED BY OTHER TRADES FOR CHANGES MADE BY THIS CONTRACTOR IN TYPE OR SIZE OF EQUIPMENT PURCHASED, ANY CUTTING, PATCHING, FURRING, PAINTING, ELECTRICAL OR PLUMBING WORK SHALL BE DONE BY THE AFFECTED TRADE AT THIS CONTRACTOR'S EXPENSE.

EARLY START-UP - THIS CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS CONNECTED WITH ELECTRICAL POWER AS EARLY AS POSSIBLE SO THAT BALANCING AND TESTING CAN BEGIN AT THE EARLIEST DATE AVAILABLE.

CLEANING AND PAINTING - THOROUGHLY CLEAN ALL EQUIPMENT AND REMOVE ALL TRASH, CARTONS, ETC., FROM THE WORK AREA. MAKE ANY NECESSARY CORRECTIONS OR REPAIR / REPLACE ANY DAMAGED MATERIALS OR EQUIPMENT. LEAVE THE ENTIRE SPACE IN A THOROUGHLY CLEAN AND ORDERLY MANNER. ANY FINISHED SURFACES THAT HAVE BEEN SCRATCHED OR DISCOLORED SHALL BE TOUCHED UP OR REPAINTED TO MATCH THE ORIGINAL COLOR. IF ANY PART HAS BEEN BENT, BROKEN OR OTHERWISE DAMAGED, IT SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. ALL METAL ITEMS INSIDE THE BUILDING SUBJECT TO RUSTING, AND ALL FERROUS METAL EXPOSED TO THE WEATHER SHALL BE GIVEN ONE COAT OF RUST PREVENTIVE PRIMER AS SOON AS INSTALLED.

## 11.2. EQUIPMENT INSTALLATION

ALL EQUIPMENT AND RELATED PIPING, DUCTWORK, CONTROL WIRING AND ACCESSORIES SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING LINES AND, IF INSTALLED WITHIN WITHIN THE BUILDING ENVELOPE SHALL BE INSTALLED AS HIGH AS POSSIBLE TO ALLOW THE MAXIMUM AMOUNT OF HEADROOM. EQUIPMENT THAT REQUIRES ROUTINE MAINTENANCE SUCH AS FILTER REPLACEMENT SHALL BE INSTALLED AND ARRANGED TO BE ACCESSIBLE. PROVIDE ACCESS PANEL(S) AS REQUIRED AND/OR AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER. ALL EQUIPMENT SHALL BE INSTALLED WITH THE REQUIRED CLEARANCES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER OR AS REQUIRED BY GOVERNING CODES, WHICHEVER IS GREATER.

### 11.3. DUCTWORK

LOW PRESSURE DUCTWORK AND FITTING SHALL BE MADE TIGHT FOR MINIMUM AIR LEAKAGE. DUCT TAPE SHALL NOT BE USED TO SEAL JOINTS. TO MAKE TRANSITIONS OR FOR ANY OTHER REASON ON THE OUTSIDE OF THE WRAPPED INSULATION

INSTALL DUCTWORK AS HIGH AS POSSIBLE.

PROVIDE TURNING VANES AT ALL CHANGES IN DIRECTION.

PROVIDE VANED TEES AT BRANCH CONNECTIONS SERVING MORE THAN ONE DIFFUSER

PROVIDE VOLUME CONTROL DAMPERS AND BALANCING DEVICES AS REQUIRED TO DISTRIBUTE THE AIR AND AS INDICATED ON THE DRAWINGS.

NOTE: DUCT DIMENSIONS INDICATED ON THE DRAWINGS ARE INSIDE CLEAR, OR "FREE AREA" DIMENSIONS, CONTRACTOR SHALL MAKE ALLOWANCE FOR INTERNAL DUCT LINER (WHERE SPECIFIED) WHEN ORDERING PRE-FABRICATED DUCTWORK OR WHEN FABRICATING DUCTS IN THE FIELD.

# 11.4. AIR DEVICES

INSTALL ALL GRILLES AND DIFFUSERS TO BE FLUSH WITH THE PENETRATED SURFACE AND LEVEL OR STRAIGHT WITH SURROUNDING FEATURES. ALL CEILING MOUNTED AIR DEVICES SHALL BE LOCATED IN THE CEILING TILE INDICATED ON THE DRAWINGS. AT THE PROPER HEIGHT TO HOLD IT SNUG AGAINST THE CEILING.

12. INSTALL ROOF MOUNTED EQUIPMENT SUPPORT RAILS OR ROOF CURB AS REQUIRED FOR THE JOB CONDITIONS AND AS RECOMMENDED BY THE MANUFACTURER FOR THE INSTALLATION OF ROOF MOUNTED EQUIPMENT.

ALL ROOF PENETRATIONS FOR POWER AND CONTROL WIRING CONDUITS AND GAS, CONDENSATE, OR REFRIGERANT PIPING SHALL BE MADE WITH WATERPROOF PIPE SLEEVES OR CURB(S).

- 13. THIS CONTRACTOR SHALL ENGAGE THE SERVICES OF AN AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR TO ADJUST AND COMPLETELY BALANCE THE INSTALLED SYSTEM(S) TO THE DESIGN AIR QUANTITIES. CONTRACTOR SHALL PROVIDE THE OWNER AND THE LANDLORD A COPY OF THE CERTIFIED AIR BALANCE REPORT SHOWING DESIGN AND MEASURED AIR QUANTITIES, STATIC PRESSURES, FAN MOTOR RPM AND MOTOR CURRENT, DEVIATION BETWEEN DESIGN AND MEASURED QUANTITIES SHALL NOT BE GREATER THAN 10%.
- 14. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTOR'S EXPENSE.

FOR THE SAME PERIOD, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE PREMISES BY DEFECTS IN HIS WORKMANSHIP OR WORK AND/OR EQUIPMENT INSTALLED BY OTHERS UNDER HIS CONTRACT.

KROMAC Design Inc.

Clarence, New York 14031 Phone: (716) 803-8787

MECHANICAL-ELECTRICAL ENGINEERING 10225 Main Street, Victoria Park, Suite 10B

Email: info@kromacdesign.com Project # 25-01-12

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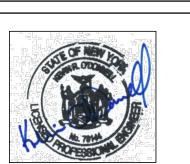


**85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>

JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

SCHEDULES AND **SPECIFICATIONS** 



1321 MILLERSPORT HWY PH. 716.691.0900

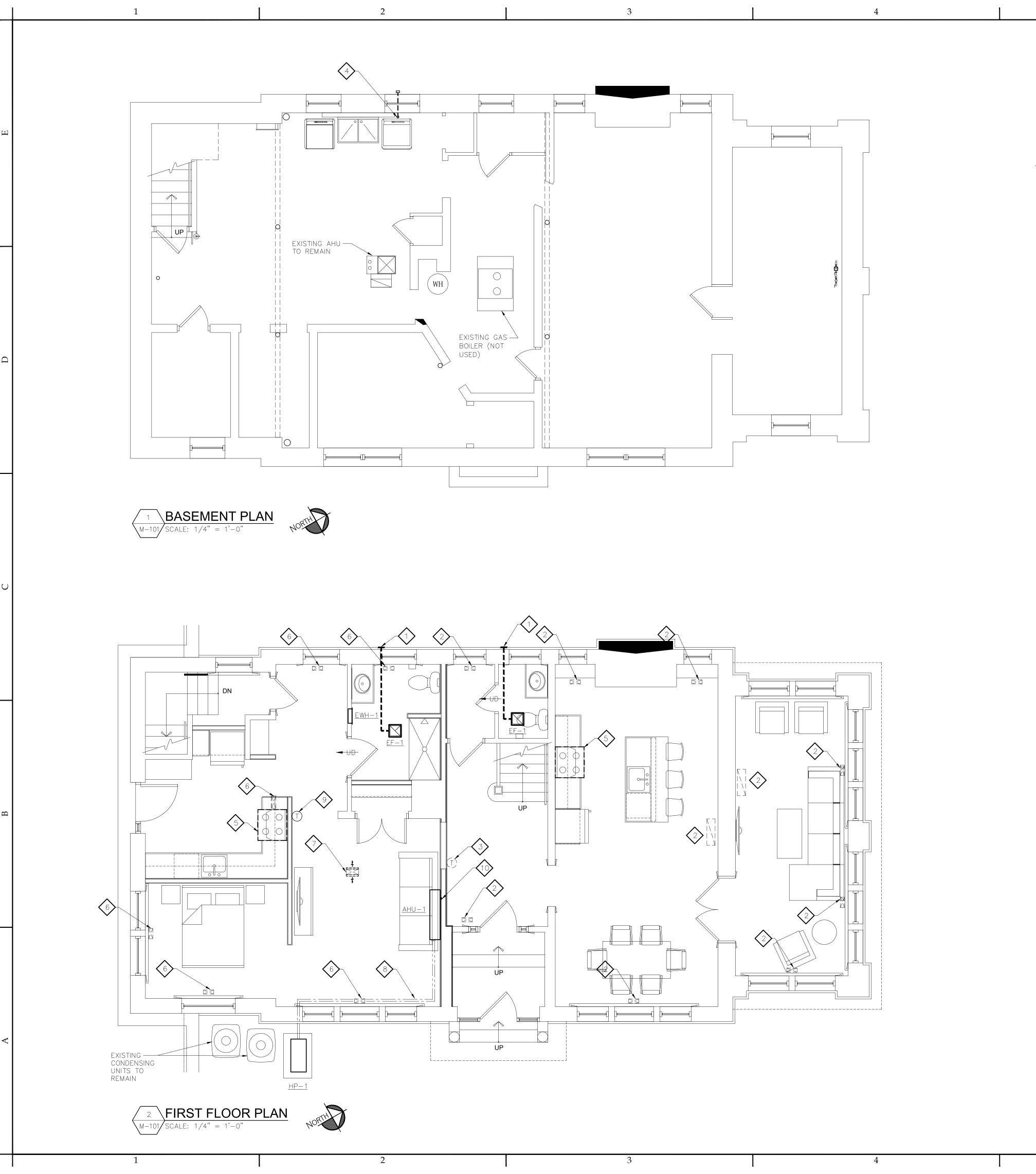
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01

DRAWING #:

DATE:

07-21-25



# ♠ NOTES:

NOTES PERTAIN TO THIS DRAWING ONLY.

- 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
- 2. EXISTING FLOOR REGISTER/GRILLE TO REMAIN.
- 3. EXISTING THERMOSTAT TO REMAIN.
- 4. CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
- 5. MICROWAVE/RECIRCULATING HOOD BY OTHERS.
- 6. REMOVE WALL/FLOOR REGISTER. CAP DUCT.
- 7. REMOVE TWO (2)WALL GRILLES AND DUCT RISER IN WALL. CAP DUCT IN BASEMENT.
- 8. RUN REFRIGERANT PIPING OUT TO CONDENSING UNIT ON GRADE.
- 9. PROVIDE THERMOSTAT MOUNTED AT 48"AFF. VERIFY EXACT LOCATION WITH OWNER
- 10. RUN CONDENSATE DOWN TO NEAREST DRAIN IN BASEMENT, COORDINATE LOCATION IN FIELD.

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Humboldt Pkwy Apartments

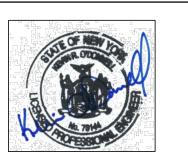
**85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. DRAFTER B.Pacos

JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>

SEAL



TITLE:

BASEMENT AND FIRST FLOOR PLANS



SA JOB #: **24101.01** 

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B

Email: info@kromacdesign.com Project # 25-01-12

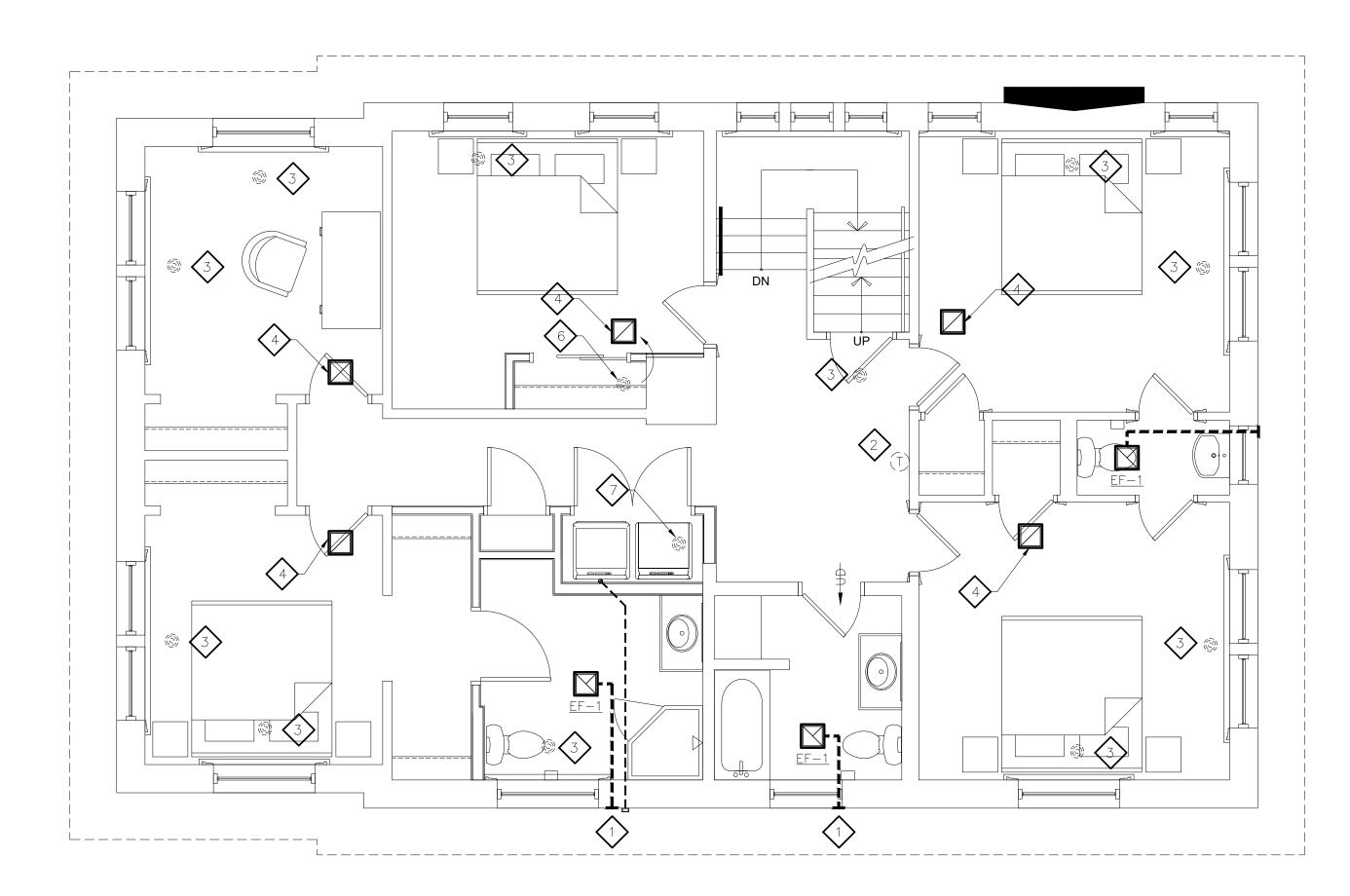
Clarence, New York 14031

Phone: (716) 803-8787

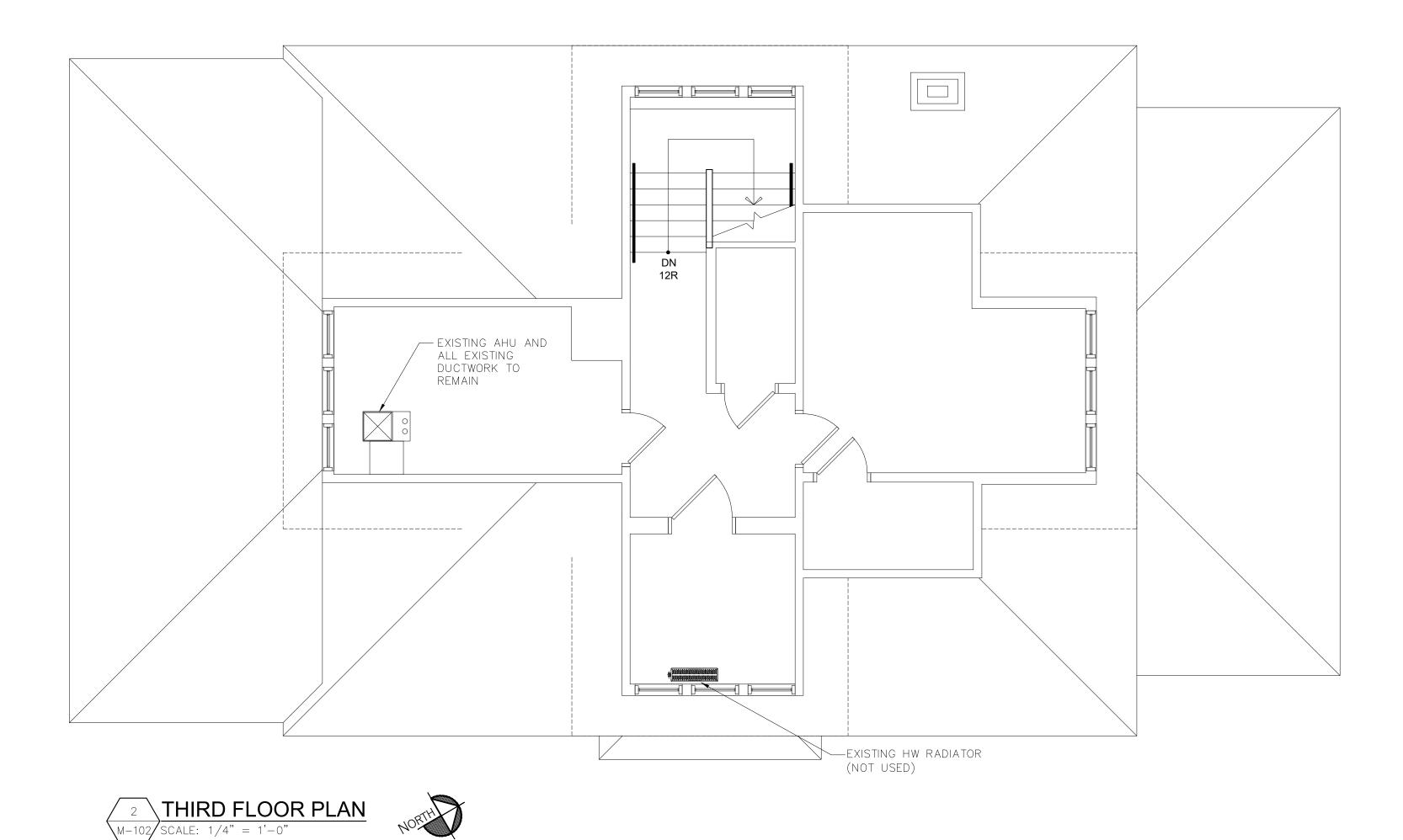
DATE: 07-21-25

DRAWING #:

M-101

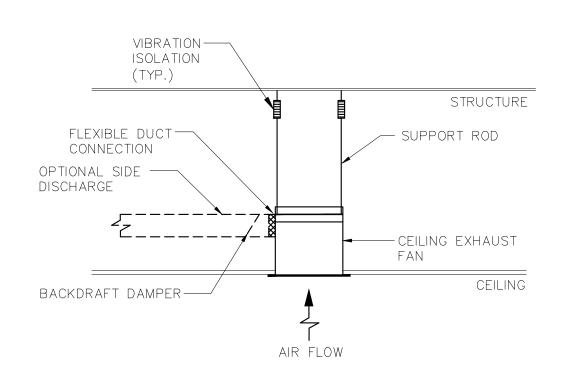








- NOTES PERTAIN TO THIS DRAWING ONLY.
- 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
- 2. EXISTING THERMOSTAT TO REMAIN.
- 3. REPLACE EXISTING SUPPLY DIFFUSER WITH NEW.
- 4. REPLACE EXISTING RETURN DIFFUSER WITH NEW GRILLE.
- 5. CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
- 6. RELOCATE RETURN GRILLE.
- 7. REMOVE EXISTING RETURN DIFFUSER.



2 CEILING EXHAUST FAN DETAIL
M-102 SCALE : NONE

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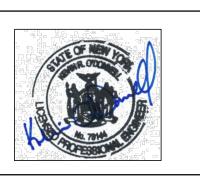
# Humboldt Pkwy Apartments

**85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

SECOND AND THIRD FLOOR PLANS



SA JOB #: **24101.01** 

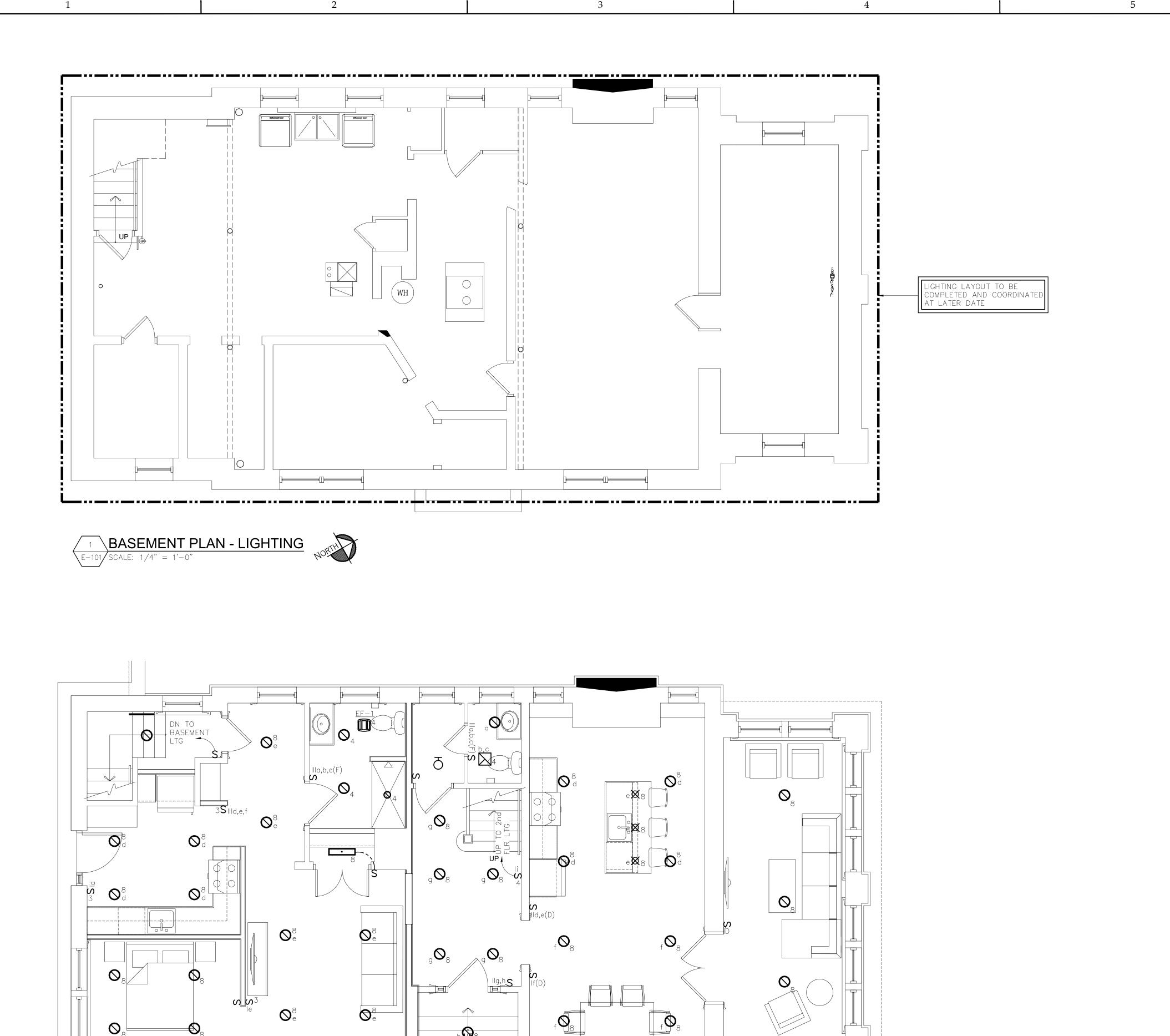
DATE: 07-21-25

DRAWING #:

M-102

4	1	2	3	4	5 6	
	POWER SYMBOLS	LIGHTING SYMBOLS	ABBREVIATIONS	GENERAL PROJECT NOTES:	GENERAL WIRING NOTES:	NOTICE  This document, the property of, prepared and issued by the architect, is submitted for the specific project
D	DUPLEX RECEPTACLE.  X - BRANCH CIRCUIT NUMBER GFCI = PROTIECTED BY GFI CIRCUIT BREAKER F = FURNISHED WITH EQUIPMENT COORDINATE INSTALLATION WITH MANUFACTURER SPECIFICATIONS  IG = ISOLATED GROUND RECEPTACLE REFER TO DRAWING E-2 FOR SPECIFICATION. (TYP. FOR ALL RECEPTACLE TO BE HOT. BOTTOM HALF OF RECEPTACLE TO BE HOT. BOTTOM HALF OF RECEPTACLE TO BE CONTROLLED BY WALL SWITCH.  DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER (GFI) WP-WEATHER PROOF WHILE IN USE COVER PLATE  SPECIAL PURPOSE RECEPTACLE X-NEMA CONFIGURATION QUAD RECEPTACLE (TWO DUPLEX RECEPTACLES IN A TWO GANG BOX)  CEILING MOUNTED DUPLEX RECEPTACLE  SURFACE MOUNT 208/120 VOLT 3Ø PANELBOARD FOR POWER.  JUNCTION BOX  CONDUIT UP TO CONDUIT SLEVE POWER OUTLET X - REFER TO MECHANICAL EQUIPMENT SCHEDULE DRAWING E-XXX.  T TRANSFORMER  FUSIBLE DISCONNECT SWITCH NON-FUSIBLE DISCONNECT SWITCH	LIGHTING STWIBOLS  LIGHTING STWIBOLS  LIGHTING FIXTURES, UPPERCASE LETTER INDICATES FIXTURE TYPE (SEE LIGHTING FIXTURE SCHEDULE) LOWER CASE LETTER CORRESPONDS SWITCH, NUMBER INDICATES CIRCUIT.  TRACK LIGHTING  2 x4* RECESSED FLUORESCENT LUMINAIRE A-INDICATES FIXTURE TYPE REFER TO LUMINAIRE SCHEDULE ARCHITECTURAL DWGS 1-INDICATES SWITCHING LEGS G-INDICATES SWITCHING FIXTURES  3 J-WAY SWITCH II - INDICATES SWITCHING LEGS K - INDICATES TWO SWITCHES GANGED TOGETHER G,b - INDICATES SWITCHING LEGS K - INDICATES SWITCHING LEGS K - INDICATES KEYED SWITCH F - FAN SPEED CONTROL SWITCH.  \$ SAME AS ABOVE EXCEPT 4-WAY SWITCH  EXIT  "MESSENGER" PLASTIC LED EXIT SIGN WITH INNOVATIVE DOWNLIGHT, SERIES POLEX COMPLETE WITH SNC BATTERY FOR 1.5 HRS OF OPERATION, TEST SWITCH, UNIVERSAL SNAP IN CHEVRONS, UNIVERSAL MOUNT, DAMP UL LISTED, 120 VOLTS.  ©S CEILING MOUNTED OCCUPANCY WITH POWER PACK, WATTSTOPPER DT-200.  WALL MOUNTED OCCUPANCY SENSOR, SINGLE BUTTON, WATTSTOPPER PW-SERIES.  C LIGHTING CONTACTOR  TIME CLOCK D DIMMER SWITCH	A.F.F ABOVE FINISHED FLOOR A.F.G ABOVE FINISHED GROUND AHU AIR HANDLING UNIT ANN ANNUNCIATION UNIT AWG AMERICAN WIRE GAUGE C CONDUIT CB CIRCUIT BREAKER DC DIRECT CURRENT EC ELECTRICAL CONTRACTOR E/F, EXHAUST FAN EF EH ELECTRIC HEATER EM EMERGENCY LIGHTING EXH EXHAUST EX EXISTING EWC ELECTRICAL WATER COOLER FACP FIRE ALARM CONTROL PANEL GC GENERAL CONTRACTOR HC HVAC CONTRACTOR GFI GROUND FAULT INTERRUPTER GFIC GROUND FAULT INTERRUPTING CIRCUIT LTG LIGHTING LC LIGHTING CONTACTOR NEC NATIONAL ELECTRIC CODE NL NIGHT LIGHT NF NON-FUSED NTS NOT TO SCALE OC OVER COUNTER PVC—XXX POLYVINYL CHLORIDE 80 = SCHEDULE 80 40 = SCHEDULE 40 SM SURFACE RACEWAY UC UNDER CABINET WP WEATHER PROOF	1. ALL WORK SHALL CONFORM TO LASTED ADDPTED NATIONAL FIRE ALARM CODE (NFPA 72), NEC, NEW YORK STATE DEPARTMENT OF LABOR RULES AND REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), LOCAL CODES AND ORDINANCES, AND LIFE SAFETY CODE (NFPA 101).  2. "WIRING" REFERS TO WIRE AND RACEWAY, (2) #12, (1) #12 GROUND IN 3/4" CONDUIT. MC, BX OR NM MAY BE USED INDOORS WHERE NOT EXPOSED, PROVIDED E.C. OBTAINS APPROVAL BY LOCAL AUTHORITY HAVING JURISDICTION IN AND LANDLORD IN WRITING PRIOR TO INSTALLATION.  3. REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE DEVICE LOCATIONS WITH GENERAL CONTRACTORS WORK.  4. COORDINATE LOCATION OF TEMPERATURE CONTROL PANELS WITH HC. PROVIDE 120 VOLT WIRING TO PANELS AND EQUIPMENT, LOW VOLTAGE WIRING BY OTHERS.  5. E.C. SHALL WIRE EMERGENCY/EXIT LIGHTING INTO CIRCUIT SERVING AREA WHERE DEVICE IS LOCATED, CIRCUIT AHEAD OF LOCAL SWITCHING, OCCUPANCY SENSING AND TIME CLOCK CONTROL.  6. WHERE DEVICE IS NOTED WITH 'OC' OR 'UC', PROVIDE DEVICE SO THAT BOTTOM OF OUTLET BOX IS 2" ABOVE COUNTER TOP, OF BACKSPLASH. COORDINATE FINAL LOCATION WITH C.C.  7. ALL DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE FLUSH MOUNTED WITH CONCEALED WIRING, UNLESS SHOWN OTHERWISE. COLOR AS SELECTED BY THE OWNER PRIOR TO ORDERING MATERIAL.  8. ALL MATERIALS SHALL BE NEW AND BEAR THE UL LABEL WHERE APPLICABLE.  9. PROVIDE PVC SCHEDULE 80 FOR ALL UNDERGROUND CONDUIT AND WHEN IN CONCEALED WIRING, UNLESS SHOWN OTHERWISE. COLOR AS SELECTED BY THE OWNER PRIOR TO ORDERING MATERIAL.  10. ALL WORK SHALL BE IN A NEAT AND WORKMANLIKE MANNER.  11. ALL EQUIPMENT (i.e. CONDUIT, BACKBOXES, PANELBOARDS, LIGHTING FIXTURES, ETC.) SHALL BE SECURELY SUPPORTED FROM THE PRIMARY BUILDING STRUCTURE.  12. E.C. IS RESPONSIBLE TO HAVE ALL WORK INSPECTED ON A REGULAR BASIS BY LOCAL AUTHORITY, PROVIDE CERTIFICATE OF APPROVED INSTALLATION UPON COMPLETION AND PAY ALL ASSOCIATED FEES.  13. CONTACT ARCHITECT/ENGINEER OF ANY CONFLICT WITH LOCATION OF EQUIPMENT PRIOR TO INSTALLATION.	THE MAJORITY OF WIRING, FOR DEVICES, LIGHTING, ALL OTHER EQUIPMENT REQUIRING ELECTRICAL ENTERSY IS INTENTIONALLY NOT SHOWN FOR CLARITY, FACH DEVICE OR LIGHT HAS A CIRCUIT NUMBER ASSOCIATED WITH LIT, EQLIPMENT HAS A TAG ASSOCIATED WITH LIT, WIRING INFORMATION, CAN BE REFERENCED BY THE MECHANICAL EQUIPMENT SCHEDJLE. PROVIDE FACEWAY AND WIRE TO EACH TITM NOTE) ABOVE FROM DESIGNATED PANELBOARD TO FORM A COMPLETE AND OPERATIONAL INSTALLATION, THE FOLLOWING IS HOW BRANCH CIRCUITS SHALE BE WIRED:  1. PROVIDE A EQUIPMENT GROUND CONDUCTOR IN EACH BRANCH CIRCUIT HOWERUN.  2. WHERE DEDICATED BRANCH CIRCUIT IS CALLED FOR PROVIDE (1) PHASE CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR ALL IN (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR ALL IN (1) NEUTRAL CONDUCTOR AND (1) EQUIPMENT GROUND CONDUCTOR AND (1) PHASE ALBACO NAY SHARE (1) NEUTRAL CONDUCTOR SIZE SHALL BE \$10 AND MIRRO PHASE ARE INCREASED IN SIZE FOR VOLTAGE DROP THE NEUTRAL CONDUCTOR SHALL BE INCREASED IN SIZE FOR VOLTAGE DROP THE NEUTRAL CONDUCTOR SHALL BE INCREASED PROPORTIONALLY.  5. FOR (3) DR MORE CURRENT CARRYING CONDUCTORS IN A RACEWAY (INCLUDING NEUTRAL) DERATE CONDUCTORS PER NEC TABLE 510—15(E)(2)(a).  6. 12C VOLT CIRCUITS EXCEEDING 150"—0" MINIMUM CONDUCTOR SIZE SHALL BE \$10 AWG. INCLUDING EQUIPMENT GROUND.  7. 20B VOLT CIRCUITS EXCEEDING 280"—0" MINIMUM CONDUCTOR SIZE SHALL BE \$10 AWG. INCLUDING EQUIPMENT GROUND.  8. ANY WIRE LOCATED IN CEILING ABOVE SECOND FLOOR TENANT TO BE PLENUM RATED.	This document, the property of, prepared and issued by the architect, is submitted for the specific project namely and the recipient by accepting this document assumes custody and agrees that this document will not be copied or reproduced in part or in whole, and any special features peculiar to this design shall not be incorporated in any other project, unless prior agreement has been obtained in writing. These documents will be returned immediately upon completion of the project or upon the request of the architect.  This document is the exclusive property of the architect, no rights to ownership are transferable, or shall be lost by the filing of this document with any and all public authorities for the purpose of compliance with Codes and or Ordinances, i.e. Building Permit, etc.  DOFI PROPERTIES  Humboldt Pkwy Apartments  85 Humboldt Parkway Buffalo, NY 14214
	SSO INDICATES GANGED DEVICES	EQUIPMENT MOUNTING HEIGHTS:		<ul><li>14. FIRESTOP ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS WITH U.L. LISTED MATERIAL.</li><li>15. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP</li></ul>	CENEDAL NOTES (ALL DDANAINGS):	ISSUE:
B	FLUSH MOUNT TELEPHONE OUTLET WITH 4 PAIR TWISTED BARE COPPER CABLE  IV FLUSH MONT TELEVISION OUTLET F TYPE CONNECTOR FED WITH RG-6 COAXIAL CABLE  120 VOLT COMPLETE CONNECTION  240 VOLT COMPLETE CONNECTION  EMERGENCY CALL  ED EMERGENCY CALL  ED EMERGENCY DOME LIGHT  PE HANDICAP PUSH BUTTON  ES ELECTRIC DOOR STRIKE  CO CARD READER  PHOTOCELL  IN FIRE ALARM CONNECTION TO SPRINKLER FLOW SWITCH  FIRE ALARM CONNECTION TO SPRINKLER TAMPER SWITCH  TWIN REMOTE WEATHER PROOF HEAD, WIRED TO LOCALE LIGHTING CIRCUIT.	UNLESS OTHERWISE NOTED, MOUNT DEVICES AND EQUIPMENT AT HEIGHTS MEASURED FROM FINISHED FLOOR TO DEVICE CENTERLINE AS FOLLOWS:  TOGGLE SWITCHES = 46"  MANUAL MOTOR STARTERS (ROOM EXHAUST FAN) = 46"  RECEPTACLE OUTLETS = 18"  RECEPTACLE OUTLETS ABOVE COUNTERS = 8" ABOVE COUNTER CLOCK OUTLETS = 104"  TELEPHONE OUTLETS = 18"  WALL MOUNTED TELEPHONE OUTLET = 46" FIRE ALARM MANUAL PULL STATION = 46" FIRE ALARM HORN/SIROBE = 90" TO TOP OF DEVICE AND 6" >BELOW FINISHED CEILING FIRE ALARM STROBE = 80" > ENTIRE LENS < 96" BRANCH CIRCUIT PANELBOARDS = 72" TO TOP OF ENCLOSURE DISTRIBUTION PANELBOARDS = 72" TO TOP OF ENCLOSURE MOTOR STARTERS = 72" TO TOP OF ENCLOSURE  WHERE STRUCTURAL OR OTHER INTERFERENCES PREVENT COMPLIANCE WITH MOUNTING HEIGHTS LISTED ABOVE, CONSULT OWNER'S REPRESENTATIVE, ARCHITECT AND/OR ENGINEER IN WRITING FOR APPROVAL TO CHANGE LOCATION SEFORE INSTALLATION.		FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR (1) FROM THE DATE OF ACCEPTANCE.  16. CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.  17. IT IS NOT THE INTENT OF THE THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM. AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.  18. "AC" AND "MC" CABLE ARE PERMITTED PROVIDED THE FOLLOWING CRITERIA IS MET:  a) THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN PERMISSION THE "AC" OR "MC" CABLE IS APPROVED BY THE OWNER. b) PROVIDED PART "a" ABOVE IS MET. THE ELECTRICAL CONTRACTOR SHALL PROVIDE WRITTEN APPROVAL FROM THE LOCAL AUTHORITY HAVING JURISDICTION.  19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, WECHANICAL, PLUMBING AND ELECTRICAL PROR TO SUBMITTION A BID. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING I WEEK PRIOR TO BID SUBMISSION.  20. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTING SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF EQUIPMENT.  21. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN ROUTING OF COUDING THE TRADES AND ARCHITECT/ENGINEER.  22. ELECTRICAL DEVICES (OUTLETS, SWITCHES, ETC.) SHALL BE WHITE.  23. PANELBOARDS LOCATED WITHIN HANDICAP UNITS SHALL BE MOUNTED SO THAT THE TOP BREAKER IS MOUNTED NO HIGHER THE 48" ABOVE FINISHED FLOOR.	GENERAL NOTES (ALL DRAWINGS):  A. CIRCUIT NUMBERS INDICATED ON THE DRAWINGS ARE SHOWN FOR THE PURPOSE OF CLARIFYING THE GROUPING OF CULTETS. THE ACTUAL NUMBER ASSIGNED TO THE CIRCUIT IN THE PANFIGOARD SHALL SUIT THE BUSSING AND BRANCH CIRCUITING TO THE PANEL, PROVIDE COMPLETE AND ACCURATE TYPEWRITTEN PANEL DIRECTORIES FOR ALL THE WAND EXISTING BRANCH CIRCUIT PANELHOARDS.  B. LOCATIONS INDICATED FOR LIGHT EXTURES ARE APPROXIMATE, LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH EXISTING AND NEW BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSORS, SMOKE DETECTORS, etc. FIELD COCATIONS AS NEAR AS POSSIBLE TO THEOSE INDICATED OF THE PLANS. ALSO REFER TO ARCHITECTURAL REFLECTED CELLING PLAYS.  C. ALL CIRCUITING SHALL BE CONCEALED (EXCEPT IN ELECTRICAL AND MECHANICAL SPACES). ALL CONDUITS SHALL BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED CELLINGS AND CONCEALED IN WALLS UNLESS OTHERWISE INDICATED.  D. EXACT LOCATIONS OF CELLING MOUNTED SMOKE DETECTORS AND EXIT SIGNS SHALL BE COORDINATED WITH OTHER CELLING MOUNTED FIGURMENT TO AVOID CONFLICT, LOCATE DEWICES AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE REQUIRED TO BE INSTALLED A MINIMUM OF THREE (3) FIELD AWAY FROM SUPPLY OF RETURN AIR CRIBLES OR PER SYSTEM MANUFACTURERS INSTALLATION REQUIREMENTS AND NEFA 72.  E. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ON THE TRADES PROJECT CONTRACT DEWICKES TO RETURN AIR CRIBLES OF PER SYSTEM MANUFACTURERS INSTALLATION REQUIREMENTS AND NEFA 72.  E. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ON THE TRADES PROJECT ON TRACE (AND PLUMBING DRAWINGS). COORDINATE EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PROJECT ON THE PUBBLO DRAWINGS. COOPERINGTE EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PROJECT ON THE PUBBLO DRAWINGS. COOPERING EXACT MOUNTING LOCATIONS AND HEIGHTS IN THE FIELD WITH OTHER TRADES PROJECT ON THE PUBBLO DRAWINGS. COOPERING EXACT MOUNTING LOCAL SWITCHING, COCUPANCY SENSING AND TIME CLOCK OF THE PUBBLO DRAWING AR	SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. DRAFTER B.Pacos JOB CAPT. D.Garry INTERIORS A.Nagle  SEAL:  TITLE:  LEGENDS AND SPECIFICATIONS
A	1	2	3	4	KROMAC Design Inc.  MECHANICAL-ELECTRICAL ENGINEERING 10225 Main Street, Victoria Park, Suite 10B Clarence, New York 14031 Phone: (716) 803-8787 Email: info@kromacdesign.com Project # 25-01-12	SILVESTRI ARCHITECTS → PC  1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773  SA JOB #: 24101.01 DATE: 07-21-25  DRAWING #: E-100





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Humboldt Pkwy Apartments

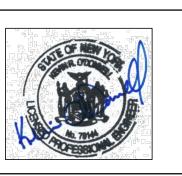
**85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. DRAFTER B.Pacos

JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL



TITLE:

ELECTRICAL FLOOR PLANS -LIGHTING



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** 

DATE: 07-21-25

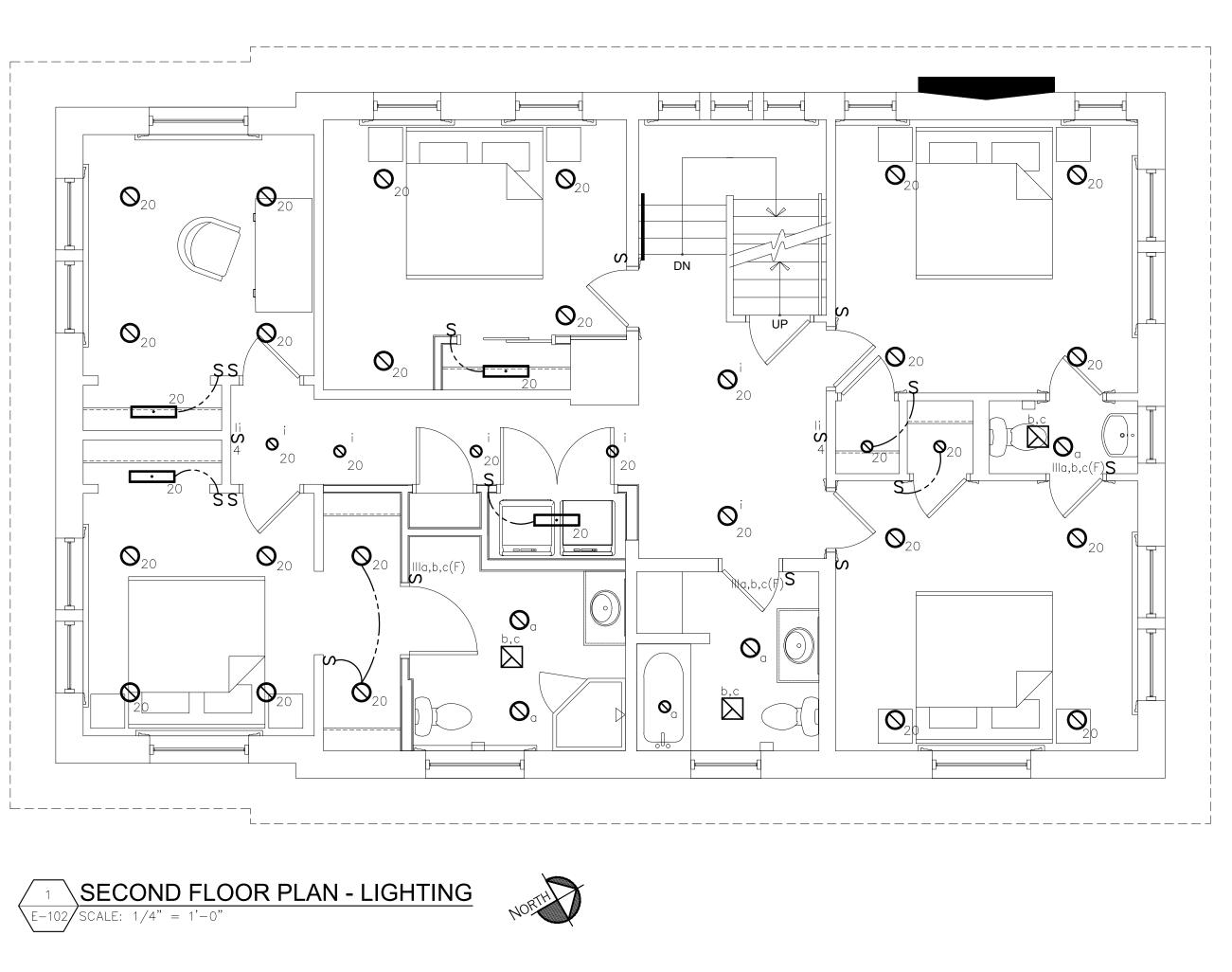
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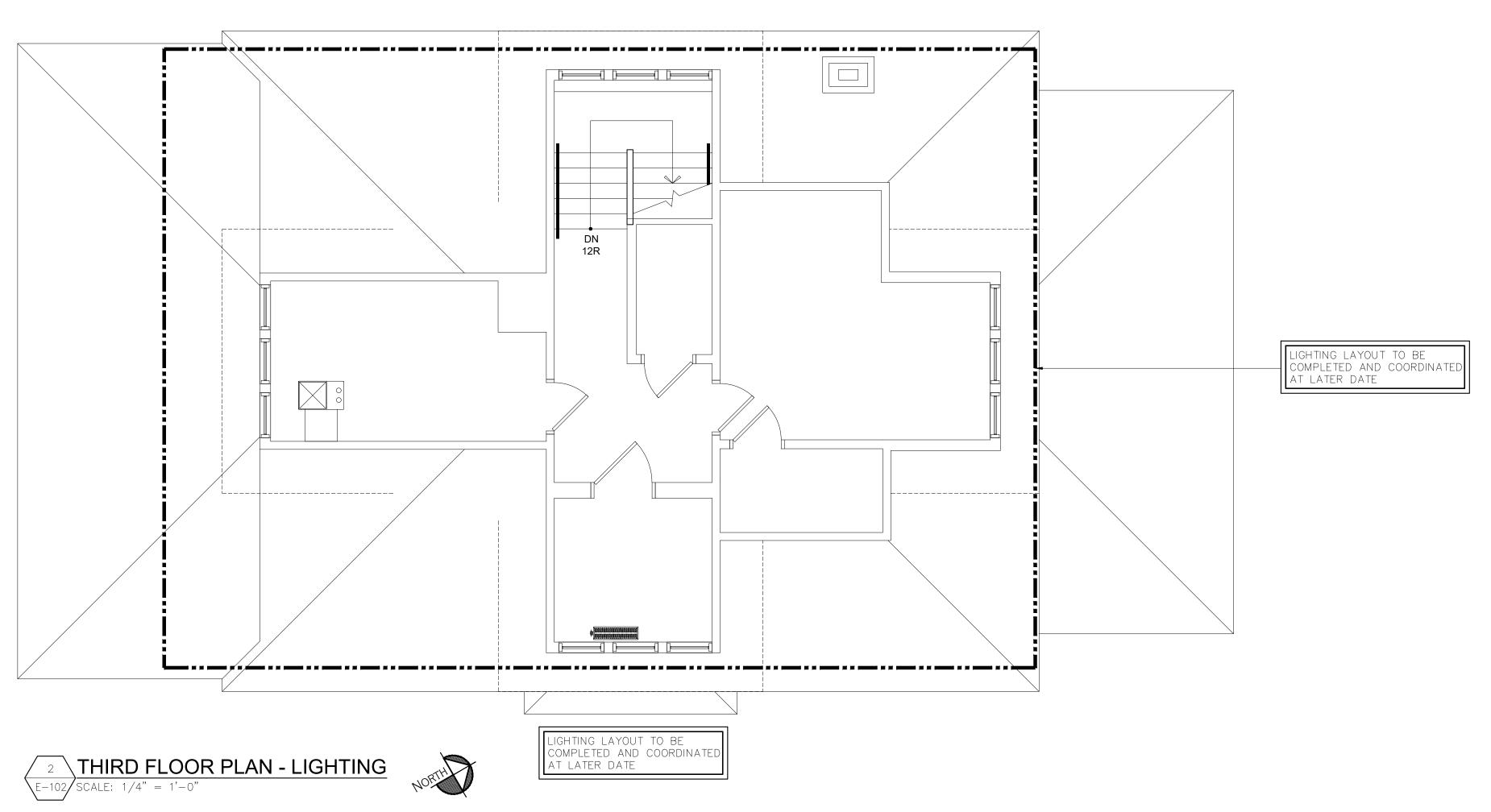
E-101

KROMAC Design Inc.

MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com
Project # 25-01-12

2 FIRST FLOOR PLAN - LIGHTING
E-101 SCALE: 1/4" = 1'-0"





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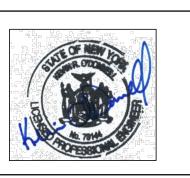
# Humboldt Pkwy Apartments

**85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u> JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

ELECTRICAL FLOOR PLANS -LIGHTING



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

KROMAC Design Inc.
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Email: info@kromacdesign.com Project # 25-01-12

Clarence, New York 14031 Phone: (716) 803-8787

DATE: 24101.01 | 07-21-25

DRAWING #:

E-102

- EXISTING ELECTRICAL SERVICE SHALL REMAIN AS IS — EXISTING ELECTRICAL SERVICE SHALL REMAIN AS IS FURNACE 10 (\$) **(S)** 1 BASEMENT PLAN - POWER
E-103 SCALE: 1/4" = 1'-0" Second floor dryer only Basement dryer to be gas.

GENERAL NOTES:

- A. SMOKE DETECTORS SHOWN IN UNITS ARE SINGLE STATION, 110VOLT, STAND ALONE DEVICES W/SOUNDER
- B. ALL CIRCUIT NUMBERS SHOWN ON DRAWINGS SHALL BE WIRED TO DESIGNATED LOAD CENTER. INSTALL ELECTRIC PANEL SO THAT THE PANEL IS NO HIGHER THAN +48" A.F.F.. REFER TO LOCAL APARTMENT PANEL DESIGNATION SCHEDULE.
- C. MOUNT ALL TELEPHONE, RECEPTACLES AND TV OUTLETS AT +18" A.F.F. UNLESS SHOWN OTHERWISE. MOUNT TOP OF ALL LIGHT AND FAN SWITCHES AT +48" A.F.F.. GFI RECEPTACLE LOCATED IN THE BATH ROOM MOUNT +6" ABOVE SINK ON WALL.
- D. PROVIDE #12 AWG. IN UNITS UNLESS SHOWN OTHER WISE.
- E. TOP OF ELECTRIC PANELS SHALL BE INSTALLED 48" AFF.
- F. RECEPTACLES LOCATED IN THE DWELLING UNITS SHALL BE TAMPER RESISTANT.
- G. ALL BEDROOM, LIVING ROOM, KITCHEN, HALLWAY, LIVING SPACES BRANCH CIRCUITS THAT SUPPLY 125-VOLT, 20A-1P RECEPTACLES IN APARTMENTS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- H. PROVIDE A (1) RG-6 COAXIAL CABLE FROM TV JACK TO THE HEAD END EQUIPMENT. TERMINATE TO TYPE F CONNECTOR WALL PLATES WHERE SHOWN ON PLANS.
- I. PROVIDE A TWISTED PAIR #24 AWG SOLID BARE COPPER WIRE FROM THE TELEPHONE JACK TO THE TELEPHONE DEMARK PANEL.
- J. ALL RECEPTACLE/DATA LOCATIONS SHALL BE VERIFIED WITH OWNER PRIOR TO ROUGH-IN.

# DRAWING NOTES:

- PROVIDE NEMA RECEPTACLE TO SUPPLY ELECTRIC RANGE. PROVIDE 2#8, 1#10GND WIRE BRANCH CIRCUIT. PROVIDE & MAKE FINAL CONNECTIONS TO A 50A-2P CIRCUIT BREAKER IN LOCAL APARTMENT PANEL. COORDINATE NEMA RECEPTACLE CONFIGURATION WITH EQUIPMENT MANUFACTURER PRIOR TO INSTALLING.
- 2. PROVIDE 20A-1P CIRCUIT WITH A SINGLE RECEPTACLE LOCATED ABOVE FOR MICROWAVE/EXHAUST HOOD TO LOCAL APARTMENT PANEL. PROVIDE 2#12, 1#12GND.
- 3. PROVIDE A 20A-1P DEDICATED BRANCH CIRCUIT WITH GFCI/AFCI BREAKER TO SERVE UNDERCOUNTER DISHWASHER. PROVIDE (2) #12 & 1 #12 GND.
- 4. COORDINATE EXACT LOCATION OF ELECTRIC PANEL WITH OWNER PRIOR TO ROUGH-IN.
- 5. REFRIGERATOR SHALL BE PROTECTED BY A GFCI TYPE BREAKER.
- 6. CONTRACTOR SHALL RECONNECT EXISTING MECH./PLUMBING EQUIPMENT BACK TO NEW HOUSE PANEL 'HP' AS REQUIRED. ELECTRICAL CONTRACTOR SHALL MAKE INSTALLATION COMPLETE AND OPERATIONAL. COORDINATE EXACT REQUIREMENTS IN FIELD.
- & dryer in basement 7. PROVIDE A 120V RECEPTACLE FOR WASHER. PROVIDE A 20A/1P CIRCUIT. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
- PROVIDE A 220V RECEPTACLE FOR ELECTRIC DRYER/WASHER. RECEPTACLE SHALL BE 4-WIRE TYPE. PROVIDE A 30A/2P TIME DELAY CIRCUIT. RUN WITH 10/3 WIRE. COORDINATE EXACT CONNECTION REQUIREMENT WITH EQUIPMENT TO BE INSTALLED PRIOR TO ROUGH-IN.
- 9. RE-FEED EXISTING WATER HEATER(NG) TO PANEL AP1.
- 10. RE-FEED EXISTING FURNACE/COND. UNIT TO PANEL AP1/AP2 AS REQUIRED.

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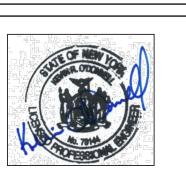
Humboldt Pkwy Apartments

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JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

**ELECTRICAL** FLOOR PLANS -**POWER** 



AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01

DATE: 07-21-25

DRAWING #:

E-103

EXISTING MECHANICAL SYSTEM ARE TO REMAIN FIRST FLOOR PLAN - POWER

E-103/SCALE: 1/4" = 1'-0"

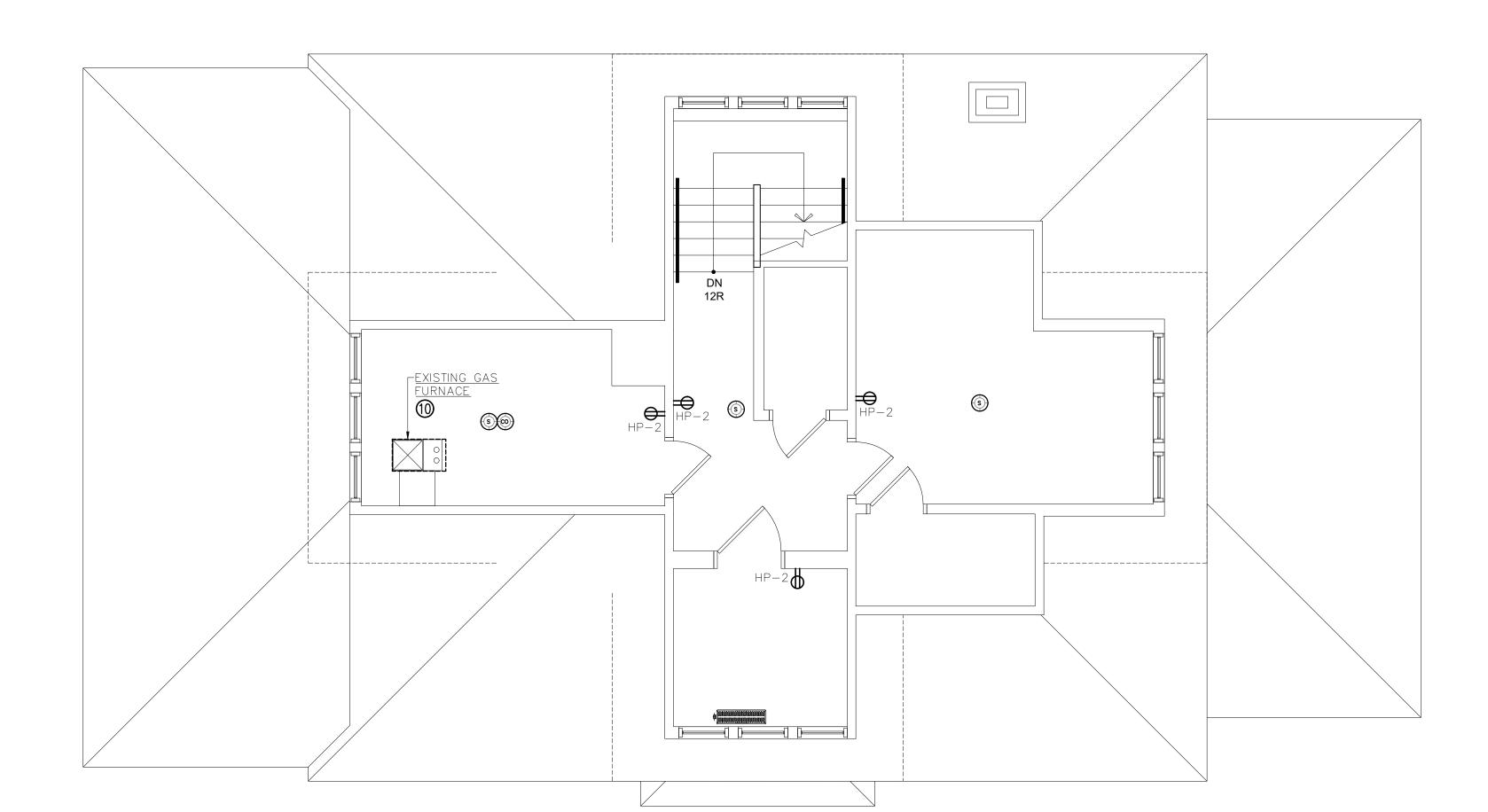
\_\_\_\_\_\_



THIRD FLOOR PLAN - POWER

| SCALE: 1/4" = 1'-0"

L-----



**GENERAL NOTES:** 

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

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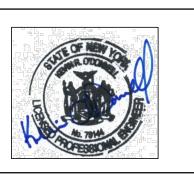
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TITLE:

ELECTRICAL FLOOR PLANS -**POWER** 



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #:

DATE: 24101.01 | 07-21-25

DRAWING #:

E-104

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MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B Email: info@kromacdesign.com Project # 25-01-12

Clarence, New York 14031 Phone: (716) 803-8787

#### MECHANICAL EQUIPMENT CONNECTION SCHEDULE EQUIPMENT / MOTOR DATA SOURCE PROTECTION DEVICE BRANCH CIRCUIT CONDUIT & WIRE REFERENCE NOTE: CIRCUIT NO. EQUIPMENT PANELBOARD LOCATION QUANTITIES AND SIZE DESIGNATION SOURCE RTU−1 M APARTMENT INDOOR UNIT "AHU" IS FED FROM THE OUTDOOR UNIT "HP" AHU-1 INDOOR UNIT EXTERIOR GRADE VERIFY 2#10 & 1#10 IN 3/4"C OUTDOOR UNIT VERIFY RESTROOM 2#12 & 1#12 IN 1/2"C WALL HEATER EXHAUST FAN RESTROOM VERIFY 2#12 & 1#12 IN 1/2

#### WIRING SCHEDULE GENERAL NOTES

- A. EC SHALL BE RESPONSIBLE TO VERIFY ALL CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERES, ETC.) OF MECHANICAL EQUIPMENT PRIOR TO CONNECTION AGAINST APPROVED SHOP DRAWINGS.
- B. '\*' INDICATED MULTIPLE UNITS.

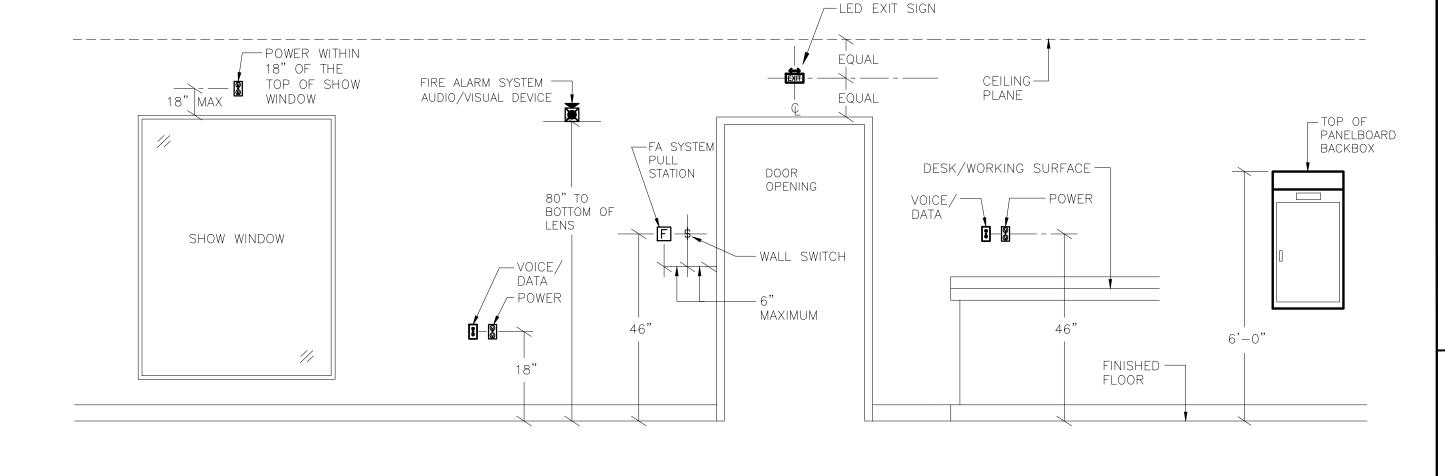
#### WIRING SCHEDULE REFERENCE NOTES

- 1. EC SHALL PROVIDE AND INSTALL HACR TYPE CIRCUIT BREAKER.
- 2. EC SHALL PROVIDE DISCONNECT SWITCH FOR OUTDOOR AND INDOOR UNIT PER NEC. COORDINATE LOCATION WITH MECHANICAL EQUIPMENT INSTALLER.
- 3. FAN CONTROLLED BY WALL SWITCH.

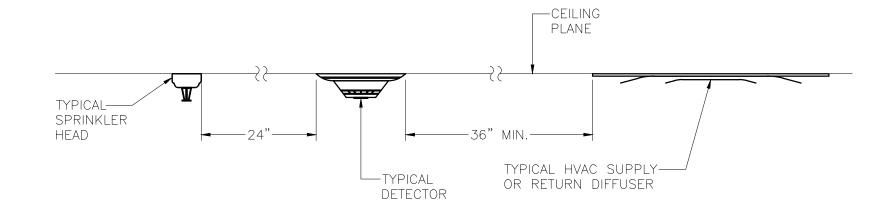
MOUNTING	SURFACE				LOAD	CEN	ITER		•	'HI	P"										MAIN:	ML	0	
120 / 240	VOLTS	1	ø	3	WIRE								A.I.C.	RA <sup>-</sup>	TING	:	10,	000			BUS:	400	DA	
	WIRE &	F0	<u> </u>	//ATT	S	ပ္ မြ	R		<u>د</u> ا	<u> </u>					. R	Z	ဖြ		WAT	TS	WIRE &			
DESCRIPTION	CONDUIT SIZE	EQ. NUM.	ØA	ØВ	øс	LIGHTS	REC/SPR	MISC	BRKR	CIRCUII		TIIOGIO			MISC REC/SF	KITCHEN	LIGHTS	ØA	Ø	g øc	CONDUIT SIZE	EQ. NUM.	DESCR	RIPTION
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SPARE										3 -	+	Ηí	4 20	)/1	X				180	)			EXTERIOR REC	EPTACLES
EXISITNG BOILER PUMP					VFY			X 2	:0/1	5 -	₩	<b>+</b> (	6 20	)/1			Х						3rd FLOOR LK	SHTING
EXISTING BOILER			VFY					X 2	:0/1	7	+	H	8				1						SPARE	
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SPARE									4	11	#	4	100	V2	x					16,800	)		AP2	
					1	1 1	1 1		i		!				-		I I				PANEL LO	AD ANAL	YSIS	
							7	ОТА	LWA	TTS	SØA	<b>\</b> =	17,3	60					ITE	VI	LOA	\D	DIVERSITY	DEMAN
**ALL LIGHTING CIRCU	IT WITH EMERC	SENCY LI	GHTING	<b>;</b>			-	TOTA	LWA	ATTS	SØE	3=	17,3	40			ļ	LIGHT	ING		1.50	KW	125 %	1.88 KV
SHALL BE ON A LOCK	ABLE TYPE BE	REAKER					-	TOTA	LWA	ATTS	søc	)=	36,4	80			ļ	KITCH	IEN		0.00	KW	65 %	0.00 KV
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									ТОТА	•		•					ŀ	MISCE	ELLANE	OUS	66.84	KW	100 %	66.84 KV
														_			-	ТОТА			70.68			71.06 KV

			VOLTS:	240	120	MAIN	S:	10	0A	A.I.C.	RATIN	IG:	10000		LOCATION:			
		AP1	PHASE:	SING	SLE	MCB:				BRKF	RSPAC	E:	24		SOURCE:			
			WIRE:	3		MLO:			Χ	MTG.	/NEMA	#:	SURFACE	1	FEEDER:			
CKT.	BKR.	LOA	D		BRE	ÄKER	CONN	ECTE	LOA	D (AM	BREA	KER			LOAD		BKR.	CKT
#	TYPE	DESCRIF	PTION		AMP	POLE	PH	l. A	PH	l. B	POLE	AMP		DES	CRIPTION		TYPE	#
1	ARC	RECEPTACLES			20	1	7.5	8.5			1	20	BEDROOM				ARC	2
3	ARC	KITCHEN GFI			20	1			12.5	1.5	1	20	BATHROOM				ARC	4
5	ARC	KITCHEN GFI			20	1	12.5				1	20	BEDROOM				ARC	6
7	ARC	REFRIGERATOR			20	1			10.0	6.0	1	20	LIGHTING				ARC	8
9	TM	RANGE			50	2	3.0				1	20	WASHER				ARC	10
11	TM	RANGE			] 30						2	50	DRYER				ARC	12
13	ARC	MICROWAVE/HOOD			20	1	10.0				-	30	DK1 EK			Ī	ARC	14
15	ARC	DISHWASHER			20	1			10.0	16.0	2	30	OUTDOOR U	INIIT			T.M.	16
17	ARC	RECEPTACLES			20	1	7.5	16.0			-	30	OO IDOOK O	INII		Ī	T.M.	18
19		SPACE									2	20	WALL HEATI	ED			T.M.	20
21	T.M.	WATER HEATER			20	1	2.0				~	20	VVALL HEAT			Γ	T.M.	22
23	T.M.	SPACE											SPACE					24
				L CONNE			67	7.0		5.0	NOTE:							-
			TOTA	L CONNE	CTED	LOAD:		6	1.5									

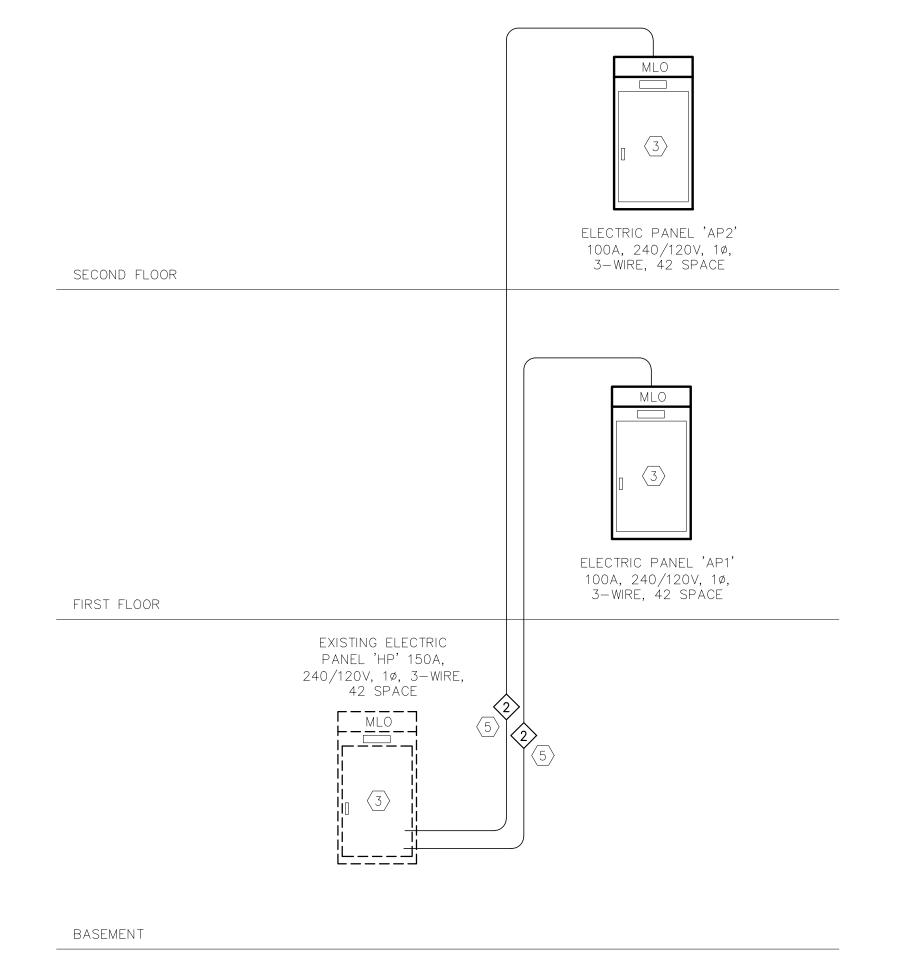
			VOLTS:	240	120	MAIN	S:	10	0A	A.I.C.	RATIN	1G:	10000	LOCATION:		
		AP2	PHASE:	SING	LE SLE	MCB:				BRKF	R SPAC	DE:	24	SOURCE:		
		/\.	WIRE:	3		MLO:		)	<u> </u>	MTG.	/NEMA	#:	SURFACE	1 FEEDER:		
KT.	BKR.	LC	DAD		BREA	AKER	CONN	ECTE	LOAI	D (AM	BRE	AKER	1	LOAD	BKR.	CKT.
#	TYPE	DESC	RIPTION		AMP	POLE	PH	. A	PH	l. B	POLE	AMP		DESCRIPTION	TYPE	#
1	ARC	RECEPTACLES			20	1	7.5	8.5			1	20	RECEPTACLE	S	ARC	2
3	ARC	KITCHEN GFI			20	1			12.5	1.5	1	20	BATHROOM		ARC	4
5	ARC	KITCHEN GFI			20	1	12.5				1	20	RECEPTACLE	S	ARC	6
7	ARC	REFRIGERATOR			20	1			10.0	6.0	1	20	LIGHTING		TM	8
9	TM	RANGE			50	2	3.0				1	20	WASHER		ARC	10
11	TM	RANGE			50	_					2	50	DRYER		ARC	12
13	ARC	MICROWAVE/HOOD			20	1	10.0				1 -	30	DRIER		ARC	14
15	ARC	DISHWASHER			20	1			10.0	16.0	2	40	OUTDOOR UN	IT.	T.M.	16
17	ARC	RECEPTACLES			20	1	7.5	16.0			] ~	40	TOO IDOOK ON	11	T.M.	18
19		SPACE								6.0	1	20	LIGHTING		T.M.	20
21	T.M.	WATER HEATER			35	2	14.0	8.0			1	20	RECEPTACLE	S	ARC	22
23	T.M.	WAIER DEATER			35	~			14.0	8.0	1	20	BATHROOM		T.M.	24











# 3 ELECTRICAL RISER DIAGRAM E-105 SCALE: NONE

- EXISTING ELECTRIC PANEL TO BE

FRO REFERENCE ONLY

RE-USED. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF

CONSTRUCTION. CIRCUIT SHOWN ARE

# **GENERAL NOTES**

- A. ELECTRICAL CONTRACTOR TO COORDINATE WITH LANDLORD AND UTILITY COMPANY
  TO PROVIDE TENANT SERVICE ENTRANCE UTILITY CONNECTION PRIOR TO INSTALLATION.
  REFER TO SHELL DOCUMENTS AND VERIFY EXACT LOCATION ON BUILDING AS FIELD REQUIRES.
- B. EXISTING SERVICE GROUND PROVIDED BY LANDLORD IN ACCORDANCE WITH N.E.C. ARTICLE 250.
- C. E.C. SHALL VERIFY "HOT" OR "COLD" METERING SEQUENCE WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.
- D. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE FAULT CURRENT WITH LOCAL UTILITY COMPANY PRIOR TO PURCHASING EQUIPMENT.
- E. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT FROM LOCAL UTILITY PRIOR TO COMMENCING WORK AND PROVIDE A LETTER FROM THE UTILITY TO THE LOCAL ELECTRIC INSPECTOR STATING THE AVAILABLE FAULT CURRENT. ALL EQUIPMENT SHALL MATCH THE REQUIRED AIC RATINGS.

# **#** SINGLE LINE DIAGRAM NOTES:

- 1. NEW UTILITY METER, COORDINATE EXACT REQUIREMENTS WITH LOCAL UTILITY
- 2. DISCONNECT SWITCH SHALL BE RATED AS SERVICE ENTRANCE EQUIPMENT, 320A, 600V, 1P, NEMA 3R, HEAVY DUTY TYPE, FUSED WITH A MINIMUM 22,000 AIC FUSES, SOLID NEUTRAL, AND EQUIPMENT GROUNDING KITS. SQUARE 'D' CLASS 3110 OR APPROVED EQUAL.
- 3. REFER TO PANELBOARD SCHEDULES (THIS DRAWING) FOR ADDITIONAL INFORMATION.
- 4. PROVIDE 1" CONDUIT FRON MAIN PHONE BOARD TO EACH TENANT SPACE WITH PULL STRINGS, COORDINATE EXACT ROUTING TO SPACE IN FIELD. COORDINATE TERMINATION POINT WITH OWNER IN FIELD.
- 5. COORDINATE EXACT ROUTING IN FIELD PRIOR TO INSTALLATION.

F	EEDER SIZE SCHEDU	JLE
	COPPER CONDUCTORS	
<b>#</b>	CONDUCTORS (CU) (3ø-4 WIRE WITH GROUND)	COUNDUIT SIZE
1)	<b>●</b> 3#500	2-1/2"ø
2>	●(3) #3 & (1) #8GND	1-1/4"ø
$\bigcirc$		

 CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE FOR ALUMINUM CONDUCTORS

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10225 Main Street, Victoria Park, Suite 10B
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Humboldt Pkwy Apartments

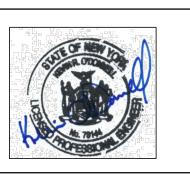
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SEAL:



TITLE:

ELECTRICAL
DETAILS AND
SCHEDULES



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01

DATE: 07-21-25

DRAWING #:

E-105

#### BASIC ELECTRICAL REQUIREMENTS

- . THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS
- "THE CONTRACTOR", "THIS CONTRACTOR", "EC", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL", "SUPPLY", AND "INSTALL", AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.
- WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.
- CODES AND STANDARDS:

WIRING DEVICES

- 1. NEW YORK STATE BUILDING CODE
- 2. NEPA STANDARDS 3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES
- 4. STATE CONSERVATION CONSTRUCTION CODE 5. LATEST ADOPTED NATIONAL ELECTRICAL CODE
- THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO:
- BRANCH CIRCUIT WIRING AND RACEWAYS
- 4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT
- 5. GROUNDING AND BONDING 6. LIGHTING FIXTURES AND LAMPS
- 7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT
- DEVICES, AND FEEDERS 8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK
- 9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, CONTROL PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS
- PAY FOR ALL PERMITS. INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.
- ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).
- ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
- ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).
- THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATIONS. WHERE STRUCTURAL CONDITIONS ENCOUNTERED NECESSITATE MINOR CHANGES, THESE SHALL BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT. WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING
- DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS. INSTALL ALL SLEEVES NECESSARY FOR THE WORK. WHEREVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR. RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATERTIGHT BY THIS CONTRACTOR.
- . THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.
- PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.
- THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED
- TEMPORARY POWER DISTRIBUTION 2. LAMP SOCKETS AND LAMPS
- OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS 4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION
- THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.
- BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
- PROVIDE PRODUCT DATA, CATALOG CUT SHEETS WITH MFG. SPECIFICATIONS FOR
- REVIEW BY ARCH. / ENGR. FOR THE FOLLOWING ITEMS: PANELBOARDS
- SAFETY DISCONNECT SWITCHES 3. OUTLET BOXES
- 4. FITTINGS 5. LIGHTING FIXTURES
- 6. LAMPS 7 CONDUCTORS
- 8. DEVICES 9. TIME SWITCHES
- 10. TRANSFORMERS 11. FIRE ALARM SYSTEM
- PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.
- MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75° C OPERATION.

# RACEWAYS AND FITTINGS

- WHERE CALLED FOR ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE—THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR
- WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.
- ALL FEEDERS AND BRANCH CIRCUIT HOMERUNS SHALL BE INSTALLED IN EMT. WHERE FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE A. DISCONNECTION DEVICES RATING SHALL BE AS SHOWN ON THE DRAWINGS, ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR. AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.

- D. FOR USE IN UNFINISHED AREAS: WIRE IN SURFACE MOUNTED RGS CONDUIT.
- E. FOR OUTDOOR USE: WIRE IN THREADED, RIGID STEEL CONDUIT.
- F. FOR UNDERGROUND USE: WIRE IN SCHEDULE 80 RIGID PVC NONMETALLIC CONDUIT.
- G. FOR FINAL CONNECTION IN DAMP OR WET LOCATIONS: LIQUID TIGHT FLEXIBLE METAL CONDUIT, WITH LISTED FITTINGS.
- I. IN ALL INSTANCES, INCLUDE A SEPARATE GROUNDING CONDUCTOR IN EACH FEEDER AND BRANCH CIRCUIT, SIZE PER NEC.
- J. FURNISH ALL FITTINGS REQUIRED, BUT NOT LIMITED TO: BUSHINGS TO PREVENT WIRE ABRASION; SINGLE-AND MULTIPLE-GANG BOXES TO ACCOMMODATE DEVICE INSTALLATION: ADAPTERS FROM CONDUIT TO RACEWAY: TRANSITIONS TO BOTH LARGER AND SMALLER SURFACE METAL RACEWAYS; 90 DEGREE ELBOWS, TEES, F. ALL CONNECTIONS USING COPPER SHALL BE MADE WITH CONNECTORS THAT ARE FIXTURE BOXES, AND FLEXIBLE SECTIONS.
- K. SURFACE METAL RACEWAY AND FITTINGS SHALL MEET ALL REQUIREMENTS OF NEC ARTICLE 352A AND SHALL BE UL LISTED.
- L. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER APPLICATION. INSTALLATION, AND LOCATION OF ALL NECESSARY AND REQUIRED INSERTS, SUPPORTS, AND ANCHOR BOLTS, AND FOR A SATISFACTORY RACEWAY SYSTEM UPON COMPLETION OF THE PROJECT.
- M. WHERE ANY COMPONENT OF THE RACEWAY SYSTEM IS DAMAGED PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THIS CONTRACTOR SHALL BE REQUIRED TO REPLACE SAME OR PROVIDE A NEW RACEWAY SYSTEM, AT THE EXPENSE OF THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- N. CONDUITS SHALL BE RUN TO AVOID ADVERSE CONDITIONS SUCH AS HEAT AND MOISTURE AND TO AVOID ALL MATERIALS AND EQUIPMENT OF OTHER TRADES. CONDUITS SHALL MAINTAIN A MINIMUM CLEARANCE OF SIX INCHES FROM ALL HOT WATER PIPES, FLUES, OR AND HIGH TEMPERATURE PIPING OR DUCTWORK. SHOULD IT BE FOUND NECESSARY TO INSTALL CONDUIT CLOSER THAN THIS TO HOT WATER PIPES AN INSULATING COVERING SHALL BE USED TO PROTECT THE CONDUIT FROM HIGH TEMPERATURE
- O. RACEWAYS SHALL NOT BE SMALLER THAN THE SIZE REQUIRED BY THE NATIONAL ELECTRICAL CODE FOR THE CONDUCTORS ENCLOSED AND SHALL BE LARGER WHERE SO SPECIFIED OR INDICATED ON THE PLANS.
- P. ALL EXPOSED RUNS OF CONDUIT SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO WALLS OR CEILINGS. SUPPORTS SHALL BE FROM THE MASONRY OR STEEL STRUCTURE RATHER THAN FROM OTHER MECHANICAL WORK SUCH AS DUCTS, PIPING, ETC., IN ACCORDANCE WITH GOOD INDUSTRY PRACTICE IN A MANNER ACCEPTABLE TO THE ARCHITECT.
- Q. SUPPORTS AND ATTACHMENTS PROVIDED SHALL BE SPECIFICALLY DESIGNED FOR THE APPLICATIONS. PERFORATED HANGERS OR WIRE TIE SUPPORTS ARE NOT ACCEPTABLE. ALL HANGERS AND SUPPORTS SHALL HAVE CORROSION RESISTANT
- R. ALL CONDUITS AND RACEWAYS PASSING THROUGH WALLS, FLOORS, AND CEILINGS SHALLBE SLEEVED WITH A PIECE OF SCHEDULE 40 GALVANIZED STEEL PIPE WITH PLAIN ENDS. ALL SLEEVES SHALL BE SEALED WATERTIGHT USING A MATERIAL SIMILAR IN APPEARANCE TO THE SURROUNDING AREA OR APPROVED MATERIAL.
- S. CONDUITS EXTENDING THROUGH ROOFS SHALL BE EQUIPPED WITH PITCH POCKETS.
- T. ALL EMPTY RACEWAYS SHALL BE PROVIDED WITH A NYLON PULLWIRE. U. ALL CONDUIT PASSING THROUGH A FIRE ZONE SHALL HAVE A FIRE RATED
- INSTALLATION. V. CONDUIT SHALL BE INSTALLED SO THAT A CONTINUOUS GROUNDING SYSTEM WILL
- BE MAINTAINED FROM THE FURTHERMOST OUTLET TO THE ESTABLISHED WATER PIPE GROUND. W. CONDULETS, UNILETS, OR SIMILAR APPROVED TYPE FITTINGS SHALL BE USED ON EXPOSED WORK WHERE CONDUIT CHANGES DIRECTION AND WHERE BENDS WILL
- NOT MAKE A NEAT JOB. X. EXPOSED CONDUIT SHALL BE SECURELY FASTENED TO THE BUILDING AT OR SCREWS. WOOD PLUGS SHALL NOT BE USED FOR FASTENING PURPOSES. CONDUIT RUN ABOVE HUNG CEILING OR IN CRAWL SPACES SHALL BE SUPPORTED
- SUPPORTS. Y. CARE SHALL BE EXERCISED TO MAKE CERTAIN THAT THE CONDUIT SYSTEM NOW PLANNED WILL PERMIT REMOVAL OF CONDUCTORS FOR FUTURE CHANGES AS MAY BE REQUIRED. ALTHOUGH UP TO FOUR 90 DEGREE BENDS ARE PERMITTED BY THE NATIONAL ELECTRICAL CODE. THE PRACTICE OF USING MORE THAN THREE 90 DEGREE BENDS PER RUN SHALL BE AVOIDED. PULL BOXES SHALL BE USED IF AT

IN THE SAME MANNER AS FOR EXPOSED RUNS. WIRE TIES ARE NOT ACCEPTABLE

- Z. PULLBOXES SHALL BE INSTALLED AT 100 FOOT INTERVALS IN LONG STRAIGHT RUNS. CLOSE NIPPLES WILL NOT BE PERMITTED.
- AA. CONDUIT SMALLER THAN 1/2" SHALL NOT BE USED.
- THE REQUIRED STRENGTH OF THE SUPPORTING EQUIPMENT AND THE SIZE AND TYPE OF ANCHORS SHALL BE BASED ON THE COMBINED WEIGHT OF CONDUIT. HANGERS, AND CONDUCTORS. THE USE OF PERFORATED IRON STRAPS FOR SUPPORTING CONDUITS WILL NOT BE PERMITTED.

# BB. SINGLE RUNS:

ALL FEASIBLE.

- 1. WHERE CONDUITS ARE RUN INDIVIDUALLY, THEY SHALL BE SUPPORTED BY APPROVED PIPE STRAPS, SECURED BY MEANS OF TOGGLE BOLTS IN HOLLOW MASONRY; EXPANSION SHIELDS AND MACHINE SCREWS OR STANDARD PRESET INSERTS IN CONCRETE OR SOLID MASONRY: MACHINE SCREWS OR BOLTS IN METAL SURFACES; AND WOOD SCREWS IN WOOD CONSTRUCTION. THE USE OF PERFORATED IRON STRAPS WILL NOT BE
- PERMITTED 3. CONDUITS INSTALLED EXPOSED ON THE SURFACE IN DAMP LOCATIONS OR IN REFRIGERATED AREAS SHALL BE PROVIDED WITH CLAMP BACKS UNDER EACH CONDUIT CLAMP TO PREVENT ACCUMULATION OF MOISTURE AROUND THE CONDUITS WHERE INDIVIDUAL CONDUITS ARE SUSPENDED FROM THE CEILING THEY

SHALL BE SUPPORTED BY HANGERS EQUIVALENT TO STEEL CITY

# CC. MULTIPLE RUNS:

NO. C-149.

- 1. WHERE A NUMBER OF CONDUITS ARE TO BE RUN EXPOSED AND PARALLEL, ONE WITH ANOTHER, THEY SHALL BE GROUPED AND SUPPORTED BY TRAPEZE HANGERS HANGER RODS SHALL BE FASTENED TO STRUCTURAL STEEL MEMBERS
- WITH SUITABLE BEAM CLAMPS, OR TO CONCRETE INSERTS SET FLUSH WITH SURFACE. DD. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD

HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE

EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.

SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.

- GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY

#### WIRE AND CABLE

- A. ACCEPTABLE MANUFACTURERS SHALL BE ANACONDA, GENERAL ELECTRIC, CERRO, OR BRAND REX.
- B. ALL CONDUCTORS SHALL BY COPPER, WITH 600 VOLT INSULATION. UNLESS OTHERWISE NOTED; STRANDING AND INSULATION TYPES AS FOLLOWS:
- C. BRANCH CIRCUIT FEEDERS
  - 1. #10 AWG AND SMALLER (SOLID) TYPE THHN/THWN INSULATION.

DESIGNED AND APPROVED FOR COPPER.

- 2. #8 AWG AND LARGER (STRANDED) TYPE THHN/THWN INSULATION. D. ALL WIRE AND CABLE SHALL BE NEW, WITHIN ONE YEAR OF MANUFACTURE WHEN
- DELIVERED TO THE SITE AND BEAR THE UL LABEL, INSULATION TYPE, VOLTAGE, AND MANUFACTURER'S NAME AT REGULAR INTERVALS ON THE INSULATION.
- E. ALL WIRING SHALL BE DONE SO THAT THE SYSTEM WILL BE CONTINUOUSLY POLARIZED THROUGHOUT, FOLLOWING THE COLOR CODING INDICATED IN THE NEC.
- G. JOINTS, TAPS AND SPLICES OF WIRES OF SIZES #10 AWG AND SMALLER SHALL BE MADE BY MEANS OF "SCOTCHLOK" SPRING CONNECTORS.
- H. JOINTS, TAPS AND SPICES OF WIRES OF SIZE #8 AWG AND LARGER SHALL BE MADE WITH THOMAS AND BETTS ALUMINUM/COPPER COLOR -KEYED COMPRESSION CONNECTORS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- WIRE SIZES SHALL BE AS SHOWN ON THE DRAWINGS OR SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- J. ALL FEEDER CABLES SHALL BE CONTINUOUS FROM ORIGIN TO EQUIPMENT TERMINATION WITHOUT RUNNING SPLICES IN INTERMEDIATE PULL OR SPLICE BOXES AS FAR AS PRACTICABLE. NO SPLICES ARE ALLOWED IN "C" CONDULETS.
- K. CONDUCTORS SHALL NOT BE SMALLER THAN CODE SIZE FOR THE LOADS BEING HANDLED AND SHALL BE LARGER IF SO INDICATED IN THE PLANS OR SPECIFICATIONS. NO CONDUCTOR SHALL BE LESS THAN #12 AWG EXCEPT FOR CONTROL CIRCUITS, WHICH MAY BE #14 WIRE WHEN INDICATED.
- PROVIDE SEPARATE GREEN GROUND (EQUIPMENT GROUND) CONDUCTOR WITH EACH FEEDER AND BRANCH CIRCUIT.
- M. WIRING IN DUCTS, PLENUMS, AND OTHER AIR HANDLING SPACES SHALL BE PROVIDED PER NEC ART. 300.22 AND ALL OTHER APPLICABLE CODE SECTIONS. WHERE PROVIDED PLENUM CABLE SHALL BE LISTED AS BEING SUITABLE FOR USE IN DUCTS, PLENUMS, AND OTHER SPACES USED FOR ENVIRONMENTAL AIR AND SHALL ALSO BE LISTED AS HAVING ADEQUATE FIRE—RESISTANT AND LOW SMOKE-PRODUCING CHARACTERISTICS. WIRING SHALL INCLUDE BUT NOT LIMITED TO POWER, LIGHTING, TELEPHONE, DATA, FIRE ALARM, SECURITY, ETC.
- N. ALL WIRING IN TREATMENT ROOMS MUST COMPLY WITH 2008 NEC SECTION 517.

# CABINETS, BOXES, AND FITTINGS

- A. USE SHEET STEEL JUNCTION, OUTLET AND PULL BOXES SIZED PER NEC IN ALL
- B. USE CAST BOXES FOR EXTERIOR USE, WHERE IN CONCRETE FLOORS, AND IN ALL DAMP OR WET LOCATIONS.
- C. NOT USED.

DRY LOCATIONS.

- D. USE STEEL OR MALLEABLE IRON FITTINGS SPECIFICALLY DESIGNED FOR EACH RACEWAY TYPE, AS DICTATED BY GOOD PRACTICE.
- E. IN ALL CASES, ALL CABINETS, JUNCTION AND OUTLET BOXES SHALL BE ACCESSIBLE.

# ELECTRICAL CONNECTIONS FOR EQUIPMENT

- A. FIXED EQUIPMENT REQUIRING ATTACHMENT PLUGS SHALL BE PROVIDED WITH
- B. FIXED EQUIPMENT REQUIRING DIRECT WIRED CONNECTIONS SHALL BE PROVIDED WITH LOCAL JUNCTION BOX, AND FLEXIBLE NONMETALLIC CONDUIT, OR LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT CONNECTIONS TO EQUIPMENT.
- C. PROVIDE SEPARATE FUSIBLE DISCONNECT FOR EQUIPMENT NOT FURNISHED WITH INTEGRAL OR FACTORY FURNISHED DISCONNECTING MEANS.
- D. PROVIDE MOTOR STARTER FOR EQUIPMENT NOT FURNISHED WITH FACTORY STARTER.

# WIRING DEVICES

- A. FOR FINISHED AREAS, USE SPECIFICATION GRADE DEVICES, COLOR AS SELECTED BY ARCHITECT, WITH SMOOTH THERMOPLASTIC WALL PLATE, COLOR TO MATCH
- B. FOR UNFINISHED DRY INTERIOR SPACES, USE SPECIFICATION GRADE DEVICE IN STEEL UTILITY BOXES WITH MATCHING STEEL DEVICE COVERS.
- C. FOR INTERIOR AND EXTERIOR WET LOCATIONS, USE SPECIFICATION GRADE DEVICES INSTALLED WITH AN OUTLET ENCLOSURE CLEARLY MARKED "SUITABLE FOR WET LOCATIONS WHILE IN USE", AS MANUFACTURED BY TAYMAC CORP., WITH
- D. RECEPTACLES:

PUSH-BUTTON RELEASE.

- 20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) 5362 20A, 125V DUPLEX GFI RECEPTACLE: GF20 (NON TAMPER) / TRGF20 (TAMPER) 20A, 125V DUPLEX RECEPTACLE: EATON (ARROW HART) IG5362RN (ORANGE)
- 20A, 120/277V A.C. TOGGLE SWITCH: EATON (ARROW HART) 1221 20A, 120/277V A.C. THREE-WAY SWITCH: EATON (ARROW HART) 1223 20A, 120/277V A.C. FOUR-WAY SWITCH: EATON ARROW HART) 1224
- MOUNTING: MOUNT DEVICES IN SINGLE OR GANGED ARRANGEMENT, AS CALLED FOR ON THE DRAWINGS. PROVIDE APPROPRIATE STEEL BACKBOX AS REQUIRED; USE SINGLE OR MULTIPLE DEVICE COVERS, AS REQUIRED. MULTIPLE DEVICES TO BE EQUALLY SPACED, AND ALIGNED STRAIGHT SO AS TO ALLOW DEVICE PLATE B. TO FIT SNUGLY AND PROPERLY.
- G. WHERE MOUNTING ON MILLWORK OR OTHER EQUIPMENT, VERIFY PROPER ROUGH-IN DIMENSIONS WITH ARCHITECT.
- H. DEVICES IN MECHANICAL EQUIPMENT ROOMS MAY BE WIRED USING SURFACE MOUNTED CONDUIT. DEVICES TO BE INSTALLED AT HEIGHTS TO COMPLY WITH APPLICABLE HANDICAPPED REQUIREMENTS: RECEPTACLES +18" UNLESS OTHERWISE NOTED; WALL SWITCHES +48"; FIRE ALARM PULLSTATIONS +48"; FIRE ALARM AUDIO VISUAL DEVICES +6'-8" TO CENTERLINE OF STROBE UNLESS OTHERWISE NOTED. DIMENSIONS ABOVE FROM FINISHED FLOOR TO CENTERLINE. REFER TO TYPICAL MOUNTING HEIGHT DETAIL ON DRAWINGS FOR FURTHER
- MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.

# SAFETY DISCONNECT DEVICES

HEAVY-DUTY, "QUICK-MAKE, QUICK-BREAK", SAFETY SWITCHES WITH INTERLOCKING COVER, CONSTRUCTED OF CODE GAGE STEEL (UL 98). ENCLOSURES SHALL BE TREATED WITH RUST INHIBITING PHOSPHATE AND FINISHED IN GRAY BAKED ENAMEL.

- B. DISCONNECTS SHALL BE FUSED OR NON-FUSED AS INDICATED ON THE DRAWINGS, M. COORDINATE WITH DIVISION 15 TO AVOID CONFLICTS BETWEEN LUMINARIES, OR AS REQUIRED BY NEC. NUMBER OF POLES, WITH OR WITHOUT SOLID NEUTRAL, SHALL BE AS INDICATED ON THE DRAWINGS, OR AS REQUIRED.
- C. ENCLOSURES FOR INDOOR USE SHALL BE NEMA 1; ENCLOSURES FOR EXTERIOR USE SHALL BE NEMA 3R, ENCLOSURES FOR HAZ. LOCATIONS SHALL BE CLASS II DIV. I LISTED.
- D. DISCONNECTS SHALL REQUIRE THE USE OF A SCREWDRIVER FOR ACCESS TO INTERIOR WITHOUT OPENING CONTACTS.
- E. DISCONNECTS SHALL HAVE PROVISIONS FOR PADLOCKING THE SWITCH IN THE "OFF". OR "OPEN" POSITION.
- F. ACCEPTABLE MANUFACTURERS ARE SQUARE D, ITE, WESTINGHOUSE, OR GENERAL ELECTRIC.
- G. FURNISH A SAFETY DISCONNECT DEVICE ON ALL EQUIPMENT CONNECTIONS WHERE INDICATED ON THE DRAWINGS, OR AS REQUIRED BY CODE.
- H. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING
- J. NAMEPLATES SHALL BE PLASTIC LAMINATE WITH WHITE BACKGROUND AND 1/4" BLACK ENGRAVED LETTERS WITH THE TITLE OF THE EQUIPMENT THAT IS FED. NAMEPLATES SHALL BE ATTACHED USING RIVETS OR NUTS, WASHERS, AND BOLTS.

#### <u>GROUNDING</u> A. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC.ART 250. USE COPPER CONDUCTORS.

# A. SHALL BE UL LISTED AS "SUITABLE FOR USE AS SERVICE ENTRANCE EQUIPMENT",

- WHERE APPLICABLE. B. PHASE, NEUTRAL AND GROUND BUSSES SHALL BE COPPER. AND PHASE BUSSES SHALL EXTEND THE ENTIRE HEIGHT OF PANELBOARD, FOR FUTURE INSTALLATION OF ADDITIONAL CIRCUIT BREAKERS, WITHOUT THE NEED FOR CONNECTORS, BUT
- CIRCUIT BREAKERS CONNECTIONS TO THE BUS SHALL BE: BOLT-ON, DOUBLE ROW ARRANGEMENT, DISTRIBUTED PHASE BUS TYPE. C. CIRCUIT BREAKERS SHALL BE MOLDED CASE, THERMAL MAGNETIC, BOLT-ON TYPE, DEAD FRONT DESIGN, WITH QUICK-MAKE, QUICK-BREAK, COMMON TRIP TYPE SINGLE TOGGLE OPERATING MECHANISMS, 1, 2, OR 3 POLE, AND HACR LISTED
- WHEN USED FOR HVAC EQUIPMENT, SIZED PER PANELBOARD SCHEDULE. BACKBOXES SHALL BE FABRICATED FROM GALVANIZED, CODE GAUGE, SHEET STEEL, MEETING OR EXCEEDING NECESSARY REQUIREMENT FOR WIRE BENDING
- SPACE, WITHOUT KNOCKOUTS. COVERS SHALL BE DEAD FRONT DESIGN, WITH HINGED DOOR, CONCEALED FASTENERS, FABRICATED FROM CODE GAGE STEEL WITH POINTED ENAMEL FINISH,
- F. PANELBOARD DIRECTORY CARD, WITH CLEAR PLASTIC COVER, SHALL BE PROVIDED ON BACK OR DOOR. CONTRACTOR SHALL COMPLETE DIRECTORY CARD, WITH CIRCUIT BREAKER NUMBERS CROSS REFERENCED TO THEIR RESPECTIVE LOAD(S), BY LOAD TYPE AND ROOM OR SPACE NAME AND NUMBER.
- G. PROVIDE PERMANENT LAMACOID OR EQUAL TYPE LABEL INSIDE PANELBOARD DOOR, IDENTIFYING PANELBOARD NAME.
- H. DESIGN EQUIPMENT SHALL BE SQUARE D CO. TYPE NQOD FOR 208Y/120V PANELBOARDS; TYPE NF FOR 480Y/277V PANELBOARDS; TYPE I-LINE FOR DISTRIBUTION PANELBOARDS. ALTERNATE MANUFACTURERS ARE: CUTTLER-HAMMER/WESTINGHOUSE, OR SIEMENS/ITE.

A. PROVIDE INSTANTANEOUS OR TIME DELAY TYPE FUSES FOR EACH FUSIBLE DEVICE, INCLUDING DISCONNECTS, FUSIBLE MOTOR STARTERS, SERVICE SWITCHES. PROVIDE TIME CURRENT CURVES FOR EACH TYPE AND SIZE FUSE USED. PROVIDE ONE SPARE SET OF FUSES FOR EACH SIZE INSTALLED.

# B. CARTRIDGE FUSE APPLICATION:

FLUSH LOCK AND CATCH.

- 1. MAIN SERVICE: CLASS L FAST ACTING.
- 2. MAIN FEEDERS: CLASS J TIME DELAY. 5. MOTOR BRANCH CIRCUITS: CLASS RK1 TIME DELAY.
- C. MANUFACTURERS: BUSSMAN, EAGLE ELECTRIC, GENERAL ELECTRIC, GOULD. MOTOR STARTERS

4. OTHER BRANCH CIRCUITS: CLASS RK5 NON-TIME DELAY.

### A. FRACTIONAL HORSEPOWER MOTOR CIRCUIT SWITCH: FOR MANUALLY CONTROLLED MOTORS LESS THAN 1 H.P., USE MOTOR CIRCUIT SWITCH WITH PILOT LIGHT, WITH

THERMAL UNITS, FOR MOTORS NOT EQUIPPED WITH SAME, BASIS FOR DESIGN: SQUARE D TYPE K. MANUAL MOTOR STARTER: FOR MANUALLY CONTROLLED MOTORS 1 H.P. THROUGH 3 H.P., USE INTEGRAL HORSEPOWER MANUAL STARTER, PUSH-BUTTON TYPE,

WITH THERMAL UNITS, ONE AUXILIARY N.O./N.C. CONTACT, PILOT LIGHT, BASIS

- FOR DESIGN: SQUARE D TYPE M. COMBINATION MOTOR STARTER: FOR ALL OTHER MOTORS, OR WHEN INDICATED ON THE DRAWINGS, USE COMBINATION MOTOR STARTER, FUSIBLE DISCONNECT TYPE. WITH OVERLOADS, CONTROL POWER TRANSFORMER AND FUSES, HAND-OFF-AUTO SELECTOR SWITCH, OFF AND RUNNING PILOT LIGHTS, (2) N.O./N.C. AUX CONTACTS; NEMA 1 ENCLOSURE FOR INDOOR USE, NEMA 4 ENCLOSURE FOR EXTERIOR USE. NON-REVERSING OR REVERSING AS INDICATED ON THE DRAWINGS. SIZE AS REQUIRED FOR MOTOR HORSE POWER SERVED; LARGER SIZE REQUIRED WHERE A SPECIFIC SIZE IS INDICATED ON THE DRAWINGS. FUSIBLE TYPE SHALL BE FURNISHED, UNLESS INDICATED OTHERWISE ON THE DRAWINGS. BASIS FOR DESIGN: SQUARE D CLASS 8538(FUSIBLE, NON-REVERSING); CLASS
- CLASS 8739(CIRCUIT BREAKER, REVERSING). D. MANUFACTURERS: SQUARE-D, GENERAL ELECTRIC, CHALLENGER, SIEMENS.

LIMITING COMPETITION.

METAL GAGE, PHOTOMETRIC DATA, ETC.

DEFER ORDERING UNTIL CLARIFIED.

<u>INTERIOR LIGHTING</u> A. PROVIDE AND INSTALL ITEMS AS SPECIFIED HEREIN AND LISTED ON THE LIGHTING

8738(FUSIBLE, REVERSING); CLASS 8539(CIRCUIT BREAKER, NON-REVERSING);

- FIXTURE SCHEDULE ON THE DRAWINGS. CATALOG NAMES AND NUMBERS USED IN THE LIGHTING FIXTURE SCHEDULE ARE TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS
- C. IF ALTERNATED, OR OPTIONAL, METHODS ARE PROPOSED AS SUBSTITUTION FOR ANY ONE OF THE LIGHTING FIXTURES, THEY MUST BE EQUAL IN DESIGN AND QUALITY, AS DETERMINED BY THE ARCHITECT/ENGINEER. THE DATA SUBMITTED MUST INCLUDE A DESCRIPTION OF THE LIGHTING FIXTURE, LENS, BALLAST, SHEET
- UPON REQUEST OF THE ENGINEER, A SAMPLE OF THE PROPOSED SUBSTITUTION F. INSTALLATION SHALL BE PROVIDED.
- E. FURNISH AND INSTALL ALL LIGHTING FIXTURES COMPLETE WITH LAMPS. PROVIDE 10% ADDITIONAL LAMPS FOR EACH TYPE OF LAMP REQUIRED ON PROJECT AND TURN OVER TO OWNER.

F. ALL LIGHTING FIXTURES SHALL CARRY THE UNDERWRITER'S LABEL OF APPROVAL.

G. FIXTURES SHALL BE FREE OF IMPERFECTIONS, HANDLING, OR INSTALLATION DAMAGE.

H. OBTAIN EXACT LOCATION OF ALL CEILING OUTLETS FROM THE ARCHITECT.

LIGHTING FIXTURES INTO THE ACTUAL CEILING INSTALLED.

J. ALL WIRING WITHIN EACH LIGHTING FIXTURE SHALL BE CONTAINED IN METALLIC WIRING CHANNEL AND NOT IN THE LAMP CHAMBER.

I. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIT OF ALL

K. FLUORESCENT LIGHTING FIXTURES SHALL BE "P" RATED, PREMIUM GRADE, AND SO LABELED AS PER NEC.

L. CONFIRM COMPATIBILITY AND INTERFACE OF OTHER MATERIALS WITH LUMINAIRE

AND CEILING SYSTEM. REPORT DISCREPANCIES TO THE ENGINEER/ARCHITECT AND

LAMPS SHALL BE AS MANUFACTURED BY GENERAL ELECTRIC, GTE-SYLVANIA, WESTINGHOUSE, OR PHILLIPS.

N. ALL INCANDESCENT, FLUORESCENT, METAL HALIDE, AND HIGH PRESSURE SODIUM

O. ALL FLUORESCENT LIGHTING FIXTURES SHALL HAVE HIGH POWER FACTOR BALLASTS HAVING A SOUND LEVEL OF "A". BALLASTS CONSIDERED BY THE OWNER OR ENGINEER TO HAVE OBJECTIONABLE NOISE OR HUM SHALL BE REPLACED DURING THE PERIOD OF GUARANTEE AT THE DIVISION 16 CONTRACTOR'S EXPENSE.

- Q. IT WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY. WITH THE CONSTRUCTION CONTRACTOR, THE TYPES OF CEILINGS IN ALL ROOMS HAVING TROFFERS, AS TO THE TYPE OF TROFFER CONSTRUCTION REQUIRED TO
- R. MOUNT HIGH INTENSITY DISCHARGE BALLASTS ON RUBBER GROMMETS TO REDUCE
- S. ALL METAL PARTS SHALL BE GROUNDED AS A COMMON UNIT. I. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC.ART 250. USE COPPER CONDUCTORS.T. SUPPORT FLUORESCENT LUMINARIES DIRECTLY FROM BUILDING STRUCTURE BY

#### U. INSTALL RECESSED LUMINARIES TO PERMIT REMOVAL FROM BELOW, TO GAIN ACCESS TO OUTLET OR PRE-WIRED LIGHTING FIXTURE BOX.

- A. LIGHTING FIXTURES SHALL BE OF SPECIFICATION GRADE AND LISTED OR LABELED
- 2.ANSI C78.377 "SPECIFICATIONS OR THE CHROMATICITY OF SOLID STATE LIGHTING PRODUCTS" WITH LED BINNED WITHIN A MAXIMUM THREE-STEP MACADAM ELLIPSE TO ENSURE COLOR CONSISTENCY AMONGST LUMINARIES OF

TM-21 "PROJECTING LONG TERM LUMEN MAINTENANCE OF LED LIGHT SOURCE".

A. LED FIXTURES, LAMPS DRIVERS AND COMPONENTS PROVIDE A COMPLETE

# WARRANTY FOR PARTS AND LABOR FOR A MINIMUM OF FIVE YEARS.

- LED LAMPS AND DRIVERS. USER SERVICEABLE LED LAMPS AND DRIVERS SHALL BE REPLACEABLE FROM THE ROOM SIDE.
- B. DIMMABLE LED FIXTURES SHALL HAVE A 0-10 VOLT, 3-WIRE DIMMING DRIVER OR A TWO STEP (50%-100%) LINE VOLTAGE, TWO SWITCH CONTROLLER DIMMING DRIVER.

#### A. LED LAMPS SHALL HAVE A COLOR TEMPERATURE 3500° K, A CRI OF 80 MINIMUM, AND A LUMEN MAINTENANCE L70 RATING OF 50,000 HOURS MINIMUM.

- A. LED DRIVERS SHALL BE ELECTRONIC-TYPE, LABELED AS COMPLIANT WITH RADIO FREQUENCY INTERFACE (RFI) REQUIREMENTS OF FCC TITLE 47 PART 15, AND COMPLY WITH NEMA SSL 1 "ELECTRONIC DRIVERS FOR LED DEVICES, ARRAYS OF SYSTEMS". LED DRIVERS SHALL HAVE A SOUND RATING OF "A" HAVE MINIMUM
- B. DIMMABLE LED DRIVERS SHALL BE 0-10V TYPE. DIMMABLE DRIVERS SHALL BE CAPABLE OF DIMMING WITHOUT LED STROBING OR FLICKERING ACROSS THEIR
- C. DRIVERS SHALL BE RATED FOR THE AMBIENT TEMPERATURES IN WHICH THEY ARE LOCATED. OUTDOOR FIXTURES SHALL BE EQUIPPED WITH DRIVERS RATED FOR RELIABLE STARTING TO -20 DEGREES F. INDOOR FIXTURES LOCATED IN AREAS WITH DIRECT SUNLIGHT OR ABOVE NORMAL AMBIENT TEMPERATURE SHALL HAVE DRIVERS RATED AT 65 DEGREES C MINMUM.ABOVE NORMAL
- RROVIDE AND INSTALL A FIRE ALARM SYSTEM COMPLYING WITH NFPA 72 AND THE
- NEC. FIRE ALARM SYSTEM SHALL BE UL LISTED.
- WITH MANUAL AND AUTOMATIC ALARM INITIATION AND VOICE EVACUATION.
- D. DEVICES INCLUDE BUT ARE NOT LIMITED TO:
  - 2. REMOTE ANNUNCIATOR PANEL WHICH DUPLICATES FUNCTIONS OF THE FACP FOR ALARM, SUPERVISORY AND TROUBLE INDICATIONS
  - 5. PHOTOELECTRIC SMOKE DETECTORS 6. HEAT DETECTORS 7. DUCT SMOKE DETECTORS: PHOTOELECTRIC TYPE, COMPLETE WITH SAMPLING TUBE AND REMOTE TEST STATION
  - POLYCARBONATE LENS, THE WORD "FIRE" IS ENGRAVED ON THE LENS 10. AUDIO/VISUAL ALARM DEVICE: SPRAKER AND XENON STROBE LIGHT 11. DIGITAL COMMUNICATOR OR TAPE DALER. SYSTEM SUPPLIER SHALL VERIFY WITH

- 1. INSTALL ALL SYSTEM WIRING IN METAL RACEWAY IN ACCORDANCE WITH THE
- NATIONAL ELECTRIC CODE 2. COLOR CODING: USE ONE COLOR FOR ALARM CIRCUIT WIRING AND A DIFFERENT COLOR FOR SUPERVISORY CIRCUITS PER MANUFACTURER'S WIRING INSTRUCTIONS.
- 1. ENGAGE A LICKNSED, FACTORY AUTHORIZED SERVICE REPRESENTATIVE TO INSPECT, FIFLD ASSEMBLE COMPONENTS AND CONNECTIONS, SUPERVISE PRETESTING, TESTING AND FINAL ADJUSTMENT OF THE SYSTEM. PREPARE FORMS FOR SYSTEMATIC RECORDING OF ACCEPTANCE TEST
- G. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH THE REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE: CERBERUS PYROTRONICS, EDWARDS SYSTEMS TECHNOLOGY, SIMPLEX TIME RECORDER

MECHANICAL-ELECTRICAL ENGINEERING 10225 Main Street, Victoria Park, Suite 10B Clarence, New York 14031 Phone: (716) 803-8787 Email: info@kromacdesign.com Project # 25-01-12

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DOFI PROPERTIES

**85** Humboldt Parkway

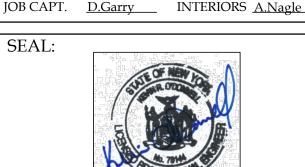
Buffalo, NY 14214

**ISSUE:** 

SA PROJECT TEAM: PRINCIPAL P.Silvestri

PROJ. ARCH. DRAFTER B.Pacos

SEAL:



TITLE:

**ELECTRICAL SPECIFICATIONS** 



SA JOB #:

DRAWING #:

DATE:

1321 MILLERSPORT HWY PH. 716.691.0900

AMHERST, NY 14221 FAX 716.691.4773

MATCH THE CEILING CONSTRUCTION

NOISE TRANSMISSION.

ROD HANGERS AND INSERTS, OR METAL ANGLE HEADERS SUPPORTED FROM

SUPPORTS, FITTINGS, AND MECHANICAL EQUIPMENT.

FRAMING STRUCTURE OF CEILING SUSPENSION SYSTEM.

# LED FIXTURES

- BY UNDERWRITERS LABORATORIES (UL) OR AN APPROVED EQUAL.
- B. LED FIXTURES SHALL COMPLY WITH THE FOLLOWING: 1. UL STANDARD 8750 "LIGHT EMITTING DIODE EQUIPMENT FOR USE IN LIGHTING PRODUCTS". IES STANDARD LM-79 " ELECTRICAL AND PHOTOMETRICS MEASUREMENTS OF SOLID STATE LIGHTING PRODUCTS". IES STANDARD LM-80 "MEASURE LUMENS MAINTENANCE OF LED LIGHT SOURCE", AND IES STANDARD
  - THE SAME TYPE.

## -WARRANTY

A. LED FIXTURES SHALL BE MODULAR AND ALLOW FOR SEPARATE REPLACEMENT OF

# -LAMPS

- EFFICIENCY OF 85%, AND BE RATED FOR A THD OF LESS THEN 20% AT ALL INPUT VOLTAGES.
- AMBIENT TEMPERATURE FIRE ALARM SYSTEM
- B. FIRE ALARM SYSTEM SHALL BE A SUPERVISED, NON-CODED, ADDRESSABLE XYSTEM
- C. MULTIPLEXED SIGNAL TRANSMISSION TO FIRE ALARM SERVICE.
  - . MAIN FIRE ALARM CONTROL PANEL WITH EMERGENCY BATTERY POWER SUPPLY
- 3. VOICE EVACUATION MASTER STATION. 4. DOUBLE ACTION MANUAL PULL STATIONS
- 8. RELAY FAN SHUTDOWN: RATED TO INTERRUPT FAN MOTOR CONTROL CIRCUIT 9. VISUAL ONLY DEVICES: XENON STROBE LIGHT WITH CLEAR OR NOMINAL WHITE

# RECEIVING A TRANSMITTED FIRE ALARM SIGNAL.

CO, NOTIFIER OR LIFE SAFETY.

AUTHORITY HAVING JURISDICTION FOR THE METHOD OF

- 2. PROVIDE EIGHT (8) HOURS OF TRAINING TO OWNERS MAINTENANCE PERSONNEL

KROMAC Design Inc.

#### PLUMBING FIXTURE SCHEDULE WATER MARK | FIXTURE SYMBOL REMARKS SAN VENT CW HW TW MANUFACTURER: MANSFIELD, GERBER, KOLHER WC1 | WATER CLOSET 1/2" -BATHROOM MODEL: PER OWNER FLUSH TANK TYPE TOILET, 1.28 GPF WITH SLOW -10" ROUGH-IN CLOSED SEAT AND CLOSED TOILET SEAT MANUFACTURER: MANSFIELD, GERBER, KOLHER LV1 | LAVATORY -1/2" | 1-1/2" | 1/2" | 1/2" -BATHROOM MODEL: PER OWNER, OVAL, COUNTER MOUNT -COUNTER MOUNT FAUCET: 4"CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN) LV2 | LAVATORY MANUFACTURER: MANSFIELD, GERBER, KOLHER -1/2" | 1-1/2" | 1/2" 1/2" -BATHROOM MODEL: PER OWNER, OVAL, WALL MOUNT -WALL MOUNT FAUCET: 4"CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN) SH1 | SHOWER MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC 1/2" 1/2" 1-1/2" -BATHROOM MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR.

1-1/2"

1-1/2"

"DRAIN

TO KS

1/2"

1/2"

1-1/2" 1/2" 1/2"

1/2"

1/2"

3/4" | 3/4"

3/4" 3/4"

3/4"

ALL PLUMBING FIXTURES TO BE APPROVED BY BUILDING OWNER REPRESENTATIVE PRIOR TO ORDERING.

2. PROVIDE ALL ACCESSORIES REQUIRED FOR A COMPLETE PLUMBING INSTALLATION AS SPECIFIED IN SPECIFICATIONS AND ON DRAWINGS.

5. PLUMBING FIXTURES (TOILETS, LAVATORIES, SHOWERS, TUB/SHOWERS, KITCHEN SINKS AND ACCESSORIES) TO BE COORDINATED WITH

3/4" | 3/4" | 3/4"

1/2"

1/2"

1/2"

1/2"

SH2 | SHOWER

BT1 | SHOWER

-BATHROOM

-BATHROOM

KS1 KITCHEN SINK

DW1 DISHWASHER

-KITCHEN

-SINGLE BOWL

WMB WASHER MACHINE BOX

-BASEMENT

IMB | ICE MACHINE BOX

-KITCHEN

AAV | AIR ADMITTANCE VALVE

WH1 | WATER HEATER (EXISTING)

-NATURAL GAS -FOR 1-BED UNIT

WH2 | WATER HEATER (NEW)

-47 GAL. ELECTRIC

-FOR 4-BED UNIT

-40 GAL.

MV1 | MIXING VALVE

WHY | WALL HYDRANT

-NON-FREEZE

PLUMBING FIXTURE NOTE:

1. ROUGH ACCORDING TO ABOVE SCHEDULE UNLESS OTHERWISE INDICATED ON DRAWINGS.

3. PROVIDE ACCESS PANEL ON ALL NON-ACCESSIBLE CEILINGS BELOW PLUMBING VALVES.

4. REFER TO DRAWINGS FOR ADDITIONAL PLUMBING EQUIPMENT SPECIFICATIONS.

PLUMBING FIXTURE NOTES:

OWNER'S REPRESENTATIVE.

-WH1 & WH2

-KITCHEN ISLAND SINK

-PROVIDE WATER HAMMER

ARRESTER (WHA)

SIZE PER ARCHITECTURAL PLANS,

SIZE PER ARCHITECTURAL PLANS,

FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE

BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)

MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR,

BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)

FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE

MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC

MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC

MODEL: (LEFT/RIGHT), TUB-SHOWER, 60"x32"x72"HIGH,

STOPS AND DIVERTER SPOUT (SYMMONS, DELTA, MOEN)

FAUCET: SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, TUB/SHOWER WITH

MODEL: PER OWNER, SINGLE BOWL, COUNTER MOUNT

PROVIDED BY OWNER, INSTALLED BY PLUMBING

FAUCET: SINGLE HANDLE WITH HOSE SPRAY, 8"CENTER,

MANUFACTURER: ELKAY, DAYTON, KOLHER

1.5 GPM AND DRAIN

MODEL: PER OWNER

MANUFACTURER: OATEY

WASHING MACHINE BOX

MANUFACTURER: OATEY

MANUFACTURER: OATEY

(PROVIDED AND INSTALLED BY PLUMBER)

(RECONNECTED/INSTALLED BY PLUMBER)

MANUFACTURER: BRADFORD WHITE

WATER TO THE LAVATORY FAUCETS

MANUFACTURER: MIFAB

-PROVIDE EXTRA KEY

(OR APPROVED EQUAL)

MODEL: MHY-20

MANUFACTURER: EXISTING 40 GAL RUUD, NATURAL GAS

MODEL: RE250S6+, 3.0 KW/3.0 KW 240V, 1 PHASE, 0.91 UEF, 47

GAL., SET TO 120°F, 14 GAL. REC. @ 90°F RISE, ELECTRIC HEATER

AND DRAIN PAN (OATEY ALUMINUM) 1"CPVC DRAIN LINE TO FLOOR

CALEFFI - MODEL 5213959A - HOT WATER TEMPERATURE CONTROL

PRINCIPLE THERMOSTAT THAT CONTROLS BOTH HOT AND COLD WATER,

INTEGRAL FILTER WASHERS AND CHECK VALVES, AND ADJUSTMENT CAP WITH LOCKING FEATURE SET TO PROVIDE MAXIMUM 110 DEG. F HOT

VALVE WITH BRONZE BODY CONSTRUCTION, SOLID WAX HYDRAULIC

DRAIN WITH 2"AIR GAP AMTROL MODEL: ST-5 EXPANSION TANK

(VITRAGLAS TANK LINING WITH MICROBAN) WITH INSULATED BLANKET

SIZE PER DRAWING

VALVE BOX

(2) 1/4 TURN BALL VALVES

WITH DRAIN PAIN AND 1"DRAIN

AND ONE 2"CENTER DRAIN

(1) 1/4 TURN BALL VALVE

CONTRACTOR /

(SYMMONS, DELTA, MOEN)

MANUFACTURER: PER OWNER

# **ABBREVIATIONS**

DCW/CW DOMESTIC COLD WATER DHW/HW DOMESTIC HOT WATER TEMPERED WATER CIRC CIRCULATING HOT WATER NG NATURAL GAS

**LEGEND** 

— DOMESTIC COLD WATER

NATURAL GAS LINE

BALL VALVE

CHECK VALVE

— DHW/HW - - DOMESTIC HOT WATER (115°F)

— CIRCULATING HOT WATER (110°F)

\_\_\_\_ VENT THROUGH ROOF

FLOOR CLEANOUT

- DRAWING NUMBER

DRAIN HUB WITH TRAP

- POINT OF CONNECTION

- DETAIL OR FLOOR PLAN NUMBER

FLOOR DRAIN WITH TRAP

SAN/S SANITARY SEWER V/VTVENT VTR VENT THROUGH ROOF FCO FLOOR CLEANOUT

WCO WALL CLEANOUT POC POINT OF CONNECTION SOV SHUTOFF VALVE ABOVE FINISHED FLOOF BFF BELOW FINISHED FLOOR

AFG ABOVE FINISHED GRADE BFG BELOW FINISHED GRADE CFH CUBIC FEET PER HOUR MEP MECHANICAL-ELECTRICAL-PLUMBING

AIR ADMITTANCE VALVE AAVDFU DRAINAGE FIXTURE UNIT WSFU WATER SUPPLY FIXTURE UNIT WALL HYDRANT

IMB ICE MACHINE BOX AIR HANDLING UNIT (MECHANICAL)

# **GENERAL NOTES:**

- A. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES.
- B. DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN PIPING. EQUIPMENT LOCATIONS, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.
- C. ALL CUTTING AND PATCHING OF BUILDING COMPONENTS REQUIRED TO ACCOMMODATE THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THIS CONTRACT. ALL PATCHING SHALL MATCH THE EXISTING COMPONENTS AND FINISHES. CUTTING AND PATCHING WORK SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH
- D. PLUMBING CONTRACTOR TO PROVIDE ALL ACCESSORIES REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEM..

# GENERAL PLUMBING NOTES

- 1. GENERAL NOTES ARE APPLICABLE TO ALL PLUMBING WORKING DRAWINGS.
- 2. THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH BASE BUILDING SPECIFICATION AND WITH THE LATEST EDITION OF THE PREVAILING LOCAL PLUMBING AND BUILDING CODES AND ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
- 3. ALL PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- 4. NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION BY THE ENGINEER OF RECORD.
- 5. NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- 6. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING RELATED FEES.
- 7. ROUGH-IN DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH CONTRACTOR AND FIELD SUPERVISOR.
- 8. INSTALL BALL VALVES ON ALL BRANCH SUPPLY LINES.
- 9. PROVIDE ACCESS PANELS ON ALL INACCESSIBLE VALVES AND CLEANOUTS. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION. MOUNT SHUT-OFF VALVES NO HIGHER THAN 12'-8" AFF.
- 10. ALL WORK SHALL BE PROPERLY TESTED, BALANCED AND CLEANED. PROVIDE A ONE (1) YEAR WARRANTY FROM DATE OF FINAL INSPECTION ON ALL PARTS AND LABOR.
- 11. FOLLOW PDI STANDARDS FOR WATER HAMMER ARRESTORS.
- 12. CONTRACTOR SHALL COORDINATE WATER METER LOCATION AND INSTALLATION WITH LOCAL AUTHORITIES AND CIVIL DRAWINGS IF NOT EXISTING
- 13. SANITARY SEWER PIPING SHOWN IS BASED ON 0.125"/FT FOR 3"-6" & 0.25"/FT FOR 2 1/2" OR LESS FOR ALL PIPING.COORDINATE BUILDING SEWER LOCATION AND INVERT ELEVATION WITH CIVIL DRAWINGS.
- 14. SURE SEAL WATERLESS TRAP PRIMERS ARE TO BE PROVIDED AT ALL FLOOR DRAIN.

### -3/4"DOMESTIC COLD WATER LINE, CONTINUE ON 1/P-103 NEW 3/4"DCW--WATER METER BASEMENT (CITY OF BUFFALO) FLOOR -DUAL CHECK VALVE (3/4") -EXISTING MAIN SHUT-OFF VALVE (3/4") $\rightarrow$ EXISTING 3/4"DOMESTIC WATER SERVICE TO / APARTMENT

• DUAL CHECK BACKFLOW PREVENTER (DCBP) WATTS MODEL No. SERIES L7 (3/4")

# PLUMBING SPECIFICATIONS:

DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

PLUMBING WORK SHALL BE AS INDICATED ON THE PLANS AND AS HEREIN SPECIFIED. WORK SHALL CONSIST OF PROVIDING A COMPLETE AND OPERATIONAL SYSTEM INCLUDING ALL FIXTURES, PIPING, VALVES, AND OTHER REQUIRED DEVICES, EQUIPMENT, ETC. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS. WHERE THERE ARE CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS, AND CODE REQUIREMENTS, THE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUIRED FOR COMPLIANCE WITH ALL CODES AND FOR APPROVAL OF THE SYSTEM. THE SYSTEM SHALL EXTEND TO AND CONNECT INTO THE EXISTING PROJECT WATER AND WASTE SYSTEM AS INDICATED ON THE DRAWINGS.

WHENEVER A MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT IS IDENTIFIED ON THE DRAWINGS BY REFERENCE TO MANUFACTURERS' OR VENDORS NAMES, TRADE NAMES, CATALOG NUMBERS, OR THE LIKE, IT IS SO IDENTIFIED FOR THE PURPOSE OF ESTABLISHING A STANDARD, AND ANY MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT OF OTHER MANUFACTURERS OR VENDORS WHICH WILL PERFORM ADEQUATELY THE DUTIES IMPOSED BY THE GENERAL DESIGN WILL BE CONSIDERED EQUALLY ACCEPTABLE PROVIDED THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SO PROPOSED IS, IN THE OPINION OF THE ARCHITECT/ENGINEER, OF EQUAL SUBSTANCE, APPEARANCE, AND FUNCTION. THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SHALL NOT BE PURCHASED OR INSTALLED BY THE CONTRACTOR WITHOUT THE ARCHITECT'S/ ENGINEER'S WRITTEN APPROVAL.

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL, SHOP DRAWINGS AND OR MANUFACTURERS SUBMITTAL DATA WITH CAPACITY AND CHARACTERISTICS OF ALL MATERIAL AND EQUIPMENT FOR APPROVAL PRIOR TO PURCHASE AND OR INSTALLATION OF THE WORK, A MINIMUM OF FIVE (5) COPIES SHALL BE SUBMITTED. SUBMITTALS SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BEGINNING WORK FOR THE PURPOSE OF OBSERVING EXISTING CONDITIONS AND TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR PROVIDING ALL MATERIAL, EQUIPMENT, AND LABOR AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL CODE REQUIREMENTS.

ALL WATER PIPING SHALL BE TYPE "L" HARD COPPER WITH WROUGHT COPPER FITTINGS. JOINTS SHALL BE SOLDERED WITH LEAD FREE SOLDER. ALL EXPOSED PIPING SHALL BE CHROME PLATED. WASTE AND VENT SHALL BE SERVICE WEIGHT CAST IRON WITH EITHER NO-HUB OR "CHARLOTTE SEAL" JOINTS. NO-HUB JOINTS ARE NOT PERMITTED BELOW GRADE. ALL EQUIPMENT REQUIRING PLUMBING CONNECTIONS SHALL BE CONNECTED BY THE PLUMBER REGARDLESS OF WHO PROVIDES THE EQUIPMENT OR FIXTURE. UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER OR SCHEDULE 40 PVC. FORCED MAINS SHALL BE PVC OR APPROVED EQUAL.

ALL HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH (HOT/CIRCULATING WATER PIPING MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE), (COLD WATER PIPING 1/2"INSULATION UP TO 2" PIPE AND 1"INSULATION ON 2-1/2"PIPE AND ABOVE WITH 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE). ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER.

HORIZONTAL STORM/SEWER PIPING ABOVE GRADE SHALL BE INSULATED WITH MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE. ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER. (TO AVOID CONDENSATION) DRAIN HUBS TO BE INSULATED.

VACUUM BREAKERS SHALL BE PROVIDED FOR ALL HOSE CONNECTIONS AND OTHER POINTS WHERE CROSS CONTAMINATION CAN OCCUR. REDUCED PRESSURE BACKFLOW PREVENTERS SHALL BE PROVIDED WHERE REQUIRED BY AS INDICATED AND SCHEDULED ON THE PLANS. THE SYSTEM SHALL BE TESTED, CLEANED, AND DISINFECTED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.

THE ENTIRE PLUMBING SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE (1) YEAR FROM ACCEPTANCE BY THE OWNER. ALL GUARANTEES SHALL BE WRITTEN, DATED, AND FORWARDED TO THE OWNER. ALL DEFECTIVE EQUIPMENT AND/OR MATERIAL SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

AT THE CONTRACTOR'S OPTION, PVC MAY BE UTILIZED ABOVE GRADE IN CONCEALED LOCATIONS FOR DWV SYSTEM, SUBJECT TO CODE COMPLIANCE.

APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED.

AT THE CONTRACTOR'S OPTION, PEX OR CPVC PIPING MAY BE UTILIZED ABOVE GRADE AND IN CONCEALED SPACES, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED. (HOT WATER PEX PIPING TO BE INSULATED)

PVC/CPVC PIPING SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DEVELOPMENT RATING LESS THAN 50.

GAS PIPING - SCHEDULE 40 BLACK STEEL WITH MALLEABLE SCREWED FITTING IN SIZE UP TO 3" AND OVER 3" TO BE SCHEDULE 40 BLACK STEEL WITH WELDED

NATURAL GAS PIPING - COORDINATE ALL NEW GAS LINES ROUTING PER PLANS IN FIELD. PAINT EXTERIOR GAS PIPING AND SUPPORTS TWO COATS EXTERIOR

INSTALL EQUIPMENT AND PIPING TO AVOID INTERFERENCE WITH THE OPERATION OR SERVICING AND MAINTENANCE OF EQUIPMENT PIPES PENETRATING FIRE WALLS AND FLOORS SHALL BE FIRESTOPPED AS SPECIFIED. REFER TO THE ARCHITECTURAL DRAWINGS FOR FIRE WALL AND FLOOR LOCATIONS.

ALL PHYSICAL ATTRIBUTES OF EQUIPMENT AND DEVICES ARE BASED ON THOSE MANUFACTURERS LISTED IN THE SPECIFICATIONS AND/OR THE EQUIPMENT SCHEDULES. THE RESPECTIVE CONTRACTORS ARE RESPONSIBLE FOR ALL CHANGES BROUGHT ABOUT BY USE OF ITEMS BY OTHER MANUFACTURERS. THE ARCHITECT/ENGINEER HAS RESERVED THE RIGHT TO REJECT ITEMS BY OTHER MANUFACTURERS IF THOSE ITEMS DO NOT MATCH THE PHYSICAL ATTRIBUTES OF THE MANUFACTURERS LISTED.

ALL PLUMBING SERVICE PIPING USE ON PROJECT TO MEET ALL STATE AND LOCAL CODES. COORDINATE USE OF PVC PIPING ABOVE AND BELOW GRADE WITH LOCAL AUTHORITIES PRIOR TO WORK START-UP. (NATURAL GAS, WASTE, STORM, VENT, DOMESTIC HOT, COLD AND CIRCULATING WATER LINES)

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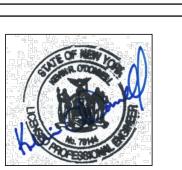
Humboldt Pkwy Apartments

> **85** Humboldt Parkway Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri PROJ. ARCH. \_\_\_\_\_ DRAFTER <u>B.Pacos</u>

JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

SCHEDULES AND **SPECIFICATIONS** 



1321 MILLERSPORT HWY PH. 716.691.0900 AMHERST, NY 14221 FAX 716.691.4773

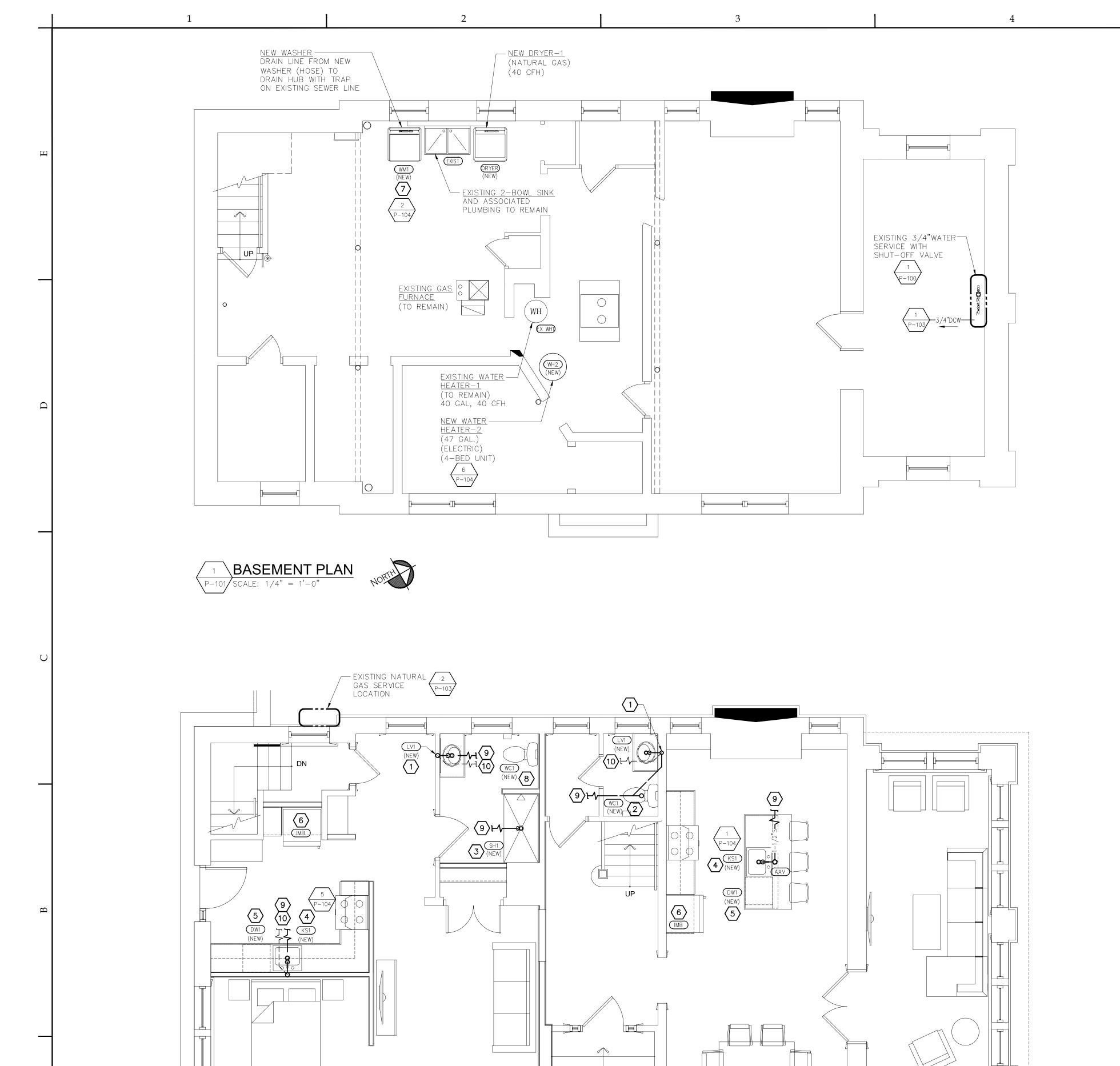
SA JOB #: 24101.01

DATE: 07-21-25

DRAWING #:

P-100





\FIRST FLOOR PLAN

P-101/SCALE: 1/4" = 1'-0"

# **GENERAL NOTES:**

P-104.

- A. DOMESTIC WATER REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS REFER TO DETAILS ON DRAWING

# ⟨¬⟩ PLUMBING NOTES:

## 1. NEW LAVATORY (LV1):

- 1.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1, 2"WASTE, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 1.2. EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.

## 2. NEW WATER CLOSET (WC1):

- 2.1. EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.

# 3. NEW SHOWER (SH1):

- 3.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH1, 1-1/2" DRAIN WITH TRAP TO NEW SH1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. VERIFY/PROVIDE PROPER VENTING.
- 3.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH1, CONNECT PER LOCAL AND STATE CODES.

# 4. NEW KITCHEN SINK (KS1):

- 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1. CONNECT PER
- MANUFACTURER'S WRITTEN RECOMMENDATIONS. 4.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.

# 5. NEW DISHWASHER (DW1):

- 5.1. EXTEND/CUTBACK EXISTING 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 5.1. EXTEND 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTER, CONNECT PER LOCAL AND STATE CODES.

# 6. NEW ICE MACHINE BOX (IMB):

6.1. NEW 3/8"DCW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.

# 7. NEW WASHER MACHINE (WMB)

- 7.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S
- RECOMMENDATION. REFER TO DETAIL 2/P-104. 7.1. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.

# 8. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:

- 8.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE
- CODES. VERIFY/PROVIDE PROPER VENTING. 8.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- 9. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
- 10. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIÈLD.

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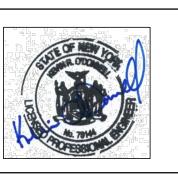
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JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

BASEMENT AND FIRST FLOOR PLANS



SA JOB #: DATE:

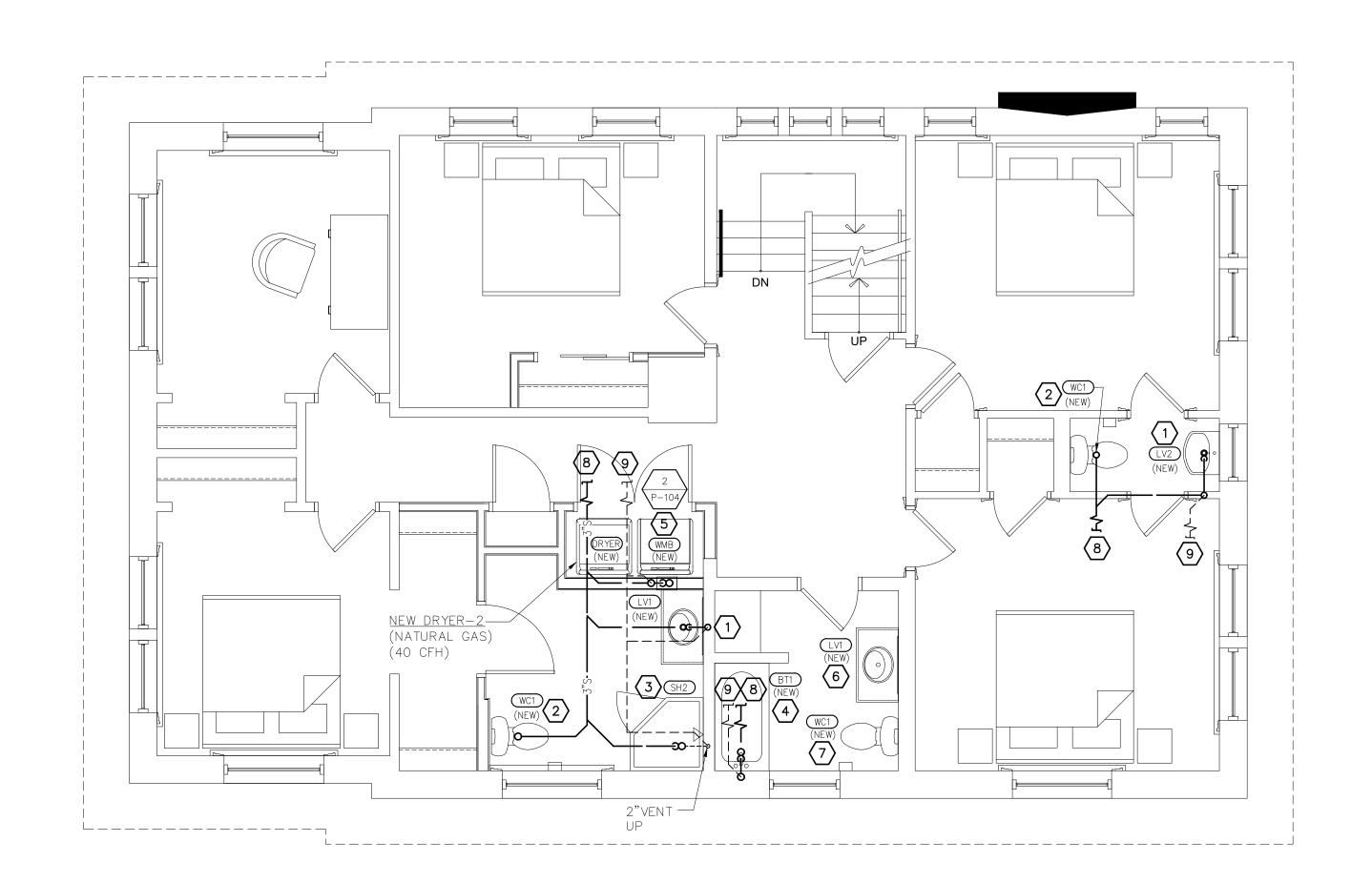
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07-21-25

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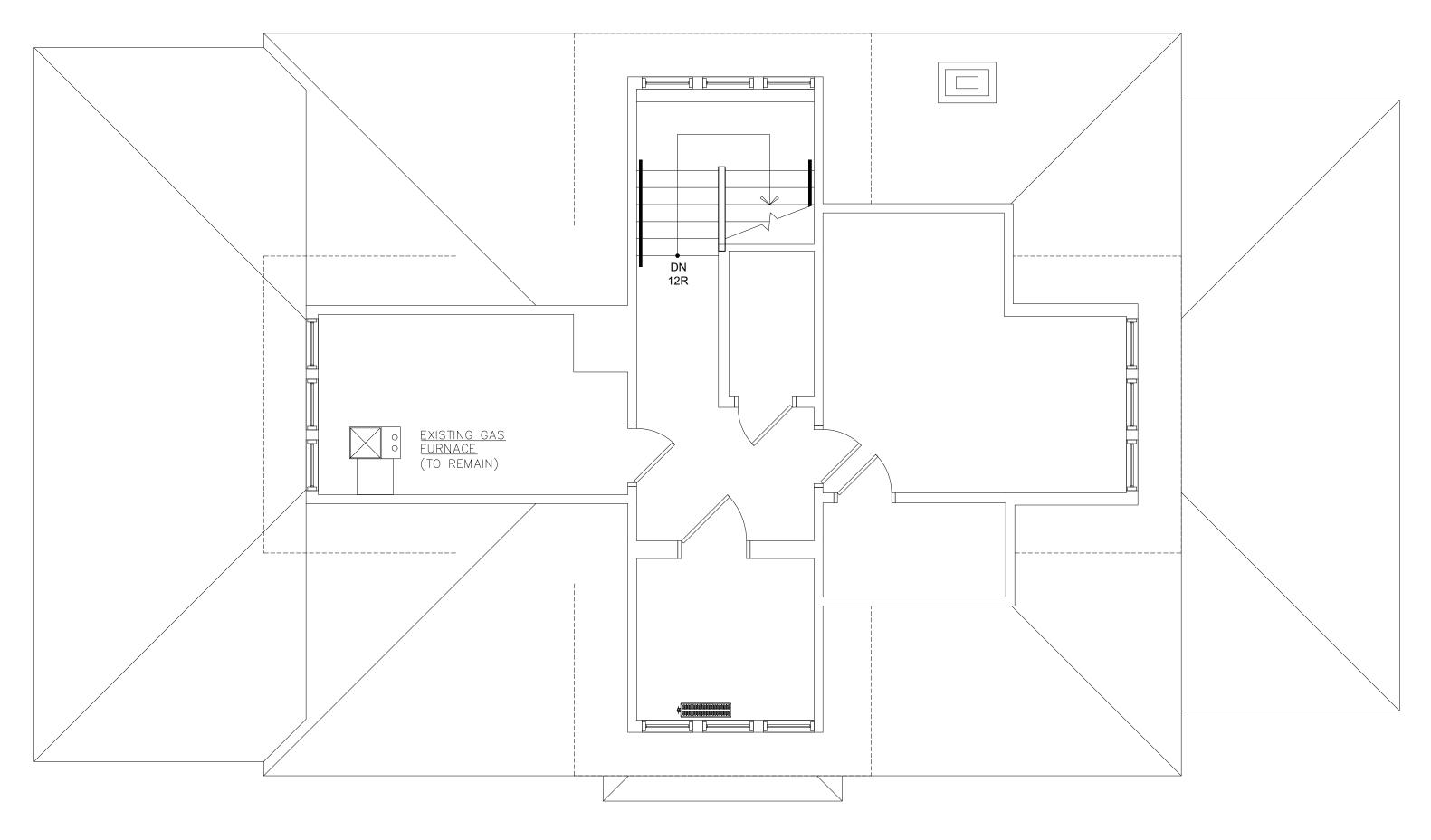
P-101

DRAWING #:













# **GENERAL NOTES:**

- A. DOMESTIC WATER REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS REFER TO DETAILS ON DRAWING P-104.

# ⟨¬⟩ PLUMBING NOTES:

#### NEW LAVATORY (LV1/LV2):

- 1.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1/LV2, 2"WASTE, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 1.2. EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1/LV2, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1/LV2, CONNECT PER LOCAL AND STATE

## 2. NEW WATER CLOSET (WC1):

- 2.1. EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.

## 3. NEW SHOWER (SH2):

- 3.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH2, 1-1/2" DRAIN WITH TRAP TO NEW SH2. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. VERIFY/PROVIDE PROPER VENTING.
- 3.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH2, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH2, CONNECT PER LOCAL AND STATE CODES.

## 4. NEW BATHTUB (BT1):

- 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW BT1, 2"DRAIN, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW BT1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 4.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW BT1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW BT1, CONNECT PER LOCAL AND STATE CODES.

# 5. NEW WASHER MACHINE (WMB)

- 5.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
- 5.1. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.

# 6. NEW LAVATORY (LV1) TO REPLACE EXISTING:

- 6.1. EXTEND/CUTBACK EXISTING 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1 AND CONNECT PER LOCAL AND STATE
- CODES. VERIFY/PROVIDE PROPER VENTING. 6.1. EXTEND/CUTBACK EXISTING 1/2'DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.

# 7. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:

- 7.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE
- CODES. VERIFY/PROVIDE PROPER VENTING. 7.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- 8. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
- 9. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIÈLD.

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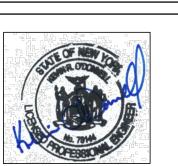
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JOB CAPT. <u>D.Garry</u> INTERIORS <u>A.Nagle</u>



TITLE:

SECOND FLOOR PLAN



AMHERST, NY 14221 FAX 716.691.4773

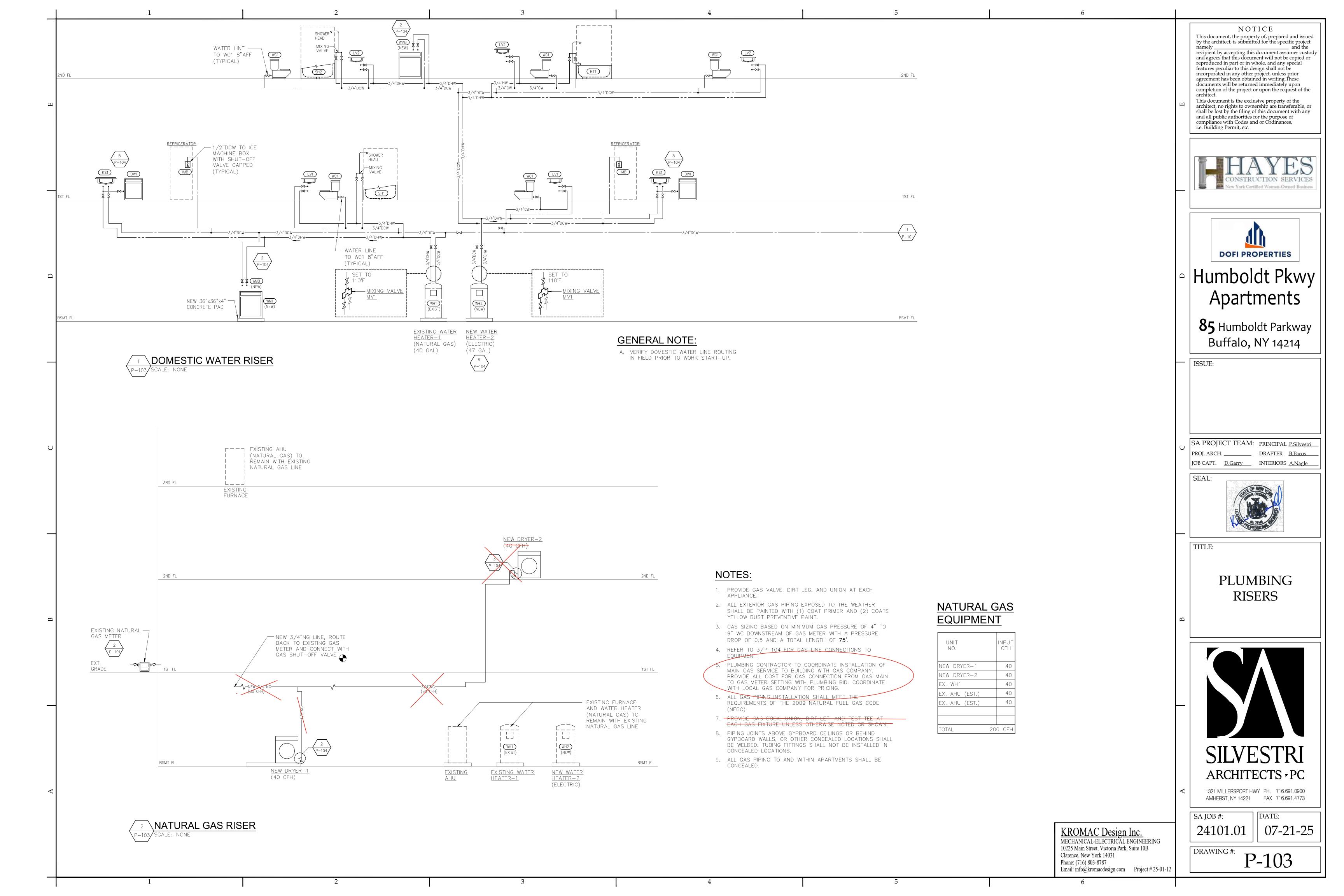
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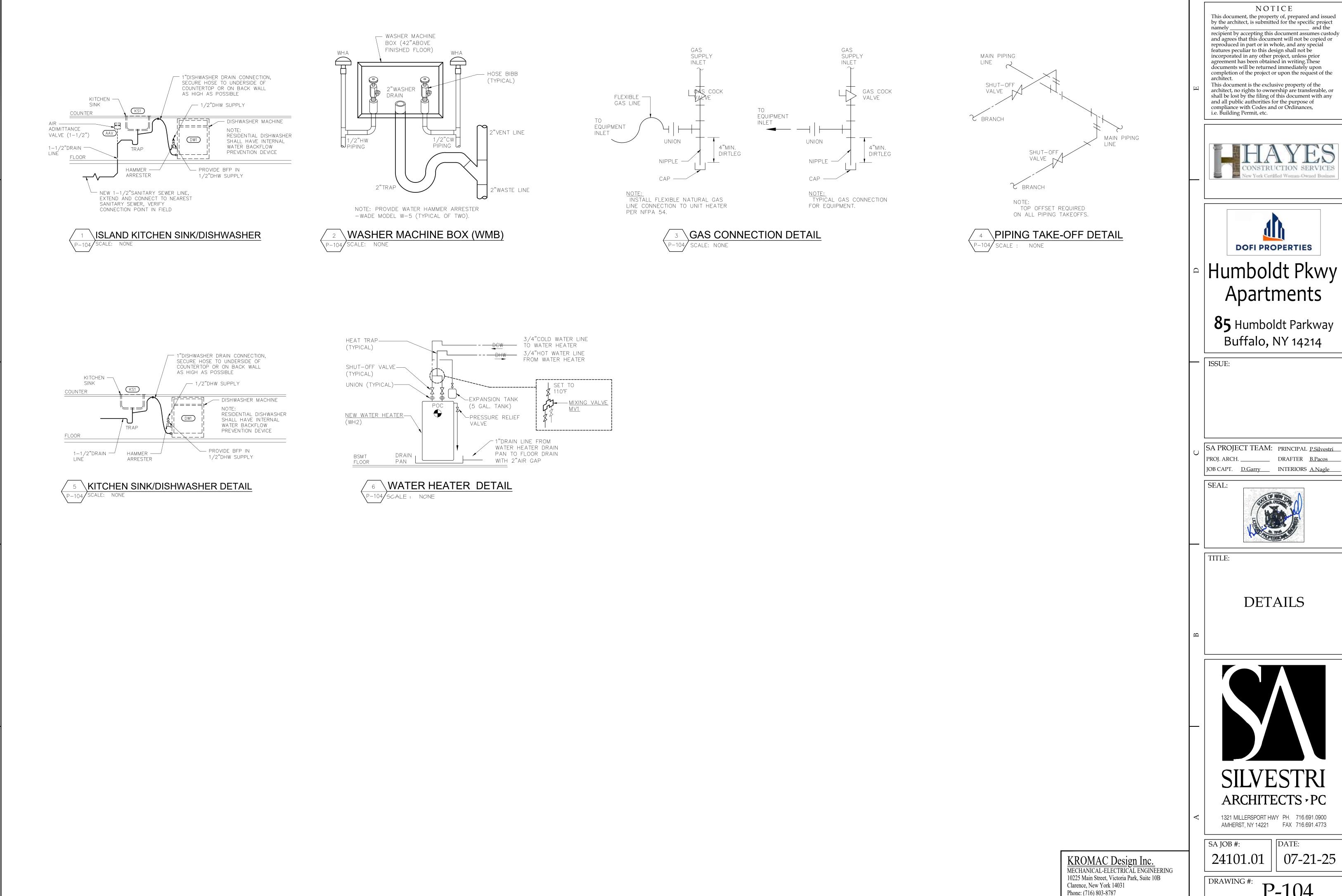
07-21-25

DATE:

DRAWING #:

P-102







SA PROJECT TEAM: PRINCIPAL P.Silvestri



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Email: info@kromacdesign.com Project # 25-01-12