



Humboldt Pkwy Apartments

85 Humboldt Parkway

Buffalo, NY 14214



S.A. PROJECT # 24101.01
DATE: 07-21-2025

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SHEET INDEX

TITLE SHEET

STRUCTURAL:

NONE REQUIRED THIS PROPERTY

ARCHITECTURAL:

A-001	GENERAL NOTES
A-002	PARTITION TYPES & DETAILS
AD-101	BASEMENT & FIRST FLOOR DEMOLITION PLANS
AD-102	SECOND FLOOR DEMOLITION PLAN
AD-201	DEMOLITION EXTERIOR ELEVATIONS
AD-202	DEMOLITION EXTERIOR ELEVATIONS
A-101	BASEMENT & FIRST FLOOR PLANS
A-102	SECOND FLOOR PLAN
A-103	FIRST & SECOND FLOOR REFLECTED CEILING PLANS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-401	ENLARGED PLANS & ELEVATIONS
A-402	ENLARGED PLANS & ELEVATIONS
A-501	MILLWORK DETAILS
A-502	MILLWORK DETAILS
A-601	DOOR SCHEDULE & DETAILS
A-602	FINISH SCHEDULE
A-603	BASEMENT & FIRST FLOOR FINISH PLAN
A-604	SECOND & THIRD FLOOR FINISH PLAN

PLUMBING:

P-100	SCHEDULES AND SPECIFICATIONS
P-101	BASEMENT AND FIRST FLOOR PLANS
P-102	SECOND FLOOR PLAN
P-103	PLUMBING RISERS
P-104	DETAILS

MECHANICAL:

M-100	SCHEDULES AND SPECIFICATIONS
M-101	BASEMENT AND FIRST FLOOR PLANS
M-102	SECOND AND THIRD FLOOR PLANS

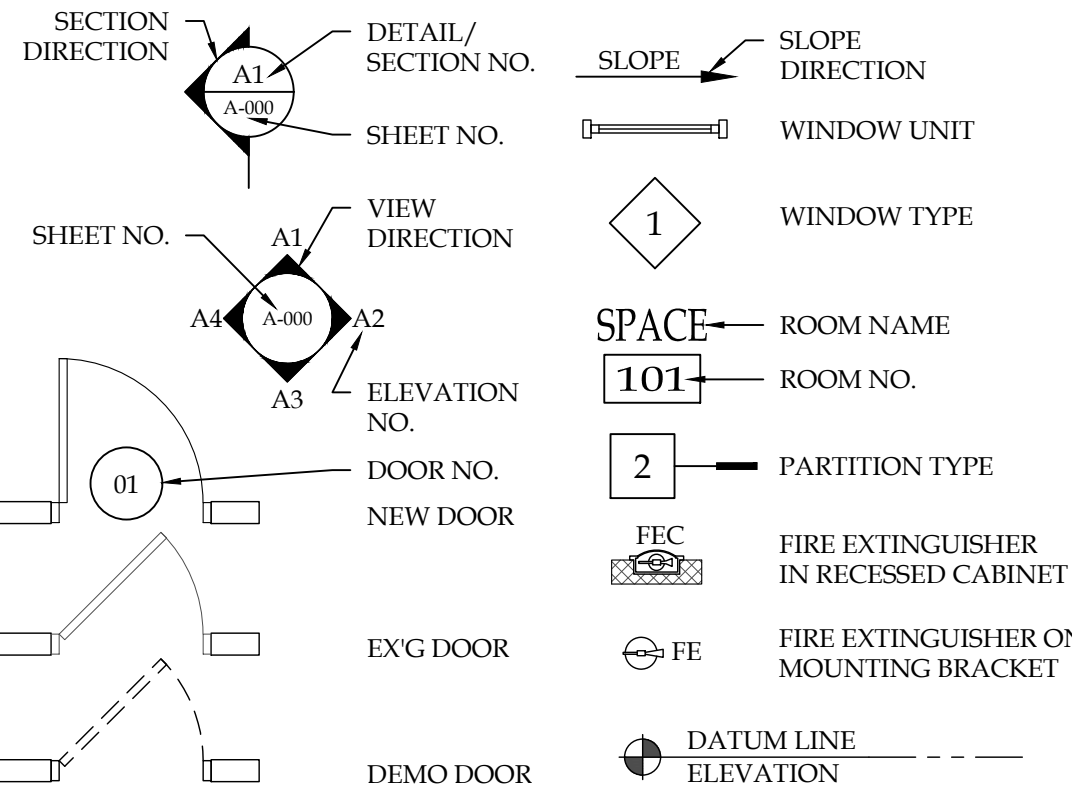
ELECTRICAL:

E-100	LEGENDS AND SPECIFICATIONS
E-101	ELECTRICAL FLOOR PLANS - LIGHTING
E-102	ELECTRICAL FLOOR PLANS - LIGHTING
E-103	ELECTRICAL FLOOR PLANS - POWER
E-104	ELECTRICAL FLOOR PLANS - POWER
E-105	ELECTRICAL DETAILS AND SCHEDULES
E-106	ELECTRICAL SPECIFICATIONS

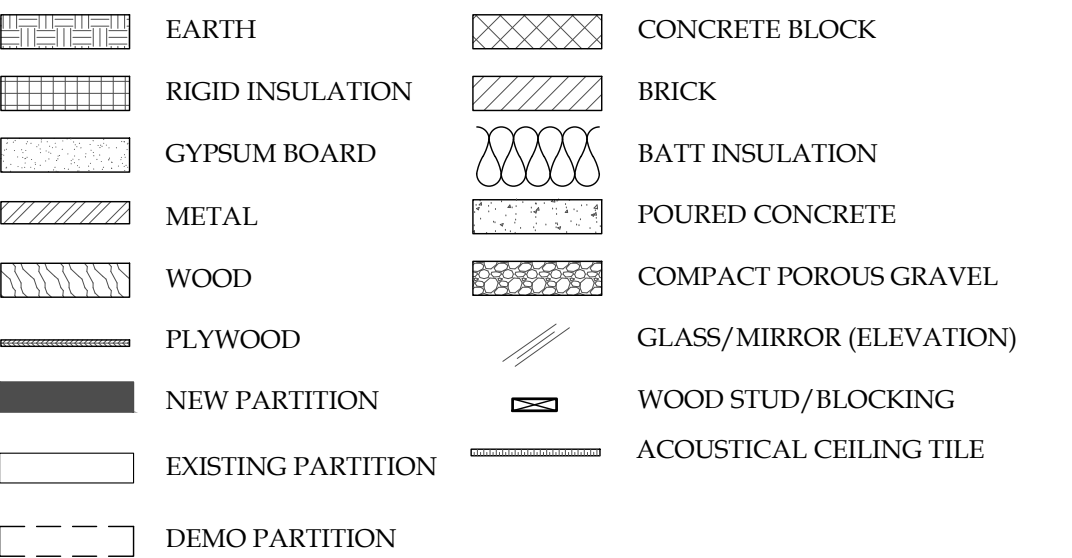
ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ACT	ACOUSTICAL CEILING TILE	MAS	MASONRY
AC	AIR CONDITION (ING)	MO	MASONRY OPENING
ALT	ALTERNATE	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
APPX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MEMB	MEMBRANE
AUTO	AUTOMATIC	MET	METAL
BM	BEAM	MTP	METAL TOILET PARTITION
BRG	BEARING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BLK	BLOCK	MULL	MULLION
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BOT	BOTTOMS	NOM	NOMINAL
BRK	BRICK	NO	NUMBER
BEJ	BRICK EXPANSION JOINT	OC	ON CENTER
BC	BRICK COURSE	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BUR	BUILT-UP ROOFING	OPPH	OPPOSITE HAND
CTG	CEILING	OH	OVERHEAD
CAB	CABINET	PMBC	PREENGINEERED METAL BUILDING CONTRACTOR
CPT	CARPET	PNT	PAINT (ED)
CW	CASEWORK	PNL	PANEL
CB	CATCH BASIN	PTD	PAPER TOWEL DISPENSER
CEM	CEMENT	PTR	PAPER TOWEL RECEPTACLE
CT	CERAMIC TILE	PVMT	PAVEMENT
CHBD	CHALK BOARD	PGBD	PEG BOARD
CLR	CLEAR	PLAS	PLASTER
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PL	PLATE
CMU	CONCRETE MASONRY UNIT	POL	POLISHED
CONT	CONTINUOUS	PWD	PLYWOOD
CONTR	CONTRACTOR	PT	POINT
CJ	CONTROL JOINT	PSI	POUNDS PER SQ. INCH
CG	CORNER GUARD	PSF	POUNDS PER SQ. FOOT
CRS	COURSE	PREFAB	PREFABRICATED
DET	DETAIL	PREF	PREFINISHED
DIA	DIAMETER	PROJ	PROJECTION
DIM	DIMENSION	PL	PROPERTY LINE
DISP	DISPENSER	QT	QUARRY TILE
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	RWL	RAIN WATER LEADER
DWG	DRAWING	RECPT	RECEPTACLE, ELECTRIC
DF	DRINKING FOUNTAIN	REC	RECESS
DIFF	DIFFUSER	REFR	REFRIGERATOR
EA	EACH	REG	REGISTER
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	REINF	REINFORCE (D) (ING)
ELC	ELECTRICAL	REQD	REQUIRED
EL	ELEVATOR	RES	RECESS (ED)
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RET	RETURN
EF	EXHAUST FAN	RA	RETURN AIR
EXIST EXG	EXISTING	RVS	REVERSE
EJ	EXPANSION JOINT	REV	REVISION
FB	FACE BRICK	RH	RIGHT HAND
FIN	FINISH (ED)	ROW	RIGHT OF WAY
FA	FIRE ALARM	R	RISER
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FHC	FIRE HOSE CABINET	RFG	ROOFING
FP	FIRE PROOFING	RM	ROOM
FL	FLOOR	RND	ROUND
FD	FLOOR DRAIN	SDL	SADDLE
FT	FOOT	STG	SEATING
FWC	FACE WALL COVERING	SHTH	SHEATHING
FTG	FOOTING	SHT	SHEET
FDTN	FOUNDATION	SHR	SHOWER
FUR	FURRING	SIM	SIMILAR
GAL	GALLON	SPKR	SPEAKER
GA	GAGE	SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	SQ	SQUARE
GL	GLASS	SST	STAINLESS STEEL
GB	GRAB BAR	SP	STAND PIPE
GWB	GYP SUM WALL BOARD	STD	STANDARD
GYP	GYP SUM	SD	STORM DRAIN
HDW	HARDWARE	SGT	STRUCTURAL GLAZED TILE
WD	HARDWOOD	STRUCT	STRUCTURAL
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SUSP	SUSPENDED
HT	HEIGHT	SW	SWITCH
HC	HOLLOW CORE	SV	SHEET VINYL
HM	HOLLOW METAL	TB	TACKBOARD
HORIZ	HORIZONTAL	TEL	TELEPHONE
HB	HOSE BIB	TEMP	TEMPERATURE
HW	HOT WATER	TEX	TEXTURE
INSUL	INSULATE (D) (ION)	THK	THICK (NESS)
INS GL	INSULATED GLASS	THR	THRESHOLD
INV	INVERT	TP	TOILET PAPER HOLDER
JAN	JANITOR	T/O	TOP OF
IT	JOINT	TB	TOWEL BAR
KIT	KITCHEN	TYP	TYPICAL
KO	KNOCK OUT	UCL	UNDER CABINET LIGHT
LAM	LAMINATED	UC	UNDERCUT
LAV	LAVATORY	UR	URINAL
LH	LEFT HAND	VTR	VENT THRU ROOF
LGT	LENGTH	VENT	VENTILATOR
LT	LIGHT	VERT	VERTICAL
LF	LINEAR FEET	VEST	VESTIBULE
LTL	LINTEL	VCT	VINYL COMPOSITE TILE
LL	LIVE LOAD	VIF	VERIFY IN FIELD
LLH	LONG LEG HORIZONTAL	VWC	VINYL WALL COVERING
LLV	LONG LEG VERTICAL	WSCOT	WAINSCOT
LMF	LIGHT GAUGE METAL	WS	WEATHER STRIP
FRAMING		WT	WEIGHT
LVR	LOUVER	WWF	WELDED WIRE FABRIC
LP	LOW POINT	WCDF	WHEELCHAIR DRINKING FOUNTAIN
LVT	LUXURY VINYL TILE	W/	WITH
MACH	MACHINE	W/O	WITHOUT
MH	MANHOLE	WD	WOOD

DRAFTING SYMBOLS



MATERIAL SYMBOLS



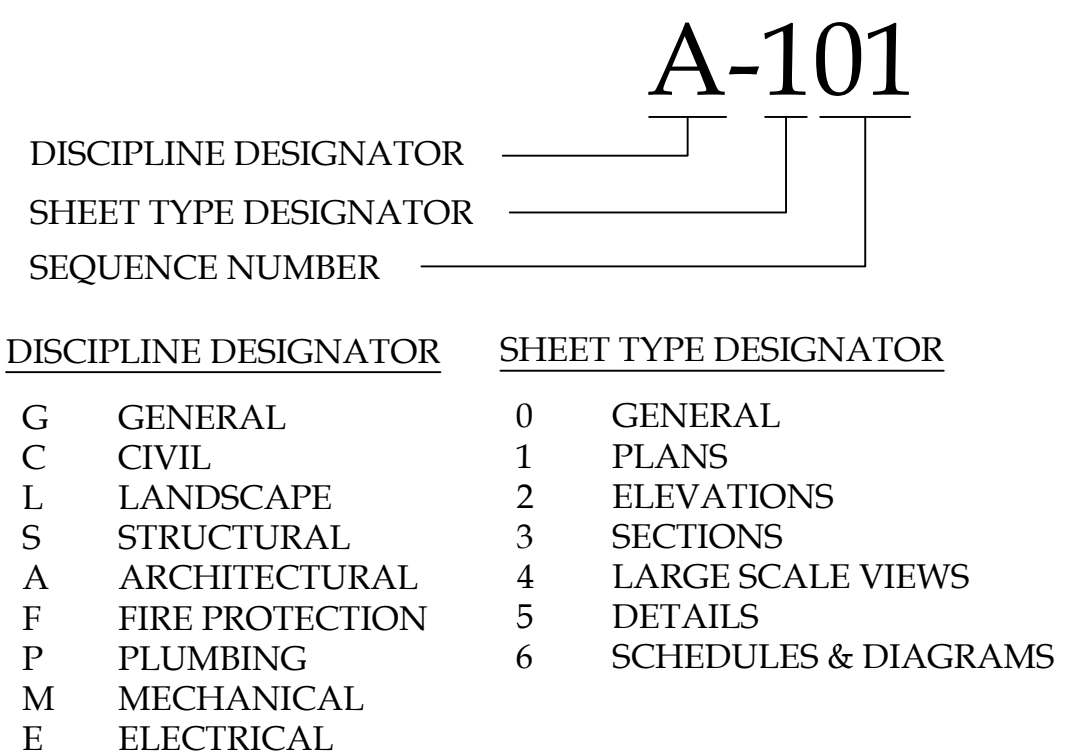
BUILDING DATA:

CONSTRUCTION TYPE: VB
OCCUPANCY: R3
SPRINKLERED: NO
STORIES: 3
GROSS FLOOR AREA: 3,537 SQ. FT.

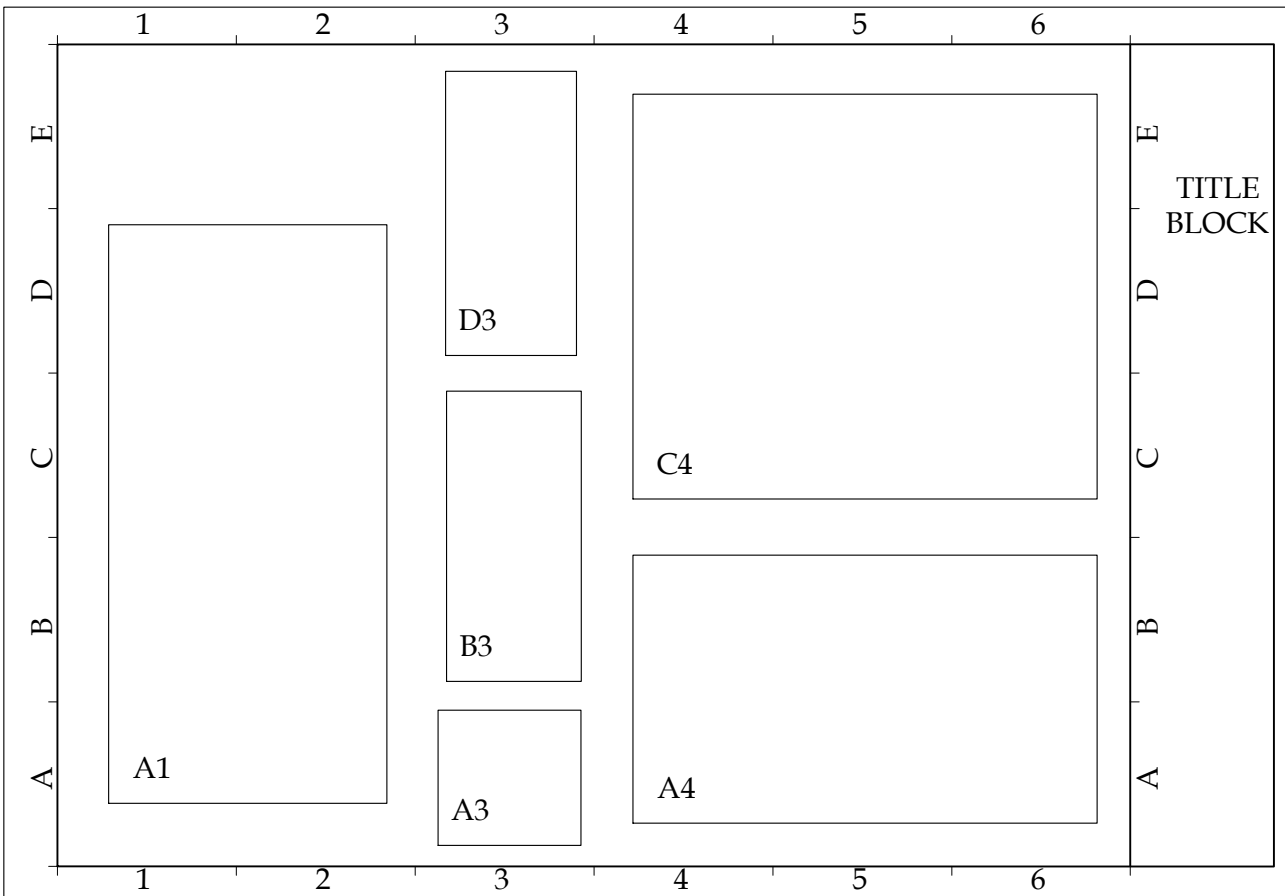
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SHEET IDENTIFICATION LOGIC



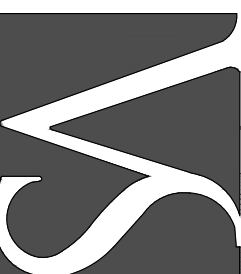
DRAWING AREA LOGIC



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SA PROJECT TEAM: PRINCIPAL: P.Silvestri POB CAPTAIN: D. Garry DRAFTER: B.Pacos INTERIORS: A. Nagle

S.A. PROJECT # 24101.01
DATE: 07-21-2025

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E						
D						
C						
B						
A						
	1	2	3	4	5	6

GENERAL NOTES:

1.

DO NOT SCALE DRAWINGS.
2.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, OSHA STANDARDS AND FIRE SAFETY CODE / RELEVANT SECTIONS OF THE N.F.P.A. & ANY LOCAL CODES BEING MORE RESTRICTIVE THAN THE MINIMUMS LISTED.
3.

CONSTRUCTION MEANS, METHODS, TECHNIQUES AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. CONTACT ARCHITECT IF MAJOR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
4.

THE CONTRACTOR IS REQUIRED TO INSPECT THE PROJECT SITE IN ORDER TO DETERMINE THE EXTENT OF THE REQUIRED WORK. THIS INSPECTION SHALL BE COMPLETED PRIOR TO THE SUBMISSION OF ANY PROPOSAL TO COMPLETE THIS PROJECT. INSPECTION TIMES SHALL BE COORDINATED WITH THE OWNER.
5.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
6.

THESE DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATION TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL BID & PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS.
7.

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR THIS PROJECT WILL BE COMPLETED TO THE SCOPE OF THE PROJECT IN COMPLIANCE WITH THE OWNER AND DESIGN TEAM. ANY CHANGES TO THESE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL ONLY BE DONE BY A CHANGE ORDER THAT IS APPROVED BY THE OWNER'S REPRESENTATIVE.
8.

CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS AS TO THE AMOUNT AND / OR SCOPE OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS, AND CONDITIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK.
9.

ALL OWNER SUPPLIED ITEMS WILL BE COORDINATED WITHIN THE GENERAL CONTRACTOR'S CONSTRUCTION SCHEDULES PRIOR TO COMMENCEMENT OF ANY WORK.
10.

THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE WITH THE OWNER FOR ALL BUILDING AND CONSTRUCTION SIGNAGE.
11.

THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS WORK AND SCHEDULE WITH WORK BEING PERFORMED BY OTHERS AND THE USER/ OWNER OF THE BUILDING.
12.

ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY, CENTERLINE OF COLUMNS AND BEAMS, AND FINISH TO FINISH, UNLESS OTHERWISE NOTED.
13.

THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S AND ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH SAID WORK.
14.

DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
15.

ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SOME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
16.

CONTRACTOR SHALL VERIFY AND ESTABLISH THE LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE WORK AREA, AND SHALL COORDINATE WITH THE OWNER AND THE UTILITY COMPANIES PRIOR TO THE START OF THE PROJECT.
17.

THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD.
18.

ALL CEILING HEIGHTS AS SHOWN ON DETAILS OR PLANS OR NOTES ARE FROM TOP OF CONCRETE DECK TO FINISH CEILING. USE OF THE TERM ABOVE FINISH FLOOR (A.F.F.) MEANS MEASURED FROM THE TOP OF CONCRETE DECK. CONTRACTOR SHALL ALLOW FOR AND COORDINATE WORK WITH FLOOR FINISH MATERIAL AND INSTALLATION METHOD.
19.

PROVIDE INDEPENDENT SUSPENSION FOR ALL LIGHT FIXTURES. SUSPENSION FOR CEILING AND LIGHT FIXTURES SHALL BE INDEPENDENT OF SUSPENSION FOR DUCT WORK.
20.

ALL EQUIPMENT AND MATERIALS INSTALLED IN THIS JOB SHALL BE NEW AND FREE OF ANY DEFECTS UNLESS OTHERWISE NOTED.
21.

CONTRACTORS SHALL RECORD ALL DEVIATIONS FROM THE DESIGN DOCUMENTS IN THE DRAWINGS, AND PROVIDE A COPY TO THE ARCHITECT UPON THE COMPLETION OF WORK.
22.

PROVIDE APPROVED SEPARATION BY MEANS OF COATINGS, GASKETS, OR OTHER EFFECTIVE MEANS TO PREVENT GALVANIC CORROSION BETWEEN ALL DISSIMILAR METALS.
23.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATIONS OF THIS PROJECT TO ADJACENT PROPERTY, UTILITIES, PAVEMENT, LANDSCAPING, STRUCTURES OR IMPROVEMENTS OF ANY KIND. THE GENERAL CONTRACTOR SHALL REPAIR ALL SUCH DAMAGED ITEMS TO THE CONDITION THEY WERE IN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES OR BETTER.
24.

WHERE IT IS NECESSARY TO INSURE STABILITY, CONTRACTOR IS TO PROVIDE ADDITIONAL ANCHORING AND/OR BLOCKING IN STUD PARTITIONS OR BRACE PARTITIONS ABOVE CEILINGS.
25.

ROOM IDENTIFICATION AND INTERIOR SIGNAGE BY OWNER, SIGNAGE SHALL COMPLY WITH ADA REQUIREMENTS.
26.

CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS PER CODE, INCLUDING NFPA 10, AND AS DIRECTED BY THE LOCAL FIRE DEPARTMENT THROUGHOUT BUILDING. FIRE EXTINGUISHER CABINETS SHALL NOT PROJECT MORE THAN 4" BEYOND THE FACE OF THE WALL. RECESSED FIRE EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL HAVE THE SAME FIRE RATING AS THE WALL.
27.

DIMENSIONS TO EXTERIOR WALLS ARE ASSUMED FACE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FINISHED WALL. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
28.

BEFORE SUBMITTING BID, EXAMINE ALL DRAWINGS RELATED TO THE WORK, BECOME FULLY INFORMED AS TO THE EXTENT AND CHARACTER OF THE WORK OF ALL TRADES AND ITS RELATION TO THE WORK UNDER THE CONTRACT. NO CONSIDERATIONS WILL BE GIVEN FOR ALLGIED MISUNDERSTANDING OF THE MATERIALS TO BE FURNISHED OR THE WORK TO BE DONE.
29.

CONTRACTOR SHALL REVIEW AND SUBMIT SHOP DRAWINGS SUFFICIENTLY IN ADVANCE OF THE WORK TO ALLOW PROPER TIME FOR REVIEW. MATERIALS SHALL NOT BE FABRICATED OR DELIVERED TO THE SITE BEFORE THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
30.

ALL SUBSTITUTE MANUFACTURERS, EQUIPMENT, MATERIALS AND PRODUCTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS TO ANY AND ALL BUILDING COMPONENTS THAT ARE AFFECTED BY THE SUBSTITUTIONS. ADDITIONAL COSTS INCLUDE ANY REDESIGN THAT IS REQUIRED DUE TO THE SUBSTITUTION.
31.

DO NOT SCALE DRAWINGS, THE DIMENSIONS SHOWN ON THE PLANS MAY VARY FROM THE ACTUAL DIMENSIONS IN THE FIELD. IT IS, THEREFORE, IMPERATIVE THAT THE CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK, TAKE EXACT MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND SHOP DRAWINGS. ALL WORKING DRAWINGS PREPARED BY THE CONTRACTOR SHALL INCLUDE A STATEMENT CERTIFYING THAT THOSE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FIELD MEASURED DIMENSIONS.
32.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO COMPLY WITH THE DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE AND COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER. RECOMMENDED BY MANUFACTURER.
33.

THE LOCATION FOR ALL ITEMS WHEN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE DIAGRAMMATIC. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT THE PROJECT AND SHALL HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL FURNISH AND INSTALL, WITHOUT ADDITIONAL REMUNERATION, ANY COMPONENT NECESSARY TO COMPLETE THE SYSTEMS IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.
34.

DATA, COMMUNICATION, CABLE, AND SECURITY SYSTEMS ARE PROVIDED BY THE OWNER'S VENDORS. HOWEVER THE ELECTRICAL CONTRACTOR SHALL PROVIDE APPROPRIATE WALL BOXES, CONDUIT WITH PULL STRINGS, ETC. AS REQUIRED FOR ROUGH-IN CONDITIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THESE ITEMS WITH THE OWNER'S VENDORS. ADAAG COMPLIANCE SHALL APPLY.
35.

MECHANICAL, ELECTRICAL, AND PLUMBING, ARE SCHEMATIC IN NATURE. THEREFORE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ROUTING OF THESE TRADES, AS WELL AS, THE OWNER'S WORK TO ASSURE THAT THESE SYSTEMS DO NOT CONFLICT WITH THE ARCHITECTURAL AND STRUCTURAL ELEMENTS OF THE BUILDING. IF THE GENERAL CONTRACTOR ROUTE THESE ITEMS TO AVOID A CONFLICT, THEN THEY SHALL NOTIFY THE ARCHITECT PRIOR TO STARTING ANY RELATED WORK.
36.

CONTRACTOR TO PROTECT ALL NEW WORK DURING CONSTRUCTION AND REPLACE DAMAGED MATERIAL IN KIND.
37.

ALL GYPSUM WALL BOARD TO BE TAPED AND SANDED AT INTERSECTION OF CONSTRUCTION (NO "J" MOLD)
38.

PROVIDE CORNER BEAD AT ALL EXPOSED GYPSUM WALL BOARD CORNERS.
39.

DOOR OPENINGS SHALL BE LOCATED 4" FROM THE NEAREST FACE OF WALL IN MASONRY WALL CONSTRUCTION, UNLESS OTHERWISE NOTED.
40.

CONTRACTOR SHALL PROVIDE ALL MATERIALS, FABRICATION, LABOR AND SUPERVISION, ERECTION EQUIPMENT AND APPLIANCES REQUIRED TO INSTALL ALL EQUIPMENT SHOWN ON DRAWINGS AS INDICATED IN THE SPECIFICATIONS.
41.

THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL, INCLUDING ALL LABOR, EQUIPMENT, MATERIALS AND PRODUCTS," UNLESS OTHERWISE NOTED.
42.

CONTRACTOR SHALL COORDINATE HER/HIS WORK WITH THE OWNER SO THAT THERE IS NO INTERFERENCE WITH OWNER'S PERSONNEL OR WORK SCHEDULE.
43.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.
44.

SAFE WORKING CONDITIONS ARE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND/OR THE OWNER SHALL BE OBSERVED. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE MUST BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
45.

CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL DEBRIS FROM SITE AND LEAVE THE WORK AREA BROOM CLEAN ON A DAILY BASIS AND PROVIDE DUMPSTER SERVICE. PLACE DUMPSTERS AS DIRECTED BY THE "OWNER'S REPRESENTATIVE"
46.

CONTRACTOR SHALL FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.
47.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE TO EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
48.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS AND APPROVALS NECESSARY FOR THE COMPLETION OF THE PROJECT.
49.

ALL NEW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
50.

THE CONTRACTOR SHALL COORDINATE ALL FINISHES AND COLOR SELECTIONS WITH THE OWNER.
51.

ALL FASTENERS INTO PRESSURE TREATED LUMBER ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS RECOMMENDED BY MANUFACTURER.

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ISSUE:
2025-08-22 - ISSUED FOR PERMIT

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JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

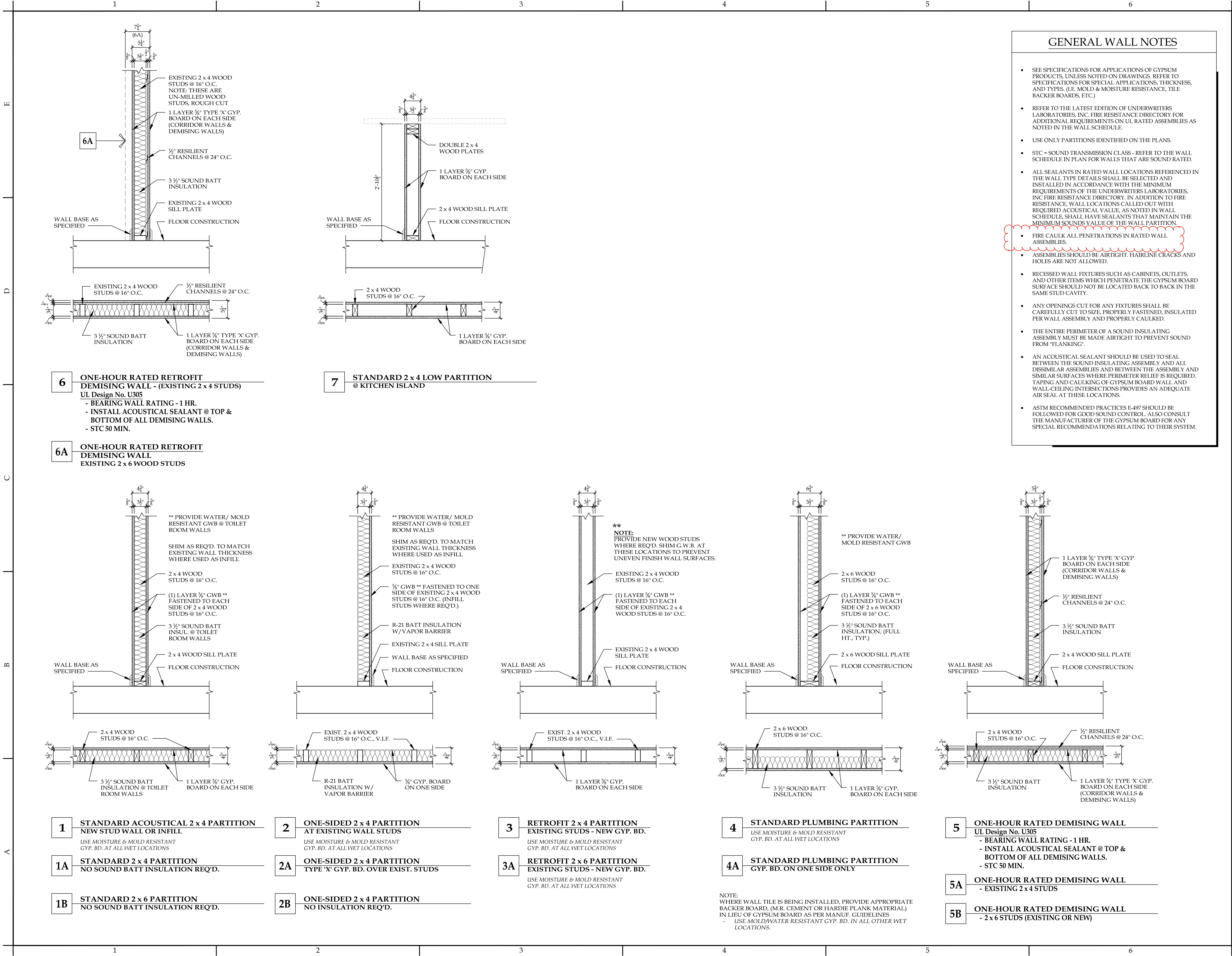
GENERAL NOTES

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SA JOB #:
24101.01

DATE:
07-21-25

DRAWING #:
A-001



GENERAL WALL NOTES

- SEE SPECIFICATIONS FOR APPLICATIONS OF GYPSUM PRODUCTS, UNLESS NOTED ON DRAWINGS. REFER TO SPECIFICATIONS FOR SPECIAL APPLICATIONS, THICKNESS, AND TYPES. (I.E. MOLD & MOISTURE RESISTANCE, TILE BACKER BOARDS, ETC.)
- REFER TO THE LATEST EDITION OF UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE DIRECTORY FOR ADDITIONAL REQUIREMENTS ON UL RATED ASSEMBLIES AS NOTED IN THE WALL SCHEDULE.
- USE ONLY PARTITIONS IDENTIFIED ON THE PLANS.
- STC = SOUND TRANSMISSION CLASS - REFER TO THE WALL SCHEDULE IN PLAN FOR WALLS THAT ARE SOUND RATED.
- ALL SEALANTS IN RATED WALL LOCATIONS REFERENCED IN THE WALL TYPE DETAILS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE UNDERWRITERS LABORATORIES, INC FIRE RESISTANCE DIRECTORY. IN ADDITION TO FIRE RESISTANCE, WALL LOCATIONS CALLED OUT WITH REQUIRED ACOUSTICAL VALUE, AS NOTED IN WALL SCHEDULE, SHALL HAVE SEALANTS THAT MAINTAIN THE MINIMUM SOUNDS VALUE OF THE WALL PARTITION.
- FIRE CAULK ALL PENETRATIONS IN RATED WALL ASSEMBLIES.
- ASSEMBLIES SHOULD BE AIRTIGHT. HAIRLINE CRACKS AND HOLES ARE NOT ALLOWED.
- RECESSED WALL FIXTURES SUCH AS CABINETS, OUTLETS, AND OTHER ITEMS WHICH PENETRATE THE GYPSUM BOARD SURFACE SHOULD NOT BE LOCATED BACK TO BACK IN THE SAME STUD CAVITY.
- ANY OPENINGS CUT FOR ANY FIXTURES SHALL BE CAREFULLY CUT TO SIZE, PROPERLY FASTENED, INSULATED PER WALL ASSEMBLY AND PROPERLY CAULKED.
- THE ENTIRE PERIMETER OF A SOUND INSULATING ASSEMBLY MUST BE MADE AIRTIGHT TO PREVENT SOUND FROM "FLANKING".
- AN ACOUSTICAL SEALANT SHOULD BE USED TO SEAL BETWEEN THE SOUND INSULATING ASSEMBLY AND ALL DISSIMILAR ASSEMBLIES AND BETWEEN THE ASSEMBLY AND SIMILAR SURFACES WHERE PERIMETER RELIEF IS REQUIRED. TAPING AND CAULKING OF GYPSUM BOARD WALL AND WALL-CEILING INTERSECTIONS PROVIDES AN ADEQUATE AIR SEAL AT THESE LOCATIONS.
- ASTM RECOMMENDED PRACTICES E-497 SHOULD BE FOLLOWED FOR GOOD SOUND CONTROL. ALSO CONSULT THE MANUFACTURER OF THE GYPSUM BOARD FOR ANY SPECIAL RECOMMENDATIONS RELATING TO THEIR SYSTEM.

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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

PARTITION TYPES & DETAILS

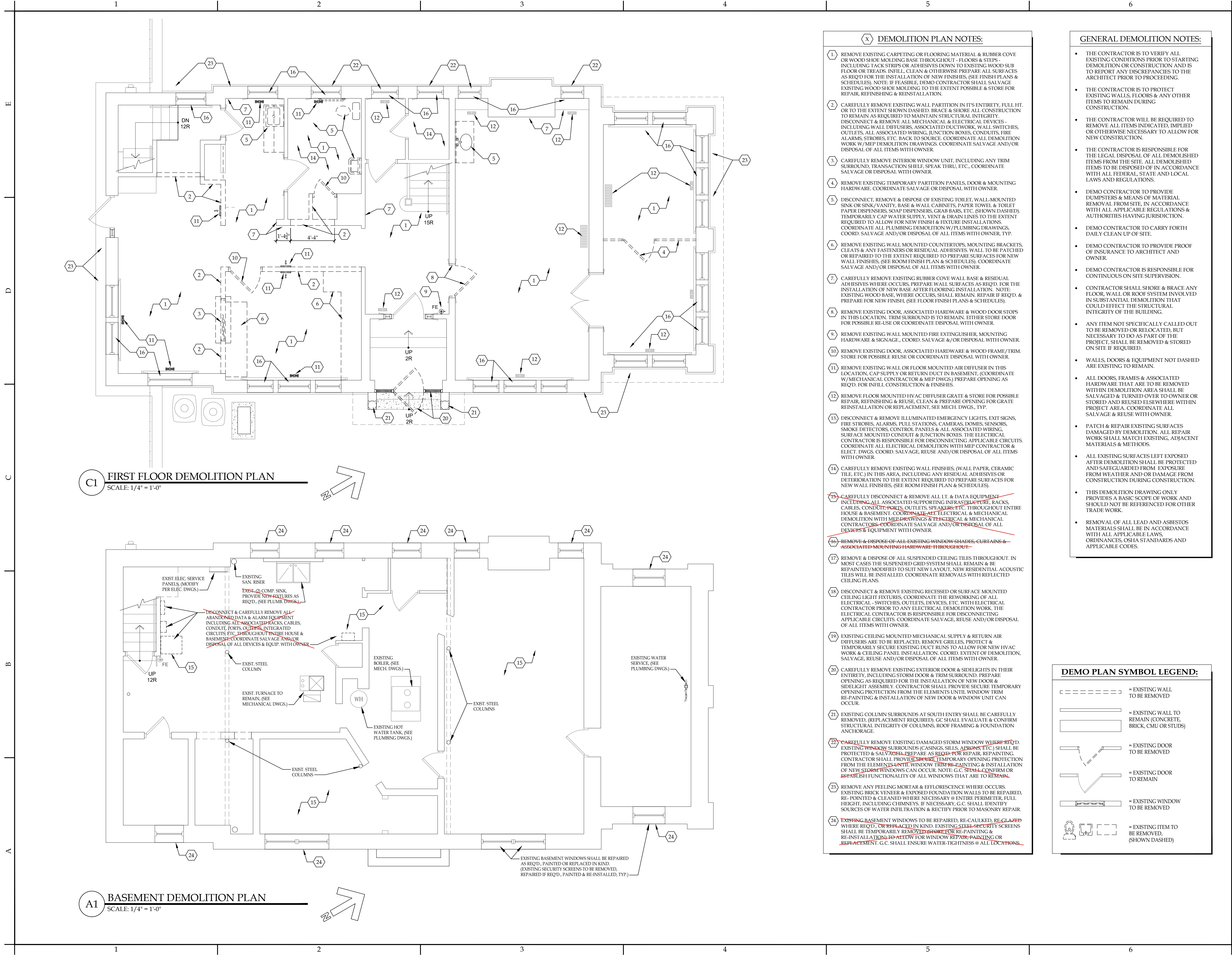


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SA PROJECT TEAM:

PRINCIPAL P.Silvestri

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SEAL:

TITLE:

BASEMENT & FIRST FLOOR DEMOLITION PLANS

S

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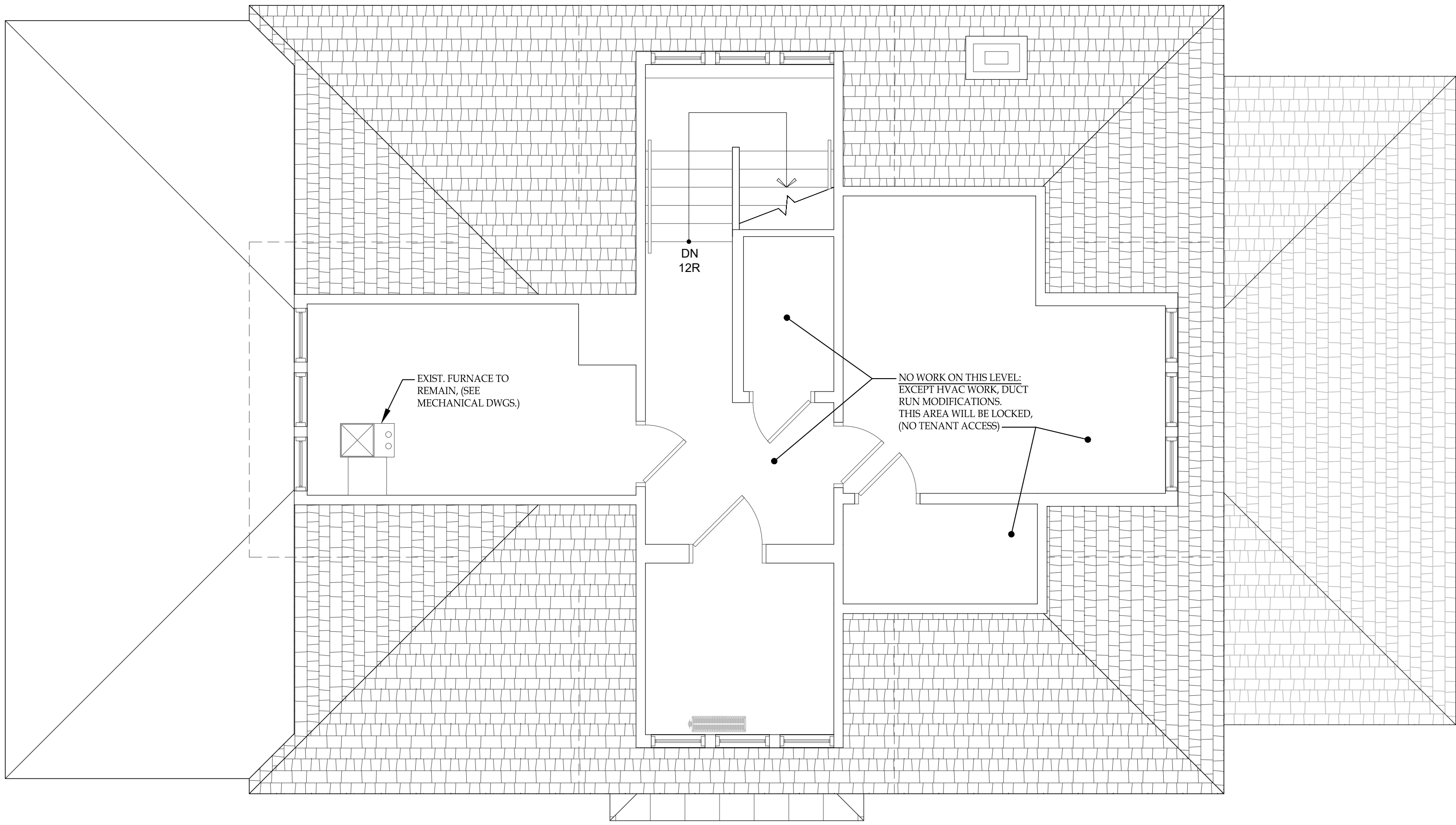
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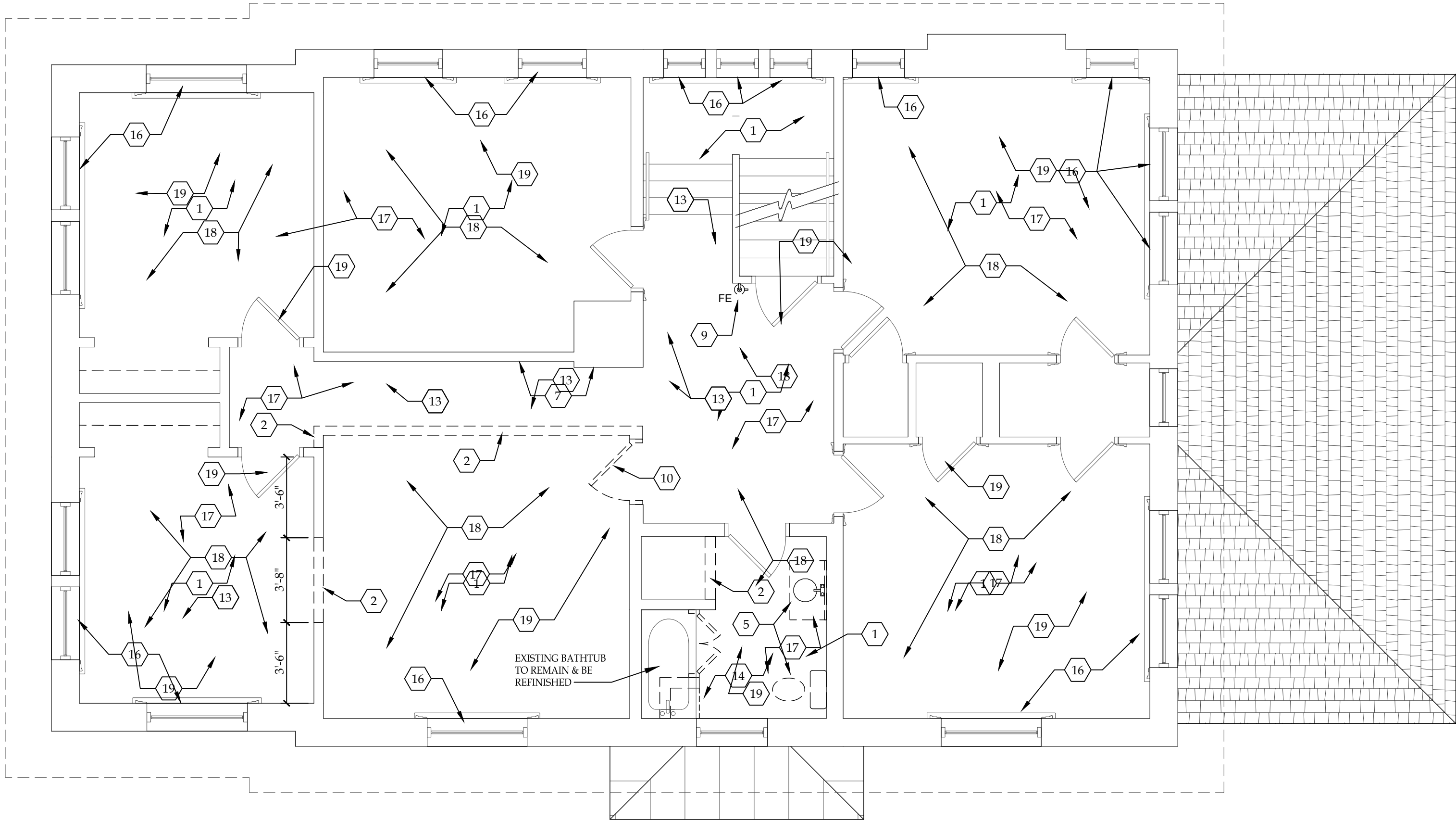
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C1 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



A1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES:

1. REMOVE EXISTING CARPETING OR FLOORING MATERIAL & RUBBER COVE OR WOOD SHOE MOLDING BASE THROUGHOUT - FLOORS & STEPS - INCLUDING TACK STRIPS OR ADHESIVES DOWN TO EXISTING WOOD SUB FLOOR OR TREADS, INFILL, CLEAN & OTHERWISE PREPARE ALL SURFACES AS REQ'D FOR THE INSTALLATION OF NEW FINISHES, (SEE FINISH PLANS & SCHEDULES). NOTE: IF FEASIBLE, DEMO CONTRACTOR SHALL SALVAGE EXISTING WOOD SHOE MOLDING TO THE EXTENT POSSIBLE & STORE FOR REPAIR, REFINISHING & REINSTALLATION.
2. CAREFULLY REMOVE EXISTING WALL PARTITION IN IT'S ENTIRETY, FULL HT. OR TO THE EXTENT SHOWN DASHED, BRACE & SHORE ALL CONSTRUCTION TO REMAIN AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY. DISCONNECT & REMOVE ALL MECHANICAL & ELECTRICAL DEVICES - INCLUDING WALL DIFFUSERS, ASSOCIATED DUCTWORK, WALL SWITCHES, OUTLETS, ALL ASSOCIATED WIRING, JUNCTION BOXES, CONDUITS, FIRE ALARMS, STROBES, ETC. BACK TO SOURCE. COORDINATE ALL DEMOLITION WORK W/MEP DEMOLITION DRAWINGS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
3. CAREFULLY REMOVE INTERIOR WINDOW UNIT, INCLUDING ANY TRIM SURROUND, TRANSACTION SHELF, SPEAK THRU, ETC., COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
4. REMOVE EXISTING TEMPORARY PARTITION PANELS, DOOR & MOUNTING HARDWARE. COORDINATE SALVAGE OR DISPOSAL WITH OWNER.
5. DISCONNECT, REMOVE & DISPOSE OF EXISTING TOILET, WALL-MOUNTED SINK OR SINK/VANITY, BASE & WALL CABINETS, PAPER TOWEL & TOILET PAPER DISPENSERS, SOAP DISPENSERS, GRAB BARS, ETC. (SHOWN DASHED), TEMPORARILY CAP WATER SUPPLY, VENT & DRAIN LINES TO THE EXTENT REQUIRED TO ALLOW FOR NEW FINISH & FIXTURE INSTALLATIONS. COORDINATE ALL PLUMBING DEMOLITION W/ PLUMBING DRAWINGS, COORD. SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER, TYP.
6. REMOVE EXISTING WALL MOUNTED COUNTERTOPS, MOUNTING BRACKETS, CLEATS & ANY FASTENERS OR RESIDUAL ADHESIVES. WALL TO BE PATCHED OR REPAIRED TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES), COORDINATE SALVAGE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
7. CAREFULLY REMOVE EXISTING RUBBER COVE WALL BASE & RESIDUAL ADHESIVES WHERE OCCURS, PREPARE WALL SURFACES AS REQ'D. FOR THE INSTALLATION OF NEW BASE AFTER FLOORING INSTALLATION. NOTE: EXISTING WOOD BASE, WHERE OCCURS, SHALL REMAIN. REPAIR IF REQ'D. & PREPARE FOR NEW FINISH, (SEE FLOOR FINISH PLANS & SCHEDULES).
8. REMOVE EXISTING DOOR, ASSOCIATED HARDWARE & WOOD DOOR STOPS IN THIS LOCATION. TRIM SURROUND IS TO REMAIN. EITHER STORE DOOR FOR POSSIBLE RE-USE OR COORDINATE DISPOSAL WITH OWNER.
9. REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER, MOUNTING HARDWARE & SIGNAGE, COORD. SALVAGE &/OR DISPOSAL WITH OWNER.
10. REMOVE EXISTING DOOR, ASSOCIATED HARDWARE & WOOD FRAME/TRIM. STORE FOR POSSIBLE REUSE OR COORDINATE DISPOSAL WITH OWNER.
11. REMOVE EXISTING WALL OR FLOOR MOUNTED AIR DIFFUSER IN THIS LOCATION, CAP SUPPLY OR RETURN DUCT IN BASEMENT, (COORDINATE W/MECHANICAL CONTRACTOR & MEP DWGS), PREPARE OPENING AS REQ'D. FOR INFILL CONSTRUCTION & FINISHES.
12. REMOVE FLOOR MOUNTED HVAC DIFFUSER GRATE & STORE FOR POSSIBLE REPAIR, REFINISHING & REUSE, CLEAN & PREPARE OPENING FOR GRATE REINSTALLATION OR REPLACEMENT, SEE MECH. DWGS., TYP.
13. DISCONNECT & REMOVE ILLUMINATED EMERGENCY LIGHTS, EXIT SIGNS, FIRE STROBES, ALARMS, PULL STATIONS, CAMERAS, DOMES, SENSORS, SMOKE DETECTORS, CONTROL PANELS & ALL ASSOCIATED WIRING, SURFACE MOUNTED CONDUIT & JUNCTION BOXES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS. COORDINATE ALL ELECTRICAL DEMOLITION WITH MEP CONTRACTOR & ELECT. DWGS. COORD. SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
14. CAREFULLY REMOVE EXISTING WALL FINISHES, (WALL PAPER, CERAMIC TILE, ETC.) IN THIS AREA, INCLUDING ANY RESIDUAL ADHESIVES OR DETERIORATION TO THE EXTENT REQUIRED TO PREPARE SURFACES FOR NEW WALL FINISHES, (SEE ROOM FINISH PLAN & SCHEDULES).
15. CAREFULLY DISCONNECT & REMOVE ALL I.T. & DATA EQUIPMENT INCLUDING ALL ASSOCIATED SUPPORTING INFRASTRUCTURE, RACKS, CABLES, CONDUIT, POWER, OUTLETS, SPEAKERS, ETC. THROUGHOUT ENTIRE HOUSE & BASEMENT. COORDINATE ALL ELECTRICAL & MECHANICAL DEMOLITION WITH MEP DRAWINGS & ELECTRICAL & MECHANICAL CONTRACTORS. COORDINATE SALVAGE AND/OR DISPOSAL OF ALL DEVICES & EQUIPMENT WITH OWNER.
16. REMOVE & DISPOSE OF ALL EXISTING WINDOW SHADES, CURTAINS & ASSOCIATED MOUNTING HARDWARE THROUGHOUT.
17. REMOVE & DISPOSE OF ALL SUSPENDED CEILING TILES THROUGHOUT. IN MOST CASES THE SUSPENDED GRID SYSTEM SHALL REMAIN & BE REPAINTED/MODIFIED TO SUIT NEW LAYOUT. NEW RESIDENTIAL ACOUSTIC TILES WILL BE INSTALLED. COORDINATE REMOVALS WITH REFLECTED CEILING PLANS.
18. DISCONNECT & REMOVE EXISTING RECESSED OR SURFACE MOUNTED CEILING LIGHT FIXTURES, COORDINATE THE REWORKING OF ALL ELECTRICAL - SWITCHES, OUTLETS, DEVICES, ETC. WITH ELECTRICAL CONTRACTOR PRIOR TO ANY ELECTRICAL DEMOLITION WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING APPLICABLE CIRCUITS, COORDINATE SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
19. EXISTING CEILING MOUNTED MECHANICAL SUPPLY & RETURN AIR DIFFUSERS ARE TO BE REPLACED, REMOVE GRILLES, PROTECT & TEMPORARILY SECURE EXISTING DUCT RUNS TO ALLOW FOR NEW HVAC WORK & CEILING PANEL INSTALLATION. COORD. EXTENT OF DEMOLITION, SALVAGE, REUSE AND/OR DISPOSAL OF ALL ITEMS WITH OWNER.
20. CAREFULLY REMOVE EXISTING EXTERIOR DOOR & SIDELIGHTS IN THEIR ENTIRETY, INCLUDING STORM DOOR & TRIM SURROUND. PREPARE OPENING AS REQUIRED FOR THE INSTALLATION OF NEW DOOR & SIDELIGHT ASSEMBLY. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW DOOR & WINDOW UNIT CAN OCCUR.
21. EXISTING COLUMN SURROUNDS AT SOUTH ENTRY SHALL BE CAREFULLY REMOVED, (REPLACEMENT REQUIRED), GC SHALL EVALUATE & CONFIRM STRUCTURAL INTEGRITY OF COLUMNS, ROOF FRAMING & FOUNDATION ANCHORAGE.
22. CAREFULLY REMOVE EXISTING DAMAGED STORM WINDOW WHERE REQ'D. EXISTING WINDOW SURROUNDS (CASINGS, SILLS, APRONS, ETC.) SHALL BE PROTECTED & SALVAGED - PREPARE AS REQ'D FOR REPAIR, REPAINTING. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW STORM WINDOWS CAN OCCUR. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF ALL WINDOWS THAT ARE TO REMAIN.
23. REMOVE ANY PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING BRICK VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, RE-POINTED & CLEANED WHERE NECESSARY. ENTIRE PERIMETER, FULL HEIGHT, INCLUDING CHIMNEYS, IF NECESSARY, G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.
24. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. EXISTING SHUTTER SECURITY SCREENS SHALL BE TEMPORARILY REMOVED PRIOR TO RE-PAINTING & RE-INSTALLATION TO ALLOW FOR WINDOW REPAIR, PAINTING OR REPLACEMENT. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR REUSE, CLEANED & REUSED WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

DEMO PLAN SYMBOL LEGEND:

- = EXISTING WALL TO BE REMOVED
- = EXISTING WALL TO REMAIN (CONCRETE, BRICK, CMU OR STUDS)
- - - = EXISTING DOOR TO BE REMOVED
- - - = EXISTING DOOR TO REMAIN
- = EXISTING WINDOW TO BE REMOVED
- [Symbol] = EXISTING ITEM TO BE REMOVED, (SHOWN DASHED)

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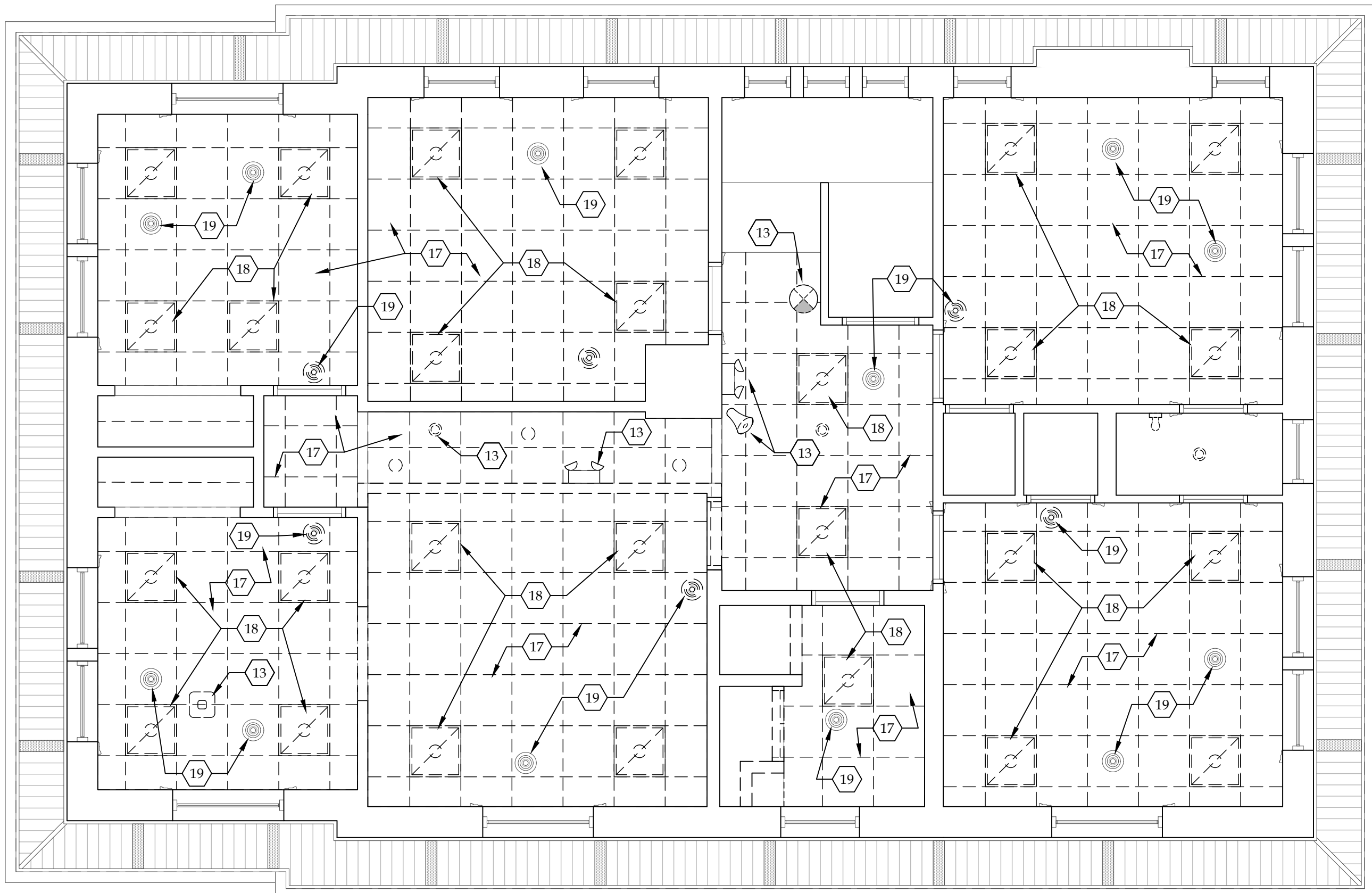
SECOND &
THIRD FLOOR
DEMOLITION
PLANS



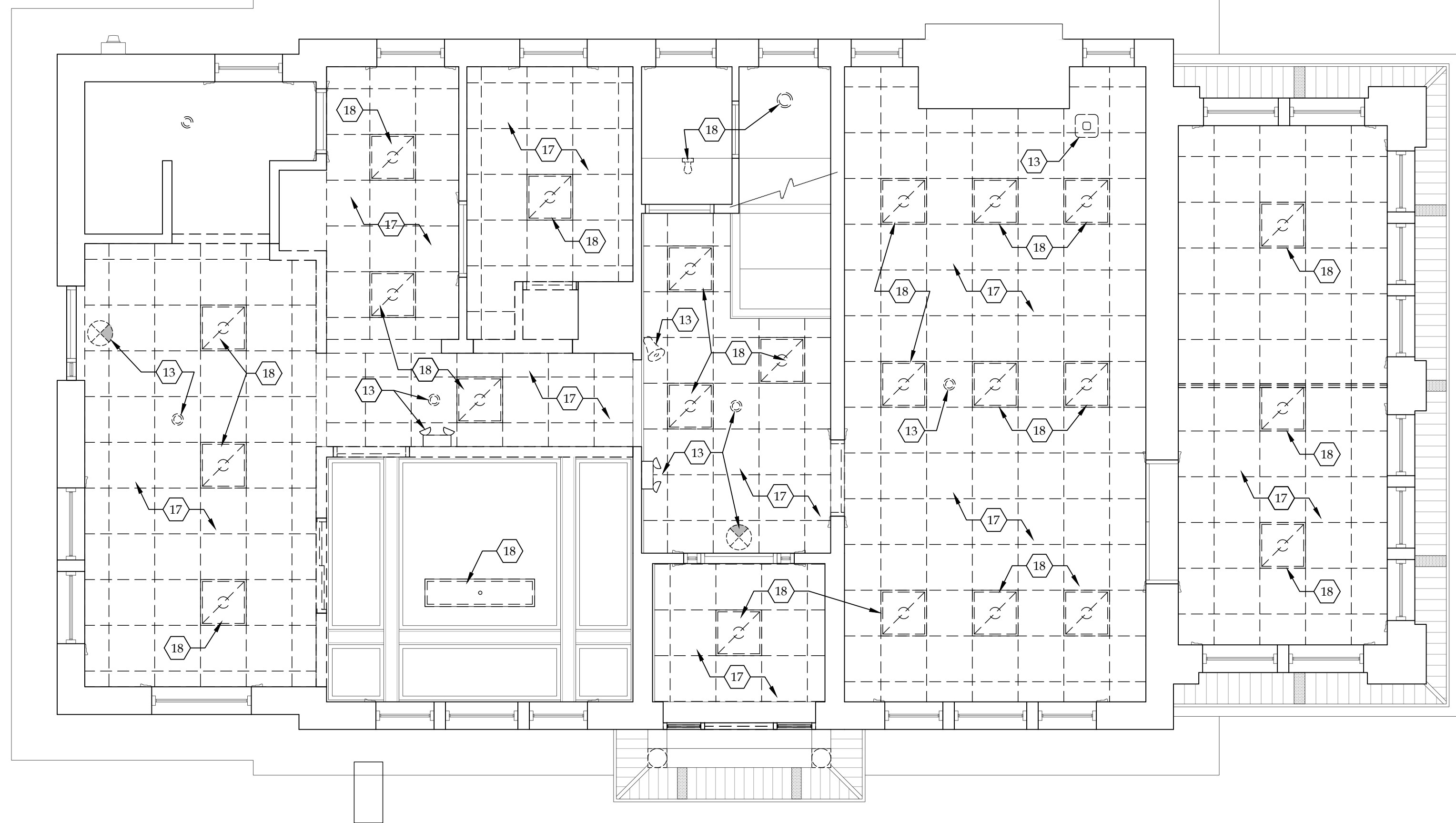
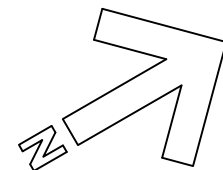
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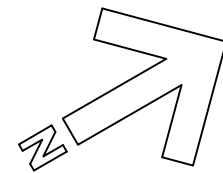
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C1 SECOND FLOOR DEMOLITION RCP
SCALE: 1/4" = 1'-0"



A1 FIRST FLOOR DEMOLITION RCP
SCALE: 1/4" = 1'-0"



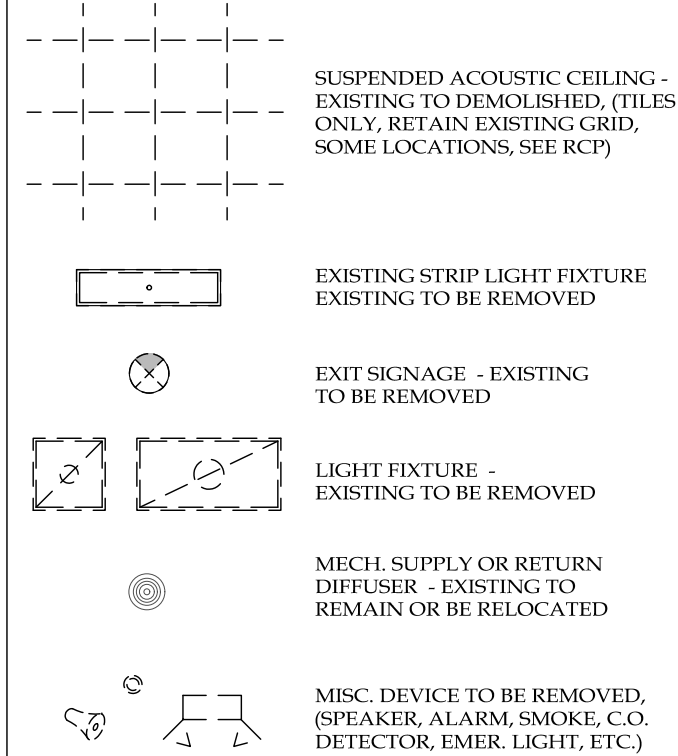
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- REMOVE FLOOR MOUNTED HVAC DIFFUSER GRATE & STORE FOR POSSIBLE REPAIR, REFINISHING & REUSE, CLEAN & PREPARE OPENING FOR GRATE REINSTALLATION OR REPLACEMENT, SEE MECH. DWGS, TYP.
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- CAREFULLY REMOVE EXISTING DAMAGED STORM WINDOW WHERE REQ'D. EXISTING WINDOW SURROUNDS (CASINGS, SILLS, APRONS, ETC.) SHALL BE PROTECTED & SALVAGED - PREPARE AS REQ'D FOR REPAIR, REPAINTING. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW STORM WINDOWS CAN OCCUR. NOTE: G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF ALL WINDOWS THAT ARE TO REMAIN.
- REMOVE ANY PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING BRICK VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, RE-POINTED & CLEANED WHERE NECESSARY. ENTIRE PERIMETER, FULL HEIGHT, INCLUDING CHIMNEYS, IF NECESSARY, G.C. SHALL IDENTIFY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.
- EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CAULKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. EXISTING SILL SECURITY SCREENS SHALL BE TEMPORARILY REMOVED & STORE FOR RE-PAINTING & RE-INSTALLATION TO ALLOW FOR WINDOW REPAIR-PAINTING OR REPLACEMENT. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

GENERAL DEMOLITION NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR CONSTRUCTION AND IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT EXISTING WALLS, FLOORS & ANY OTHER ITEMS TO REMAIN DURING CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL ITEMS INDICATED, IMPLIED OR OTHERWISE NECESSARY TO ALLOW FOR NEW CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL DEMOLISHED ITEMS FROM THE SITE. ALL DEMOLISHED ITEMS TO BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
- DEMO CONTRACTOR TO PROVIDE DUMPSTERS & MEANS OF MATERIAL REMOVAL FROM SITE, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS & AUTHORITIES HAVING JURISDICTION.
- DEMO CONTRACTOR TO CARRY FORTH DAILY CLEAN UP OF SITE.
- DEMO CONTRACTOR TO PROVIDE PROOF OF INSURANCE TO ARCHITECT AND OWNER.
- DEMO CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- CONTRACTOR SHALL SHORE & BRACE ANY FLOOR, WALL OR ROOF SYSTEM INVOLVED IN SUBSTANTIAL DEMOLITION THAT COULD EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED & STORED ON SITE IF REQUIRED.
- WALLS, DOORS & EQUIPMENT NOT DASHED ARE EXISTING TO REMAIN.
- ALL DOORS, FRAMES & ASSOCIATED HARDWARE THAT ARE TO BE REMOVED WITHIN DEMOLITION AREA SHALL BE SALVAGED & TURNED OVER TO OWNER OR STORED AND REUSED ELSEWHERE WITHIN PROJECT AREA. COORDINATE ALL SALVAGE & REUSE WITH OWNER.
- PATCH & REPAIR EXISTING SURFACES DAMAGED BY DEMOLITION. ALL REPAIR WORK SHALL MATCH EXISTING, ADJACENT MATERIALS & METHODS.
- ALL EXISTING SURFACES LEFT EXPOSED AFTER DEMOLITION SHALL BE PROTECTED AND SAFEGUARDED FROM EXPOSURE FROM WEATHER AND/OR DAMAGE FROM CONSTRUCTION DURING CONSTRUCTION.
- THIS DEMOLITION DRAWING ONLY PROVIDES A BASIC SCOPE OF WORK AND SHOULD NOT BE REFERENCED FOR OTHER TRADE WORK.
- REMOVAL OF ALL LEAD AND ASBESTOS MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, OSHA STANDARDS AND APPLICABLE CODES.

DEMO RCP SYMBOL LEGEND:



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Apartments

85 Humboldt Parkway
Buffalo, NY 14214

ISSUE:
2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

1st & 2nd FLOOR
DEMOLITION
REFL. CEILING
PLANS

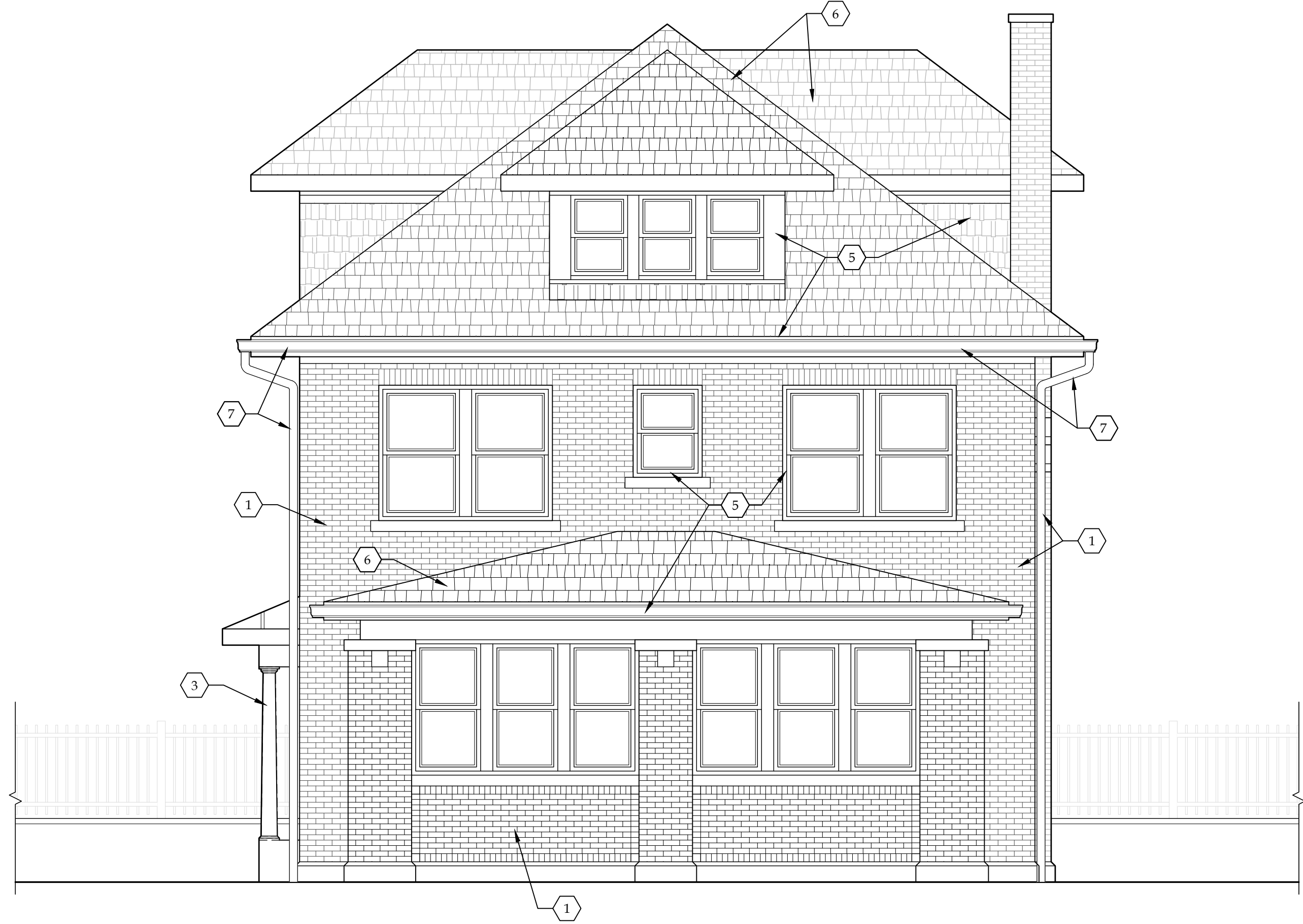


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ARCHITECTS - PC

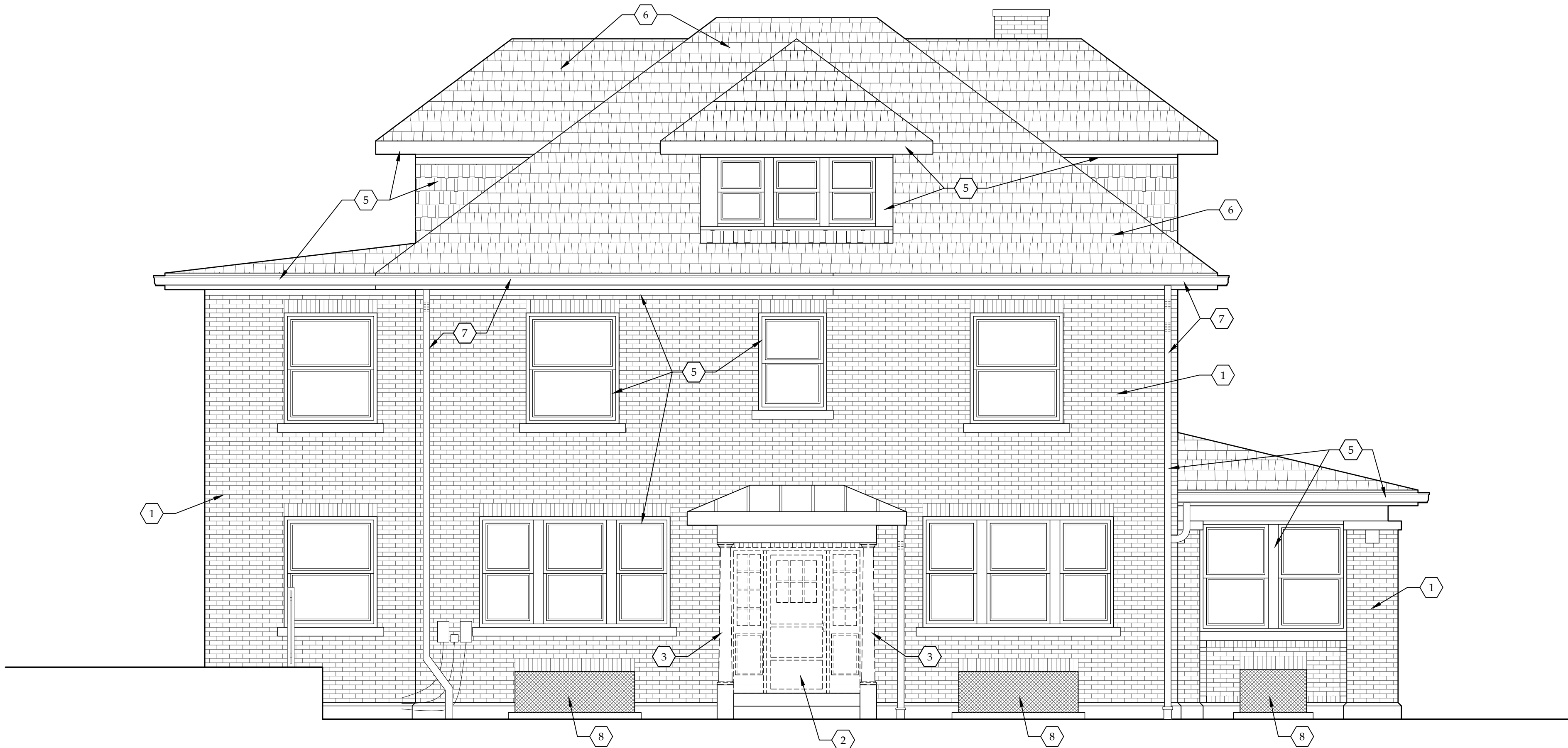
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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: 24101.01 DATE: 07-21-25

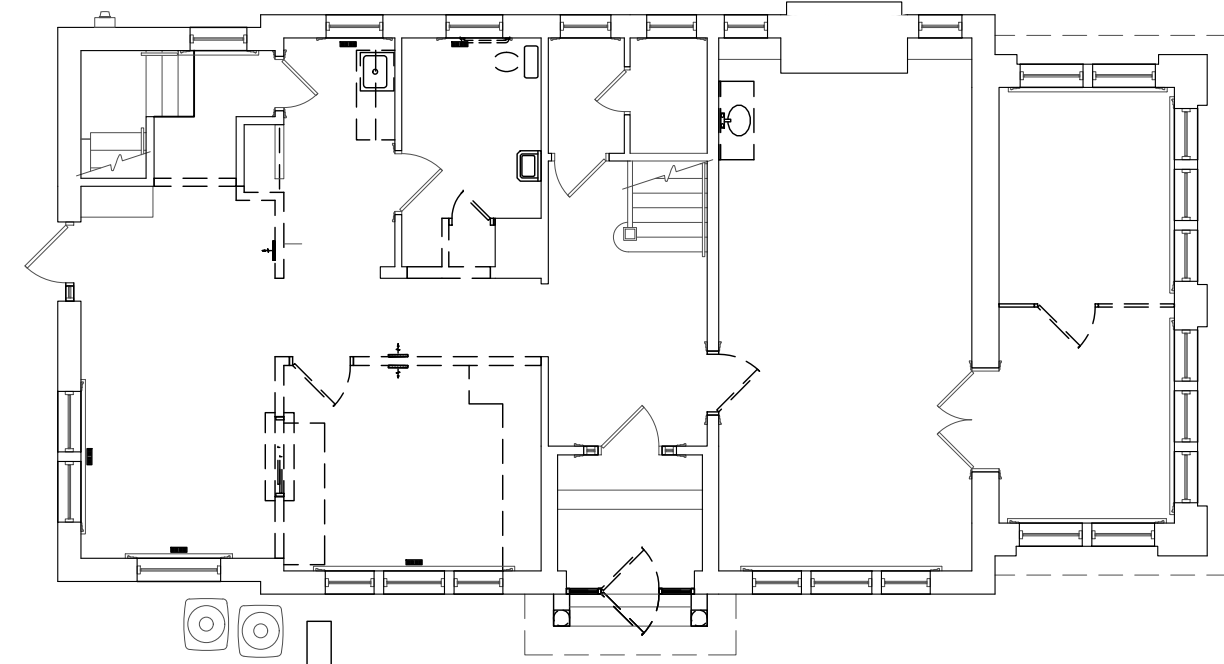
DRAWING #: AD-103



C1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"
FRONT



A1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"
LEFT SIDE



E5 KEY PLAN
SCALE: NTS

X DEMOLITION ELEVATION NOTES:

1. REMOVE PEELING MORTAR & EFFLORESCENCE WHERE OCCURS. EXISTING BRICK VENEER & EXPOSED FOUNDATION WALLS TO BE REPAIRED, RE-POINTED & CLEANED WHERE NECESSARY @ ENTIRE BUILDING PERIMETER, FULL HEIGHT, INCLUDING CHIMNEYS. G.C. SHALL IDENTIFY ANY SOURCES OF WATER INFILTRATION & RECTIFY PRIOR TO MASONRY REPAIR.
2. CAREFULLY REMOVE EXISTING EXTERIOR DOOR & SIDELIGHTS IN THEIR ENTIRETY, INCLUDING STORM DOOR & TRIM SURROUND. PREPARE OPENING AS REQUIRED FOR THE INSTALLATION OF NEW DOOR & SIDELIGHT ASSEMBLY. CONTRACTOR SHALL PROVIDE SECURE TEMPORARY OPENING PROTECTION FROM THE ELEMENTS UNTIL WINDOW TRIM RE-PAINTING & INSTALLATION OF NEW DOOR & WINDOW UNIT CAN OCCUR.
3. EXISTING COLUMN SURROUNDS AT SOUTH ENTRY SHALL BE CAREFULLY REMOVED, (REPLACEMENT REQUIRED). G.C. SHALL EVALUATE & CONFIRM STRUCTURAL INTEGRITY OF COLUMNS, ROOF FRAMING & FOUNDATION ANCHORAGE.
4. CAREFULLY REMOVE EXISTING DAMAGED STORM WINDOW WHERE REQ'D. WINDOW TRIM & SURROUNDS SHALL BE PROTECTED & REPAIRED AS REQ'D. FOR REPAIR, RE-PAINTING, ~~REPAIR~~ G.C. SHALL CONFIRM OR ESTABLISH FUNCTIONALITY OF ALL WINDOWS THAT ARE TO REMAIN.
5. EXISTING PAINTED WOOD WINDOW SURROUNDS, DOORS, TRIM, SOFFITS, FASCIAS, FRIEZE BOARDS, DORMERS, CANOPY OVER SIDE DOOR, ALUMINUM GUTTERS & DOWNSPOUTS, ETC. WILL BE FRISHLY PAINTED. REMOVE ALL LOOSE OR PEELING PAINT & CAULK FROM ALL AREAS AS REQUIRED TO PREPARE FOR REPAIRS & NEW PAINT FINISH.
6. EXISTING ASPHALT SHINGLE ROOFING SYSTEM APPEARS TO BE IN FAIR SHAPE. G.C. SHALL CONFIRM PRESENCE OF ADEQUATE FLASHING & WATER-TIGHTNESS @ ALL WALL/ROOFING TRANSITIONS, GABLES, EAVES, HIPPS, VALLEYS & GUTTERS.
7. EXISTING GUTTERS & DOWNSPOUTS SHALL BE REPAIRED, RE-ANCHORED OR REPLACED WHERE NEEDED. G.C. SHALL CONFIRM OR OTHERWISE ENSURE FUNCTIONALITY OF EXISTING GUTTERS, DOWNSPOUTS & HUBS FOR POSITIVE RAINWATER DRAINAGE.
8. EXISTING BASEMENT WINDOWS TO BE REPAIRED, RE-CASHEKED, RE-GLAZED WHERE REQ'D, OR REPLACED IN KIND. EXISTING STEEL SECURITY SCREENS SHALL BE TEMPORARILY REMOVED TO ALLOW FOR WINDOW REPAIR, PAINTING OR REPLACEMENT. G.C. SHALL ENSURE WATER-TIGHTNESS @ ALL LOCATIONS.

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ISSUE:
2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

DEMOLITION
EXTERIOR
ELEVATIONS



SILVESTRI
ARCHITECTS - PC

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SA JOB #: 24101.01
DATE: 07-21-25


DRAWING #: AD-201




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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

**DEMOLITION
EXTERIOR
ELEVATIONS**

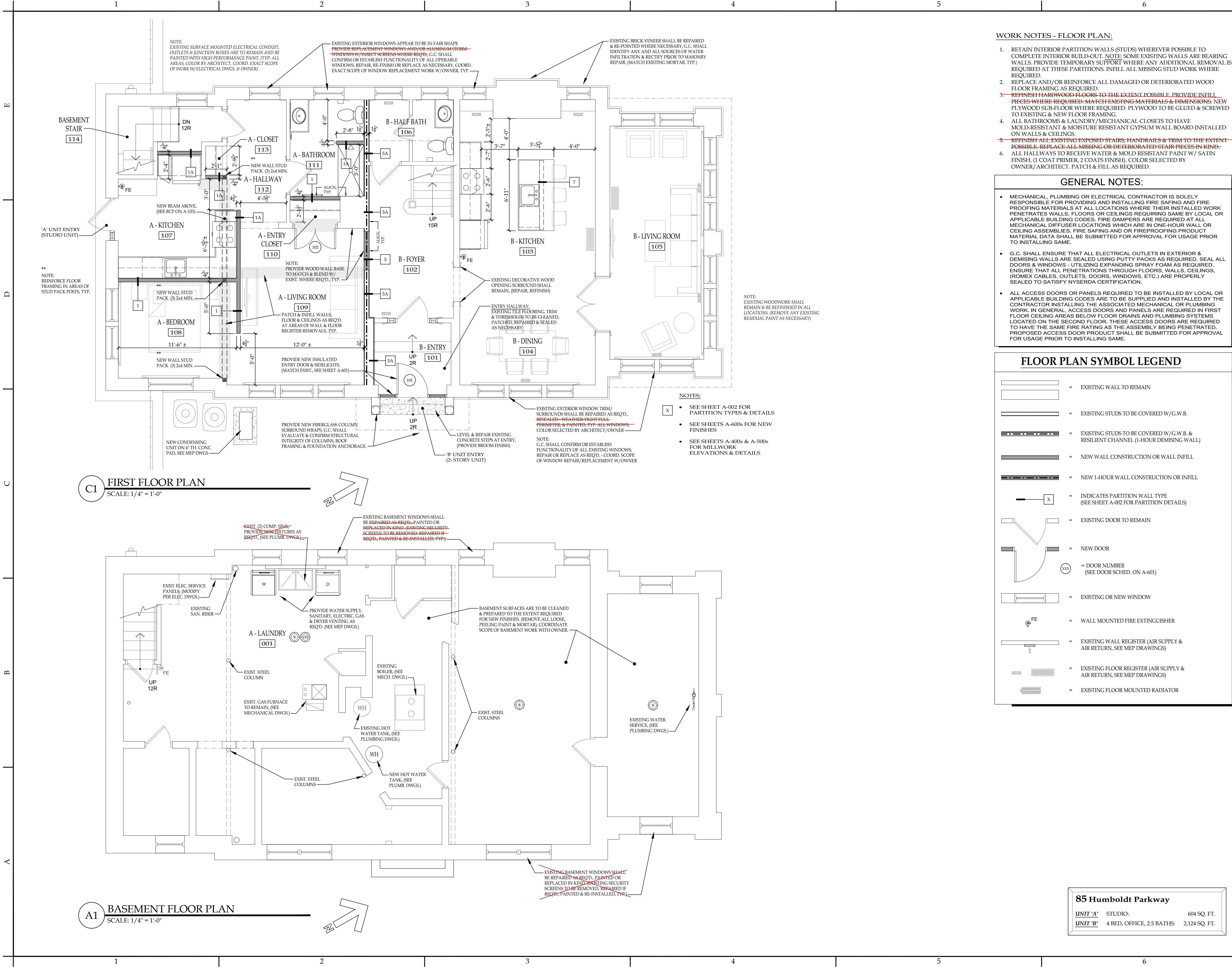


**SILVESTRI
ARCHITECTS • PC**

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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **AD-202**



- WORK NOTES - FLOOR PLAN:**
1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
 2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
 3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLYWOOD SUB-FLOOR WHERE REQUIRED. PLYWOOD TO BE GLUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
 4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
 5. ~~REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND.~~
 6. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH, (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.

- GENERAL NOTES:**
- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
 - G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSDORA CERTIFICATION.
 - ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

	= EXISTING WALL TO REMAIN
	= EXISTING STUDS TO BE COVERED W/G.W.B.
	= EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
	= NEW WALL CONSTRUCTION OR WALL INFILL
	= NEW 1-HOUR WALL CONSTRUCTION OR INFILL
	= INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
	= EXISTING DOOR TO REMAIN
	= NEW DOOR
	= DOOR NUMBER (SEE DOOR SCHED. ON A-601)
	= EXISTING OR NEW WINDOW
	= WALL MOUNTED FIRE EXTINGUISHER
	= EXISTING WALL REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)
	= EXISTING FLOOR REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)
	= EXISTING FLOOR MOUNTED RADIATOR

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ISSUE:
2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

BASEMENT & FIRST FLOOR PLANS

SILVESTRI ARCHITECTS-PC

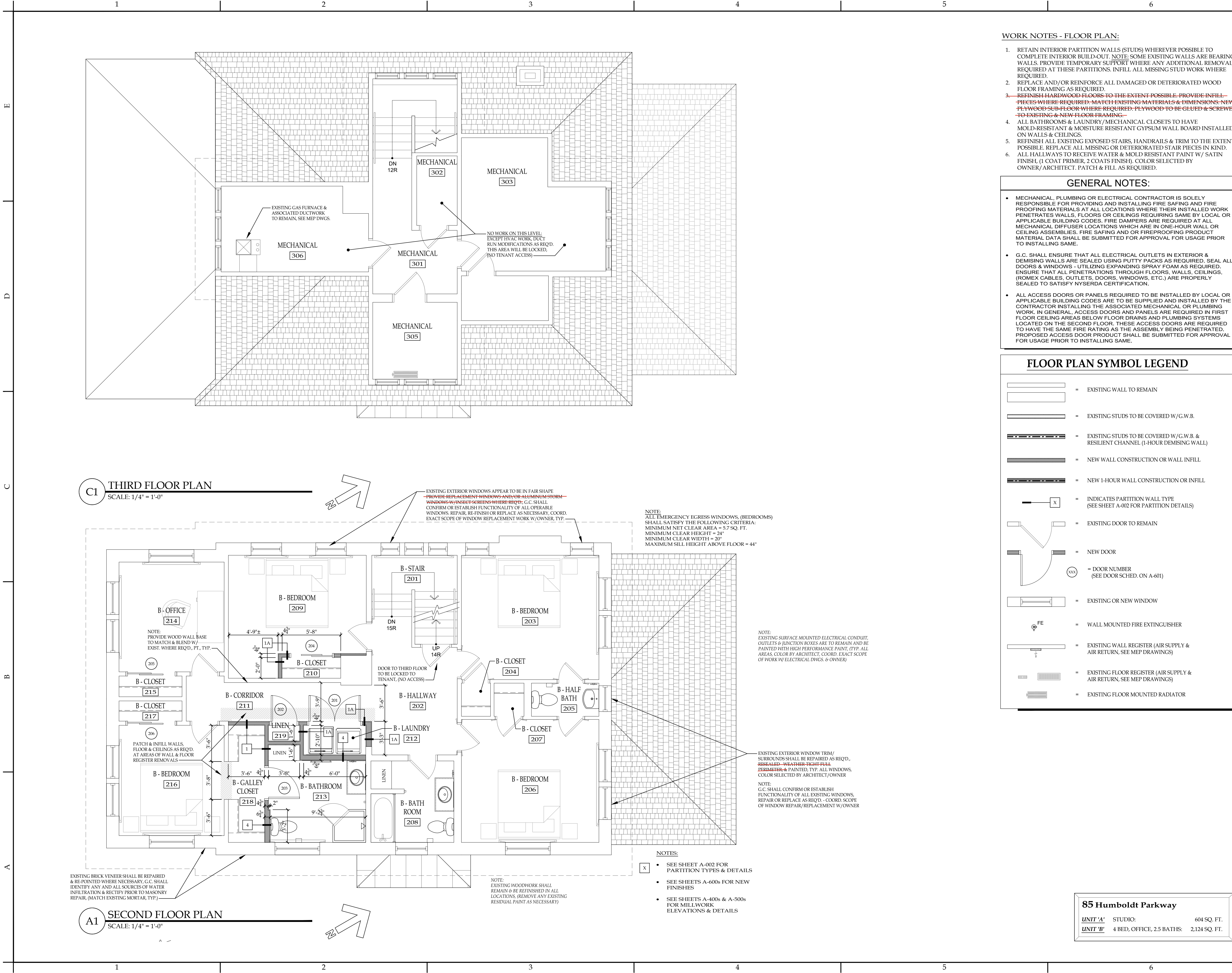
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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **A-101**

85 Humboldt Parkway

UNIT 'A'	STUDIO:	604 SQ. FT.
UNIT 'B'	4 BED, OFFICE, 2.5 BATHS:	2,124 SQ. FT.



- WORK NOTES - FLOOR PLAN:**
1. RETAIN INTERIOR PARTITION WALLS (STUDS) WHEREVER POSSIBLE TO COMPLETE INTERIOR BUILD-OUT. NOTE: SOME EXISTING WALLS ARE BEARING WALLS. PROVIDE TEMPORARY SUPPORT WHERE ANY ADDITIONAL REMOVAL IS REQUIRED AT THESE PARTITIONS. INFILL ALL MISSING STUD WORK WHERE REQUIRED.
 2. REPLACE AND/OR REINFORCE ALL DAMAGED OR DETERIORATED WOOD FLOOR FRAMING AS REQUIRED.
 3. ~~REFINISH HARDWOOD FLOORS TO THE EXTENT POSSIBLE. PROVIDE INFILL PIECES WHERE REQUIRED. MATCH EXISTING MATERIALS & DIMENSIONS. NEW PLAYWOOD SUB-FLOOR WHERE REQUIRED. PLAYWOOD TO BE GLEUED & SCREWED TO EXISTING & NEW FLOOR FRAMING.~~
 4. ALL BATHROOMS & LAUNDRY/MECHANICAL CLOSETS TO HAVE MOLD-RESISTANT & MOISTURE RESISTANT GYPSUM WALL BOARD INSTALLED ON WALLS & CEILINGS.
 5. REFINISH ALL EXISTING EXPOSED STAIRS, HANDRAILS & TRIM TO THE EXTENT POSSIBLE. REPLACE ALL MISSING OR DETERIORATED STAIR PIECES IN KIND. ALL HALLWAYS TO RECEIVE WATER & MOLD RESISTANT PAINT W/ SATIN FINISH. (1 COAT PRIMER, 2 COATS FINISH). COLOR SELECTED BY OWNER/ARCHITECT. PATCH & FILL AS REQUIRED.
 - 6.

- GENERAL NOTES:**
- MECHANICAL, PLUMBING OR ELECTRICAL CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE SAFING AND FIRE PROOFING MATERIALS AT ALL LOCATIONS WHERE THEIR INSTALLED WORK PENETRATES WALLS, FLOORS OR CEILINGS REQUIRING SAME BY LOCAL OR APPLICABLE BUILDING CODES. FIRE DAMPERS ARE REQUIRED AT ALL MECHANICAL DIFFUSER LOCATIONS WHICH ARE IN ONE-HOUR WALL OR CEILING ASSEMBLIES. FIRE SAFING AND OR FIREPROOFING PRODUCT MATERIAL DATA SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.
 - G.C. SHALL ENSURE THAT ALL ELECTRICAL OUTLETS IN EXTERIOR & DEMISING WALLS ARE SEALED USING PUTTY PACKS AS REQUIRED. SEAL ALL DOORS & WINDOWS - UTILIZING EXPANDING SPRAY FOAM AS REQUIRED. ENSURE THAT ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS, (ROMEX CABLES, OUTLETS, DOORS, WINDOWS, ETC.) ARE PROPERLY SEALED TO SATISFY NYSEDA CERTIFICATION.
 - ALL ACCESS DOORS OR PANELS REQUIRED TO BE INSTALLED BY LOCAL OR APPLICABLE BUILDING CODES ARE TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR INSTALLING THE ASSOCIATED MECHANICAL OR PLUMBING WORK. IN GENERAL, ACCESS DOORS AND PANELS ARE REQUIRED IN FIRST FLOOR CEILING AREAS BELOW FLOOR DRAINS AND PLUMBING SYSTEMS LOCATED ON THE SECOND FLOOR. THESE ACCESS DOORS ARE REQUIRED TO HAVE THE SAME FIRE RATING AS THE ASSEMBLY BEING PENETRATED. PROPOSED ACCESS DOOR PRODUCT SHALL BE SUBMITTED FOR APPROVAL FOR USAGE PRIOR TO INSTALLING SAME.

FLOOR PLAN SYMBOL LEGEND

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	= EXISTING STUDS TO BE COVERED W/G.W.B.
	= EXISTING STUDS TO BE COVERED W/G.W.B. & RESILIENT CHANNEL (1-HOUR DEMISING WALL)
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	= NEW 1-HOUR WALL CONSTRUCTION OR INFILL
	= INDICATES PARTITION WALL TYPE (SEE SHEET A-002 FOR PARTITION DETAILS)
	= EXISTING DOOR TO REMAIN
	= NEW DOOR
	= DOOR NUMBER (SEE DOOR SCHED. ON A-601)
	= EXISTING OR NEW WINDOW
	= WALL MOUNTED FIRE EXTINGUISHER
	= EXISTING WALL REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)
	= EXISTING FLOOR REGISTER (AIR SUPPLY & AIR RETURN, SEE MEP DRAWINGS)
	= EXISTING FLOOR MOUNTED RADIATOR

85 Humboldt Parkway

UNIT 'A'	STUDIO:	604 SQ. FT.
UNIT 'B'	4 BED, OFFICE, 2.5 BATHS:	2,124 SQ. FT.

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2025-08-22 - ISSUED FOR PERMIT
2025-07-29 - ADDED DOOR #s & DWG. A-601

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



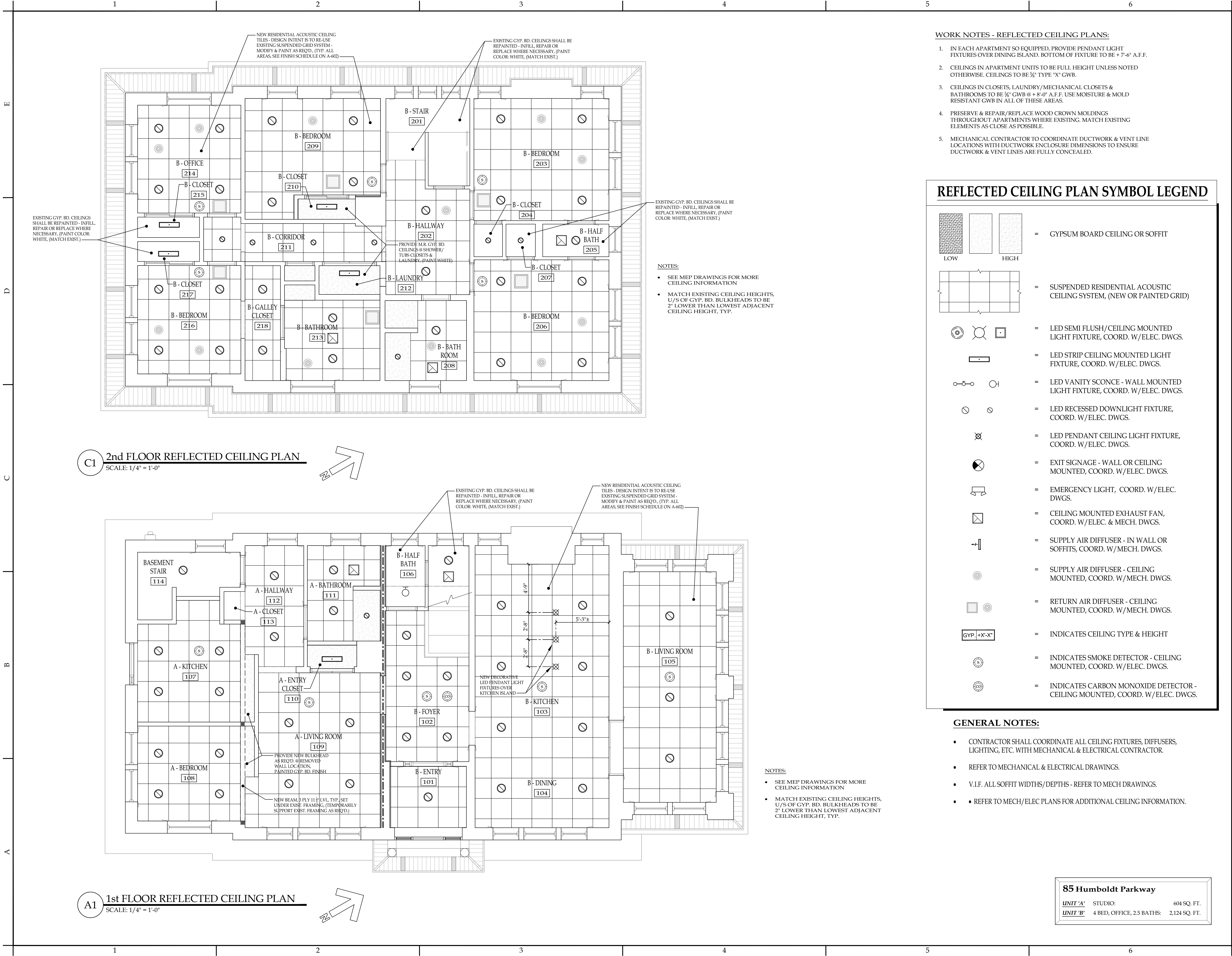
TITLE:

SECOND & THIRD FLOOR PLANS



SA JOB #: 24101.01 **DATE:** 07-21-25

DRAWING #: A-102



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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:

TITLE:

1st & 2nd FLOOR REFLECTED CEILING PLANS

SILVESTRI ARCHITECTS - PC

1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

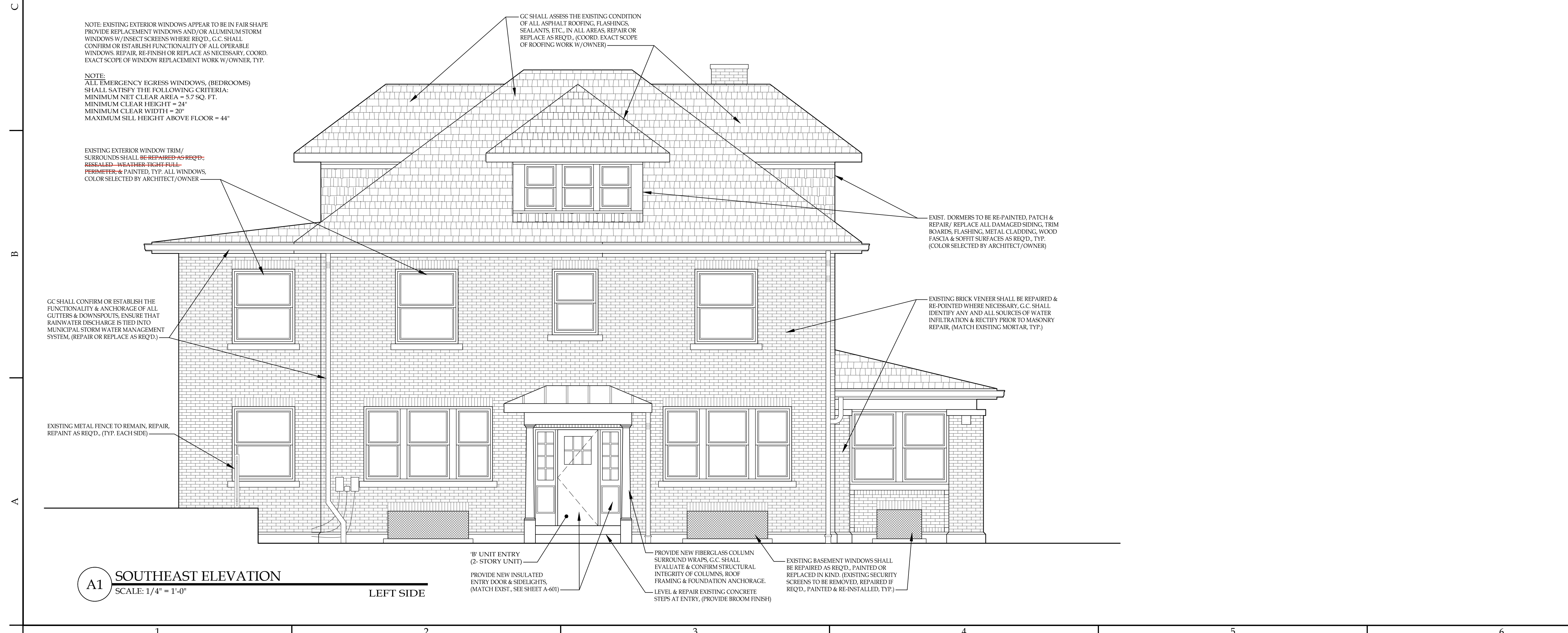
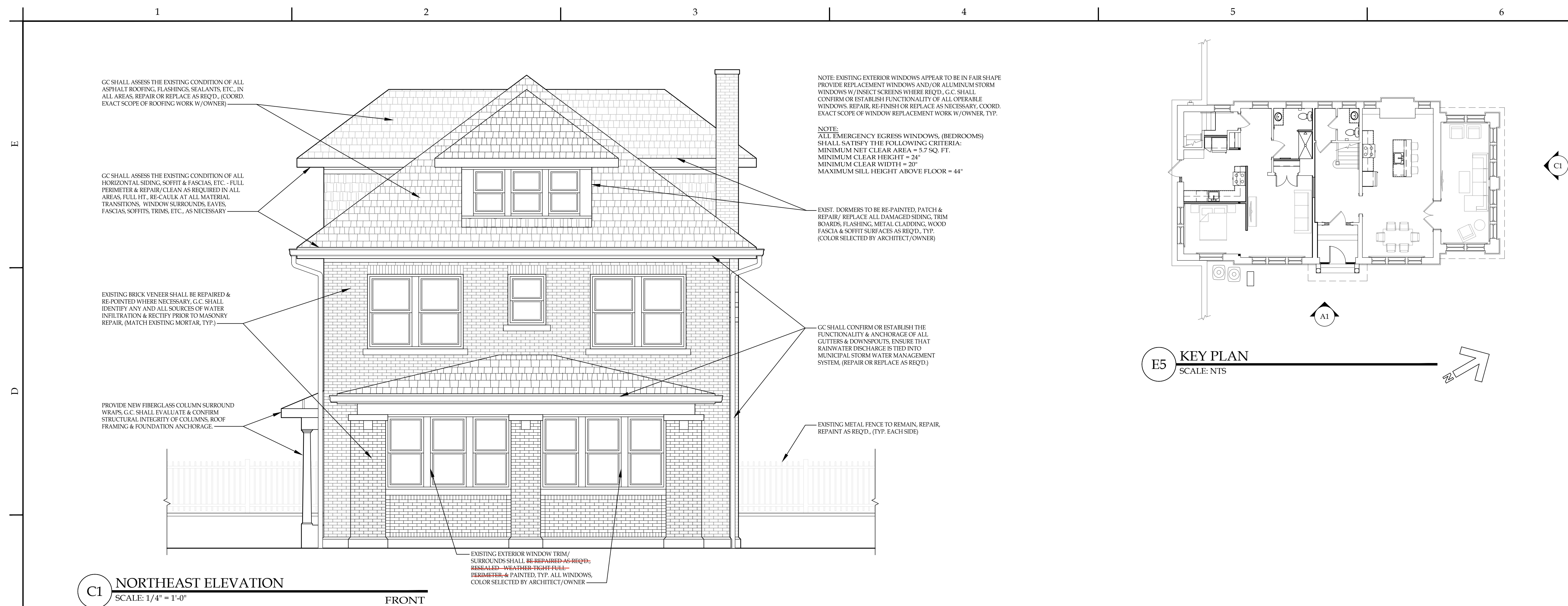
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24101.01

DATE:
07-21-25

DRAWING #:
A-103

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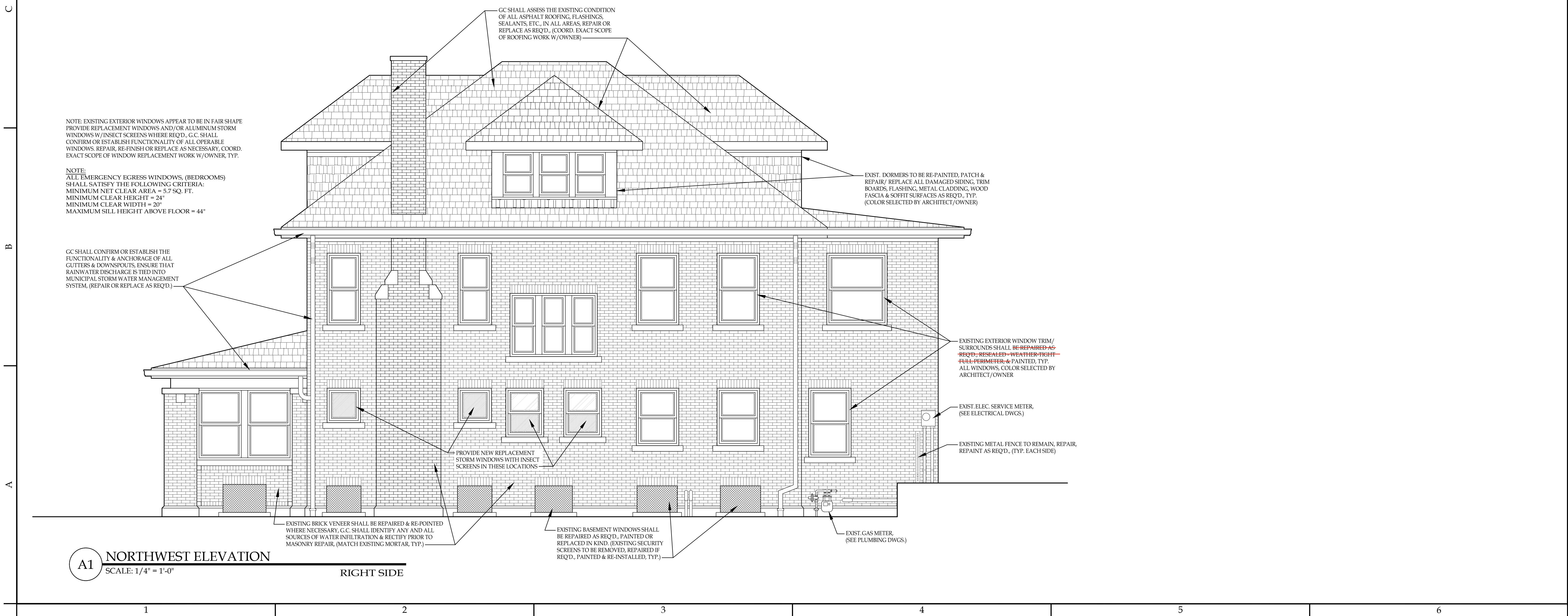
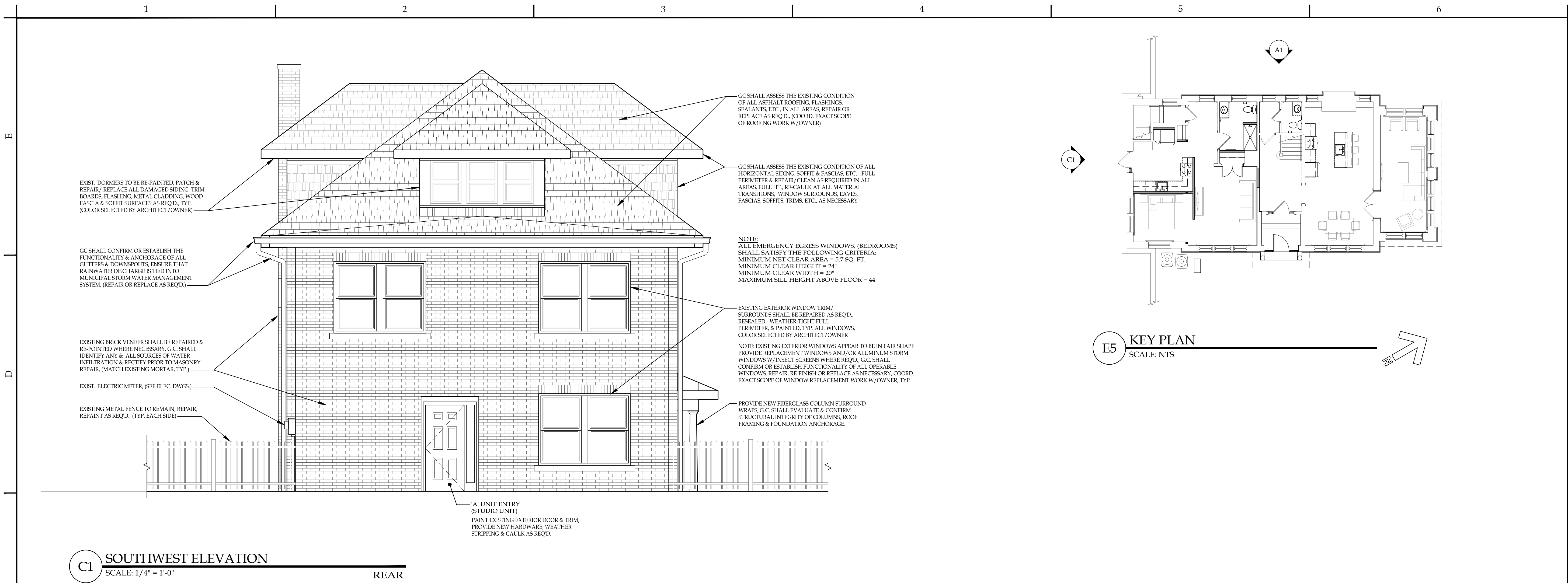
EXTERIOR ELEVATIONS



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Buffalo, NY 14214

ISSUE:
2025-08-22 - ISSUED FOR PERMIT

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



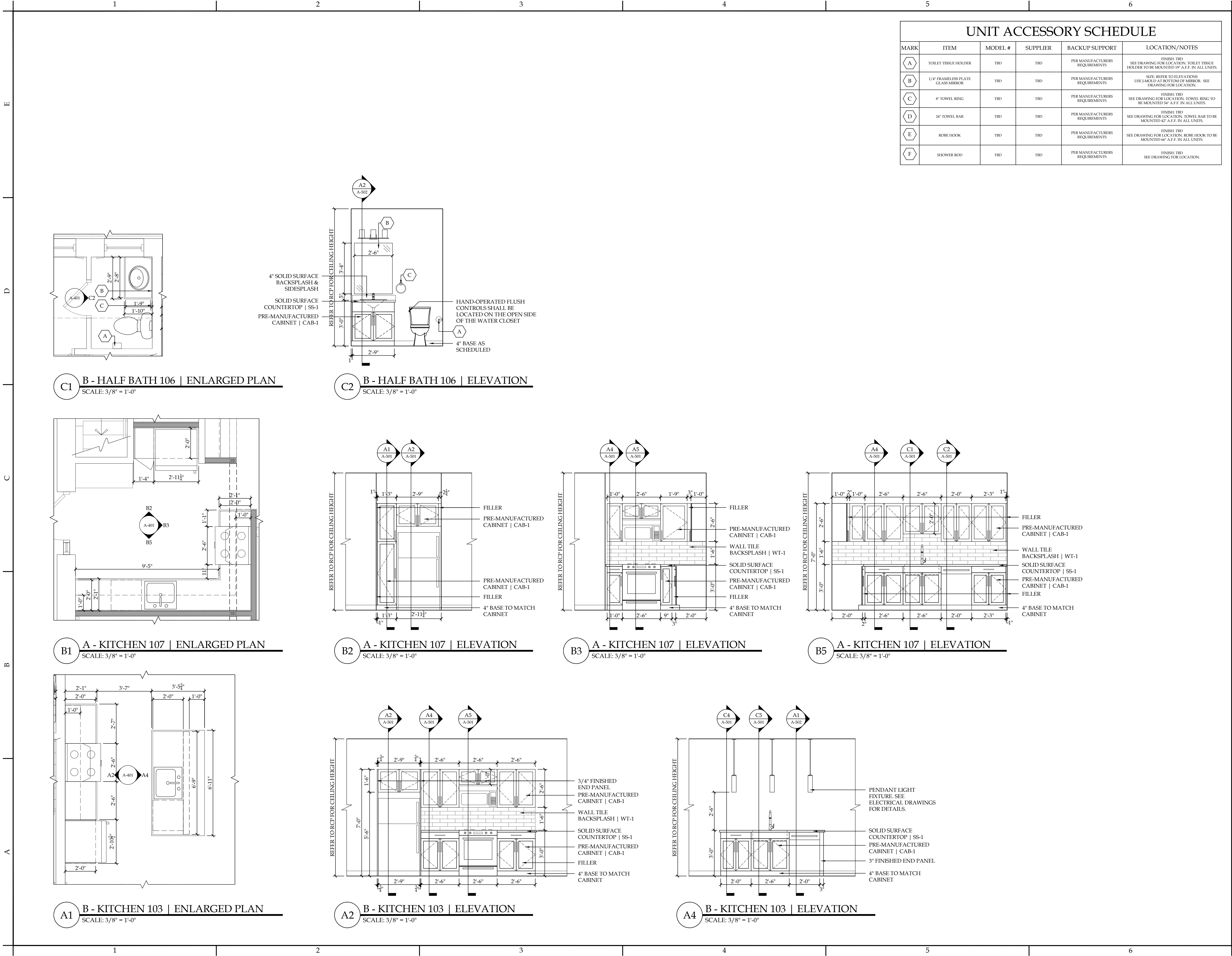
TITLE:

EXTERIOR ELEVATIONS



SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **A-202**



UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE J-SHIELD AT BOTTOM OR MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 54" A.F.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F.F. IN ALL UNITS.
F	SHOWER ROD	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION.

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DOFI PROPERTIES
Humboldt Pkwy Apartments
85 Humboldt Parkway
Buffalo, NY 14214

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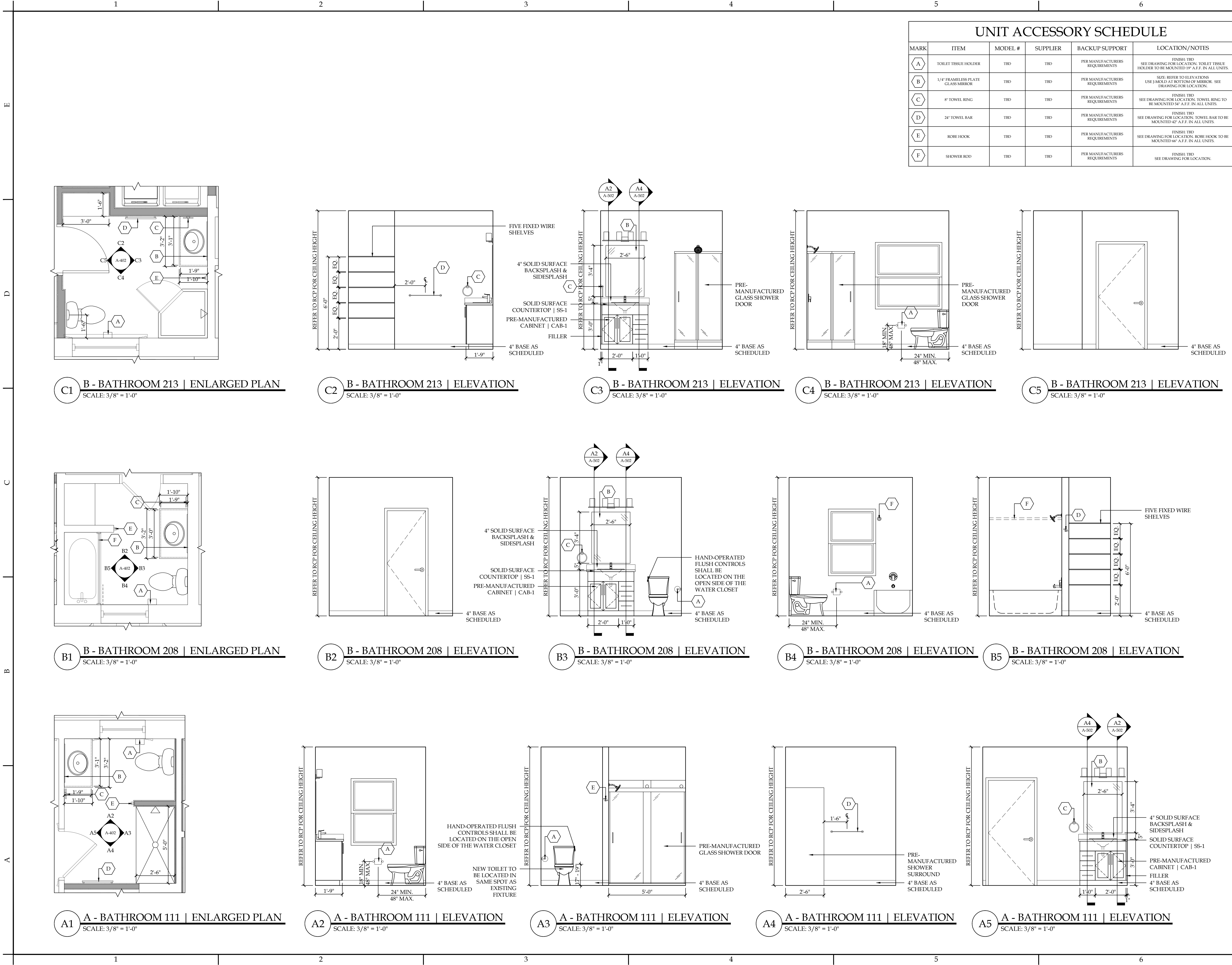


TITLE:
ENLARGED PLANS & ELEVATIONS

SILVESTRI ARCHITECTS · PC
1321 MILLERSPORT HWY PH. 716.691.0900
AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **A-401**



UNIT ACCESSORY SCHEDULE					
MARK	ITEM	MODEL #	SUPPLIER	BACKUP SUPPORT	LOCATION/NOTES
A	TOILET TISSUE HOLDER	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOILET TISSUE HOLDER TO BE MOUNTED 19" A.F.F. IN ALL UNITS.
B	1/4" FRAMELESS PLATE GLASS MIRROR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	SIZE: REFER TO ELEVATIONS USE JACOBI AT BOTTOM OF MIRROR. SEE DRAWING FOR LOCATION.
C	8" TOWEL RING	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL RING TO BE MOUNTED 54" A.F.F. IN ALL UNITS.
D	24" TOWEL BAR	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. TOWEL BAR TO BE MOUNTED 42" A.F.F. IN ALL UNITS.
E	ROBE HOOK	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION. ROBE HOOK TO BE MOUNTED 66" A.F.F. IN ALL UNITS.
F	SHOWER ROD	TBD	TBD	PER MANUFACTURERS REQUIREMENTS	FINISH: TBD SEE DRAWING FOR LOCATION.

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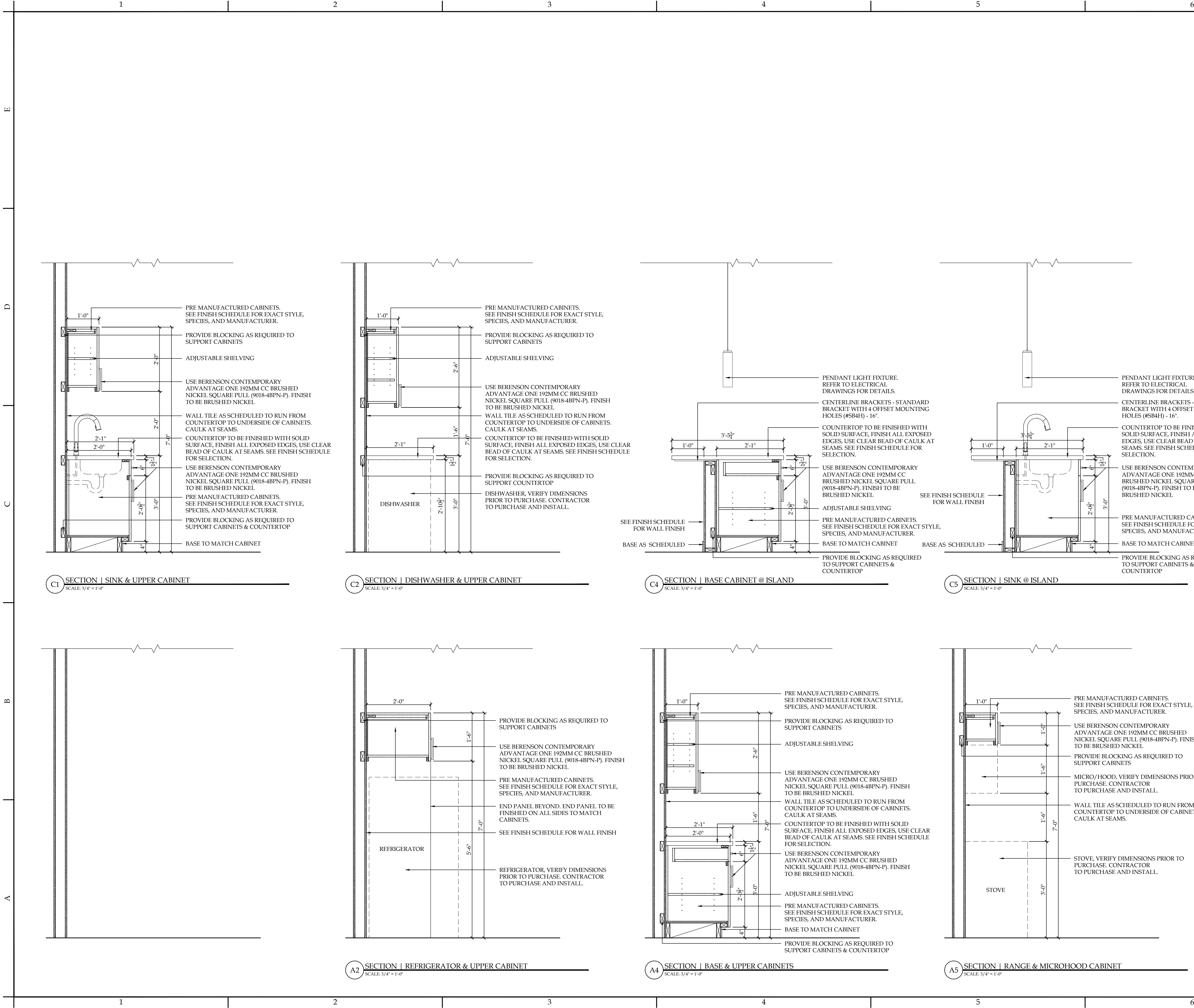
TITLE:

ENLARGED PLANS & ELEVATIONS



SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **A-402**



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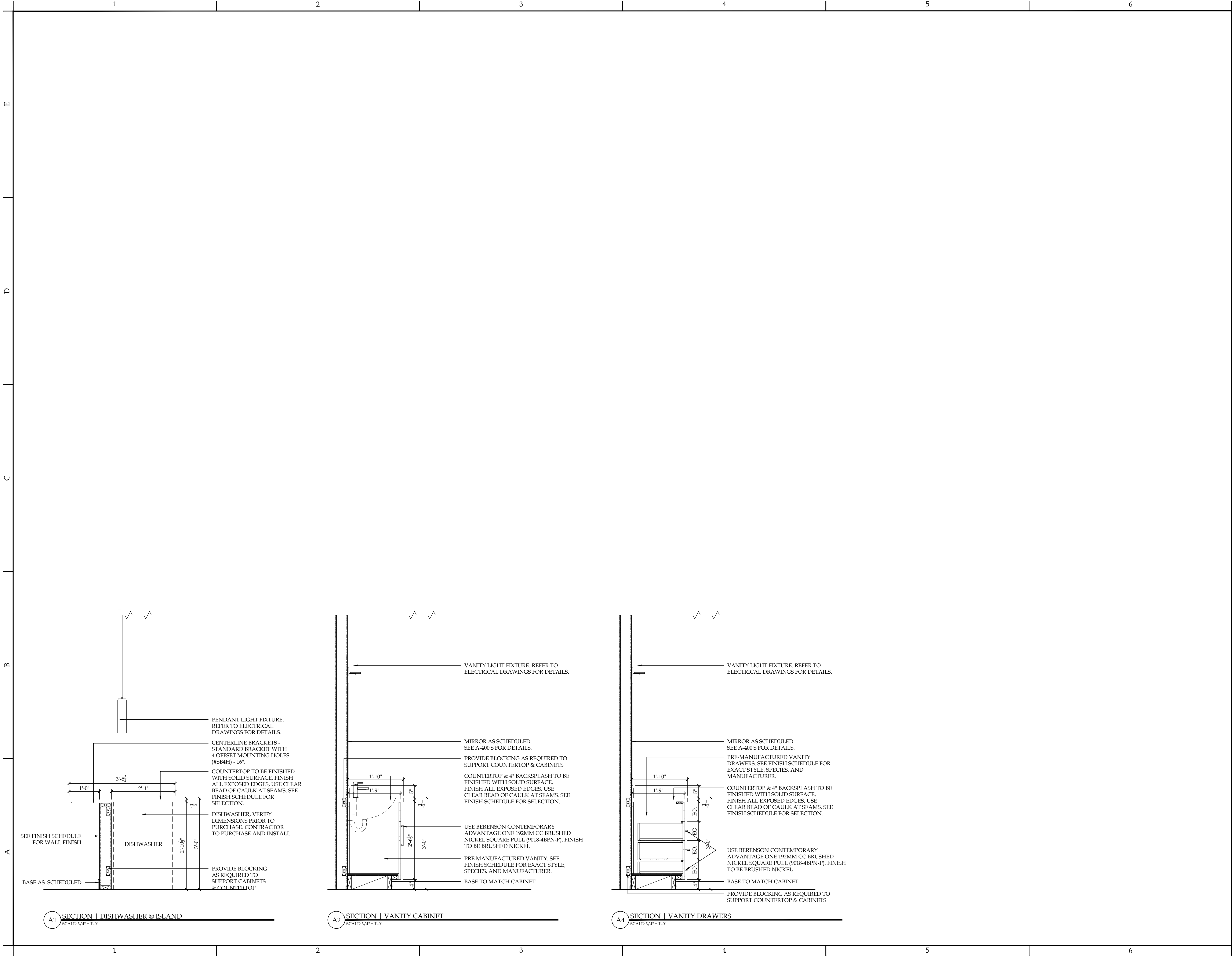


TITLE:
MILLWORK DETAILS



SA JOB #: 24101.01
DATE: 07-21-25

DRAWING #: A-501



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TITLE:

**MILLWORK
DETAILS**

SILVESTRI ARCHITECTS · PC

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AMHERST, NY 14221 FAX 716.691.4773

SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **A-502**

1					2									
ROOM FINISH SCHEDULE														
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING		MILLWORK/ SHROUD	COUNTER TOP	REMARKS					
					MATERIAL	HEIGHTS								
BASEMENT														
001	LAUNDRY	EXIST	EXIST	EXIST	EXIST	EXIST			1					
FIRST FLOOR														
101	B - ENTRY	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			7, 8					
102	B - FOYER	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 7, 8					
103	B - KITCHEN	LVT-1	EXIST/WDB-1	WT-1/GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	3, 5, 7, 8					
104	B - DINING	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 7, 8					
105	B - LIVING ROOM	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 7, 8					
106	B - HALF BATH	EXIST	WDB-1	GYP-P-1	EXIST (P-3)	EXIST	CAB-1	SS-1	6, 7, 8					
107	A - KITCHEN	LVT-1	EXIST/WDB-1	WT-1/GYP-P-1	EXIST/GYP (P-3)	EXIST	CAB-1	SS-1	5, 7, 8					
108	A - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST/GYP (P-3)	EXIST			5, 7, 8					
109	A - LIVING ROOM	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8					
110	A - ENTRY CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	GYP (P-3)	EXIST			5, 8					
111	A - BATHROOM	T-1	TB-1	GYP-P-1	EXIST/GYP (P-3)	EXIST	CAB-1	SS-1	5, 7, 8					
112	A - HALLWAY	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8					
113	A - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			8					
114	A - BASEMENT STAIR	EXIST/LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			5, 7, 8					
SECOND FLOOR														
201	B - STAIR	EXIST/LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST		LVT-1	4, 7, 8					
202	B - HALLWAY	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5					
203	B - BEDROOM	EXIST	EXIST	GYP-P-1	SCT-1	EXIST			3, 7					
204	B - CLOSET	EXIST	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 8					
205	B - HALF BATH	T-1	TB-1	GYP-P-1	EXIST (P-3)	EXIST			6, 7, 8					
206	B - BEDROOM	LVT-1	EXIST	GYP-P-1	SCT-1	EXIST			3, 7					
207	B - CLOSET	LVT-1	EXIST	GYP-P-1	EXIST (P-3)	EXIST			3, 8					
208	B - BATHROOM	T-1	TB-1	GYP-P-1	SCT-1/GYP (P-3)	EXIST	CAB-1	SS-1	6, 7, 8					
209	B - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7					
210	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8					
211	B - CORRIDOR	LVT-1	WDB-1	GYP-P-1	SCT-1	EXIST			3, 5					
212	B - LAUNDRY	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8					
213	B - BATHROOM	T-1	TB-1	GYP-P-1	SCT-1/GYP (P-3)	EXIST	CAB-1	SS-1	7, 8					
214	B - OFFICE	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7					
215	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 8					
216	B - BEDROOM	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5, 7					
217	B - CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	EXIST (P-3)	EXIST			3, 5, 8					
218	B - GALLEY CLOSET	LVT-1	EXIST/WDB-1	GYP-P-1	SCT-1	EXIST			3, 5					
219	B - LINEN	LVT-1	WDB-1	GYP-P-1	GYP (P-3)	EXIST			3, 5, 8					
THIRD FLOOR														
301	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					
302	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					
303	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					
304	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					
305	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					
306	MECHANICAL	EXIST	EXIST	EXIST	EXIST	EXIST			2					

REMARKS									
1. CLEAN ALL BASEMENT WALLS, FLOORS, & CEILINGS THOROUGHLY.									
2. CLEAN ALL THIRD FLOOR WALLS, FLOORS, & CEILINGS THOROUGHLY.									
3. EXISTING CARPET TO BE REMOVED. AFTER DEMOLITION, CONDITION OF HARDWOOD FLOORS IS TO BE ASSESSED. ANY EXISTING HARDWOOD FLOORING IN ACCEPTABLE CONDITION IS TO REMAIN AND BE REPAIRED/REFINISHED AS NECESSARY. WHERE EXISTING HARDWOOD FLOORING IS NOT IN AN ACCEPTABLE CONDITION, LVT IS TO BE INSTALLED AS SCHEDULED.									
4. EXISTING CARPET ON STAIRS TO BE REMOVED. RESTORE EXISTING HARDWOOD STAIR TREADS & RISERS.									
5. ALL NEW WALLS/ WALLS WITH RUBBER BASE TO RECEIVE NEW WOOD BASE TO MATCH EXISTING WOOD BASE.									
6. REMOVE EXISTING TILE WAINSCOTING ON ALL WALLS. REPAIR WALL AS NECESSARY AND REPAINT AS SCHEDULED.									
7. PROVIDE NEW BLINDS ON ALL WINDOWS AS SCHEDULED.									
8. EXISTING CEILINGS TO BE PATCHED/REPAIRED AND PAINTED P-3 AS SCHEDULED. NEW GYP. CEILINGS TO BE PAINTED P-3 AS SCHEDULED.									

DRYWALL FINISH LEVELS									
LEVEL 0: NO TAPING, FINISHING, OR ACCESSORIES REQUIRED									
LEVEL 1: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE SET IN JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE.									
LEVEL 2: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. SURFACE SHALL BE FREE OF EXCESS JOINT COMPOUND. TOOL MARKS AND RIDGES ARE ACCEPTABLE. JOINT COMPOUND APPLIED OVER THE BODY OF THE TAPE AT THE TIME OF TAPE EMBEDMENT SHALL BE CONSIDERED A SEPARATE COAT OF JOINT COMPOUND AND SHALL SATISFY THE CONDITION OF THIS LEVEL.									
LEVEL 3: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/ WALLCOVERING SPECIFICATION IN THIS REGARD.									
LEVEL 4: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. SEE PAINTING/ WALLCOVERING SPECIFICATION IN THIS REGARD.									
LEVEL 5: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND SHALL BE IMMEDIATELY WIPED WITH A JOINT KNIFE LEAVING A THIN COATING OF JOINT COMPOUND OVER ALL JOINTS AND INTERIOR ANGLES. TWO SEPARATE COATS OF JOINT COMPOUND SHALL BE APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND SHALL BE APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. A THIN SKIM COAT OF JOINT COMPOUND TROWEL APPLIED, OR A MATERIAL MANUFACTURED ESPECIALLY FOR THIS PURPOSE AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, APPLIED TO THE ENTIRE SURFACE. THE SURFACE SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINISH PAINT. SEE PAINTING SPECIFICATION IN THIS REGARD.									

3

UNIT FINISH SELECTIONS

LUXURY VINYL TILE (LVT-X):

(LVT-1)

MANUFACTURER: PATCRAFT

COLLECTION: NATURAL STATE

STYLE: 1531V

COLOR: SPICED CHESTNUT 00750

WEAR LAYER THICKNESS: 12 MIL

INSTALLATION: FLOATING

TILE (T-X):

(T-1)

MANUFACTURER: UMORE

CONTACT: TIM WESTER

(585) 622-0753

TWESTER@SPARTANSURFACES.COM

PALERMO

HAZELWOOD

12" X 24"

BRICK LAY ¼ OFFSET

GROUT: BOSTIK

GROUT COLOR: MOBE PEARL H145

JOINT THICKNESS: ⅜"

TILE BASE (TB-X):

(TB-1)

STYLE: TO MATCH T-1/ ONLY TO BE USED WITH T-1

SIZE: 4"

NOTE: SCHLUTER EDGE TO BE PROVIDED

WOOD BASE (WDB-X):

(WDB-1)

STYLE: TO MATCH ADJACENT EXISTING WOOD BASE

FINISH: TO MATCH ADJACENT EXISTING WOOD BASE

PAINT (P-X):

(P-1) TYPICAL

MANUFACTURER: SHERWIN WILLIAMS

TYPE: PROMAR 200

COLOR: PACER WHITE SW 6098

FINISH: EGGSHELL

(P-2) TRIM

MANUFACTURER: SHERWIN WILLIAMS

TYPE: PROMAR 200

COLOR: TO BE DETERMINED

FINISH: SEMI-GLOSS

(P-3) CEILINGS

MANUFACTURER: SHERWIN WILLIAMS

TYPE: PROMAR 200

COLOR: TO BE DETERMINED

FINISH: FLAT

WALL TILE (WT-X):

(WT-1)

MANUFACTURER: UMORE

CONTACT: TIM WESTER

(585) 622-0753

TWESTER@SPARTANSURFACES.COM

BOLOGNA

ADMIRAL

3" X 12"

GROUT: BOSTIK

GROUT COLOR: TO BE DETERMINED

JOINT THICKNESS: ⅜"

CABINETS (CAB-X):

(CAB-1)

MANUFACTURER: BLUE VALLEY CABINETS

DISTRIBUTOR: ACME CABINET CO.

COLOR: DOVE WHITE

DOOR STYLE: CLASSIC

OVERLAY: FULL

LOCATION: KITCHEN & BATHROOM

CABINET PULLS (CP-X):

(CP-1)

MANUFACTURER: BERENSON HARDWARE

STYLE: METRO 224MM CC

FINISH: BRUSHED NICKEL

MODEL #: 9828-11BPN-P

SIZE: 9/16" (TYPICAL), SEE A-500'S FOR EXACT SIZES.

SOLID SURFACE (SS-X):

(SS-1) COUNTERTOPS

MANUFACTURER: WILSONART

COLOR: PEARL MIRAGE 9199MG

PROFILE: EASED EDGE

THICKNESS: 1-1/2"

TRANSITION STRIP (TS-X):

(TS-1) GENERAL FLOORING FOR SLOPED TRANSITIONS

MANUFACTURER: SCHLUTER SYSTEMS

STYLE & SIZE: RENO-U SIZE TO BE V.I.F. IN ACCORDANCE WITH MATERIAL(S) THICKNESS

FINISH: CLEAR SATIN ANODIZED ALUMINUM

LOCATION(S): ALL FLOORING MATERIAL CHANGES AS NECESSARY

NOTE(S): SEE GENERAL NOTES

(TS-2) TILE BASE CAP

MANUFACTURER: SCHLUTER SYSTEMS

STYLE & SIZE: JOLLY SIZE TO BE V.I.F. IN ACCORDANCE WITH MATERIAL(S) THICKNESS

FINISH: CLEAR SATIN ANODIZED ALUMINUM

LOCATION(S): ALL WALL MATERIAL CHANGES AS NECESSARY

NOTE(S): SEE GENERAL NOTES

SUSPENDED CEILING TILE (ACT-X):

(SCT-1)

MANUFACTURER: ARMSTRONG CEILINGS

STYLE: 24" X 24" SINGLE RAISED PANEL

EDGE PROFILE: REGULAR

SIZE: 24" X 24"

THICKNESS: 5/8"

COLOR: WHITE

SUSPENSION SYS.: PRELUDE 1/8" GRID SYSTEM

MISCELLANEOUS (MISC-X):

(MISC-1) BLINDS

MANUFACTURER: HUNTER DOUGLAS ARCHITECTURAL

STYLE: EXPRESS BASICS ALTERNATIVE WOOD BLINDS

COLOR: LILY



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TITLE:

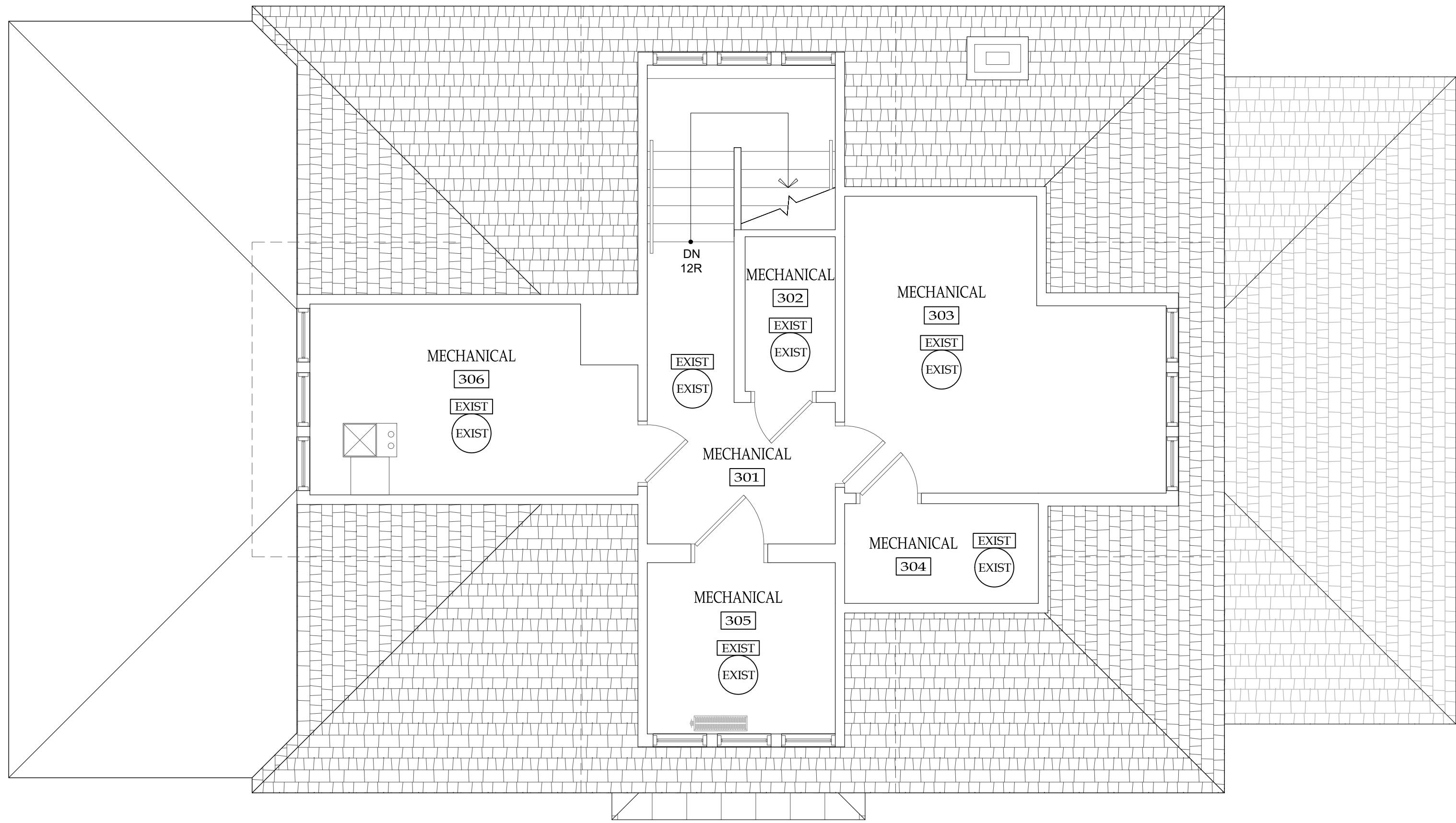
BASEMENT & FIRST FLOOR FINISH PLANS

SILVESTRI
ARCHITECTS - PC

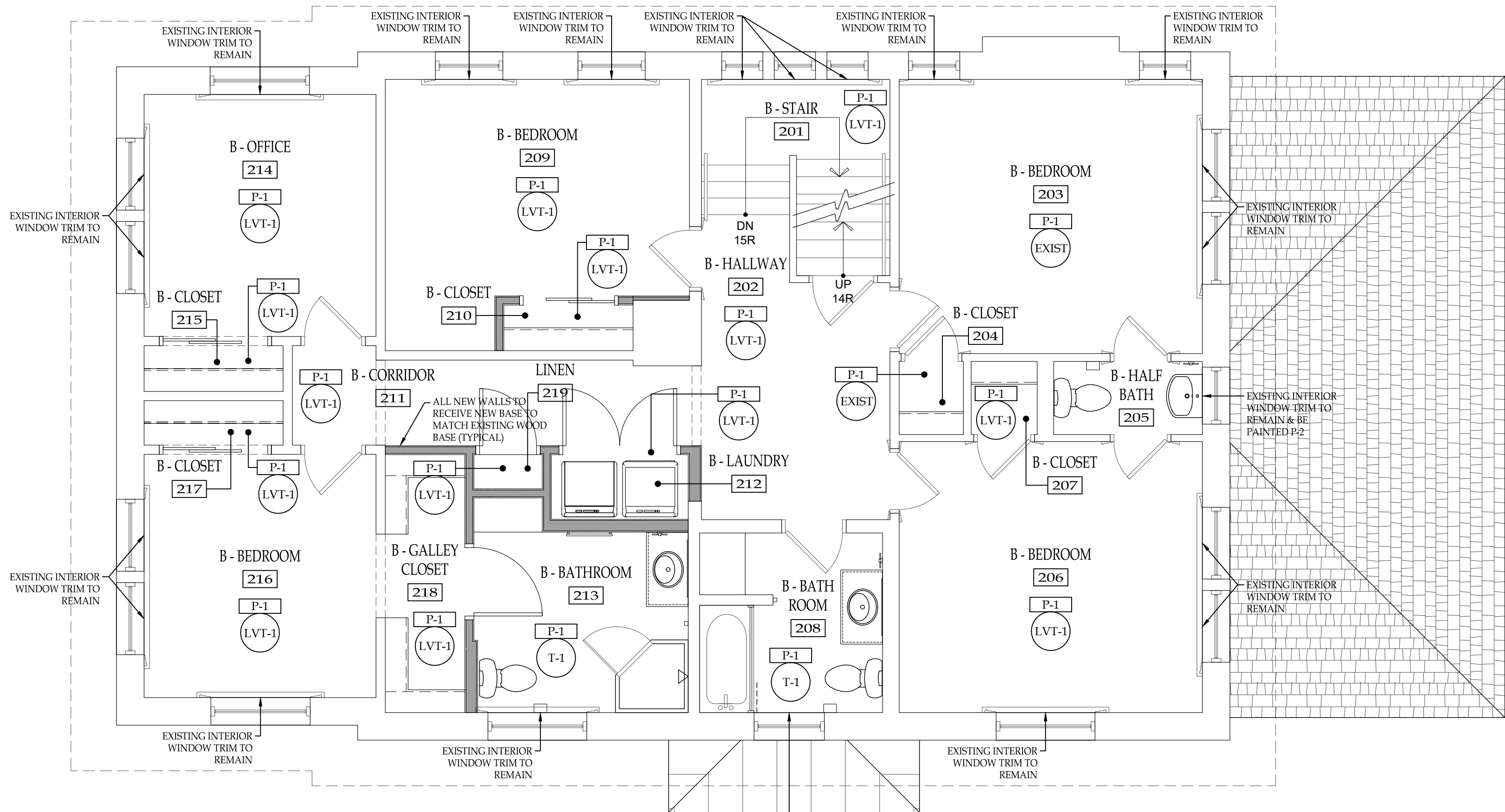
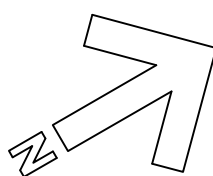
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SA JOB #: 24101.01 **DATE:** 07-21-25

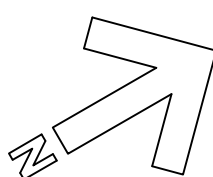
DRAWING #: A-603



C1 THIRD FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"



A1 SECOND FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"



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SEAL:



TITLE:

SECOND &
THIRD FLOOR
FINISH PLANS



SILVESTRI
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SA JOB #: 24101.01
DATE: 07-21-25

DRAWING #: A-605

DUCTED SPLIT SYSTEM AIR-CONDITIONING UNITS

MARK	COND UNIT	SERVICE	COOLING CAPACITY		HEATING CAPACITY		INDOOR UNIT			OUTDOOR UNIT			MODEL NUMBER		NOTES	
			TOTAL (BTUH)	EAT (°F DB/WB)	TOTAL (BTUH)	HSPF2	CFM	ESP (IN WC)	PINTS/HOUR	SEER2	ELECTRICAL					
											POWER	MCA	MOP	INDOOR		OUTDOOR
AHU-1	HP-1	BACK APT	14000	80/67	14000	10	500	0	2.3	22.2	208/1	16	28	MITSUBISHI MODEL MSZ-GX15NL	MITSUBISHI MODEL MUZ-GX15NLHZ	1,2,3,4,5

- ACCESSORIES
1. MICROPROCESSOR CONTROL.
 2. LOW AMBIENT CONTROL (0°F) WITH REQUIRED OPTIONS.
 3. DISCONNECT SWITCH.
 4. LOW VOLTAGE WALL MOUNTED T-STAT.
 5. PROVIDE CONDENSATE PUMP

EXHAUST FAN SCHEDULE

UNIT NO.	AREA SERVED	GREENHECK MODEL NO.	TYPE	CFM	S.P. (IN WC.)	FAN RPM	LIGHT	OPERATING POWER	MOTOR INFORMATION			SONES	NOTES
									VOLTAGE	ENCL.	RPM		
EF-1*	BATHROOM	SP-B90	CEILING	80	0.125	700	NO	20 W	115/60/1ø	ODP	700	1.0	1,2,3,4

- NOTES:
1. CONTROLLED BY SWITCH
 2. PROVIDE MANUFACTURER'S WALL/ROOF CAP.
 3. PROVIDE BACKDRAFT DAMPER
 4. PROVIDE HANGING KIT WITH VIBRATION ISOLATORS.

ELECTRIC HEATER SCHEDULE

MARK	SERVICE	TYPE	CFM	POWER	MOTOR AMPS	HEAT K.W.	STEPS	MODEL	ACC
EWH-1	BATHROOM	WALL	100	208/1	7.2	1.5	1	QMARK AWH4404F	1,2,3,4

- ACCESSORIES
1. INTEGRAL TAMPER PROOF THERMOSTAT.
 2. SECURITY COVER.
 3. MOUNTING FRAME KIT.
 4. FACTORY MOUNTED DISCONNECT SWITCH.

LEGEND

EXHAUST FAN WITH AIR GRILLE

UNDERCUT DOOR (3/4")

EXHAUST AIR DUCTWORK

NEW THERMOSTAT

EXISTING THERMOSTAT

ABBREVIATIONS

AFF

ABOVE FINISHED FLOOR

AFG

ABOVE FINISHED GRADE

ARCH

ARCHITECT

BMS

BUILDING MANAGEMENT SYSTEM

BTU

BRITISH THERMAL UNIT

CLG

CEILING

CFM

CUBIC FEET PER MINUTE

CRAC

COMPUTER ROOM AIR CONDITIONER

CONN

CONNECTION

CONST

CONSTRUCTION

DET

DETAIL

DIA

DIAMETER

DN

DOWN

DWG

DRAWING

EC

ELECTRICAL CONTRACTOR

FLR

FLOOR

G

GAS

GPM

GALLONS PER MINUTE

HP

HORSEPOWER

HGT

HEIGHT

HTG

HEATING

HVAC

HEATING VENTILATING AND AIR COND

INV

INVERT

KW

KILOWATTS

MBH

THOUSAND BTU PER HOUR

MCA

MIN. CIRCUIT AMPCAPACITY

MOP

MAX. OVERCURRENT PROTECTION

MTD

MOUNTED

NIC

NOT IN CONTRACT

NTS

NOT TO SCALE

OA

OUTSIDE AIR

ODP

OPEN DRIP PROOF

PVC

POLYVINYLCHLORIDE

RPM

REVOLUTIONS PER MIN.

S.P.

STATIC PRESSURE

TYP

TYPICAL

UTIL

UTILITY

WH

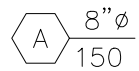
WATER HEATER

NG

NATURAL GAS

AIR DEVICE SCHEDULE

MARK	TYPE	STYLE	FACE	BASIS OF DESIGN
A	SUPPLY	SURFACE	12"	TITUS TMRA
B	RETURN	PERF, LAY-IN	12"x12"	TITUS PDR

- MARK  8"ø — NECK
150 — CFM
- NOTES:
1. FINISH TO MATCH ARCHITECTURAL.
 2. OPTIONAL VOLUME DAMPER ON ALL DIFFUSERS MOUNTED IN GYPSUM CEILINGS OR SOFFITS.
 3. PROVIDE ALL REQUIRED MOUNTING FRAMES AND HARDWARE.

GENERAL HVAC NOTES

- CONTRACTOR SHALL MAINTAIN A MIN. OF 10 FEET CLEARANCE BETWEEN OUTSIDE AIR INTAKES AND EXHAUSTS, PLUMBING VENTS, ETC.
- CONTRACTOR SHALL MAINTAIN RECOMMENDED CLEARANCES FOR MAINTENANCE, OPERATION, ETC. ON ALL MECHANICAL EQUIPMENT.
- CONTRACTOR SHALL COORDINATE ALL HVAC WORK WITH OTHER TRADES, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.
- ALL WORK SHALL BE IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND REGULATIONS.
- HVAC EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- COORDINATE EXACT LOCATION OF HVAC UNITS WITH ARCHITECTURAL DRAWINGS AND STRUCTURAL STEEL.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THERMOSTATS WITH OWNER.
- EXISTING HVAC SPLIT SYSTEMS TO REMAIN. SMALLER BACK APARTMENT TO BE REMOVED FROM BASEMENT HVAC UNIT EXCEPT WHERE NOTED. MODIFY CFM FOR BASEMENT UNIT AS NEEDED. NEW DUCTLESS SPLIT SYSTEM TO BE ADDED FOR BACK APARTMENT.

HVAC SPECIFICATIONS

NOTE: MANUFACTURERS' NAMES ON WHICH THIS SPECIFICATION IS BASED INDICATE THE MINIMUM QUALITY OF PRODUCT REQUIRED. SUBSTITUTION MAY BE MADE TO THOSE SPECIFIED IF DEEMED EQUIVALENT BY THE OWNER'S REPRESENTATIVE. ALL WORK AND PRODUCTS SHALL MEET THE REQUIREMENTS OF GOVERNING CODES.

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE CODES.
- SEE ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS. ALL CONDITION REQUIREMENTS SHALL APPLY UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED AS INDICATED ON DRAWINGS UNLESS FIELD CONDITIONS REQUIRED MINOR CHANGES BE MADE. MINOR CHANGES SHALL BE MADE WITH NO ADDITIONAL COST.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT DRAWINGS TO THE OWNER AND THE LANDLORD. AS-BUILT DRAWINGS SHALL INDICATE THE ACTUAL MANUFACTURER OF THE EQUIPMENT THAT WAS INSTALLED, THE EXACT LOCATION OF THE EQUIPMENT AND PERTINENT CAPACITIES FOR HEATING, COOLING, ELECTRICAL, ETC.
- DEFICIENCIES AND NON-CONFORMING ITEMS SHALL BE CORRECTED BY THE CONTRACTOR. FAILURE TO CORRECT SUCH ITEMS SHALL PERMIT THE OWNER TO CORRECT SAME AT A COST TO THE CONTRACTOR
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AND PAYING FOR SAME. HE SHALL INCLUDE IN HIS BID CHARGES FOR ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THE SPACE INCLUDING BUT NOT LIMITED TO LOCAL, COUNTY, OR STATE SERVICE CHARGES AND PERMIT FEES.
- THE SCOPE OF WORK OF THIS CONTRACT INCLUDES, BUT SHALL NOT BE LIMITED TO:
 - PROVIDE AND INSTALL ALL EQUIPMENT, APPLIANCES, CONTROL DEVICES, ACCESSORIES, MATERIAL AND LABOR.
 - PROVIDE AND INSTALL ALL DUCTWORK, INSULATION, AIR DEVICES DUCT ACCESSORIES, MATERIAL AND LABOR
 - PROVIDE AND INSTALL ALL PIPING, FITTINGS, VALVES, INSULATION, ACCESSORIES , MATERIAL AND LABOR
 - PROVIDE AND INSTALL TOILET EXHAUST SYSTEM INDICATED.
 - CLEAN, TEST AND PUT INTO SERVICE ALL SYSTEMS SPECIFIED.
 - PROVIDE A BALANCE REPORT PREPARED BY AN INDEPENDENT AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR.
 - WARRANTY ALL WORK AND MATERIALS HEREIN SPECIFIED FOR A PERIOD OF NOT LESS THAN ONE YEAR.
- MATERIALS
 - ALL MATERIALS SHALL BE NEW AND OF RECOGNIZED COMMERCIAL QUALITY. USED MATERIALS WILL NOT BE PERMITTED.
 - DUCTWORK

SHALL BE GALVANIZED SHEET METAL, FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF SMACNA – "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE".

DUCTWORK 18" WIDTH AND LARGER SHALL BE CROSS-BROKEN OR RIBBED AND STIFFENED SO THAT IT WILL NOT "BREATHE", RATTLE, VIBRATE OR SAG.

DUCTWORK 18" WIDTH AND LARGER SHALL BE CROSS-BROKEN OR RIBBED AND STIFFENED SO THAT IT WILL NOT "BREATHE", RATTLE, VIBRATE OR SAG.
 - FLEXIBLE DUCTWORK

FLEXIBLE DUCTS SHALL BE FLAT METAL SPIRAL WITH FLAME RESISTANCE PER NBFU AND NFPA STANDARDS. DUCTS SHALL HAVE INTEGRAL INSULATION 1" THICK, 3/4 LB. DENSITY GLASS FIBER ENCLOSED IN A VINYL VAPOR BARRIER.MINIMUM R VALUE = 5. SECURE INSULATED JACKET TO DUCT TAKEOFFS AND DIFFUSER COLLARS. MAXIMUM LENGTH OF FLEXIBLE DUCT IS 5'-0".

ALL FLEX DUCT SHALL BE FULLY STRETCHED OUT TO REDUCE AIR RESISTANCE.

CONNECTIONS TO FITTINGS OR AIR DEVICES SHALL BE MADE WITH TWO (2) STAINLESS STEEL BANDS. THE INNER LINER SHALL BE CLAMPED TIGHT WITH THE FIRST BAND, THEN THE INSULATION AND VAPOR-PROOF JACKET PULLED TO BE TIGHT AGAINST THE DUCT FITTING OR AIR DEVICE AND SECURED WITH THE SECOND BAND. INSTALLATION SHALL BE AS RECOMMENDED BY THE DUCT MANUFACTURER AND SMACNA

SUPPORT THE FLEXIBLE DUCT WITH ADEQUATE HANGERS TO RELIEVE STRAIN ON ANY FITTING. UNNECESSARY BENDS, SAGS, TWISTS., WILL NOT BE ALLOWED.
 - DUCT INSULATION

INSULATION SUPPLY AND RETURN AIR DUCTWORK WITH MINIMUM R=6 FOR NON-CONDITIONED SPACE AND MIN R=12 FOR OUTSIDE DUCTS IN ACCORDANCE WITH THE STATE ENERGY CONSERVATION CODE. PROVIDE VAPOR BARRIER.

LINED DUCT SHALL BE LINED WITH 1" THICK COATED FIBERGLASS BOARD EQUAL TO JOHNS MANVILLE "PERMACOTE" INSULATION. SHALL BE PER SMACNA STANDARDS AND MANUFACTURER'S INSTRUCTIONS. LINED DUCTWORK SHALL BE USED WHERE INDICATED ON DRAWING

ALL DUCT INSULATION SHALL BE UL LABELED FOR FIRE AND SMOKE RATINGS.

DUCT INSULATION SHALL BE EQUAL TO PRODUCTS MANUFACTURED BY CERTAINTED AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - AIR DEVICES

CEILING DIFFUSERS SHALL HAVE A FRAME STYLE COMPATIBLE WITH THE TYPE OF CEILING USED. THE DIFFUSER FACE SIZE OR FACE PLATE SIZE SHALL BE OF THE SAME NORMAL SIZE AS THE CEILING MODULE. DIFFUSERS SHALL HAVE HIGH ANTI-SMUDGE CHARACTERISTICS. REFER TO AIR DEVICE SCHEDULE.
 - PIPING AND FITTINGS

CONDENSATE DRAIN PIPING SHALL BE TYPE L COPPER WITH SOLDERED JOINTS AND WROUGHT COPPER FITTINGS.

10. EQUIPMENT

HVAC EQUIPMENT SHALL BE AS SCHEDULED ON THE DRAWINGS AND/OR SPECIFIED HEREIN. EQUIVALENT EQUIPMENT AND/OR COMPONENTS THEREOF MAY BE SUBSTITUTED FOR SPECIFIED EQUIPMENT ONLY AS APPROVED BY THE OWNER AND/OR THE PROJECT ENGINEER.

11. EXECUTION

11.1. GENERAL

ACCESSIBILITY – ALL EQUIPMENT SHALL BE INSTALLED IN SUCH A MANNER THAT ALL COMPONENTS REQUIRING ACCESS ARE LOCATED AND INSTALLED THAT THEY MAY BE SERVICED, RESET, REPLACED, OR RECALIBRATED, ETC., BY SERVICE PEOPLE WITH NORMAL SERVICE TOOLS AND EQUIPMENT.

WORK BY OTHER TRADES – FOR THE WORK REQUIRED BY OTHER TRADES FOR CHANGES MADE BY THIS CONTRACTOR IN TYPE OR SIZE OF EQUIPMENT PURCHASED, ANY CUTTING, PATCHING, FURRING, PAINTING, ELECTRICAL OR PLUMBING WORK SHALL BE DONE BY THE AFFECTED TRADE AT THIS CONTRACTOR'S EXPENSE.

EARLY START-UP – THIS CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS CONNECTED WITH ELECTRICAL POWER AS EARLY AS POSSIBLE SO THAT BALANCING AND TESTING CAN BEGIN AT THE EARLIEST DATE AVAILABLE.

CLEANING AND PAINTING – THOROUGHLY CLEAN ALL EQUIPMENT AND REMOVE ALL TRASH, CARTONS, ETC., FROM THE WORK AREA. MAKE ANY NECESSARY CORRECTIONS OR REPAIR/ REPLACE ANY DAMAGED MATERIALS OR EQUIPMENT. LEAVE THE ENTIRE SPACE IN A THOROUGHLY CLEAN AND ORDERLY MANNER. ANY FINISHED SURFACES THAT HAVE BEEN SCRATCHED OR DISCOLORED SHALL BE TOUCHED UP OR REPAINTED TO MATCH THE ORIGINAL COLOR. IF ANY PART HAS BEEN BENT, BROKEN OR OTHERWISE DAMAGED, IT SHALL BE REPLACED PRIOR TO PROJECT CLOSEOUT. ALL METAL ITEMS INSIDE THE BUILDING SUBJECT TO RUSTING, AND ALL FERROUS METAL EXPOSED TO THE WEATHER SHALL BE GIVEN ONE COAT OF RUST PREVENTIVE PRIMER AS SOON AS INSTALLED.

11.2. EQUIPMENT INSTALLATION

ALL EQUIPMENT AND RELATED PIPING, DUCTWORK, CONTROL WIRING AND ACCESSORIES SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING LINES AND, IF INSTALLED WITHIN WITHIN THE BUILDING ENVELOPE SHALL BE INSTALLED AS HIGH AS POSSIBLE TO ALLOW THE MAXIMUM AMOUNT OF HEADROOM. EQUIPMENT THAT REQUIRES ROUTINE MAINTENANCE SUCH AS FILTER REPLACEMENT SHALL BE INSTALLED AND ARRANGED TO BE ACCESSIBLE. PROVIDE ACCESS PANEL(S) AS REQUIRED AND/OR AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER. ALL EQUIPMENT SHALL BE INSTALLED WITH THE REQUIRED CLEARANCES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER OR AS REQUIRED BY GOVERNING CODES, WHICHEVER IS GREATER.

11.3. DUCTWORK

LOW PRESSURE DUCTWORK AND FITTING SHALL BE MADE TIGHT FOR MINIMUM AIR LEAKAGE. DUCT TAPE SHALL NOT BE USED TO SEAL JOINTS. TO MAKE TRANSITIONS OR FOR ANY OTHER REASON ON THE OUTSIDE OF THE WRAPPED INSULATION

INSTALL DUCTWORK AS HIGH AS POSSIBLE.

PROVIDE TURNING VANES AT ALL CHANGES IN DIRECTION.

PROVIDE VANED TEES AT BRANCH CONNECTIONS SERVING MORE THAN ONE DIFFUSER

PROVIDE VOLUME CONTROL DAMPERS AND BALANCING DEVICES AS REQUIRED TO DISTRIBUTE THE AIR AND AS INDICATED ON THE DRAWINGS.

NOTE: DUCT DIMENSIONS INDICATED ON THE DRAWINGS ARE INSIDE CLEAR, OR "FREE AREA" DIMENSIONS, CONTRACTOR SHALL MAKE ALLOWANCE FOR INTERNAL DUCT LINER (WHERE SPECIFIED) WHEN ORDERING PRE-FABRICATED DUCTWORK OR WHEN FABRICATING DUCTS IN THE FIELD.

11.4. AIR DEVICES

INSTALL ALL GRILLES AND DIFFUSERS TO BE FLUSH WITH THE PENETRATED SURFACE AND LEVEL OR STRAIGHT WITH SURROUNDING FEATURES. ALL CEILING MOUNTED AIR DEVICES SHALL BE LOCATED IN THE CEILING TILE INDICATED ON THE DRAWINGS, AT THE PROPER HEIGHT TO HOLD IT SNUG AGAINST THE CEILING.

12. INSTALL ROOF MOUNTED EQUIPMENT SUPPORT RAILS OR ROOF CURB AS REQUIRED FOR THE JOB CONDITIONS AND AS RECOMMENDED BY THE MANUFACTURER FOR THE INSTALLATION OF ROOF MOUNTED EQUIPMENT.

ALL ROOF PENETRATIONS FOR POWER AND CONTROL WIRING CONDUITS AND GAS, CONDENSATE, OR REFRIGERANT PIPING SHALL BE MADE WITH WATERPROOF PIPE SLEEVES OR CURB(S).

13. THIS CONTRACTOR SHALL ENGAGE THE SERVICES OF AN AABC OR NEBB CERTIFIED AIR BALANCE CONTRACTOR TO ADJUST AND COMPLETELY BALANCE THE INSTALLED SYSTEM(S) TO THE DESIGN AIR QUANTITIES. CONTRACTOR SHALL PROVIDE THE OWNER AND THE LANDLORD A COPY OF THE CERTIFIED AIR BALANCE REPORT SHOWING DESIGN AND MEASURED AIR QUANTITIES, STATIC PRESSURES, FAN MOTOR RPM AND MOTOR CURRENT. DEVIATION BETWEEN DESIGN AND MEASURED QUANTITIES SHALL NOT BE GREATER THAN 10%.

14. ALL MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTOR'S EXPENSE.

FOR THE SAME PERIOD, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE PREMISES BY DEFECTS IN HIS WORKMANSHIP OR WORK AND/OR EQUIPMENT INSTALLED BY OTHERS UNDER HIS CONTRACT.

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Apartments

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SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

SCHEDULES AND SPECIFICATIONS



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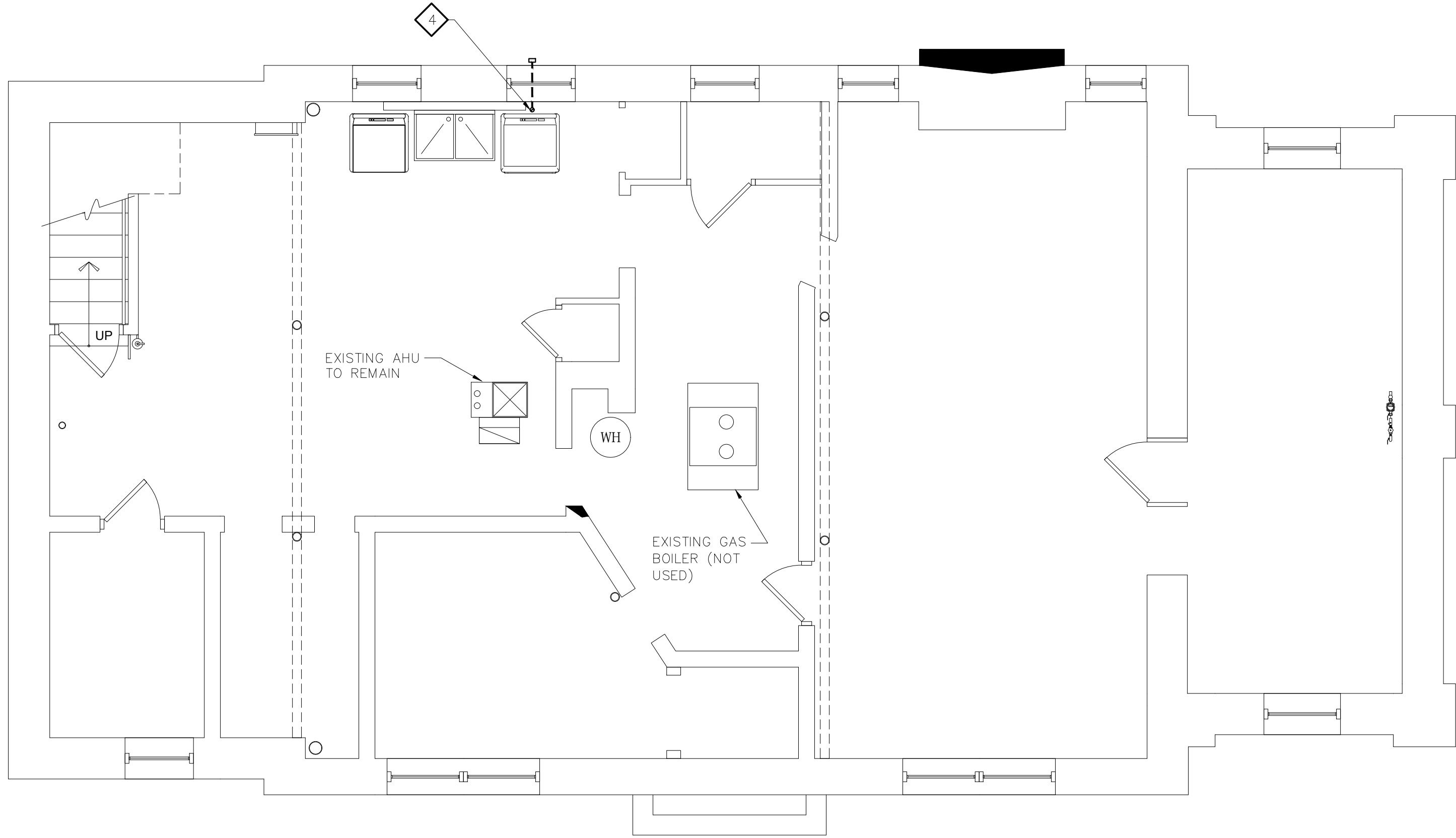
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M-100

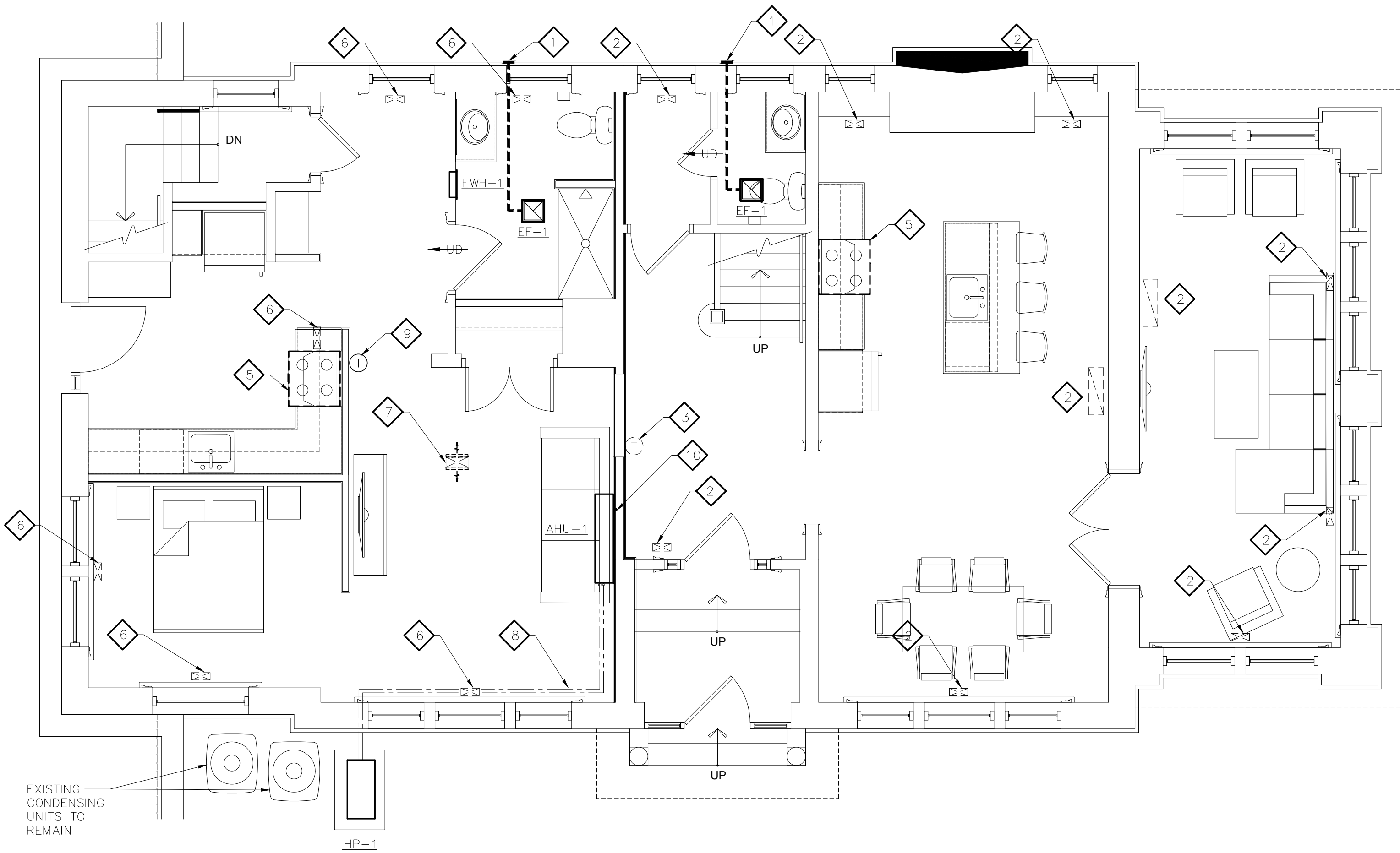
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Project # 25-01-12



1 BASEMENT PLAN
M-101 SCALE: 1/4" = 1'-0" NORTH



2 FIRST FLOOR PLAN
M-101 SCALE: 1/4" = 1'-0" NORTH

- # NOTES:
- NOTES PERTAIN TO THIS DRAWING ONLY.
- 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
 - EXISTING FLOOR REGISTER/GRILLE TO REMAIN.
 - EXISTING THERMOSTAT TO REMAIN.
 - CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
 - MICROWAVE/RECIRCULATING HOOD BY OTHERS.
 - REMOVE WALL/FLOOR REGISTER. CAP DUCT.
 - REMOVE TWO (2)WALL GRILLES AND DUCT RISER IN WALL. CAP DUCT IN BASEMENT.
 - RUN REFRIGERANT PIPING OUT TO CONDENSING UNIT ON GRADE.
 - PROVIDE THERMOSTAT MOUNTED AT 48"AFF. VERIFY EXACT LOCATION WITH OWNER
 - RUN CONDENSATE DOWN TO NEAREST DRAIN IN BASEMENT, COORDINATE LOCATION IN FIELD.

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SEAL:



TITLE:

BASEMENT AND
FIRST FLOOR
PLANS



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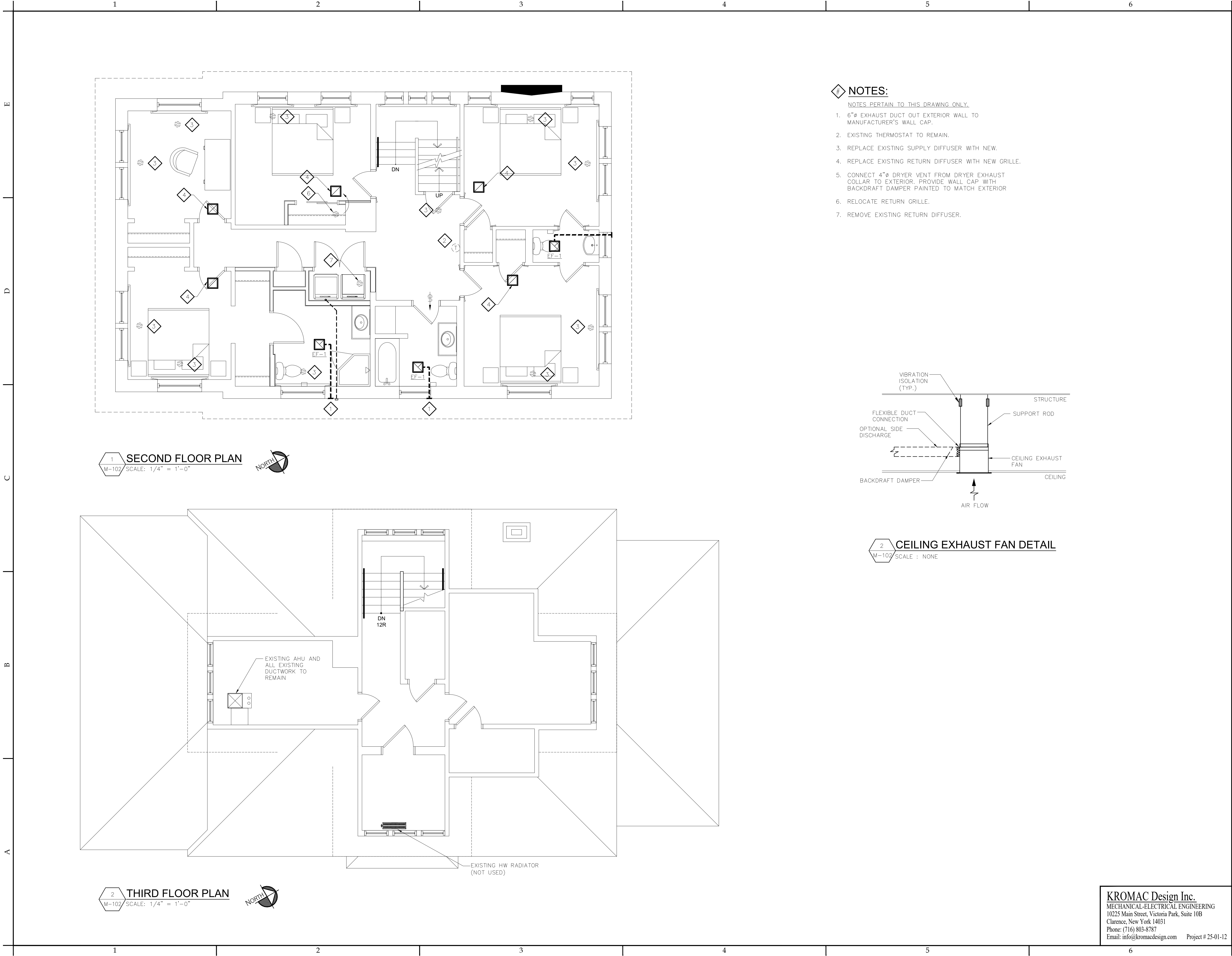
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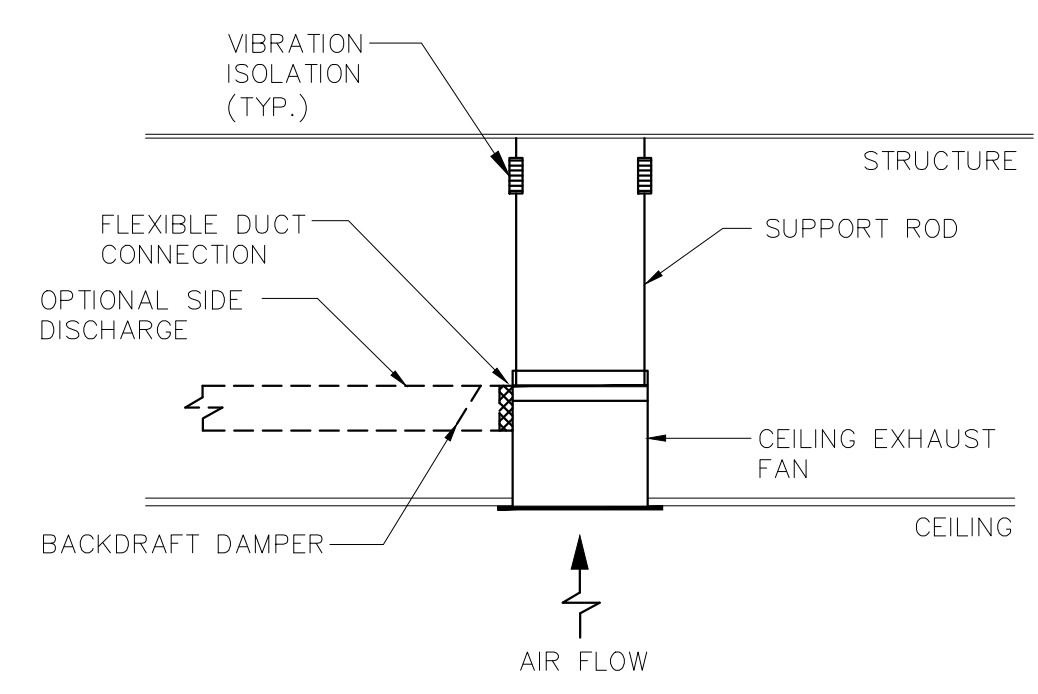
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- NOTES:**
NOTES PERTAIN TO THIS DRAWING ONLY.
- 6"Ø EXHAUST DUCT OUT EXTERIOR WALL TO MANUFACTURER'S WALL CAP.
 - EXISTING THERMOSTAT TO REMAIN.
 - REPLACE EXISTING SUPPLY DIFFUSER WITH NEW.
 - REPLACE EXISTING RETURN DIFFUSER WITH NEW GRILLE.
 - CONNECT 4"Ø DRYER VENT FROM DRYER EXHAUST COLLAR TO EXTERIOR. PROVIDE WALL CAP WITH BACKDRAFT DAMPER PAINTED TO MATCH EXTERIOR
 - RELOCATE RETURN GRILLE.
 - REMOVE EXISTING RETURN DIFFUSER.



2 CEILING EXHAUST FAN DETAIL
M-102 SCALE : NONE

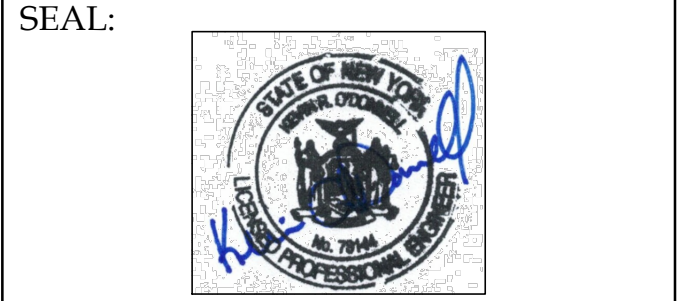
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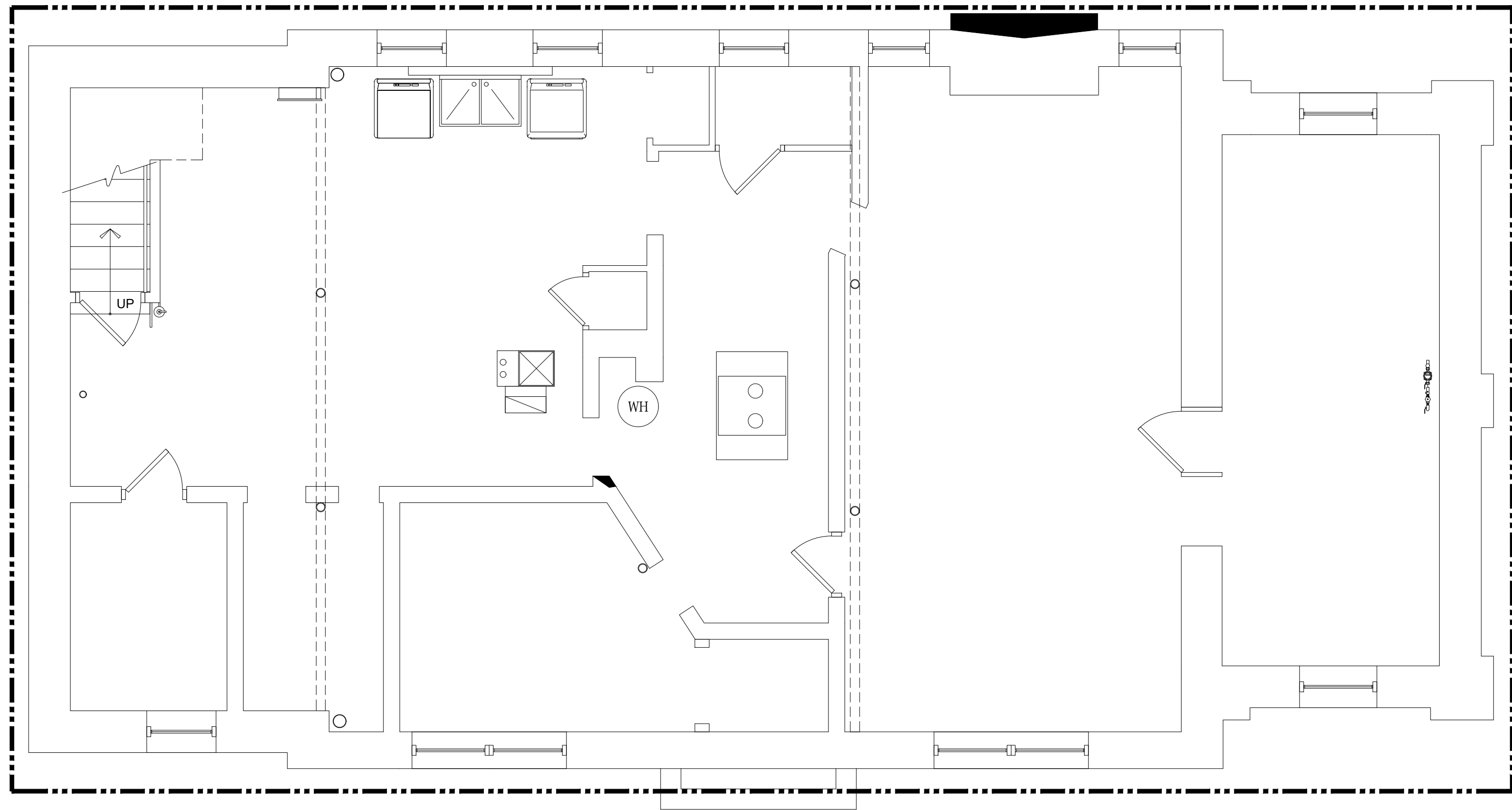
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SECOND AND THIRD FLOOR PLANS

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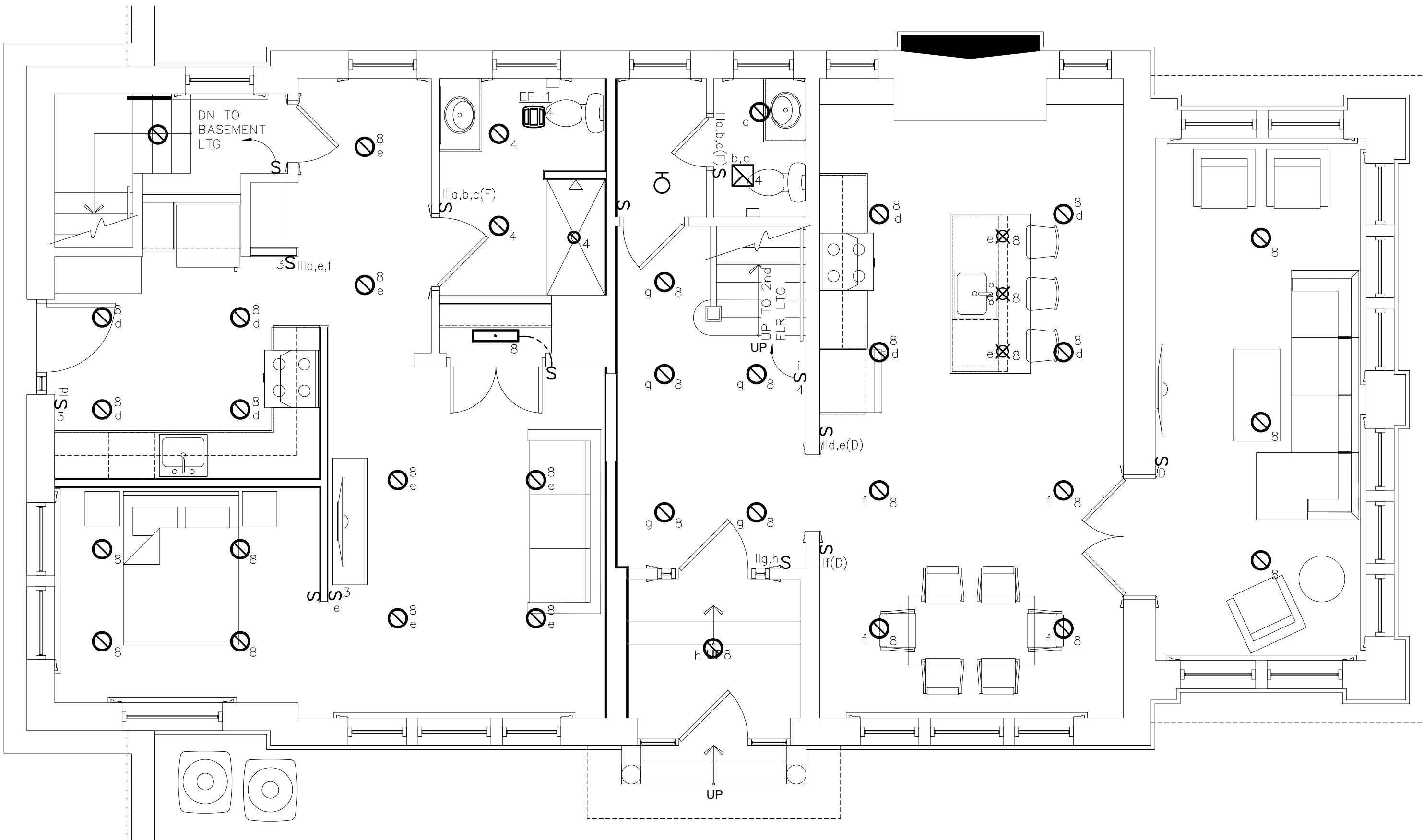
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LIGHTING LAYOUT TO BE
COMPLETED AND COORDINATED
AT LATER DATE

1 BASEMENT PLAN - LIGHTING
E-101 SCALE: 1/4" = 1'-0" NORTH



2 FIRST FLOOR PLAN - LIGHTING
E-101 SCALE: 1/4" = 1'-0" NORTH

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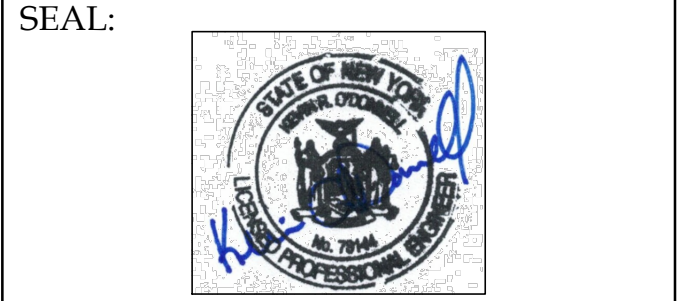
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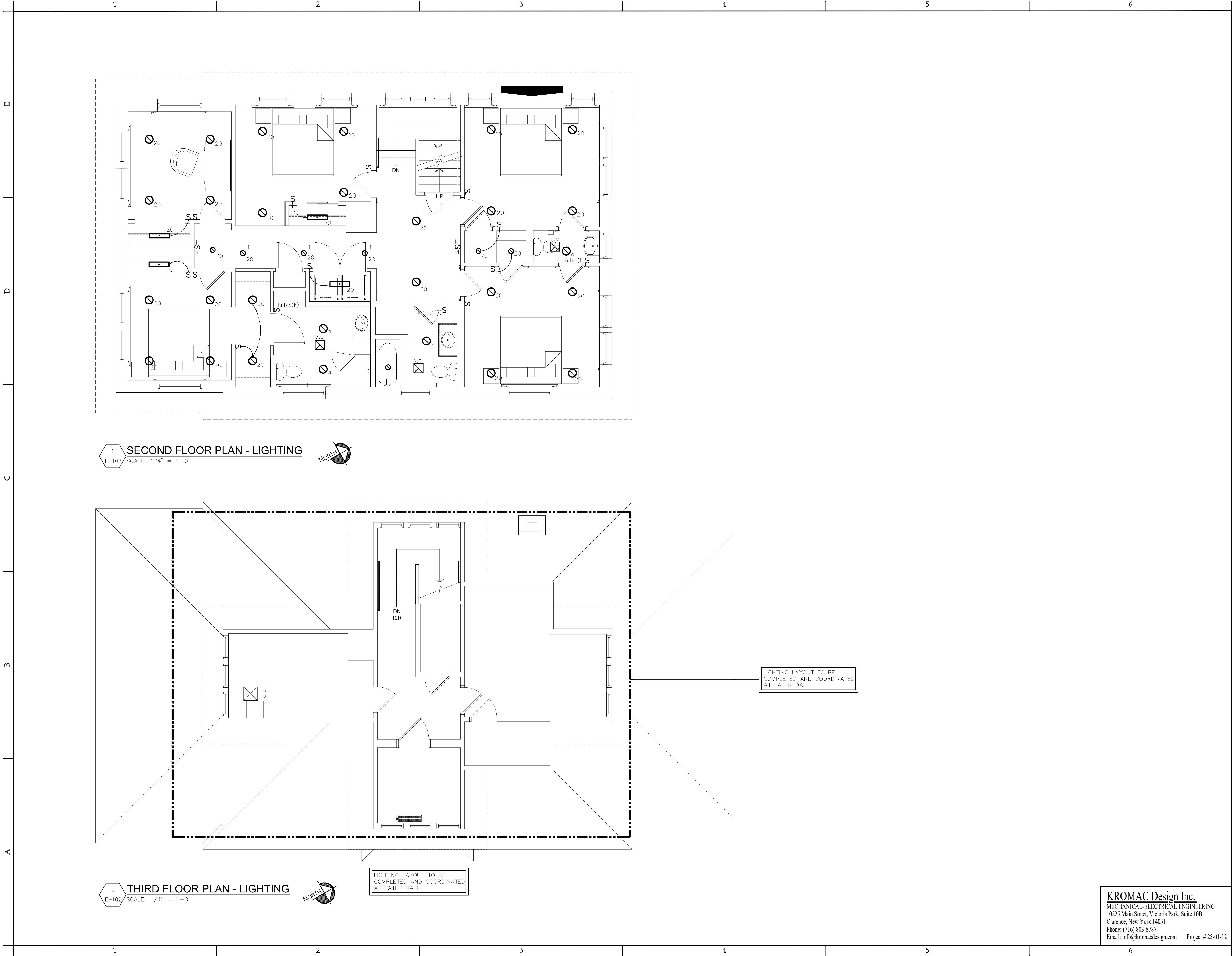
**ELECTRICAL
FLOOR PLANS -
LIGHTING**

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DRAWING #: **E-101**



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DOFI PROPERTIES

Humboldt Pkwy Apartments

85 Humboldt Parkway
Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:

**ELECTRICAL
FLOOR PLANS -
LIGHTING**

SA

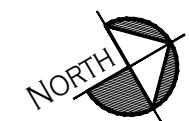
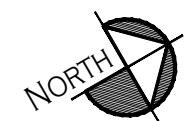
**SILVESTRI
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SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **E-102**

KROMAC Design Inc.
MECHANICAL-ELECTRICAL ENGINEERING
10225 Main Street, Victoria Park, Suite 10B
Clarence, New York 14031
Phone: (716) 803-8787
Email: info@kromacdesign.com Project # 25-01-12



- Second floor dryer only
Basement dryer to be gas

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SEAL:



TITLE:

ELECTRICAL FLOOR PLANS - POWER



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SA JOB #:

24101.01

DATE:

07-21-25

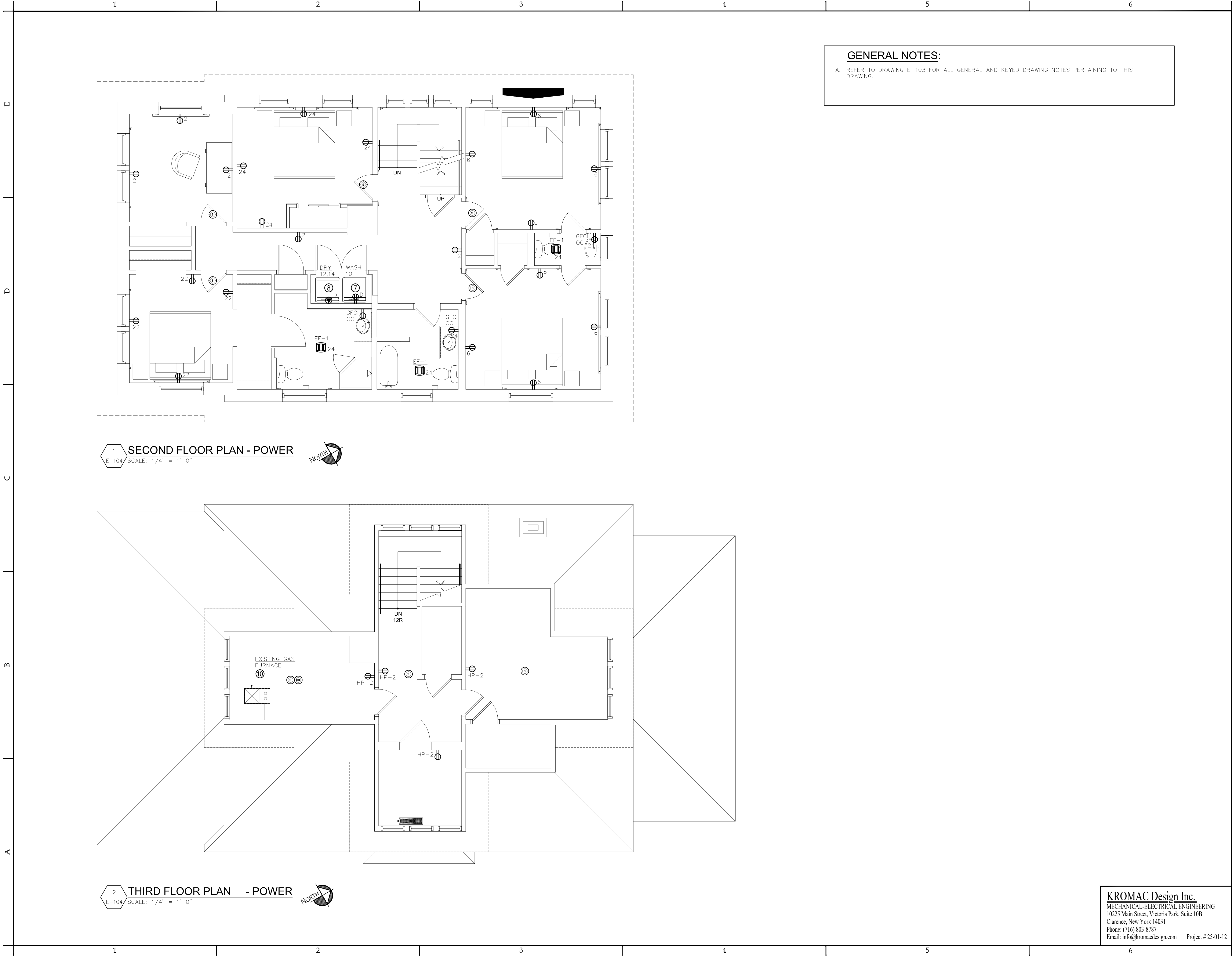
DRAWING #:

E-103

KROMAC Design Inc.

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Email: info@kromacdesign.com Project # 25-011

Project # 25-01-12



GENERAL NOTES:

A. REFER TO DRAWING E-103 FOR ALL GENERAL AND KEYED DRAWING NOTES PERTAINING TO THIS DRAWING.

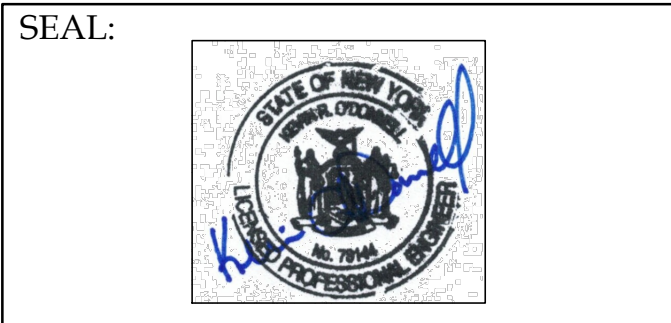
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ISSUE:

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JOB CAPT. D.Garry INTERIORS A.Nagle



TITLE:
**ELECTRICAL
FLOOR PLANS -
POWER**



SA JOB #: **24101.01** DATE: **07-21-25**

DRAWING #: **E-104**

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MECHANICAL EQUIPMENT CONNECTION SCHEDULE												
EQUIPMENT / MOTOR DATA						SOURCE PROTECTION DEVICE				BRANCH CIRCUIT CONDUIT & WIRE	REFERENCE NOTES	
EQUIPMENT DESIGNATION RTU-1 (M)	LOCATION	HP	MCA	PHASE	VOLTS	BREAKER	POLE	PANELBOARD SOURCE	CIRCUIT NO.	QUANTITIES AND SIZE		
AHU-1	INDOOR UNIT					INDOOR UNIT "AHU" IS FED FROM THE OUTDOOR UNIT "HP"						1.2
HP-1	OUTDOOR UNIT	-	16.0	1	230	30	1	EXISTING	VERIFY	2#10 & 1#10 IN 3/4" C	1.2	
EW-1	WALL HEATER	-	7.2A	1	208	20	1	AP	VERIFY	2#12 & 1#12 IN 1/2" C	1	
EF-1	EXHAUST FAN	-	20.0W	1	115	20	1	AP	VERIFY	2#12 & 1#12 IN 1/2" C	1.3	

A. EC SHALL BE RESPONSIBLE TO VERIFY ALL CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERES, ETC.) OF MECHANICAL EQUIPMENT PRIOR TO CONNECTION AGAINST APPROVED SHOP DRAWINGS.

WIRING SCHEDULE REFERENCE NOTES

1. EC SHALL PROVIDE AND INSURE

2. EC SHALL PROVIDE DISCONNECT SWITCH FOR OUTDOOR AND INDOOR UNIT PER NEC. COORDINATE LOCATION WITH MECHANICAL EQUIPMENT INSTALLER.
3. FAN CONTROLLED BY WALL SWITCH.



EXISTING ELECTRIC PANEL TO BE
RE-USED. FIELD VERIFY EXISTING
CONDITIONS PRIOR TO START OF
CONSTRUCTION. CIRCUIT SHOWN ARE
FOR REFERENCE ONLY

SECOND FLOOR

FIRST FLOOR



E-105 SCALE : NONE

A. ELECTRICAL CONTRACTOR TO COORDINATE WITH LANDLORD AND UTILITY COMPANY TO PROVIDE TENANT SERVICE ENTRANCE UTILITY CONNECTION PRIOR TO INSTALLATION. REFER TO SHELL DOCUMENTS AND VERIFY EXACT LOCATION ON BUILDING AS FIELD REQUIRES.

B. EXISTING SERVICE GROUND PROVIDED BY LANDLORD IN ACCORDANCE WITH N.E.C. ARTICLE 250

C. E.C. SHALL VERIFY "HOT" OR "COLD" METERING SEQUENCE WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.

D. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE FAULT CURRENT WITH LOCAL UTILITY COMPANY PRIOR TO PURCHASING EQUIPMENT.

E. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT FROM LOCAL UTILITY PRIOR TO COMMENCING WORK AND PROVIDE A LETTER FROM THE UTILITY TO THE LOCAL ELECTRIC INSPECTOR STATING THE AVAILABLE FAULT CURRENT. ALL EQUIPMENT SHALL MATCH THE REQUIRED AIC RATINGS.

1. NEW UTILITY METERS, COORDINATE EXACT REQUIREMENTS WITH LOCAL UTILITY
2. DISCONNECT SWITCH SHALL BE RATED AS SERVICE ENTRANCE EQUIPMENT, 320A, 600V, 1P, NEMA 3R, HEAVY DUTY TYPE, FUSED WITH A MINIMUM 22,000 ACI FUSES, SOLID NEUTRAL, AND EQUIPMENT GROUNDING KITS. SQUARE 'D' CLASS 3110 OR APPROVED EQUAL.
3. REFER TO PANELBOARD SCHEDULES (THIS DRAWING) FOR ADDITIONAL INFORMATION.
4. PROVIDE 1" CONDUIT FROM MAIN PHONE BOARD TO EACH TENANT SPACE WITH PULL STRINGS, COORDINATE EXACT ROUTING TO SPACE IN FIELD. COORDINATE TERMINATION POINT WITH OWNER IN FIELD.
5. COORDINATE EXACT ROUTING IN FIELD PRIOR TO INSTALLATION.

● CONTRACTOR SHALL PROVIDE AN ALTERNATE PRICE FOR ALUMINUM CONDUCTORS

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Humboldt Pkwy Apartments

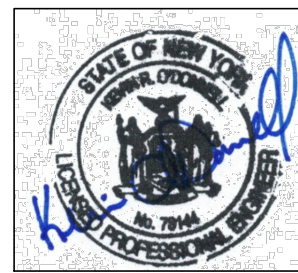
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JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL



TITLE:

ELECTRICAL DETAILS AND SCHEDULES



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SA JOB #:

24101.01

DATE:

07-21-25

DRAWING #:


E-105


	1	2	3	4	5	6
	ELECTRICAL SPECIFICATIONS					
	BASIC ELECTRICAL REQUIREMENTS					
E	A. THE INSTRUCTIONS TO BIDDERS, FORM OF BID, FORM OF CONTRACT, GENERAL CONDITIONS, SUPPLEMENTARY GENERAL CONDITIONS AND THE CONTRACT DRAWINGS ARE A PART OF THE SPECIFICATIONS FOR THIS DIVISION OF WORK AND THIS CONTRACTOR SHALL REFER TO THEM FOR INSTRUCTIONS PERTAINING TO HIS WORK.					
	B. "THE CONTRACTOR", "THIS CONTRACTOR", "EC", AND "DIVISION 16", AS USED IN THESE DRAWINGS AND SPECIFICATIONS, MEANS THE ELECTRICAL CONTRACTOR. "FURNISH AND INSTALL", "SUPPLY", AND "INSTALL", AS USED IN THESE SPECIFICATIONS, MEANS A COMPLETE AND WORKABLE INSTALLATION BY THE E.C.					
	C. WHERE SPECIFICATIONS AND/OR DRAWINGS CONFLICT WITH ANY CODE REQUIREMENT, CODE REQUIREMENTS SHALL BE FOLLOWED.					
D	D. CODES AND STANDARDS: 1. NEW YORK STATE BUILDING CODE 2. NFPA STANDARDS 3. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES 4. STATE CONSERVATION CONSTRUCTION CODE 5. LATEST ADOPTED NATIONAL ELECTRICAL CODE					
	E. THE ELECTRICAL SYSTEMS COVERED BY THIS CONTRACT INCLUDE, BUT ARE NOT LIMITED TO: 1. BRANCH CIRCUIT WIRING AND RACEWAYS 2. WIRING DEVICES 3. DISCONNECTS 4. MOTOR STARTERS AND MOTOR STARTING EQUIPMENT 5. GROUNDING AND BONDING 6. LIGHTING FIXTURES AND LAMPS 7. ELECTRICAL DISTRIBUTION SYSTEM, INCLUDING PANELBOARDS, OVERCURRENT DEVICES, AND FEEDERS 8. EXISTING CONSTRUCTION AND COORDINATION OF DEMOLITION WORK 9. CONNECTIONS TO HVAC, PLUMBING, FIRE PROTECTION, AND ALL OTHER ELECTRICALLY SUPPLIED EQUIPMENT, CONTROLS, CONTROL PANELS, MOTOR STARTERS, MOTOR STARTING EQUIPMENT AND DISCONNECTS NOT FURNISHED UNDER HVAC, PLUMBING, FIRE PROTECTION, OR OTHER CONTRACTS					
	F. PAY FOR ALL PERMITS, INSPECTION FEES, LICENSES AND FOR TESTS WHICH MAY BE REQUIRED IN DETERMINING THE COMPLETENESS OF THE ELECTRICAL WORK.					
C	G. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL).					
	H. ALL ELECTRICAL PRODUCTS USED ON THIS PROJECT SHALL CONFORM TO APPLICABLE STANDARD OF THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).					
	I. ALL ELECTRICAL INSTALLATION AND PRODUCTS USED ON THIS PROJECT SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC).					
B	J. THE PLANS SHOW THE APPROXIMATE LOCATION OF ALL PARTS OF THE WORK. THE ARCHITECT WILL GIVE EXACT LOCATIONS. WHERE STRUCTURAL CONDITIONS ENCOUNTERED NECESSITATE MINOR CHANGES, THESE SHALL BE MADE WITHOUT CHARGE, BUT MUST MEET WITH THE APPROVAL OF THE ARCHITECT. WHERE MAJOR CHANGES ARE REQUIRED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH THE WORK.					
	K. NOTIFY THE ARCHITECT, AND OBTAIN APPROVAL, BEFORE ANY COMPONENTS OF THE ELECTRICAL SYSTEM ARE CONCEALED BY CLOSING OFF AREAS, POURING CONCRETE, ETC.					
	L. DETERMINE AND BE RESPONSIBLE FOR PROPER SIZE AND LOCATION OF OPENINGS AND CHASES, AND GIVE GENERAL CONTRACTOR NOTICE OF REQUIREMENTS. INSTALL ALL SLEEVES NECESSARY FOR THE WORK. WHEREVER ANY RACEWAY PASSES THROUGH A WALL, THE OPENING SHALL BE SEALED TIGHT AGAINST THE RACEWAY BY THIS CONTRACTOR. RACEWAYS THROUGH FOUNDATION WALLS AND ROOFS SHALL BE SEALED WATER TIGHT BY THIS CONTRACTOR.					
A	M. THIS CONTRACTOR SHALL DO ALL NECESSARY CUTTING AND PATCHING WHICH IS NOT CALLED TO BE DONE UNDER ANOTHER DIVISION. ALL CUTTING AND REPAIRING SHALL BE PERFORMED BY SKILLED WORKERS.					
	N. PAINT ALL EXPOSED RACEWAYS IN FINISHED ROOMS WITH TWO COATS OF PAINT TO MATCH SURROUNDINGS. INSTALL PANELBOARD TRIMS, CABINETS, ENCLOSURES, ETC., IN SUFFICIENT TIME SO THAT THE PAINTING CONTRACTOR MAY PAINT THESE SURFACES WITH THE WALLS. THIS CONTRACTOR SHALL PAY FOR ALL NECESSARY PAINTING IF THE ABOVE PROCEDURE IS NOT FOLLOWED.					
	O. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POWER AND LIGHTING REQUIRED FOR THE CONSTRUCTION THE SCOPE SHALL INCLUDE, BUT NOT LIMITED TO: 1. TEMPORARY POWER DISTRIBUTION 2. LAMP SOCKETS AND LAMPS 3. OUTLETS AND CONSTRUCTION EQUIPMENT CONNECTION INCLUDING WELDERS 4. REMOVAL OF TEMPORARY DISTRIBUTION AFTER COMPLETION OF CONSTRUCTION					
B	P. THE ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS IN SUCH A MANNER THAT THE EXPANSION JOINTS OF THE BUILDING WILL FUNCTION PROPERLY AND NOT STRESS ANY ELECTRICAL RACEWAYS. EXPANSION JOINTS SHALL BE INSTALLED IN ALL RACEWAYS AT THE EXPANSION JOINTS OF THE BUILDING.					
	Q. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS; ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.					
	R. PROVIDE PRODUCT DATA, CATALOG CUT SHEETS WITH MFG. SPECIFICATIONS FOR REVIEW BY ARCH./ENGR. FOR THE FOLLOWING ITEMS: 1. PANELBOARDS 2. SAFETY DISCONNECT SWITCHES 3. OUTLET BOXES 4. FITTINGS 5. LIGHTING FIXTURES 6. LAMPS 7. CONDUCTORS 8. DEVICES 9. TIME SWITCHES 10. TRANSFORMERS 11. FIRE ALARM SYSTEM					
A	S. PROVIDE (3) SUBMITTAL COPIES FOR EACH ITEM LISTED ABOVE.					
	T. MAINTAIN THROUGHOUT PROJECT A SET OF PLANS WHICH ACCURATELY PORTRAY THE ACTUAL INSTALLATION, INCLUDING LOCATION OF ALL WIRING, EQUIPMENT, CIRCUIT NUMBERS, ETC. TURN OVER TO OWNER AT COMPLETION OF JOB.					
	U. TERMINALS: ALL ELECTRICAL EQUIPMENT FURNISHED ON THIS PROJECT SHALL HAVE TERMINALS RATED FOR 75° C OPERATION.					
	RACEWAYS AND FITTINGS					
A	A. WHERE CALLED FOR ON THE DRAWINGS, FLOOR OUTLET BOXES AND POKE-THROUGH DEVICE SHALL BE AS MANUFACTURED BY HUBBELL, WALKER, OR LEW.					
	B. WIRING AND RACEWAYS SHALL BE CONCEALED IN ALL ROOMS AND SPACES UNLESS OTHERWISE NOTED.					
	C. ALL FEEDERS AND BRANCH CIRCUIT HOMERUNS SHALL BE INSTALLED IN EMT. WHERE ALLOWED, BRANCH CIRCUITS MAY BE TYPE MC CABLE BETWEEN HOMERUN JUNCTION BOX AND EQUIPMENT/DEVICE CONNECTION IN DRYWALL PARTITIONS ONLY. HOMERUN JUNCTION BOX TO BE A MAXIMUM OF 20 FT. FROM EQUIPMENT/DEVICE.					
A	D. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	EE. BOXES INSTALLED IN FINISHED CEILINGS, WALLS OR COLUMNS SHALL BE SET SO THAT THE FRONT EDGE OF THE BOX SHALL BE FLUSH WITH FINISHED CEILINGS, WALLS OR COLUMNS.					
	FF. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SPECIFIED HEREIN, RECEPTACLE OUTLET CENTERLINES SHALL BE INSTALLED 18" ABOVE THE FLOOR.					
A	GG. PROVIDE FIRESTOPPING TO CABLE AND RACEWAY PENETRATIONS OR FIRE-RATED FLOOR AND WALL ASSEMBLIES TO ACHIEVE FIRE-RESISTANCE RATING OF THE ASSEMBLY.					
	H. THE CONTRACTOR SHALL FURNISH AND INSTALL JUNCTION BOXES, PULLBOXES, AND CABLE SUPPORT BOXES AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS OTHERWISE REQUIRED. BOXES SHALL BE SECURED IN POSITION INDEPENDENTLY OF CONDUITS ENTERING THEM BY MEANS OF BOLTS, ROD HANGERS, BRACKETS, OR OTHER APPROVED METHODS. OUTLET BOXES SHALL BE SECURELY FASTENED TO CEILINGS, WALLS OR COLUMNS.					
	I. MANUFACTURERS: HUBBELL, PASS & SEYMOUR, LEVITON.					
	SAFETY DISCONNECT DEVICES					
A	A. DISCONNECT DEVICES RATING SHALL BE AS SHOWN ON THE DRAWINGS. HEAVY-DUTY, "QUICK-MAKE, QUICK-BREAK", SAFETY SWITCHES WITH INTERLOCKING COVER, CONSTRUCTED OF CAGE STEEL (UL 98). ENCLOSURES SHALL BE TREATED WITH RUST INHIBITING PHOSPHATE AND FINISHED IN GRAY BAKED ENAMEL.					
	B. DISCONNECTS SHALL BE FUSED OR NON-FUSED AS INDICATED ON THE DRAWINGS, OR AS REQUIRED BY NEC. NUMBER OF POLES, WITH OR WITHOUT SOLID NEUTRAL, SHALL BE AS INDICATED ON THE DRAWINGS, OR AS REQUIRED.					
	C. ENCLOSURES FOR INDOOR USE SHALL BE NEMA 1; ENCLOSURES FOR EXTERIOR USE SHALL BE NEMA 3R, ENCLOSURES FOR HAZ. LOCATIONS SHALL BE CLASS II DIV. 1 LISTED.					
A	D. DISCONNECTS SHALL REQUIRE THE USE OF A SCREWDRIVER FOR ACCESS TO INTERIOR WITHOUT OPENING CONTACTS.					
	E. DISCONNECTS SHALL HAVE PROVISIONS FOR PADLOCKING THE SWITCH IN THE "OFF", OR "OPEN" POSITION.					
	F. ACCEPTABLE MANUFACTURERS ARE SQUARE D, ITE, WESTINGHOUSE, OR GENERAL ELECTRIC.					
A	G. FURNISH A SAFETY DISCONNECT DEVICE ON ALL EQUIPMENT CONNECTIONS WHERE INDICATED ON THE DRAWINGS, OR AS REQUIRED BY CODE.					
	H. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	I. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC.ART 250. USE COPPER CONDUCTORS.					
A	J. NAMEPLATES SHALL BE PLASTIC LAMINATE WITH WHITE BACKGROUND AND 1/4" BLACK ENGRAVED LETTERS WITH THE TITLE OF THE EQUIPMENT THAT IS FED. NAMEPLATES SHALL BE ATTACHED USING RIVETS OR NUTS, WASHERS, AND BOLTS.					
	K. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	L. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	GROUNDING					
A	A. GROUND SERVICE, EQUIPMENT, CIRCUITS PER NEC.ART 250. USE COPPER CONDUCTORS.					
	B. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	C. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
A	D. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	E. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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A	G. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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	L. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
A	M. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	N. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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A	P. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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A	S. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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	W. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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A	BO. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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	BS. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	BT. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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	BV. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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	CQ. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
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A	CS. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	CT. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO ITS DESIGNATED STRUCTURAL SUPPORT. BEAM CLAMPS, UNISTRUT AND BOLTED WASHERS COMPRISE ACCEPTABLE FASTENING MEANS.					
	CU. DISCONNECTS SHALL BE MOUNTED TO PERMANENT STRUCTURAL ELEMENTS WITH APPROVED FASTENING MEANS. DISCONNECTS SHALL NOT BE FASTENED BY WELDING THE ENCLOSURE TO					

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Project # 25-01-12

B
D
C
B
A

PLUMBING FIXTURE SCHEDULE

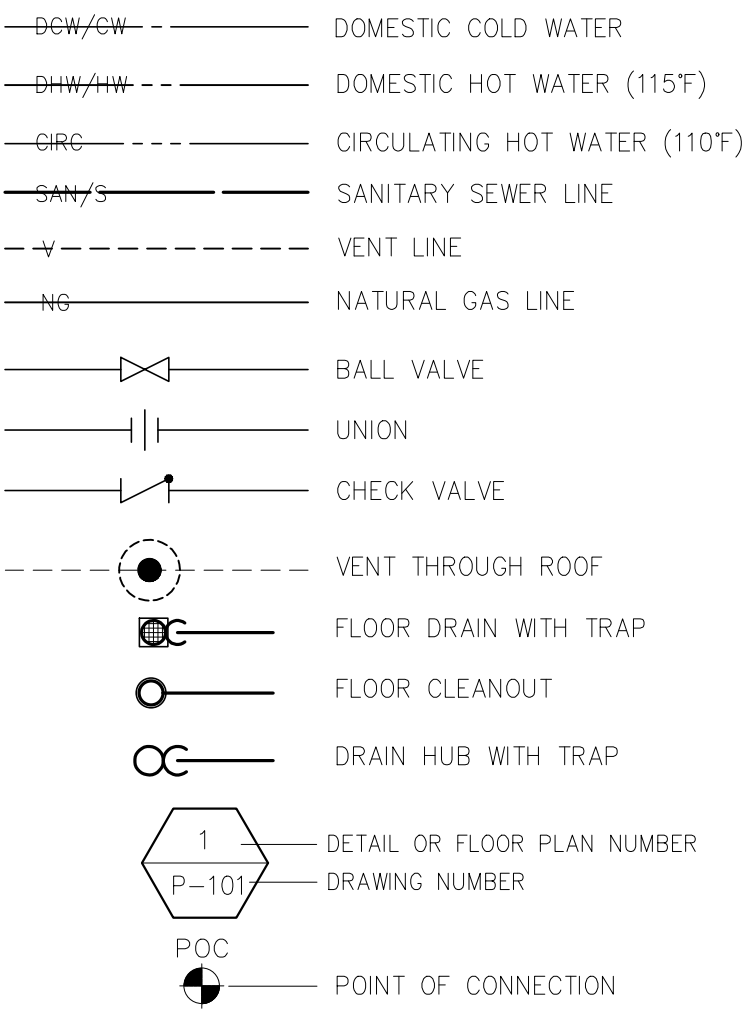
MARK	FIXTURE	SYMBOL	DRAINAGE		WATER			REMARKS
			SAN	VENT	CW	HW	TW	
WC1	WATER CLOSET -BATHROOM -10" ROUGH-IN -- -- --		3"	2"	1/2"	-	-	MANUFACTURER: MANSFIELD, GERBER, KOLHER MODEL: PER OWNER FLUSH TANK TYPE TOILET, 1.28 GPF WITH SLOW CLOSED SEAT AND CLOSED TOILET SEAT
LV1	LAVATORY -BATHROOM -COUNTER MOUNT -- -- --		1-1/2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: MANSFIELD, GERBER, KOLHER MODEL: PER OWNER, OVAL, COUNTER MOUNT FAUCET: 4" CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN)
LV2	LAVATORY -BATHROOM -WALL MOUNT -- -- --		1-1/2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: MANSFIELD, GERBER, KOLHER MODEL: PER OWNER, OVAL, WALL MOUNT FAUCET: 4" CENTER, 1.5 GPM AND POP-UP DRAIN (SYMMONS, DELTA, MOEN)
SH1	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR, SIZE PER ARCHITECTURAL PLANS, FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)
SH2	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), BASE AND SURROUND WITH SHOWER DOOR, SIZE PER ARCHITECTURAL PLANS, FAUCET: FIXED SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, GRID DRAIN (SYMMONS, DELTA, MOEN)
BT1	SHOWER -BATHROOM -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: CLARION, AMERICAN STANDARD, AQUATIC MODEL: (LEFT/RIGHT), TUB-SHOWER, 60"x32"x72" HIGH, FAUCET: SHOWER HEAD (1.5 GPM), SINGLE HANDLE, PRESSURE BALANCING MIXING VALVE, TUB/SHOWER WITH STOPS AND DIVERTER SPOUT (SYMMONS, DELTA, MOEN)
KS1	KITCHEN SINK -KITCHEN -SINGLE BOWL -- -- --		2"	1-1/2"	1/2"	1/2"	-	MANUFACTURER: ELKAY, DAYTON, KOLHER MODEL: PER OWNER, SINGLE BOWL, COUNTER MOUNT FAUCET: SINGLE HANDLE WITH HOSE SPRAY, 8" CENTER, 1.5 GPM AND DRAIN (SYMMONS, DELTA, MOEN)
DW1	DISHWASHER -- -- --		1" DRAIN TO KS1	-	-	1/2"	-	MANUFACTURER: PER OWNER MODEL: PER OWNER PROVIDED BY OWNER, INSTALLED BY PLUMBING CONTRACTOR
WMB	WASHER MACHINE BOX -PROVIDE WATER HAMMER ARRESTER (WHA) -BASEMENT -- -- --		2"	2"	1/2"	1/2"	-	MANUFACTURER: OATEY WASHING MACHINE BOX (2) 1/4 TURN BALL VALVES AND ONE 2" CENTER DRAIN WITH DRAIN PAIN AND 1" DRAIN
IMB	ICE MACHINE BOX -KITCHEN -- -- --		-	-	1/2"	-	-	MANUFACTURER: OATEY VALVE BOX (1) 1/4 TURN BALL VALVE
AAV	AIR ADMITTANCE VALVE -KITCHEN ISLAND SINK -- -- --		-	-	-	-	-	MANUFACTURER: OATEY SIZE PER DRAWING (PROVIDED AND INSTALLED BY PLUMBER)
WH1	WATER HEATER (EXISTING) -40 GAL. -NATURAL GAS -FOR 1-BED UNIT -- -- --		-	-	3/4"	3/4"	-	MANUFACTURER: EXISTING 40 GAL RUUD, NATURAL GAS (RECONNECTED/INSTALLED BY PLUMBER)
WH2	WATER HEATER (NEW) -47 GAL. ELECTRIC -FOR 4-BED UNIT -- -- --		-	-	3/4"	3/4"	-	MANUFACTURER: BRADFORD WHITE MODEL: RE250S6+, 3.0 KW/3.0 KW 240V, 1 PHASE, 0.91 UEF, 47 GAL., SET TO 120°F, 14 GAL. REC. @ 90°F RISE, ELECTRIC HEATER (VITRAGLAS TANK LINING WITH MICROBAN) WITH INSULATED BLANKET AND DRAIN PAN (OATEY ALUMINUM) 1" CPVC DRAIN LINE TO FLOOR DRAIN WITH 2" AIR GAP AMTROL MODEL: ST-5 EXPANSION TANK
MV1	MIXING VALVE -WH1 & WH2 -- -- --		-	-	3/4"	3/4"	3/4"	CALEFFEL - MODEL 5213959A - HOT WATER TEMPERATURE CONTROL VALVE WITH BRONZE BODY CONSTRUCTION, SOLID WAX HYDRAULIC PRINCIPLE THERMOSTAT THAT CONTROLS BOTH HOT AND COLD WATER, INTEGRAL FILTER WASHERS AND CHECK VALVES, AND ADJUSTMENT CAP WITH LOCKING FEATURE SET TO PROVIDE MAXIMUM 110 DEG. F HOT WATER TO THE LAVATORY FAUCETS
WHY	WALL HYDRANT -NON-FREEZE -- -- --		-	-	3/4"	-	-	MANUFACTURER: MIFAB MODEL: WHY-20 -PROVIDE EXTRA KEY (OR APPROVED EQUAL)

PLUMBING FIXTURE NOTE:
ALL PLUMBING FIXTURES TO BE APPROVED BY BUILDING OWNER REPRESENTATIVE PRIOR TO ORDERING.

PLUMBING FIXTURE NOTES:

- ROUGH ACCORDING TO ABOVE SCHEDULE UNLESS OTHERWISE INDICATED ON DRAWINGS.
- PROVIDE ALL ACCESSORIES REQUIRED FOR A COMPLETE PLUMBING INSTALLATION AS SPECIFIED IN SPECIFICATIONS AND ON DRAWINGS.
- PROVIDE ACCESS PANEL ON ALL NON-ACCESSIBLE CEILINGS BELOW PLUMBING VALVES.
- REFER TO DRAWINGS FOR ADDITIONAL PLUMBING EQUIPMENT SPECIFICATIONS.
- PLUMBING FIXTURES (TOILETS, LAVATORIES, SHOWERS, TUB/SHOWERS, KITCHEN SINKS AND ACCESSORIES) TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.

LEGEND



ABBREVIATIONS

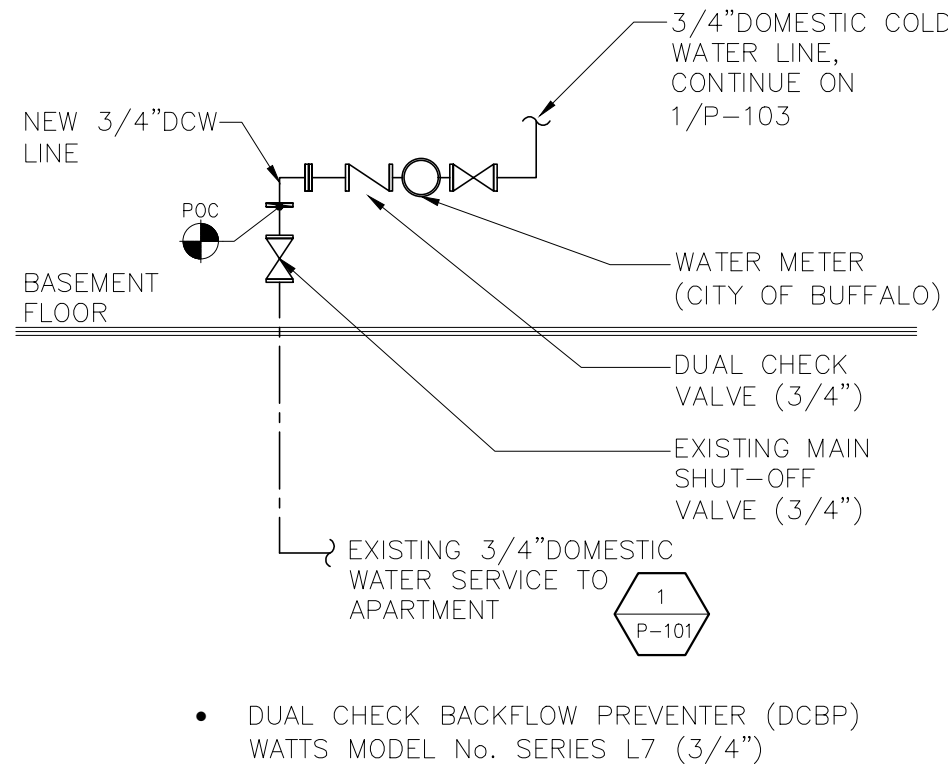
- DCW/CW DOMESTIC COLD WATER
DHW/HW DOMESTIC HOT WATER
TW TEMPERED WATER
CIRC CIRCULATING HOT WATER
NG NATURAL GAS
SAN/S SANITARY SEWER
V/VT VENT
VTR VENT THROUGH ROOF
FCO FLOOR CLEANOUT
WCO WALL CLEANOUT
POC POINT OF CONNECTION
SOV SHUTOFF VALVE
AFF ABOVE FINISHED FLOOR
BFF BELOW FINISHED FLOOR
AFG ABOVE FINISHED GRADE
BFG BELOW FINISHED GRADE
CFH CUBIC FEET PER HOUR
MEP MECHANICAL-ELECTRICAL-PLUMBING
AAV AIR ADMITTANCE VALVE
DFU DRAINAGE FIXTURE UNIT
WSFU WATER SUPPLY FIXTURE UNIT
WHY WALL HYDRANT
IMB ICE MACHINE BOX
AHU AIR HANDLING UNIT (MECHANICAL)

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES.
- DRAWINGS DO NOT INDICATE ALL OFFSETS, CHANGES IN ELEVATION, ETC. WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN PIPING, EQUIPMENT LOCATIONS, ETC. AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT/ENGINEER.
- ALL CUTTING AND PATCHING OF BUILDING COMPONENTS REQUIRED TO ACCOMMODATE THE WORK OF THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THIS CONTRACT. ALL PATCHING SHALL MATCH THE EXISTING COMPONENTS AND FINISHES. CUTTING AND PATCHING WORK SHALL BE PERFORMED BY PERSONNEL TRAINED AND REGULARLY EMPLOYED FOR SUCH SERVICES.
- PLUMBING CONTRACTOR TO PROVIDE ALL ACCESSORIES REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEM..

GENERAL PLUMBING NOTES

- GENERAL NOTES ARE APPLICABLE TO ALL PLUMBING WORKING DRAWINGS.
- THE WORK SHALL BE EXECUTED IN STRICT CONFORMITY WITH BASE BUILDING SPECIFICATION AND WITH THE LATEST EDITION OF THE PREVAILING LOCAL PLUMBING AND BUILDING CODES AND ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
- ALL PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES BEFORE PROCEEDING WITH INSTALLATION.
- NO CHANGES ARE TO BE MADE IN PLUMBING LAYOUT WITHOUT WRITTEN PERMISSION BY THE ENGINEER OF RECORD.
- NO PIPING SHALL RUN EXPOSED IN FINISHED AREAS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING RELATED FEES.
- ROUGH-IN DIMENSIONS OF TOILET FIXTURES MUST BE COORDINATED WITH CONTRACTOR AND FIELD SUPERVISOR.
- INSTALL BALL VALVES ON ALL BRANCH SUPPLY LINES.
- PROVIDE ACCESS PANELS ON ALL INACCESSIBLE VALVES AND CLEANOUTS. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR LOCATION. MOUNT SHUT-OFF VALVES NO HIGHER THAN 12'-8" AFF.
- ALL WORK SHALL BE PROPERLY TESTED, BALANCED AND CLEANED. PROVIDE A ONE (1) YEAR WARRANTY FROM DATE OF FINAL INSPECTION ON ALL PARTS AND LABOR.
- FOLLOW PDI STANDARDS FOR WATER HAMMER ARRESTORS.
- CONTRACTOR SHALL COORDINATE WATER METER LOCATION AND INSTALLATION WITH LOCAL AUTHORITIES AND CIVIL DRAWINGS IF NOT EXISTING
- SANITARY SEWER PIPING SHOWN IS BASED ON 0.125"/FT FOR 3"-6" & 0.25"/FT FOR 2 1/2" OR LESS FOR ALL PIPING. COORDINATE BUILDING SEWER LOCATION AND INVERT ELEVATION WITH CIVIL DRAWINGS.
- SURE SEAL WATERLESS TRAP PRIMERS ARE TO BE PROVIDED AT ALL FLOOR DRAIN.



DOMESTIC WATER SERVICE
SCALE: NONE

PLUMBING SPECIFICATIONS:

DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS, APPLY TO THIS SECTION.

PLUMBING WORK SHALL BE AS INDICATED ON THE PLANS AND AS HEREIN SPECIFIED. WORK SHALL CONSIST OF PROVIDING A COMPLETE AND OPERATIONAL SYSTEM INCLUDING ALL FIXTURES, PIPING, VALVES, AND OTHER REQUIRED DEVICES, EQUIPMENT, ETC. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODE REQUIREMENTS. WHERE THERE ARE CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS, AND CODE REQUIREMENTS, THE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUIRED FOR COMPLIANCE WITH ALL CODES AND FOR APPROVAL OF THE SYSTEM. THE SYSTEM SHALL EXTEND TO AND CONNECT INTO THE EXISTING PROJECT WATER AND WASTE SYSTEM AS INDICATED ON THE DRAWINGS.

WHENEVER A MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT IS IDENTIFIED ON THE DRAWINGS BY REFERENCE TO MANUFACTURERS' OR VENDORS NAMES, TRADE NAMES, CATALOG NUMBERS, OR THE LIKE, IT IS SO IDENTIFIED FOR THE PURPOSE OF ESTABLISHING A STANDARD, AND ANY MATERIAL, ARTICLE, OR PIECE OF EQUIPMENT OF OTHER MANUFACTURERS OR VENDORS WHICH WILL PERFORM ADEQUATELY THE DUTIES IMPOSED BY THE GENERAL DESIGN WILL BE CONSIDERED EQUALLY ACCEPTABLE PROVIDED THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SO PROPOSED IS, IN THE OPINION OF THE ARCHITECT/ENGINEER, OF EQUAL SUBSTANCE, APPEARANCE, AND FUNCTION. THE MATERIAL, ARTICLE OR PIECE OF EQUIPMENT SHALL NOT BE PURCHASED OR INSTALLED BY THE CONTRACTOR WITHOUT THE ARCHITECT'S/ ENGINEER'S WRITTEN APPROVAL.

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL, SHOP DRAWINGS AND/OR MANUFACTURERS SUBMITTAL DATA WITH CAPACITY AND CHARACTERISTICS OF ALL MATERIAL AND EQUIPMENT FOR APPROVAL PRIOR TO PURCHASE AND OR INSTALLATION OF THE WORK. A MINIMUM OF FIVE (5) COPIES SHALL BE SUBMITTED. SUBMITTALS SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BEGINNING WORK FOR THE PURPOSE OF OBSERVING EXISTING CONDITIONS AND TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL MAKE ALLOWANCES FOR PROVIDING ALL MATERIAL, EQUIPMENT, AND LABOR AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL CODE REQUIREMENTS.

ALL WATER PIPING SHALL BE TYPE "L" HARD COPPER WITH WROUGHT COPPER FITTINGS. JOINTS SHALL BE SOLDERED WITH LEAD FREE SOLDER. ALL EXPOSED PIPING SHALL BE GROUNDED, WASTE AND VENT SHALL BE SERVICE WEIGHT CAST IRON WITH EITHER NO-HUB OR "CHARLOTTE SEAL" JOINTS. NO-HUB JOINTS ARE NOT PERMITTED BELOW GRADE. ALL EQUIPMENT REQUIRING PLUMBING CONNECTIONS SHALL BE CONNECTED BY THE PLUMBER REGARDLESS OF WHO PROVIDES THE EQUIPMENT OR FIXTURE. UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER OR SCHEDULE 40 PVC. FORCED MAINS SHALL BE PVC OR APPROVED EQUAL.

ALL HOT AND COLD WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH (HOT/CIRCULATING WATER PIPING MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE), (COLD WATER PIPING 1/2" INSULATION UP TO 2" PIPE AND 1" INSULATION ON 2-1/2" PIPE AND ABOVE WITH 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE). ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER.

HORIZONTAL STORM/SEWER PIPING ABOVE GRADE SHALL BE INSULATED WITH MINIMUM 1" THICK 3 PCF DENSITY FIBERGLASS PIPE COVERING WITH VAPOR BARRIER JACKET OR AS REQUIRED BY CODE. ALL JOINTS SHALL BE LAPPED AND SEALED WITH AN APPROVED TYPE ADHESIVE AND END STRIPS AS RECOMMENDED BY THE INSULATION SUPPLIER AND/OR MANUFACTURER. (TO AVOID CONDENSATION) DRAIN HUBS TO BE INSULATED.

VACUUM BREAKERS SHALL BE PROVIDED FOR ALL HOSE CONNECTIONS AND OTHER POINTS WHERE GROSS CONTAMINATION CAN OCCUR. REDUCED PRESSURE BACKFLOW PREVENTERS SHALL BE PROVIDED WHERE REQUIRED BY CODE. ALL FIXTURES, HOSE BIBBS, FLOOR DRAINS, ETC., SHALL BE PROVIDED AS INDICATED AND SCHEDULED ON THE PLANS. THE SYSTEM SHALL BE TESTED, CLEANED, AND DISINFECTED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.

THE ENTIRE PLUMBING SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE (1) YEAR FROM ACCEPTANCE BY THE OWNER. ALL GUARANTEES SHALL BE WRITTEN, DATED, AND FORWARDED TO THE OWNER. ALL DEFECTIVE EQUIPMENT AND/OR MATERIAL SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

AT THE CONTRACTOR'S OPTION, PVC MAY BE UTILIZED ABOVE GRADE IN CONCEALED LOCATIONS FOR DWV SYSTEM, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED.

AT THE CONTRACTOR'S OPTION, PEX OR CPVC PIPING MAY BE UTILIZED ABOVE GRADE AND IN CONCEALED SPACES, SUBJECT TO CODE COMPLIANCE. APPROVAL FROM OWNER/TENANT OR LOCAL INSPECTOR IS REQUIRED. (HOT WATER PEX PIPING TO BE INSULATED)

PVC/CPVC PIPING SHALL HAVE A FLAME SPREAD RATING LESS THAN 25 AND A SMOKE DEVELOPMENT RATING LESS THAN 50.

GAS PIPING - SCHEDULE 40 BLACK STEEL WITH MALLEABLE SCREWED FITTING IN SIZE UP TO 3" AND OVER 3" TO BE SCHEDULE 40 BLACK STEEL WITH WELDED FITTINGS.

NATURAL GAS PIPING - COORDINATE ALL NEW GAS LINES ROUTING PER PLANS IN FIELD. PAINT EXTERIOR GAS PIPING AND SUPPORTS TWO COATS EXTERIOR ENAMEL.

INSTALL EQUIPMENT AND PIPING TO AVOID INTERFERENCE WITH THE OPERATION OR SERVICING AND MAINTENANCE OF EQUIPMENT.

PIPES PENETRATING FIRE WALLS AND FLOORS SHALL BE FIRESTOPPED AS SPECIFIED. REFER TO THE ARCHITECTURAL DRAWINGS FOR FIRE WALL AND FLOOR LOCATIONS.

ALL PHYSICAL ATTRIBUTES OF EQUIPMENT AND DEVICES ARE BASED ON THOSE MANUFACTURERS LISTED IN THE SPECIFICATIONS AND/OR THE EQUIPMENT SCHEDULES. THE RESPECTIVE CONTRACTORS ARE RESPONSIBLE FOR ALL CHANGES BROUGHT ABOUT BY USE OF ITEMS BY OTHER MANUFACTURERS. THE ARCHITECT/ENGINEER HAS RESERVED THE RIGHT TO REJECT ITEMS BY OTHER MANUFACTURERS IF THOSE ITEMS DO NOT MATCH THE PHYSICAL ATTRIBUTES OF THE MANUFACTURERS LISTED.

ALL PLUMBING SERVICE PIPING USE ON PROJECT TO MEET ALL STATE AND LOCAL CODES. COORDINATE USE OF PVC PIPING ABOVE AND BELOW GRADE WITH LOCAL AUTHORITIES PRIOR TO WORK START-UP. (NATURAL GAS, WASTE, STORM, VENT, DOMESTIC HOT, COLD AND CIRCULATING WATER LINES)

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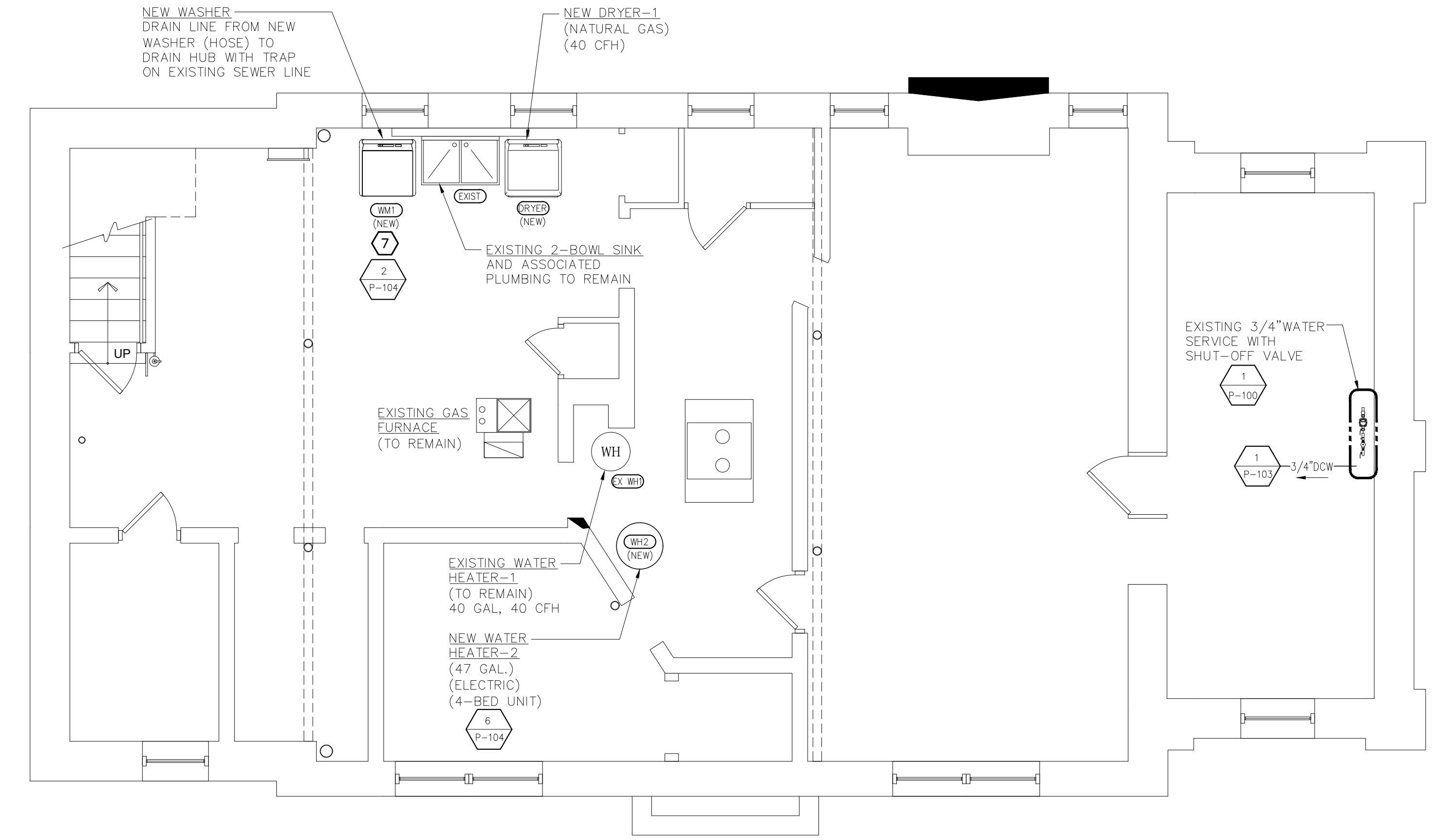
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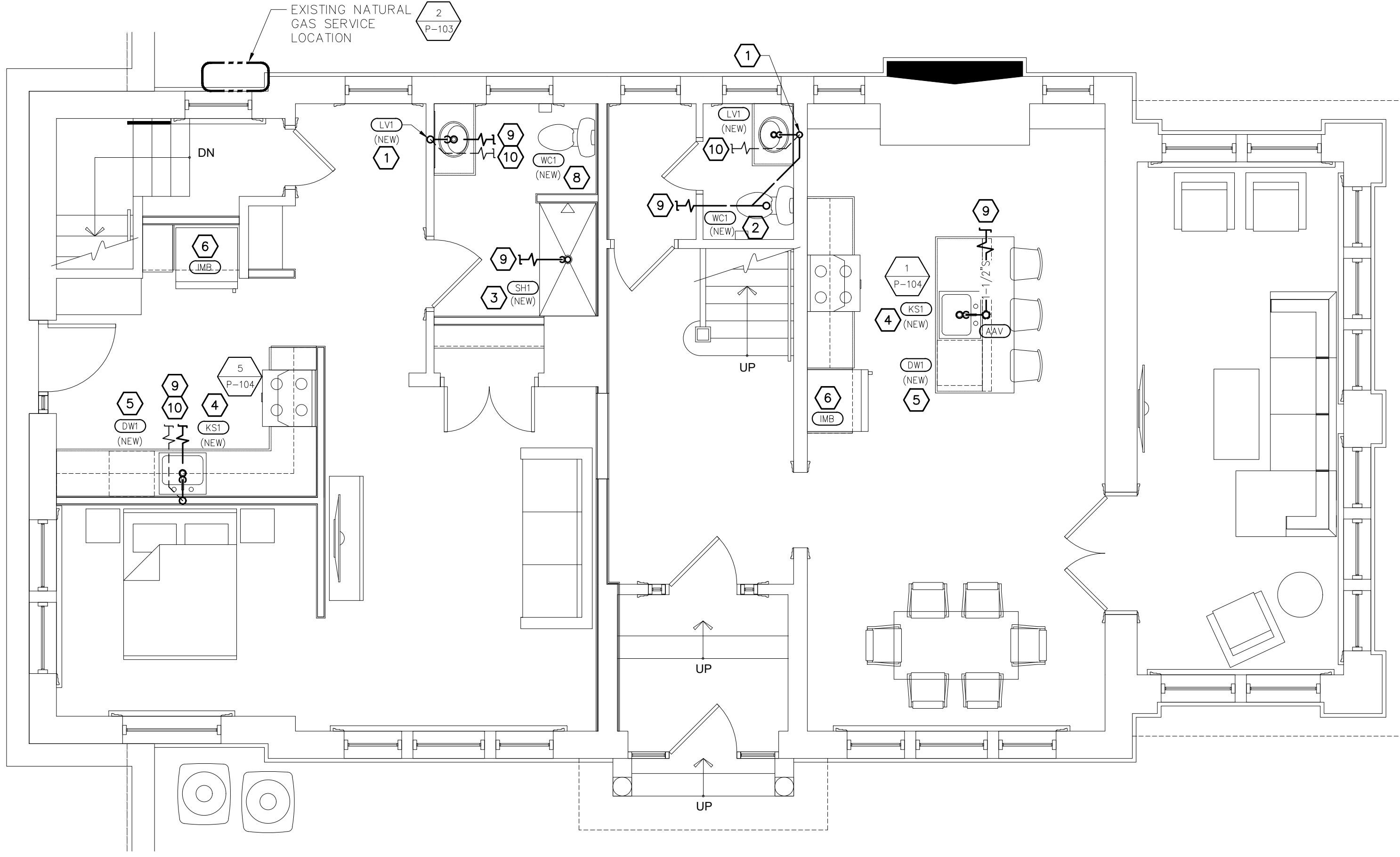
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Project # 25-01-12



1 BASEMENT PLAN
P-101 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
P-101 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. DOMESTIC WATER – REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS – REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS – REFER TO DETAILS ON DRAWING P-104.

PLUMBING NOTES:

- 1. NEW LAVATORY (LV1):
 - 1.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1, 2"WASTE, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 1.2. EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
- 2. NEW WATER CLOSET (WC1):
 - 2.1. EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 2.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- 3. NEW SHOWER (SH1):
 - 3.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH1, 1-1/2"DRAIN WITH TRAP TO NEW SH1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. VERIFY/PROVIDE PROPER VENTING.
 - 3.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH1, CONNECT PER LOCAL AND STATE CODES.
- 4. NEW KITCHEN SINK (KS1):
 - 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW KS1, 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW KS1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 4.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW KS1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW KS1, CONNECT PER LOCAL AND STATE CODES.
- 5. NEW DISHWASHER (DW1):
 - 5.1. EXTEND/CUTBACK EXISTING 1"WASTE FROM NEW DW1 TO KS1 DRAIN AND CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - 5.1. EXTEND 1/2"DHW TO NEW DW1 WITH SHUT-OFF VALVE AND WATER HAMMER ARRESTER, CONNECT PER LOCAL AND STATE CODES.
- 6. NEW ICE MACHINE BOX (IMB):
 - 6.1. NEW 3/8"DCW TO NEW IMB WITH SHUT-OFF VALVE, CAPPED FOR FUTURE USE.
- 7. NEW WASHER MACHINE (WMB)
 - 7.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
 - 7.1. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.
- 8. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
 - 8.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
 - 8.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
- 9. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
- 10. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

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Buffalo, NY 14214

ISSUE:

SA PROJECT TEAM: PRINCIPAL P.Silvestri
PROJ. ARCH. _____ DRAFTER B.Pacos
JOB CAPT. D.Garry INTERIORS A.Nagle

SEAL:



TITLE:

BASEMENT AND FIRST FLOOR PLANS



SILVESTRI ARCHITECTS PC

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SA JOB #:

24101.01

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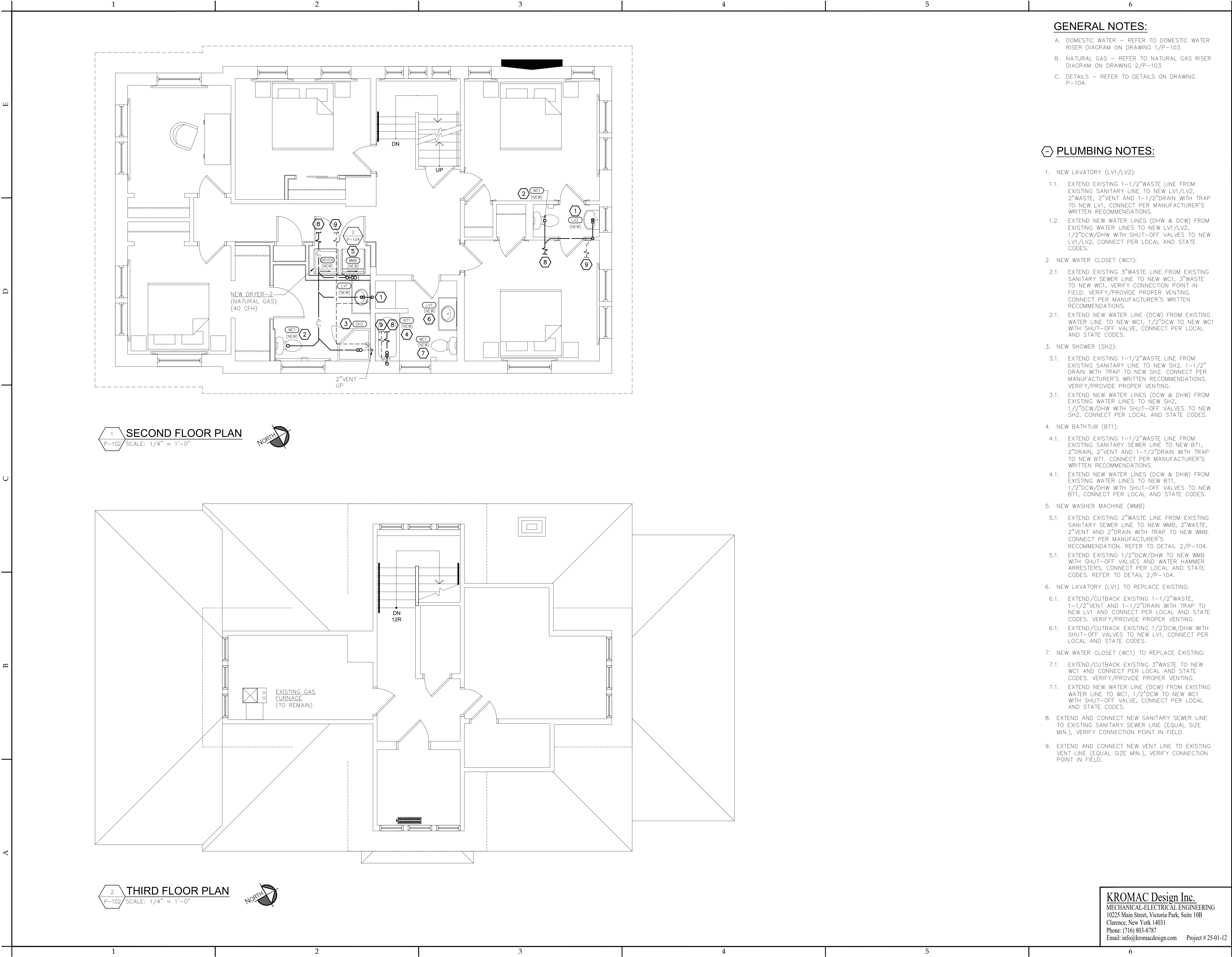
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P-101

KROMAC Design Inc.

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Phone: (716) 803-8787
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Project # 25-01-12



GENERAL NOTES:

- A. DOMESTIC WATER — REFER TO DOMESTIC WATER RISER DIAGRAM ON DRAWING 1/P-103.
- B. NATURAL GAS — REFER TO NATURAL GAS RISER DIAGRAM ON DRAWING 2/P-103.
- C. DETAILS — REFER TO DETAILS ON DRAWING P-104.

PLUMBING NOTES:

1. NEW LAVATORY (LV1/LV2):
- 1.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW LV1/LV2, 2"WASTE, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 1.2. EXTEND NEW WATER LINES (DHW & DCW) FROM EXISTING WATER LINES TO NEW LV1/LV2, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1/LV2, CONNECT PER LOCAL AND STATE CODES.
2. NEW WATER CLOSET (WC1):
- 2.1. EXTEND EXISTING 3"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WC1, 3"WASTE TO NEW WC1, VERIFY CONNECTION POINT IN FIELD. VERIFY/PROVIDE PROPER VENTING. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 2.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO NEW WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
3. NEW SHOWER (SH2):
- 3.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY LINE TO NEW SH2, 1-1/2"DRAIN WITH TRAP TO NEW SH2, CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS. VERIFY/PROVIDE PROPER VENTING.
- 3.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW SH2, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW SH2, CONNECT PER LOCAL AND STATE CODES.
4. NEW BATHTUB (BT1):
- 4.1. EXTEND EXISTING 1-1/2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW BT1, 2"DRAIN, 2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW BT1. CONNECT PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- 4.1. EXTEND NEW WATER LINES (DCW & DHW) FROM EXISTING WATER LINES TO NEW BT1, 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW BT1, CONNECT PER LOCAL AND STATE CODES.
5. NEW WASHER MACHINE (WMB)
- 5.1. EXTEND EXISTING 2"WASTE LINE FROM EXISTING SANITARY SEWER LINE TO NEW WMB, 2"WASTE, 2"VENT AND 2"DRAIN WITH TRAP TO NEW WMB. CONNECT PER MANUFACTURER'S RECOMMENDATION. REFER TO DETAIL 2/P-104.
- 5.1. EXTEND EXISTING 1/2"DCW/DHW TO NEW WMB WITH SHUT-OFF VALVES AND WATER HAMMER ARRESTERS, CONNECT PER LOCAL AND STATE CODES. REFER TO DETAIL 2/P-104.
6. NEW LAVATORY (LV1) TO REPLACE EXISTING:
- 6.1. EXTEND/CUTBACK EXISTING 1-1/2"WASTE, 1-1/2"VENT AND 1-1/2"DRAIN WITH TRAP TO NEW LV1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
- 6.1. EXTEND/CUTBACK EXISTING 1/2"DCW/DHW WITH SHUT-OFF VALVES TO NEW LV1, CONNECT PER LOCAL AND STATE CODES.
7. NEW WATER CLOSET (WC1) TO REPLACE EXISTING:
- 7.1. EXTEND/CUTBACK EXISTING 3"WASTE TO NEW WC1 AND CONNECT PER LOCAL AND STATE CODES. VERIFY/PROVIDE PROPER VENTING.
- 7.1. EXTEND NEW WATER LINE (DCW) FROM EXISTING WATER LINE TO WC1, 1/2"DCW TO NEW WC1 WITH SHUT-OFF VALVE, CONNECT PER LOCAL AND STATE CODES.
8. EXTEND AND CONNECT NEW SANITARY SEWER LINE TO EXISTING SANITARY SEWER LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.
9. EXTEND AND CONNECT NEW VENT LINE TO EXISTING VENT LINE (EQUAL SIZE MIN.), VERIFY CONNECTION POINT IN FIELD.

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SECOND FLOOR PLAN



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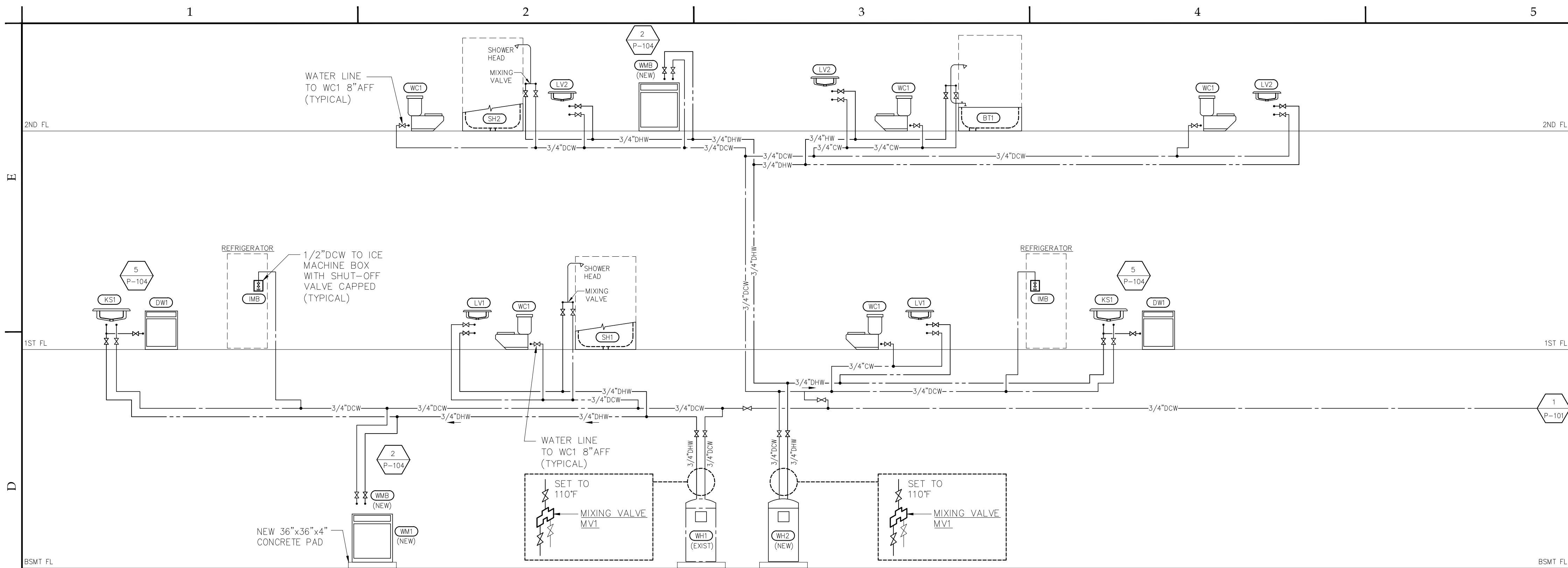
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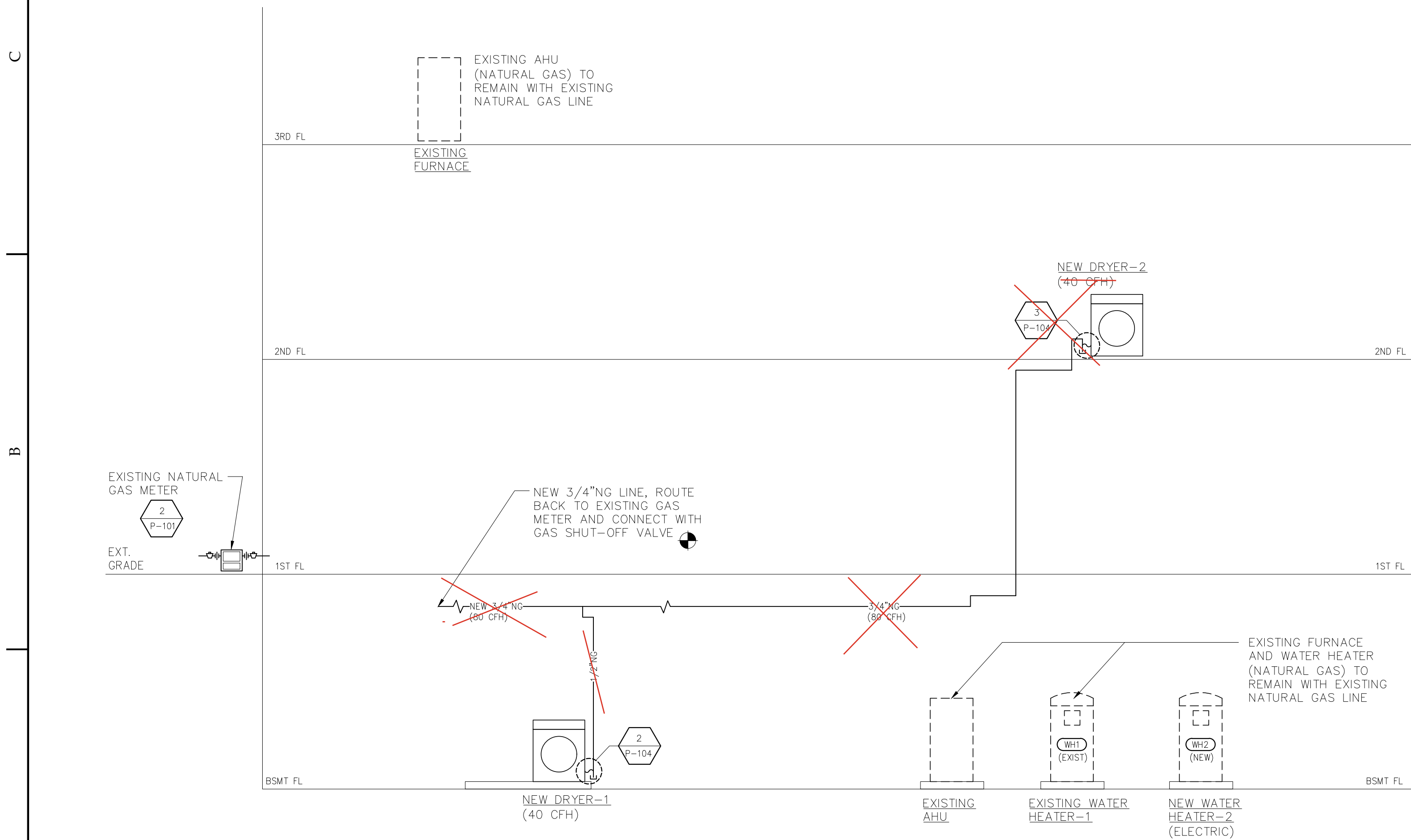
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Project # 25-01-12



1 DOMESTIC WATER RISER
P-103 SCALE: NONE



2 NATURAL GAS RISER
P-103 SCALE: NONE

GENERAL NOTE:

A. VERIFY DOMESTIC WATER LINE ROUTING IN FIELD PRIOR TO WORK START-UP.

NOTES:

1. PROVIDE GAS VALVE, DIRT LEG, AND UNION AT EACH APPLIANCE.
2. ALL EXTERIOR GAS PIPING EXPOSED TO THE WEATHER SHALL BE PAINTED WITH (1) COAT PRIMER AND (2) COATS YELLOW RUST PREVENTIVE PAINT.
3. GAS SIZING BASED ON MINIMUM GAS PRESSURE OF 4" TO 9" WC DOWNSTREAM OF GAS METER WITH A PRESSURE DROP OF 0.5 AND A TOTAL LENGTH OF **75'**.
4. REFER TO 3/P-104 FOR GAS LINE CONNECTIONS TO EQUIPMENT.
5. PLUMBING CONTRACTOR TO COORDINATE INSTALLATION OF MAIN GAS SERVICE TO BUILDING WITH GAS COMPANY. PROVIDE ALL COST FOR GAS CONNECTION FROM GAS MAIN TO GAS METER SETTING WITH PLUMBING BID. COORDINATE WITH LOCAL GAS COMPANY FOR PRICING.
6. ALL GAS PIPING INSTALLATION SHALL MEET THE REQUIREMENTS OF THE 2009 NATURAL FUEL GAS CODE (NFGC).
7. ~~PROVIDE GAS COCK, UNION, DIRT LET, AND TEST TEE AT EACH GAS FIXTURE UNLESS OTHERWISE NOTED OR SHOWN.~~
8. PIPING JOINTS ABOVE GYPBOARD CEILINGS OR BEHIND GYPBOARD WALLS, OR OTHER CONCEALED LOCATIONS SHALL BE WELDED. TUBING FITTINGS SHALL NOT BE INSTALLED IN CONCEALED LOCATIONS.
9. ALL GAS PIPING TO AND WITHIN APARTMENTS SHALL BE CONCEALED.

NATURAL GAS EQUIPMENT

UNIT NO.	INPUT CFH
NEW DRYER-1	40
NEW DRYER-2	40
EX. WH1	40
EX. AHU (EST.)	40
EX. AHU (EST.)	40
TOTAL	200 CFH

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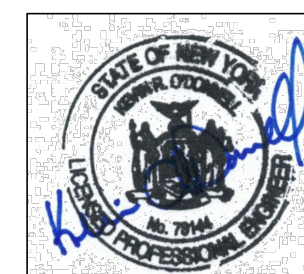
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PLUMBING RISERS



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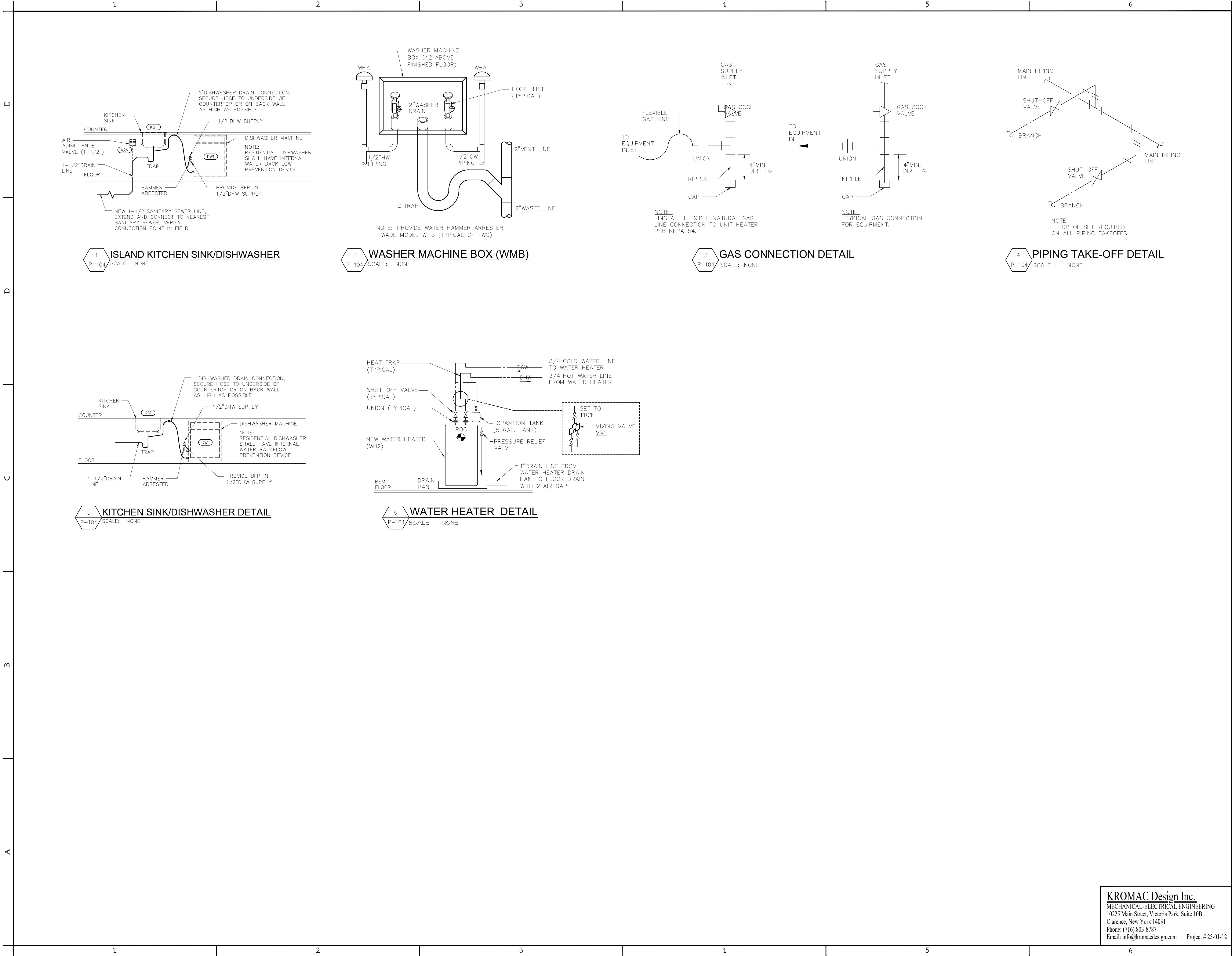
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DETAILS

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