

SOUTH PARK MIXED USE

DOFI PROPERTIES

2221 SOUTH PARK AVE
BUFFALO, NY 14220
08/04/25
PERMIT SET
PROJECT #2508



SHEET NUMBER	SHEET NAME
GENERAL	
A-001	SYMBOLS, ABBREVIATIONS & GEN. NOTES
CODE REVIEW	
LS-01	LIFE SAFETY
CIVIL	
SP-101	SITE PLANS
SP-102	SITE PLANS
SP-103	SITE PLANS
SP-201	SITEWORK DETAILS
SP-202	SITEWORK SPECIFICATIONS
STRUCTURAL	
S-100	EIXSTING BASEMENT PLAN
S-101	EXISTING 1ST FLOOR FRAMING PLAN
S-102	EXISTING 2ND FLOOR FRAMING PLAN
S-103	EXISTING 3RD FLOOR FRAMING PLAN
S-104	EXISTING ROOF FRAMING PLAN
S-105	SPECIFICATIONS
S-106	TYPICAL DETAILS
S-107	TYPICAL DETAILS
S-108	SECTIONS AND DETAILS
ARCHITECTURAL DEMOLITION	
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D-101	FIRST FLOOR DEMOLITION PLAN
D-102	SECOND FLOOR DEMO PLAN
D-103	THIRD FLOOR DEMO PLAN
D-104	ROOF DEMO PLAN
D-200	DEMO EXTERIOR ELEVATIONS
D-201	DEMO EXTERIOR ELEVATION
D-202	DEMO EXTERIOR ELEVATIONS
ARCHITECTURAL	
A-100	BASEMENT PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-104	ROOF PLAN
A-200	EXTERIOR ELEVATIONS
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATION
A-250	BUILDING SECTIONS
A-251	BUILDING SECTION
A-300	VERTICAL CIRCULATION
A-400	BASEMENT REFLECTED CEILING PLAN
A-401	GROUND FLOOR REFLECTED CEILING PLAN
A-402	SECOND FLOOR REFLECTED CEILING PLAN
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A-501	INTERIOR DETAILS
A-600	FINISH SCHEDULE
A-601	FIRST FLOOR FINISH PLAN
A-602	SECOND FLOOR FINISH PLAN
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A-800	PARTITION SCHEDULE
A-801	DOOR SCHEDULE
A-805	WINDOW SCHEDULE, TYPES + DETAILS
A-810	STOREFRONT TYPES AND DETAILS

SHEET NUMBER	SHEET NAME
MECHANICAL	
M-1	HVAC SCHEDULES, LEGENDS AND ABBREVIATIONS
M-2	HVAC SCHEDULES
M-3	HVAC SCHEDULES
M-4	HVAC SCHEDULES
M-5	HVAC OUTSIDE AIR CALCULATIONS AND SEQUENCE OF OPERATIONS
M-6	HVAC SPECIFICATIONS
M-7	HVAC SPECIFICATIONS
M-8	HVAC SPECIFICATIONS
M-9	BASEMENT FLOOR PLAN - HVAC DUCTWORK
M-10	FIRST FLOOR PLAN - HVAC DUCTWORK AND PIPING
M-11	SECOND FLOOR PLAN - HVAC DUCTWORK AND PIPING
M-12	THIRD FLOOR PLAN - HVAC DUCTWORK AND PIPING
M-13	ROOF PLAN - HVAC DUCTWORK AND PIPING
M-14	HVAC DETAILS
M-15	HVAC DETAILS
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P-2	PLUMBING SCHEDULES CONTINUED & DETAILS
P-3	PLUMBING DETAILS CONTINUED
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P-5	PLUMBING SANITARY SEWER FIRST FLOOR PLAN
P-6	PLUMBING SANITARY SEWER SECOND FLOOR PLAN
P-7	PLUMBING SANITARY SEWER THIRD FLOOR PLAN
P-8	PLUMBING SANITARY SEWER ROOF PLAN
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P-10	PLUMBING DOMESTIC WATER & NATURAL GAS FIRST FLOOR PLAN
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FP-4	FIRE PROTECTION SECOND FLOOR PLAN
FP-5	FIRE PROTECTION THIRD FLOOR PLAN
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E-2	ELECTRICAL ONE-LINE DIAGRAM
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E-4	ELECTRICAL DETAILS
E-5	BASEMENT FLOOR PLAN - POWER AND SYSTEMS
E-6	FIRST FLOOR PLAN - POWER AND SYSTEMS
E-7	SECOND FLOOR PLAN - POWER AND SYSTEMS
E-8	THIRD FLOOR PLAN - POWER AND SYSTEMS
E-9	ROOF PLAN POWER AND SYSTEMS
E-10	BASEMENT FLOOR PLAN LIGHTING
E-11	FIRST FLOOR PLAN LIGHTING
E-12	SECOND FLOOR PLAN LIGHTING
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E-15	ELECTRICAL SPECIFICATIONS
E-16	ELECTRICAL & FIRE ALARM SPECIFICATIONS

CIVIL ENGINEER

STRUCTURAL ENGINEER

OWNER

ARCHITECT

CONSTRUCTION MANAGER

MEP/FP ENGINEER

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ABBREVIATIONS

ALL ABBREVIATIONS NOT NECESSARILY USED

A.F.F.	ABOVE FINISHED FLOOR	EXIST.	EXISTING	MAS.	MASONRY	RFG.	ROOFING
ABSORB.	ABSORBATIVE	EXP.	EXPANSION	MO	MASONRY OPENING	RM.	ROOM
A.D.	ACCESS DOOR	E.J.	EXPANSION JOINT	MATL.	MATERIAL	R.F.S.	ROOM FINISH SCHEDULE
ACOUST.	ACOUSTICAL	EXP.	EXPOSED	MAX.	MAXIMUM	R.O.	ROUGH OPENING
A.C.T.	ACOUSTICAL CEILING TILE	EXT.	EXTERIOR	MECH.	MECHANICAL	RND.	ROUND
A.P.	ACCESS PANEL	E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	MEMB.	MEMBRANE	RUB.	RUBBER
A.W.P.	ACOUSTICAL WALL PANEL			MTL.	METAL	RT	RUBBER TILE
ADH.	ADHESIVE	F.W.C.	FABRIC WALL COVERING	MMU	MILLWORK UNIT	RBL.	RUBBLE STONE
ADJ.	ADJACENT	F.B.	FACE BRICK	MIN.	MINIMUM	R.O.B.	RUN OF BANK
ADJUST.	ADJUSTABLE	F.C.U.	FAN COIL UNIT	MISC.	MISCELLANEOUS		
AGGR.	AGGREGATE	F.N.D.	FEMININE NAPKIN DISPOSAL	MTD.	MOUNTED	SNC	SANITARY NAPKIN CABINET
A.C.	AIR CONDITIONING	F.R.P.	FIBERGLASS REINFORCED POLYESTER	MOV.	MOVABLE	SND	SCHEDULE
AL.	ALIGN	F.T.R.	FIN TUBE RADIATION	MULL.	MULLION	SNT.	SEALANT
ALT.	ALTERATION	FIN.	FINISH (ED)			STG.	SEATING
ALTN.	ALTERNATE	F.F.	FINISH FLOOR	NAT.	NATURAL	SECT.	SECTION
ALUM.	ALUMINUM	F.A.	FIRE ALARM	NRC	NOISE REDUCTION COEFFICIENT	SB	SHAMPOO BOWL
APPD.	APPROVED	F.A.C.P.	FIRE ALARM CONTOL PANEL	N.I.C.	NOT IN CONTRACT	SHTG.	SHEATHING
APPROX.	APPROXIMATE	F.E.C.	FIRE EXTINGUISHER CABINET	N.T.S.	NOT TO SCALE	SHT.	SHEET
ARCH.	ARCHITECTURAL	F.H.C.	FIRE HOSE CABINET	NOM.	NOMINAL	S.C.	SHEET VINYL
ASB.	ASBESTOS	F.P.	FIRE PROOFING	NO.	NUMBER	SH.	SHelf, SHeLVING
A.A.C.	ASBESTOS ABATEMENT CONTRACTOR	FL.	FLOOR			SHWR.	SHOWER
ASPH.	ASPHALT	F.D.	FLOOR DRAIN	O.C.	ON CENTER	SIM.	SIMILAR
AUTO.	AUTOMATIC	FT.	FOOT	OPNG.	OPENING	S.D.	SOAP DISPENSER
AVG.	AVERAGE	FTG.	FOOTING	OPP.	OPPOSITE	SD	SOLID CORE
		FDTH.	FOUNDATION	O.H.	OPPOSITE HAND	SPKR.	SPEAKER
		FUR.	FURRING	OD	OUTSIDE DIAMETER	SPEC.	SPECIFICATION
BSMT.	BASEMENT			OH.	OVERHEAD	SQ.	SQUARE
BRG.	BEARING					S.F.	SQUARE FOOT
BTWN.	BETWEEN	GAL.	GALLON	PNT.	PAINT (ED)	S.S.	STAINLESS STEEL
BIT.	BITUMINOUS	GALV.	GALVANIZED	PR.	PAIR	S.P.	STAND PIPE
BLK.	BLOCK	G.I.	GALVANIZED IRON	PNL.	PANEL	STD.	STANDARD
BLKG.	BLOCKING	GA.	GAUGE	PTD	PAPER TOWEL DISPENSER	STL.	STEEL
BD.	BOARD	G.C.	GENERAL CONTRACT (OR)	PTR	PAPER TOWEL RECEPTOR	ST.	STONE
BTM.	BOTTOM	GL.	GLASS	P.BD.	PARTICLE BOARD	STOR.	STORAGE
BRK.	BRICK	G.B.	GRAB BAR	PTN.	PARTITION	SD	STORM DRAIN
B.C.	BRICK COURSE	G.F.I.	GROUND FAULT INTERRUPTER	P.WMT.	PAVEMENT	STR.	STRUCTURAL
BLDG.	BUILDING	GRN.	GRATE	PERF.	PERFORATED	SGT	STRUCTURAL GLAZED TILE
B.U.R.	BUILT-UP ROOFING	G.Y.P.	GYPSUM	PLAS.	PLASTER	SUSP.	SUSPENDED
B.O.	BY OWNER	G.W.B.	GYPSUM WALL BOARD	PLAS.LAM.	PLASTIC LAMINATE	SW.	SWITCH
				PL.	PLATE	SW BD.	SWITCH BOARD
CAB.	CABINET	HDNR.	HARDENER	PL.GL.	PLATE GLASS	SYM.	SYMMETRICAL
CPT.	CARPET	HDW.	HARDWARE	PLBGS.	PLUMBING		
C.I.	CAST IRON	HTR.	HEATER	P.C.	PLUMBING CONTRACTOR	TKBD.	TACKBOARD
C.I.P.	CAST IN PLACE	HTG.	HEATING	PLYWD.	PLYWOOD	TEL.	TELEPHONE
CW.	CASEWORK	H.C.	HEATING CONTRACTOR	PT.	POINT	TEMP.	TEMPORARY
C.B.	CATCH BASIN	H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING	PPG	POLISHED PLATE GLASS	TER.	TERRAZZO
CLG.	CEILING			PPTG	POLISHED PLATE	TEXT.	TEXTURE
CEM.	CEMENT	HT.	HIGH PERFORMANCE COATINGS	PPWG	POLISHED PLATE	THK.	THICK (NESS)
C.M.T.	CERAMIC MOSAIC TILE	HPL	HIGH PRESSURE PLASTIC		WIRE GLASS	THR.	THRESHOLD
C.M.T.B.	CERAMIC MOSAIC TILE BASE			POLY.	POLYETHYLENE	TBD	TO BE DETERMINED
CER.	CERAMIC	H.C.	HOLLOW CORE	PRT	POLY RESIN TILE	TLT.	TOILET
C.T.	CERAMIC TILE	H.M.	HOLLOW METAL	P.V.C.	POLYVINYL CHLORIDE	TPH	TOILET PAPER HOLDER
C.T.B.	CERAMIC TILE BASE	HORIZ.	HORIZONTAL	PCF	POUNDS PER CUBIC FOOT	T&G	TONGUE & GROOVE
CHBD.	CHALK BOARD	H.B.	HOSE BIB	PSF	POUNDS PER SQUARE FOOT	T.O.G.	TOP OF GRATE
C.O.	CLEAN OUT	H.CAB.	HOSE CABINET	PSI	POUNDS PER SQUARE INCH	T.O.S.	TOP OF STEEL
CLR.	CLEAR	H.PL.	HOT PLATE	PT	PORCELAIN TILE	T.O.W.	TOP OF WALL
CLO.	CLOSET	H.W.	HOT WATER	POP	PREFABRICATED	TB	TOWEL BAR
COL.	COLUMN	HR.	HOUR	PRE-FAB.	PREFABRICATED	TYP.	TYPICAL
C.W.	COLD WATER	H.S.	HOSPITAL STOP	PREF.	PREFINISHED		
C.ONC.	CONCRETE			PMLD.	PREMOLDED	UIC	UNDER COUNTER
C.M.U.	CONCRETE MASONRY UNIT	IN.	INCH	PSC	PRE-STRESSED CONCRETE	UCL	UNDER COUNTER LIGHT
CONT.	CONTINUOUS	I.M.	INSULATED METAL	PROJ.	PROJECTION	UNGND.	UNDERGROUND
C.J.	CONTROL JOINT	INT.	INSULATION OR INSULATED	PL	PROPERTY LINE	UV	UNIT VENTILATOR
C.G.	CORNER GUARD	INV.	INVERT	PPL	PUSH PLATE	U.N.O.	UNLESS NOTED OTHERWISE
CORR.	CORRIDOR	ISO.	ISOLATION	QTY.	QUANTITY	UPH.	UPHOLSTERY
C.M.P.	CORRIGATED METAL PANEL	JAN.	JANITOR'S CLOSET	QT	QUARRY TILE		
CRS.	COURSES	J.T.	JOINT			Y.B.	VAPOR BARRIER
				RAD.	RADIUS	YIF	VERIFY IN FIELD
DEM.	DEMOLISH / DEMOLITION	LAM.	LAMINATE	R.W.L.	RAIN WATER LEADER	VERT.	VERTICAL
DET.	DETAIL	LAV.	LAVATORY	RECPT.	RECEPTACLE, ELECTRIC	VEST.	VESTIBULE
DIAG.	DIAGONAL	LH	LEFT HAND	REC.	RECESS (ED)	V.C.T.	VINYL COMPOSITION TILE
DIA.	DIAMETER	LGT.	LENGTH	R.C.P.	REFLECTED CEILING PLAN	V.W.C.	VINYL WALL COVERING
DIFF.	DIFFUSER	LT.	LIGHT	REF.	REFRIGERATOR		
DIM.	DIMENSION	LT.P.	LIGHT PANEL	REG.	REGISTER	WSCOT.	WAINSCOT
DISP.	DISPENSER	LT.WT.	LIGHT WEIGHT	REINF.	REINFORCE (D) (ING) (MENT)	WC	WATER CLOSET
DR.	DOOR	LF	LINEAR FEET	R.C.P.	REINFORCED CONCRETE PIPE	WH.	WATER HEATER
DBL.	DOUBLE	LTL.	LINTEL	REQD.	REQUIRED	WT.	WEIGHT
DN.	DOWN	LTVR.	LOUVER	RES.	RESILIENT	W.W.F.	WELDED WIRE FABRIC
D.S.	DOWNSPOUT	LG.	LONG	R.B.	RESILIENT BASE	W.	WITH
DWG.	DRAWING	M.D.H.	MAGNETIC DOOR HOLDER	RET.	RETURN	W/O	WITHOUT
D.F.	DRAINING FOUNTAIN	M.H.	MANHOLE	R.A.	RETURN AIR	WD.	WOOD
D.I.P.	DUCTILE IRON PIPE	MFR.	MANUFACTURER	REV.	REVISION	WB	WOOD BASE
		MARB.	MARBLE	R.H.	RIGHT HAND		
EA.	EACH	MT	MARBLE TILE	R.O.W.	RIGHT OF WAY	XFE	EXISTING FIRE EXTINGUISHER
E.W.	EACH WAY	MKRBD.	MARKER BOARD	R.D.	ROOF DRAIN		
ELEC.	ELECTRIC			RF.H.	ROOF HATCH		
E.C.	ELECTRIC CONTRACTOR			R.V.	ROOF VENT		
ELEV.	ELEVATION						
EQ.	EQUAL						
EQUIP.	EQUIPMENT						
E.B.O.	EQUIPMENT BY OWNER						
E.F.	EXHAUST FAN						

PLAN SYMBOLS

ALL SYMBOLS NOT NECESSARILY USED

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW CONSTRUCTION - REFER TO WALL TYPES
	EXISTING DOOR TO BE REMOVED
	NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

REFERENCE SYMBOLS

ALL SYMBOLS NOT NECESSARILY USED

SIMILAR INDICATION		WALL SECTION
DETAIL/ SECTION NUMBER		
SHEET NUMBER		
SIMILAR INDICATION		BUILDING SECTION
DETAIL/ SECTION NUMBER		
SHEET NUMBER		
DETAIL/ SECTION NUMBER		DETAIL SECTION
SHEET NUMBER		
ELEVATION NUMBER		EXTERIOR ELEVATION
SHEET NUMBER		
ELEVATION NUMBER		INTERIOR ELEVATION
SHEET NUMBER		
SIMILAR INDICATION		LARGE SCALE BLOWUP OF PLAN OR DETAIL
PLAN OR DETAIL NUMBER		
SHEET NUMBER		
PARTITION TYPE DESIGNATION		PARTITION TYPE
DOOR NUMBER		DOOR SYMBOL
DOOR TYPE		
HW SET		
DOOR NUMBER		
WINDOW / LOUVER NUMBER		WINDOW/ LOUVER SYMBOL
ROOM NAME		ROOM NAME AND NUMBER
ROOM NUMBER		
SQUARE FOOTAGE		
CATEGORY / NOTE # INDICATOR		KEYNOTE SYMBOLS

LEVEL DESCRIPTION		LEVEL ELEVATION
LEVEL ELEVATION		
NEW COLUMN GRID INDICATOR		COLUMN GRID BUBBLE
PLAN OR DETAIL NUMBER		MATCH LINE
SHEET NUMBER		
MATCHLINE		
REVISION NUMBER (SHEET SPECIFIC)		REVISION
CLOUDED AREA OF REVISION		
MATERIAL / OBJECT INDICATOR		EQUIPMENT TAG

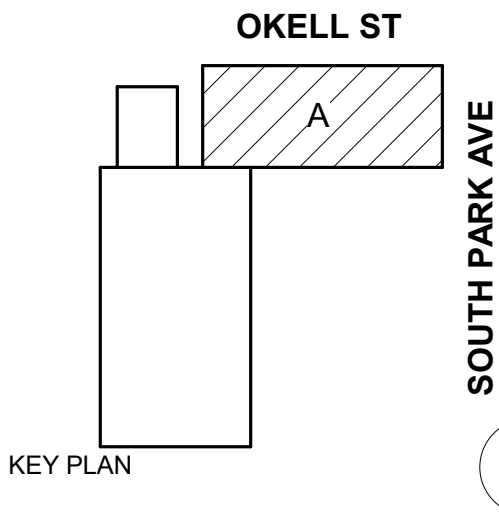
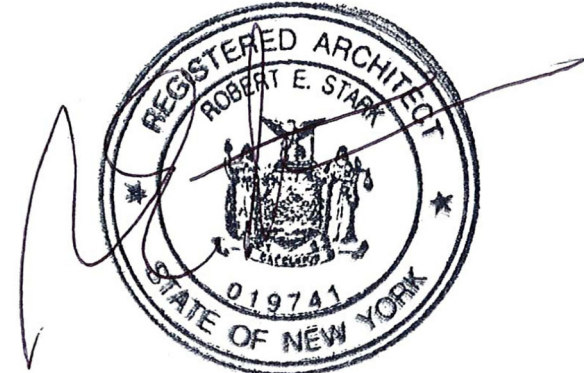
MATERIALS LEGEND

ALL MATERIALS NOT NECESSARILY USED

	EARTH
	POROUS FILL
	CONCRETE
	C.M.U.
	BRICK
	STONE
	STRUCTURAL STEEL
	ROUGH LUMBER
	BLOCKING
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BATT INSULATION
	GYPSUM DRYWALL
	ALUMINUM
	POLYCARBONATE

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DOFI PROPERTIES

SOUTH PARK
MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	NJM
CHECKED BY	RES

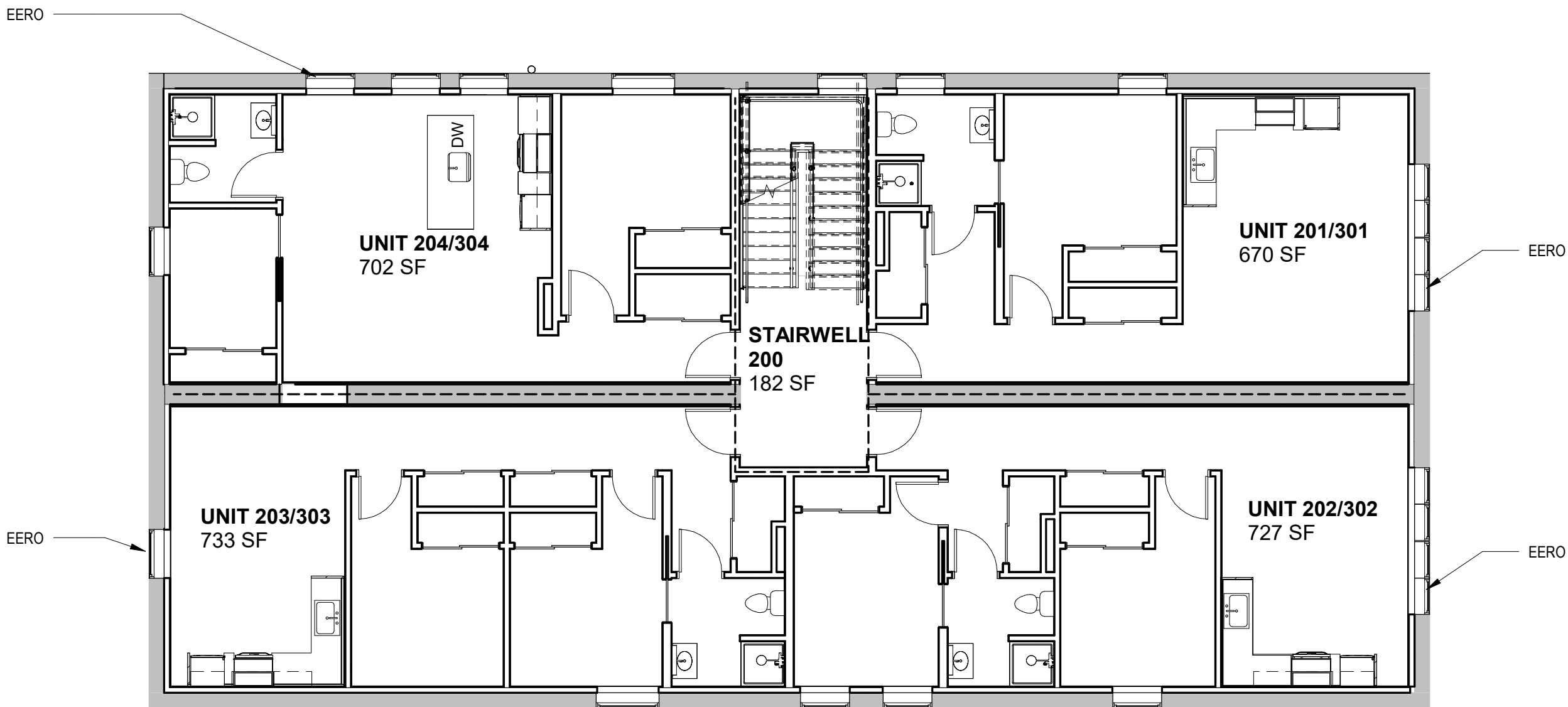
THIS IS A SINGLE SHEET OF A COHESIVE
SET OF CONSTRUCTION DOCUMENTS
(INCLUDING DRAWINGS AND SPECIFICATIONS).
INTERPRETATION OF THE INFORMATION
AS PRESENTED SHOULD BE BASED ON
THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

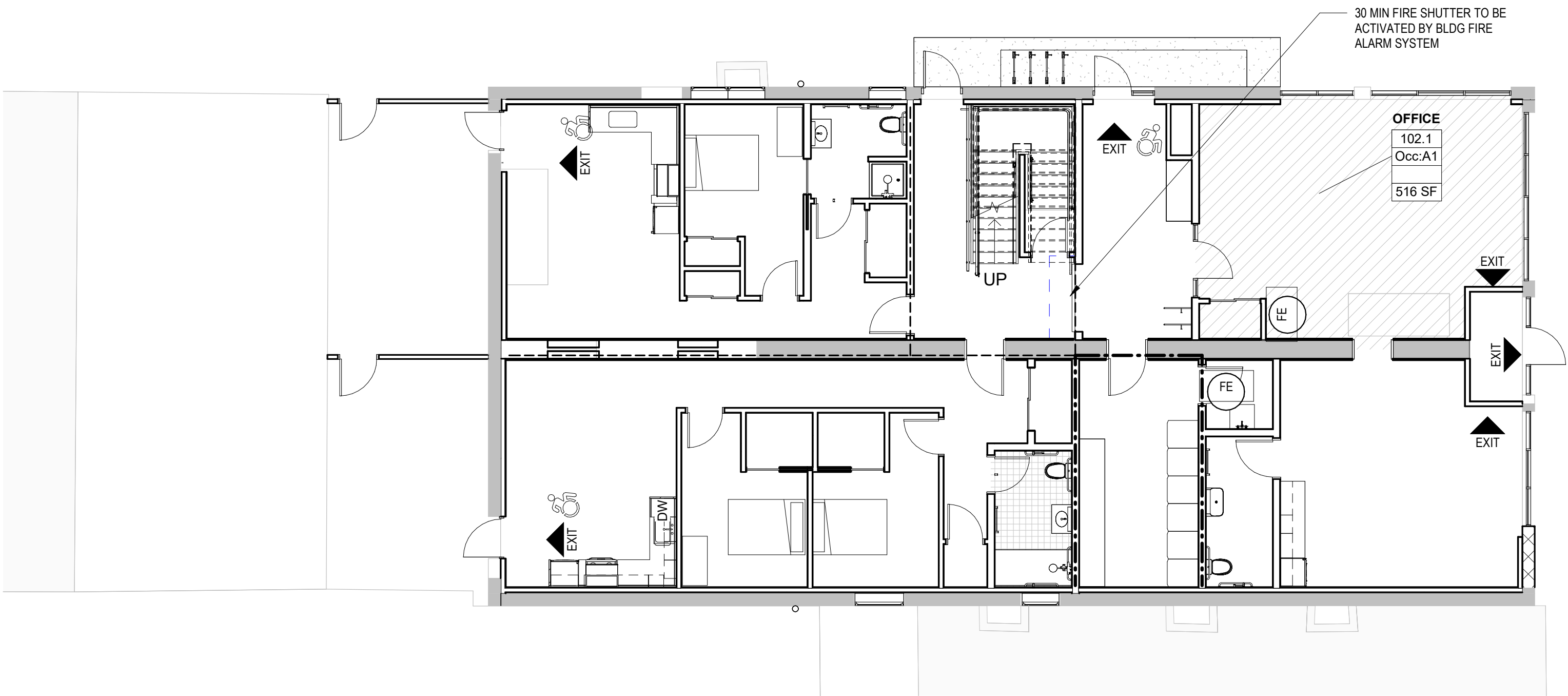
SYMBOLS,
ABBREVIATIONS
& GEN. NOTES

A-001

PERMIT SET



2 SECOND AND THIRD FLOOR PLAN
LS-01 1/8" = 1'-0"



1 LS FIRST FLOOR LIFE SAFETY PLAN
LS-01 1/8" = 1'-0"

CODE REVIEW LEGEND

ALL SYMBOLS NOT NECESSARILY USED

----	1/2-HR RATED PARTITION - MIN 50 STC RATING @ COORIDOR/RES UNITS
----	1-HR RATED PARTITION
----	TRAVEL DISTANCE
- - - -	MIN. 50 STC RATED DEMISING WALL
▲	EXIT LOCATION
▲	ADA ACCESSIBLE ENTRANCE
○	ADA ACCESSIBLE RESTROOM
FE	SEMI-RECESSED FIRE EXTINGUISHER CABINET

CODE REVIEW NOTES

PROJECT CLASSIFICATION:	EXISTING BUILDING - ALTERATION LEVEL 3	
OCCUPANCY CLASSIFICATION:	MIXED USE - NON-SEPARATED R-2 (MORE RESTRICTIVE)	
B (OFFICE SPACE) - BUSINESS USE		(BCNYS 304.1)
R-2 - APARTMENT HOUSE		(BCNYS 310.1)
CONSTRUCTION TYPE CLASSIFICATION:	IIIB	
BUILDING HEIGHTS AND AREAS:	R-2 (MOST RESTRICTIVE)	
	ALLOWABLE	ACTUAL
HEIGHT	5 STORIES/75'	3 STORIES/37'
AREA	48,000 SF	+/- 3,214 SF
FIRE RATING FOR:		
NON-SEPARATED OCC. - B/R2/A2 = 0 HR		(BCNYS 508.3.2)
DWELLING UNIT SEPARATION: 1/2 HR		(BCNYS 708.3) EXCEPTION 2
STAIR & ELEVATOR ENCLOSURES: 3 STORIES - 1/2 HOUR		(EBCNYS TABLE 805.3.1.1/2)
CORRIDORS: .5 HRS - R2 OCC. W/ SPRINKLERS		(BCNYS TABLE 1017.1)
BUILDING ELEMENTS (FIRE RATINGS):		(BCNYS TABLE 601)
CONSTRUCTION TYPE: STRUCTURAL FRAME	IIIB	0
INT. BEARING WALLS	0	0
EXT. BEARING WALLS	2	EXIST. TO REMAIN PER EXISTING BUILDING CODE SECTION 912.6
EXT. NON BEARING WALLS	0	0
INT. NON BEARING WALLS	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

OCCUPANCY LOAD:	(BCNYS TABLE 1004.1.1)
-BASEMENT:	0 - NOT OCCUPIABLE DUE TO HEAD HEIGHT < 7'
-FIRST FLOOR:	R2 = 2,168 SF/ 200 SF PER OCC. = 11 OCC. B = 1,039 SF/ 150 SF PER OCC. = 7 OCC. TOTAL OCCUPANTS = 18
-2ND & 3RD FLOOR:	16 PER FLOOR - 3,214 SF / 200 SF PER OCC. - R-2
EGRESS REQUIREMENTS:	(BCNYS TABLE 1061.1)
EXITS:	BASEMENT - 1 EXITS REQUIRED FIRST FLOOR - 2 EXITS REQUIRED 2ND & 3RD FLOOR - 1 EXITS REQUIRED*
	* PER TABLE 805.3.1.1(2) OF THE EXISTING BUILDING CODE OF NYS ONLY 1 EXIT IS REQUIRED PERMITTED THE FOLLOWING(3 STORY BUILDING WITH SPRINKLERS)
	1. MAXIMUM OF (4) DWELLING UNITS & 3,500 SF PER FLOOR
	2. EXIT ACCESS TRAVEL DISTANCE OF 75' OR LESS
	3. MINIMUM OF (1) EERO PER FLOOR ((1) PER UNIT PROVIDED)
	4. 1/2 HOUR RATED SHAFT AND EXIT ENCLOSURES
	5. INTERIOR FINISHES PER 803 & 804 OF THE BCNYS
	6. 1/2 HOUR RATED INCIDENTAL USE AREAS
	7. ELEC BRANCH CIRCUITS MEETING NFPA TO REQ'S
	8. MANUAL FIRE ALARM SYSTEM
	9. SMOKE ALARMS WITHIN DWELLING UNITS PER 907 OF THE BCNYS
	10. ELEC SUPERVISED QUICK RESPONSE WET PIPE SPRINKLER SYSTEM
	REF. PLANS FOR BUILDING AND TENANT EXIT LOCATIONS
TRAVEL DISTANCE:	<300' IN OCC. B - SPRINKLERED BLDG <250' IN OCC. R2 - SPRINKLERED BLDG
MAX COMMON PATH OF EGRESS:	R2 - 125' PER 1006.3.3
EGRESS WIDTH:	(BCNYS TABLE 1005.1)
	STAIRS - EXISTING TO REMAIN
	OTHER COMPONENTS - 0.15" PER OCC. -NOT LESS THAN 44" TO BE PROVIDED @ CORRIDORS AND 34" AT DOORS (BCNYS 1017.2)

FIRE PROTECTION:
SPRINKLER SYSTEM: PROVIDED - NFPA 13
STANDPIPES: NOT REQ'D, NOT PROVIDED
FIRE ALARM SYSTEM: PROVIDED
• BASEMENT/1ST FLOOR BUSINESS - NONE REQ'D
• R2 OCC (1ST, 2ND, 3RD FLOORS) - MANUAL SYSTEM PER BCNYS 907.2.9
FIRE EXTINGUISHERS: TO BE PROVIDED (FCNYS 906)
• BASEMENT/1ST FLOOR - LIGHT HAZARD, EXTINGUISHERS TO BE LOCATED AS SHOWN ON PLANS IN COMMON SPACES, LOCATIONS WITHIN TENANT SPACES TBD BASED ON FINAL TENANT LAYOUTS.
• R-2 - LIGHT HAZARD, 1A EXTINGUISHERS TO BE PROVIDED IN EA RESIDENTIAL UNIT KITCHEN.

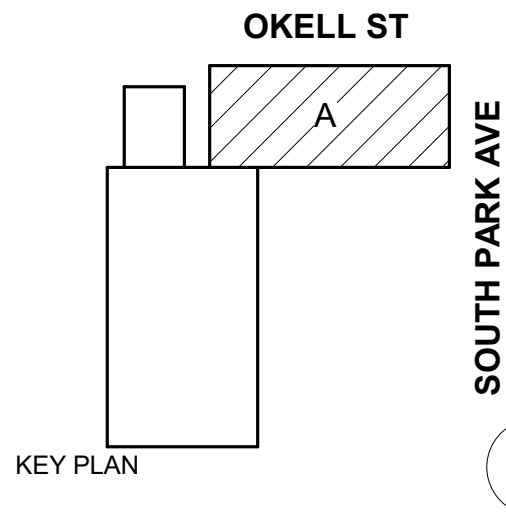
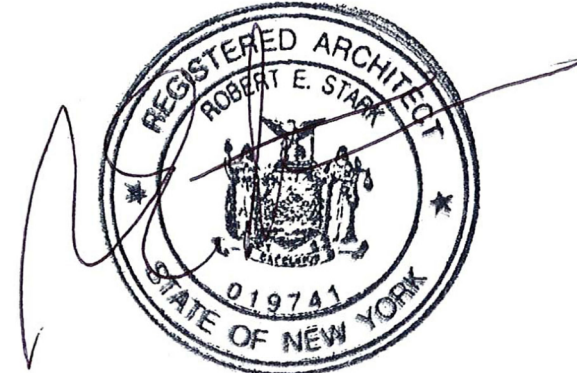
<u>ADA REQUIREMENTS:</u>	
RESIDENTIAL UNITS:	FIRST FLOOR UNITS TO BE TYPE 'B' UNITS
	FLOORS 2 & 3 - NOT ACCESSIBLE (NO ELEVATOR ACCESS), NO ADA REQUIREMENTS

ENERGY CODE:	
ERIE COUNTY - ZONE 5A	
BUILDING ENVELOPE REQUIREMENTS:	
MASS WALLS ABOVE GRADE - R13.3ci	
ROOF (INSUL. ABOVE ROOF DECK) - R30ci	
FENESTRATION:	
U-FACTOR:	FIXED: 0.38
	OPERABLE: 0.45
	ENTRANCE DOORS: 0.77
SHGC:	
	PF<0.2: 0.38

ORIGINAL DOCUMENT PRODUCED IN COLOR - DO NOT REPRODUCE IN BLACK & WHITE, DO NOT UTILIZE FOR CONSTRUCTION PURPOSES IF REPRODUCED IN BLACK & WHITE.



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DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	As indicated
ISSUE DATE	08/04/25
DRAWN BY	JC
CHECKED BY	RES

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DRAWING TITLE

LIFE SAFETY

LS-01

PERMIT SET

DEMO PLAN LEGEND

ALL SYMBOLS NOT NECESSARILY USED

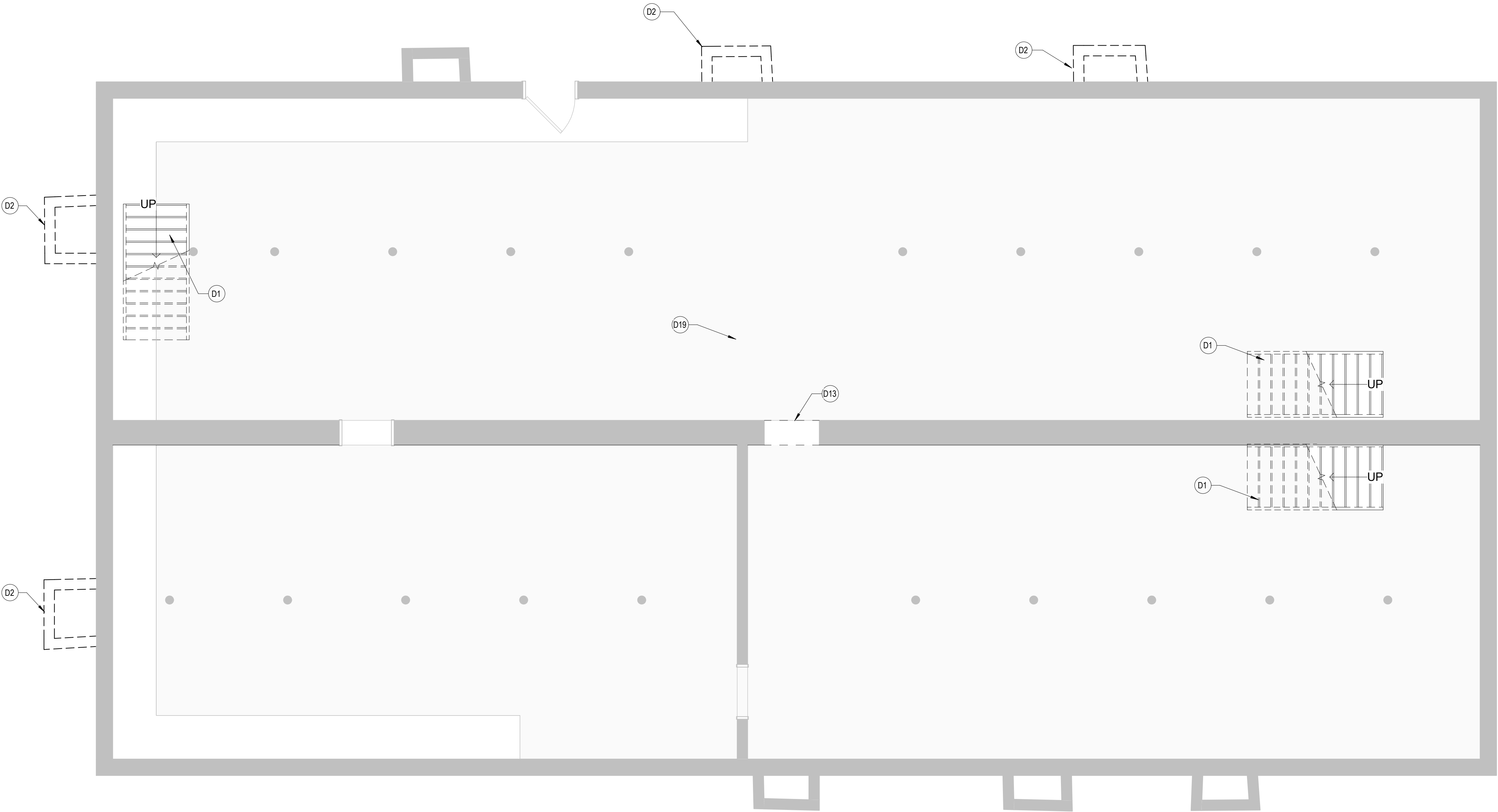
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION - REFER TO WALL TYPES
- EXISTING DOOR TO BE REMOVED
- NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

KEYNOTES - DEMOLITION

D1	DEMO EXISTING STAIRCOORD. REMOVAL W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT CIRCULATION NEEDS
D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING
D4	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDITON ARE TO REMAIN. INFILL STUD FRAMINGFURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL.
D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUC. ON LINTEL REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY- COORD. EXTENTS W/ PLANS
D11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS
D12	SAWCUT NEW OPENING
D13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY
D14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
D15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL
D16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS AND PREP FOR NEW ROOF ASSEMBLY
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D19	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
D20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR
D21	CUT PENTRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUC. DWGS
D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES
D23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF- COOR. W/ STRUCT DWGS
D25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS REPORT FOR ANY REGULATED BUILDING MATERIALS, CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS

GENERAL DEMOLITION NOTES

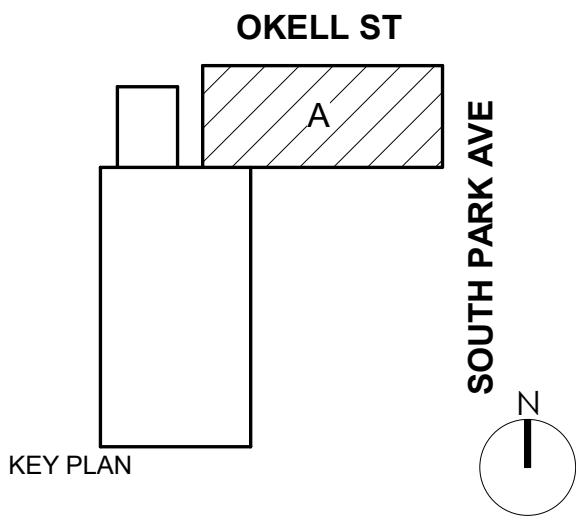
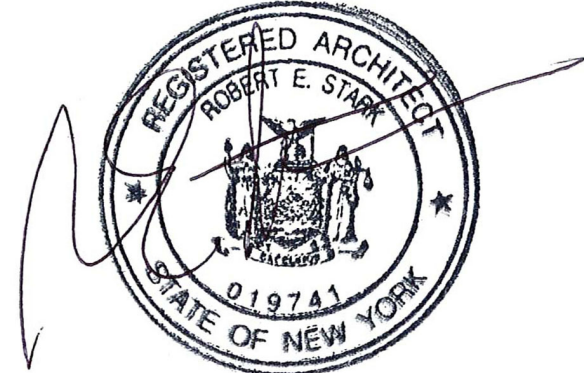
- REFERENCE A001 FOR GENERAL NOTES.
- REFER TO MEP DWGS TO COORDINATE DEMOLITION WORK REQUIRED FOR NEW PENETRATIONS REQUIRED BY NEW UTILITY WORK.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL NOT ENCUMBER AREAS OUTSIDE OF CONTRACT LIMIT LINES WITH DEBRIS OR MATERIALS.
- THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
- THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE AREA AT THE END OF EACH DAY. ALL COMBUSTIBLE MATERIALS / DEBRIS SHALL BE IMMEDIATELY REMOVED FROM THE AREA. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING OWNER REQUIREMENTS AND PROCEDURES.
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- THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER / MANAGER & TENANT. AREAS TO BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OWNER, PRIOR TO THE BID.
- SHOULD HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK, SEAL THE AREA, AND REPORT CONDITION TO THE OWNER AND THE ARCHITECT AND DO NO WORK UNTIL THE CONDITION IS CORRECTED. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO: MOLD, ASBESTOS, PIPE COVERING (INSULATION), VINYL ASBESTOS TILE, AND LEAD BASE PAINT.
- REMOVE FLOOR FINISHES WHERE NOTED.
- REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH CONCRETE FILL, PLYWOOD, ETC.
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- COORDINATE SIZE AND LOCATION OF FLOOR REMOVALS WITH NEW WORK.
- FOR ALL ITEMS CALLED OUT TO BE DEMOLISHED PROVIDE COMPLETE DEMOLITION SCOPE REMOVING ALL ASSOCIATED ATTACHMENTS AND ADHESIVES COMPLETE. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION
- REFERENCE D104 FOR ROOF INFORMATION.
- REMOVE ALL EXISTING CEILING TILES UNLESS OTHERWISE NOTED.
- IT IS THE INTENT OF THESE DEMO DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION (MEFPF) EQUIPMENT, PIPING, CONDUIT, WIRING, FIXTURES, ETC. TO BE REMOVED ON FLOORS 1-3. ITEMS IN THE BASEMENT SHALL BE REMOVED AS COORDINATED WITH THE FINAL MEFPF DRAWINGS AND ITEMS INDICATED TO BE EXISTING TO REMAIN.
- REFER TO PHASE ONE DEMO SET (7/21/25) DWGS FOR PREVIOUSLY REMOVED ITEMS.
- REMOVE ALL ABANDONED VENTS, LIGHTING, CONDUIT ETC. ON EXTERIOR FACADES. V.I.F.



1 BASEMENT FLOOR PLAN
D-100 1/4" = 1'-0"



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DRAWING TITLE

DEMO BASEMENT
PLAN

D-100

PERMIT SET

ALL SYMBOLS NOT NECESSARILY USED

EXISTING WALL TO BE REMOVED

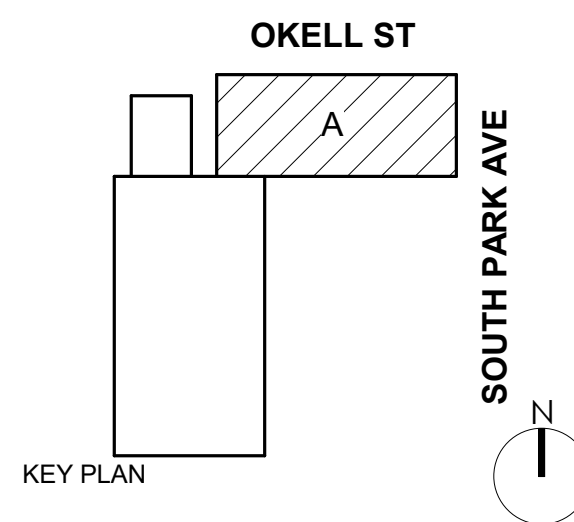
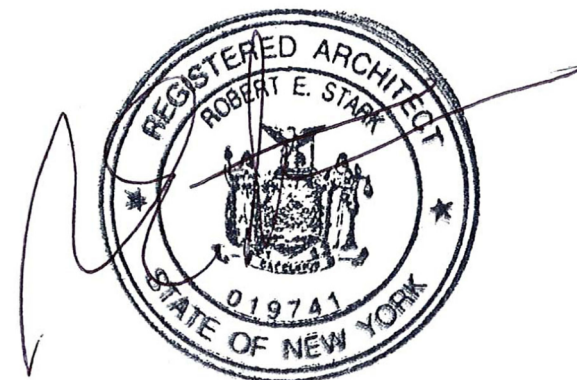
NEW CONSTRUCTION - REFER TO WALL TYPES

EXISTING DOOR TO BE REMOVED

NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

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16. REFERENCE D104 FOR ROOF INFORMATION.
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20. REMOVE ALL ABANDONED VENTS, LIGHTING, CONDUIT ETC. ON EXTERIOR FACADES, V.I.F.



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BUFFALO, NY 14220

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DRAWN BY Gao

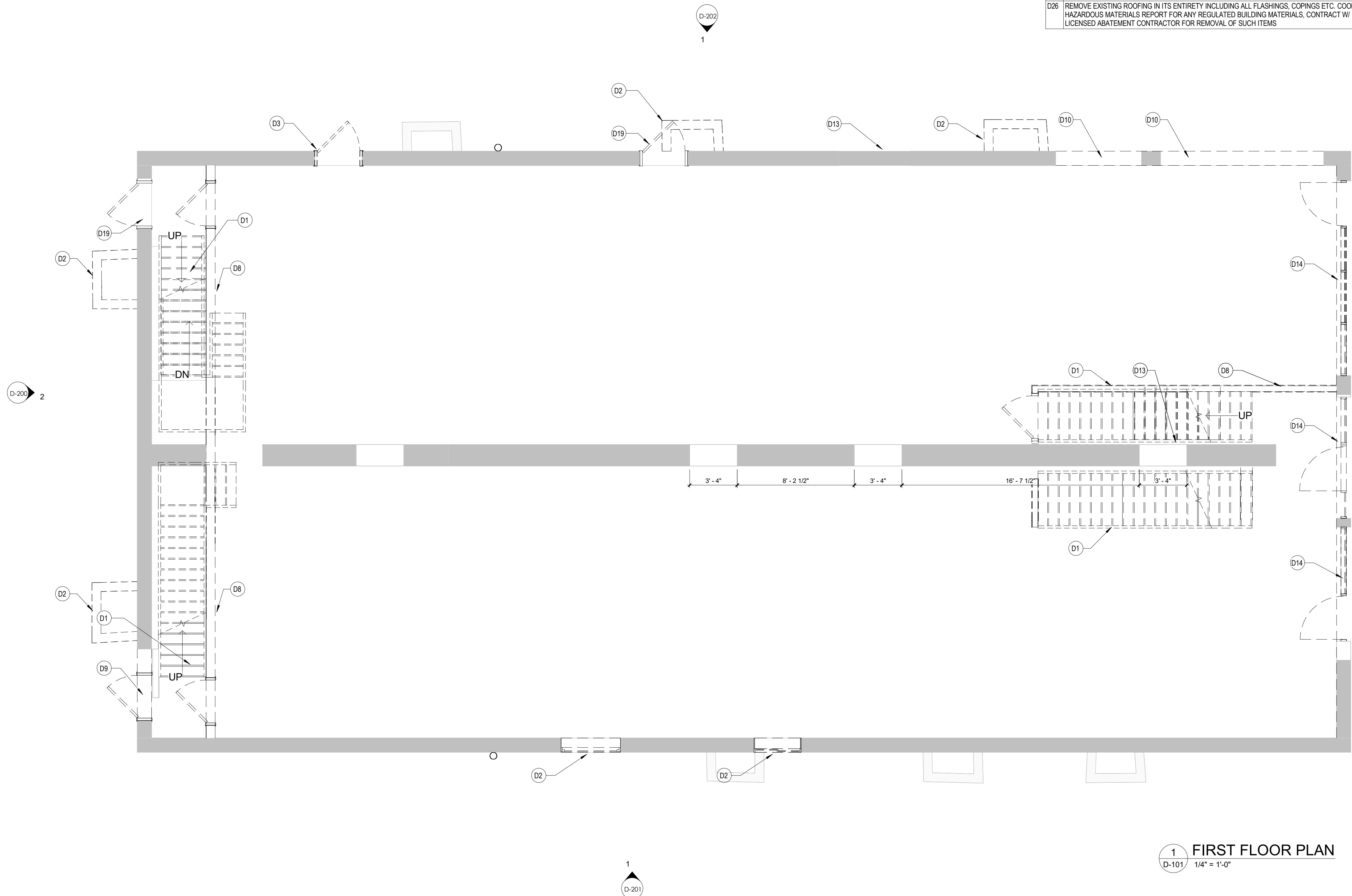
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DRAWING TITLE

D-101

PERMIT SET



ALL SYMBOLS NOT NECESSARILY USED

EXISTING WALL TO BE REMOVED

EXISTING DOOR TO BE REMOVED

NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

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FOR ALL ITEMS CALLED OUT TO BE DEMOLISHED PROVIDE COMPLETE DEMOLITION SCOPE REMOVALS INCLUDING ASSOCIATED ATTACHMENTS AND ADHESIVES COMPLETE. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION.

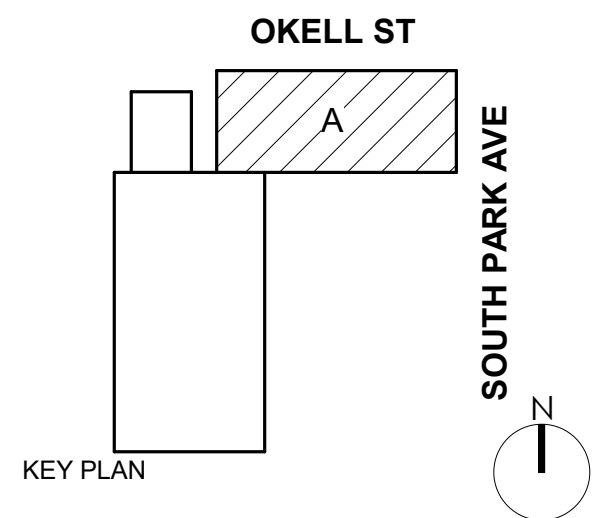
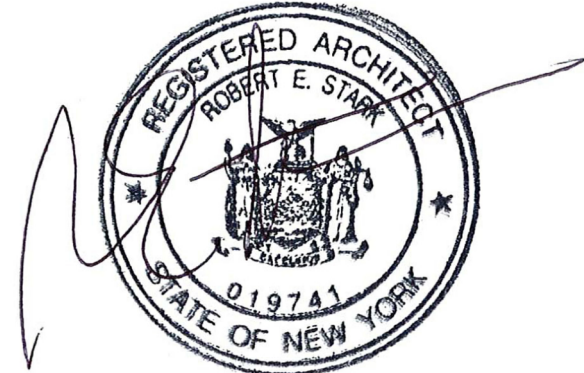
REFERENCE D104 FOR ROOF INFORMATION.

REMOVE ALL EXISTING CEILING TILES UNLESS OTHERWISE NOTED.

IT IS THE INTENT OF THESE DEMO DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, AND HVAC EQUIPMENT (RIGGING, PIPING, CONDUIT, WIRING, FIXTURES, ETC.) TO BE REMOVED ON FLOORS 1-3. ITEMS IN THE BASEMENT SHALL BE REMOVED AS COORDINATED WITH THE FINAL MEPF DRAWINGS AND ITEMS INDICATED TO BE EXISTING TO REMAIN.

REFER TO PHASE ONE DEMO SET (7/21/25) DWGS FOR PREVIOUSLY REMOVED ITEMS.

REMOVE ALL ABANDONED VENTS, LIGHTING, CONDUIT ETC. ON EXTERIOR FACADES. V.I.F.



SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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CHECKED BY JMC

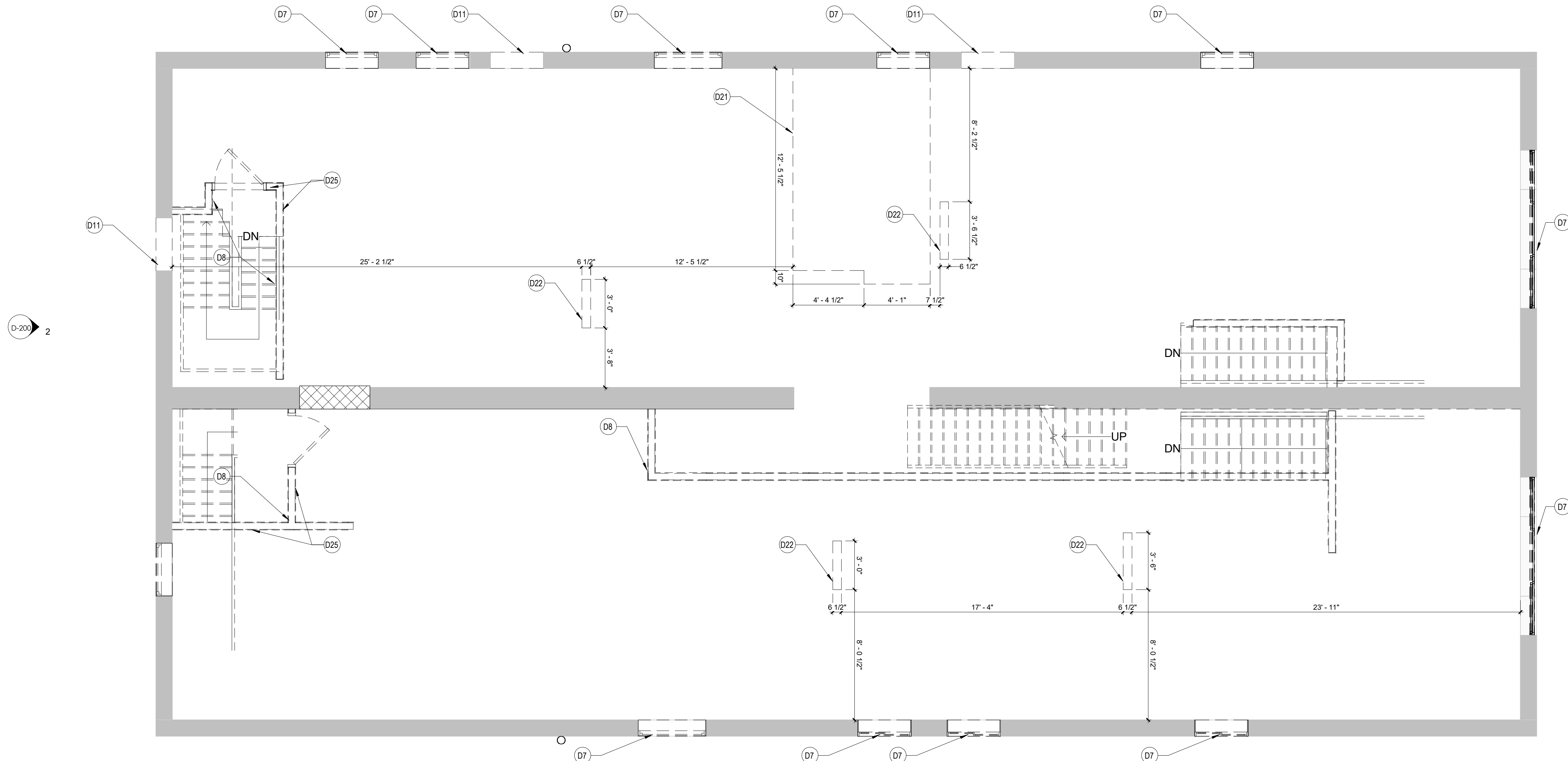
THIS IS A SINGLE SHEET OF A COHESIVE
SET OF CONSTRUCTION DOCUMENTS
(INCLUDING DRAWINGS AND SPECIFICATIONS).
INTERPRETATION OF THE INFORMATION
AS PRESENTED SHOULD BE BASED ON
THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

SECOND FLOOR DEMO PLAN

D-102

PERMIT SET



1 SECOND FLOOR PLAN
D-102 1/4" = 1'-0"

DEMO PLAN LEGEND

ALL SYMBOLS NOT NECESSARILY USED

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION - REFER TO WALL TYPES
- EXISTING DOOR TO BE REMOVED
- NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

KEYNOTES - DEMOLITION

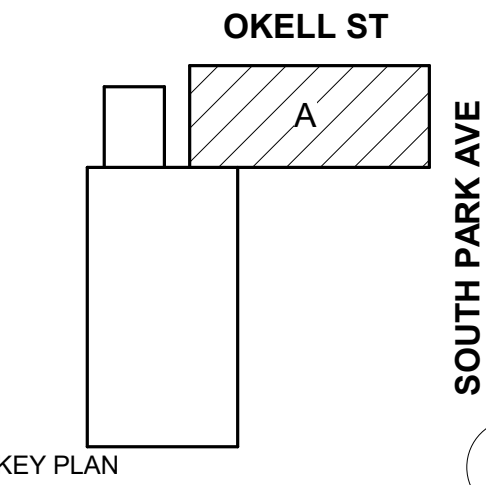
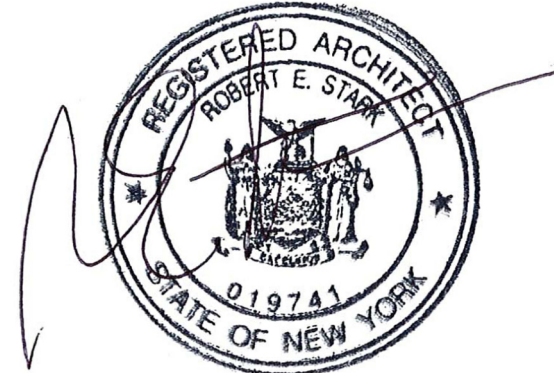
D1	DEMO EXISTING STAIRCOORD. REMOVAL W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT CIRCULATION NEEDS
D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING
D4	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDTION ARE TO REMAIN. INFILL STUD FRAMING/FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL.
D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUC. ON LINTEL REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY- COORD. EXTENTS W/ PLANS
D11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS
D12	SAWCUT NEW OPENING
D13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY
D14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
D15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL
D16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS AND PREP FOR NEW ROOF ASSEMBLY
D17	DEMO EXISTING SCUPPER AND PREP FOR NEW
D19	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
D20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR
D21	CUT PENTRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUC. DWGS
D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES.
D23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF- COOR. W/ STRUCT DWGS
D25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS REPORT FOR ANY REGULATED BUILDING MATERIALS, CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS

GENERAL DEMOLITION NOTES

- REFERENCE A001 FOR GENERAL NOTES.
- REFER TO MEP DWG'S TO COORDINATE DEMOLITION WORK REQUIRED FOR NEW PENETRATIONS REQUIRED BY NEW UTILITY WORK.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL NOT ENCUMBER AREAS OUTSIDE OF CONTRACT LIMIT LINES WITH DEBRIS OR MATERIALS.
- THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
- THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE AREA AT THE END OF EACH DAY. ALL COMBUSTIBLE MATERIALS / DEBRIS SHALL BE IMMEDIATELY REMOVED FROM THE AREA. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING OWNER REQUIREMENTS AND PROCEDURES.
- THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS.
- THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER / MANAGER & TENANT, AREAS TO BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OWNER, PRIOR TO THE BID.
- SHOULD HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK, SEAL THE AREA, AND REPORT CONDITION TO THE OWNER AND THE ARCHITECT AND DO NO WORK UNTIL THE CONDITION IS CORRECTED. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO: MOLD, ASBESTOS, PIPE COVERING (INSULATION), VINYL ASBESTOS TILE, AND LEAD BASE PAINT.
- REMOVE FLOOR FINISHES WHERE NOTED.
- REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH CONCRETE FILL, PLYWOOD, ETC.
- PATCH AND/OR REPLACE ANY SURFACE THAT IS DAMAGED DURING THE DEMOLITION PHASE, OR DAMAGED WALLS AND COLUMNS THAT ARE TO REMAIN.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- COORDINATE ALL DEMOLITION WORK W/ HAZARDOUS MATERIAL REPORT.
- ALL DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED. WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION TO CONTAIN DUST, MAINTAIN BUILDING SECURITY AND WEATHER TIGHTNESS. SEAL PARTITIONS AT FLOOR, ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
- COORDINATE SIZE AND LOCATION OF FLOOR REMOVALS WITH NEW WORK.
- FOR ALL ITEMS CALLED OUT TO BE DEMOLISHED PROVIDE COMPLETE DEMOLITION SCOPE REMOVING ALL ASSOCIATED ATTACHMENTS AND ADHESIVES COMPLETE. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION.
- REFERENCE D104 FOR ROOF INFORMATION.
- REMOVE ALL EXISTING CEILING TILES UNLESS OTHERWISE NOTED.
- IT IS THE INTENT OF THESE DEMO DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION (MEFPF) EQUIPMENT, PIPING, CONDUIT, WIRING, FIXTURES, ETC. TO BE REMOVED ON FLOORS 1-3. ITEMS IN THE BASEMENT SHALL BE REMOVED AS COORDINATED WITH THE FINAL MEFPF DRAWINGS AND ITEMS INDICATED TO BE EXISTING TO REMAIN.
- REFER TO PHASE ONE DEMO SET (7/21/25) DWGS FOR PREVIOUSLY REMOVED ITEMS.
- REMOVE ALL ABANDONED VENTS, LIGHTING, CONDUIT ETC. ON EXTERIOR FACADES. V.I.F.



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DOFI PROPERTIES

SOUTH PARK
MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

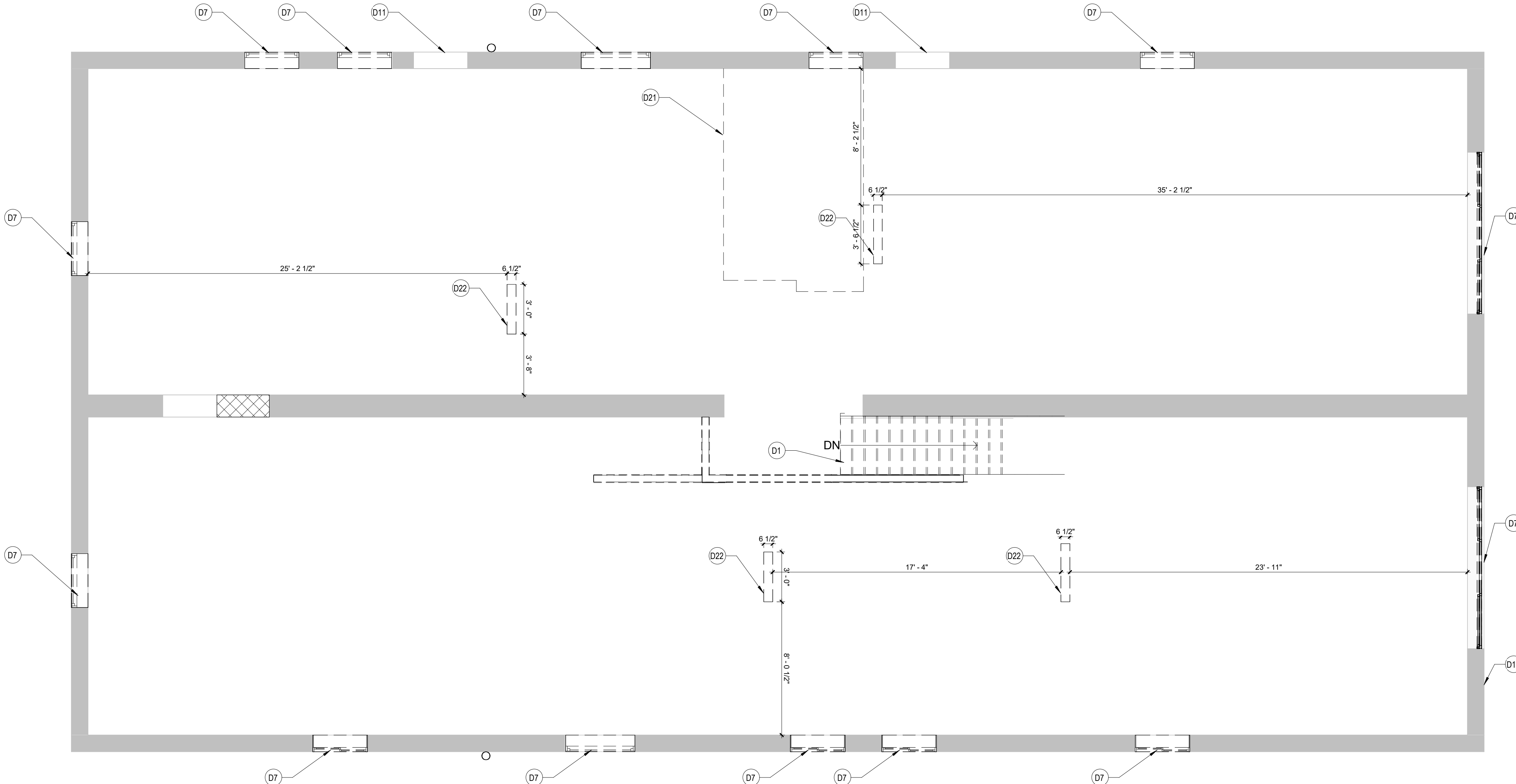
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DRAWING TITLE

THIRD FLOOR
DEMO PLAN

D-103

PERMIT SET



THIRD FLOOR PLAN

1/4" = 1'-0"

ALL SYMBOLS NOT NECESSARILY USED

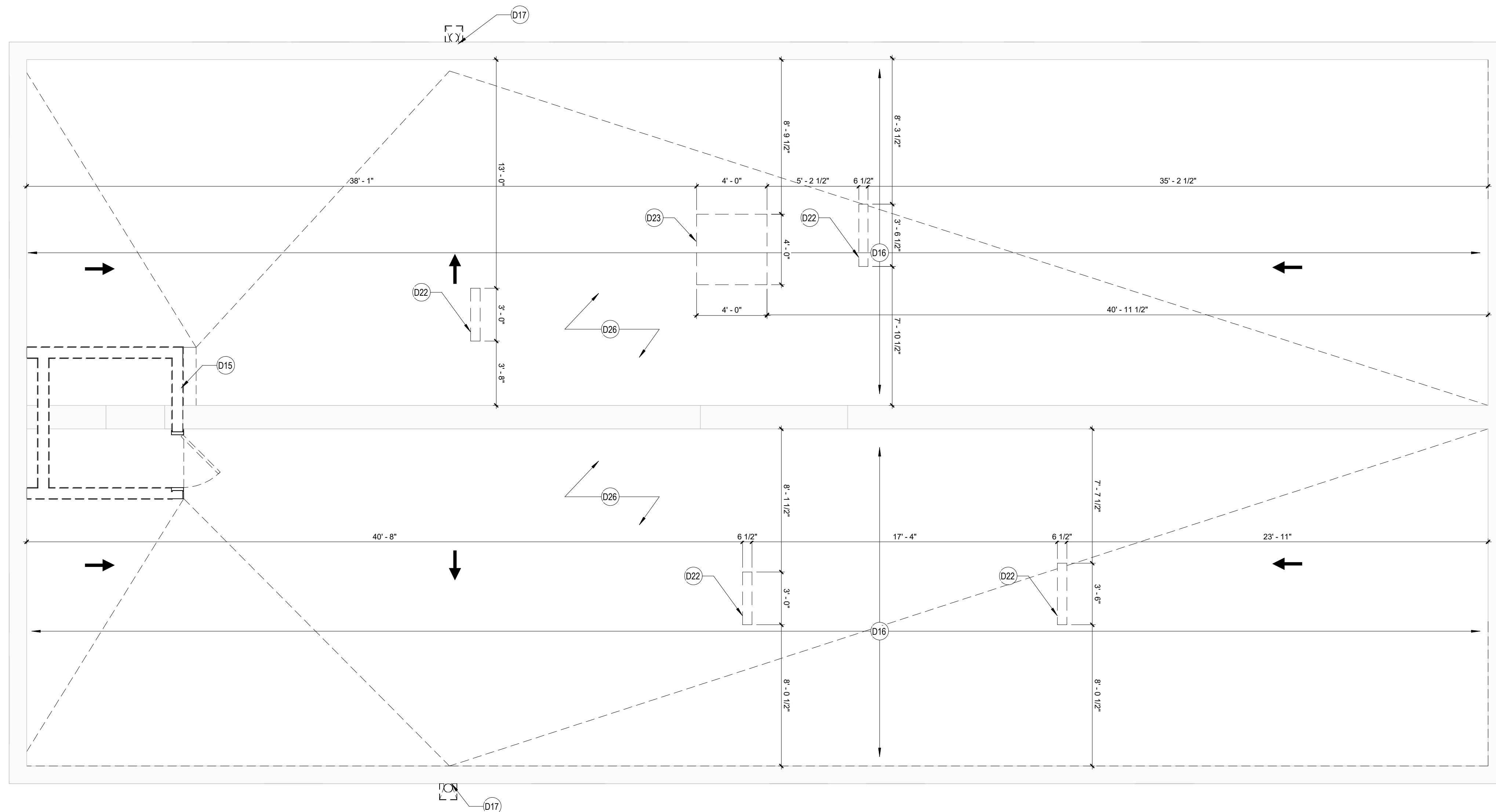
EXISTING WALL TO BE REMOVED

EXISTING DOOR TO BE REMOVED

NEW DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

(D-202)

1

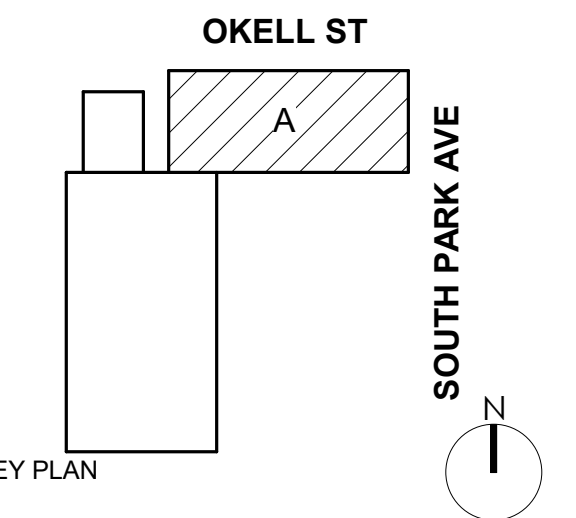
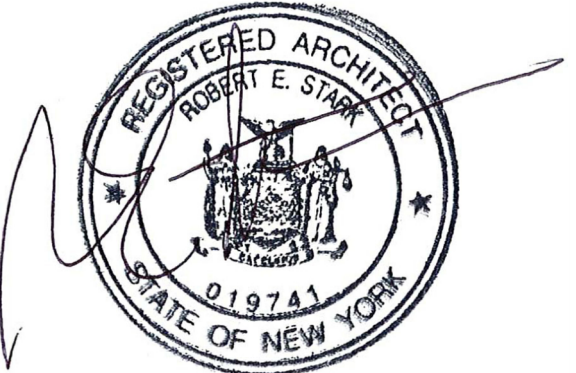


1

(D-201)

D1	DEMO EXISTING STAIRCOORD. REMOVAL W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT. CIRCULATION NEEDS
D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING
D4	REMOVE EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL. FURRING EXISTING STUDS IN GOOD CONDITION ARE TO REMAIN. INFILL STUD FRAMING/FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL.
D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUC. ON LINTEL REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY - COORD. EXTENTS W/ PLANS
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D12	SAWCUT NEW OPENING
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D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES
D23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF. COORD. W/ STRUC. DWGS
D25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS CONTRACTOR FOR ANY REGULATED BUILDING MATERIALS. CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS

1. REFERENCE A001 FOR GENERAL NOTES.
2. REFER TO MEP DWGS TO COORDINATE DEMOLITION WORK REQUIRED FOR NEW PENETRATIONS REQUIRED BY NEW UTILITY WORK.
3. THE CONTRACTOR'S DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
4. THE CONTRACTOR SHALL NOT ENCUMBER AREAS OUTSIDE OF CONTRACT LIMITS WITH DEMO DEBRIS.
5. THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
6. THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE AREA AT THE END OF EACH DAY.
7. ALL COMBUSTIBLE MATERIALS / DEBRIS SHALL BE IMMEDIATELY REMOVED FROM THE AREA. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING OWNER REQUIREMENTS AND PROCEDURES.
8. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS.
9. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER / MANAGER / ARCHITECT / AREAS TO BE USED FOR MATERIAL STORAGE, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
10. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OWNER, PRIOR TO THE BID.
11. ALL HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK, SEAL THE AREA, AND REPORT CONDITION TO THE OWNER AND THE ARCHITECT AND DO NO WORK UNTIL THE CONDITION IS CORRECTED. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO: MOLD, ASBESTOS, PIPE COVERING (INSULATION), VINYL ASBESTOS TILE, AND LEAD BASE PAINT. REMOVE COVER FINISHES WHERE NOTED.
12. REMOVE ALL EXISTING FLOOR MATERIALS WHICH CAUSE RISKS OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTENERS, OUTLET COVERS, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH CONCRETE FILL, PLYWOOD, ETC.
13. PATCH AND/OR REPLACE ANY SURFACE THAT IS DAMAGED DURING THE DEMOLITION PHASE, OR DAMAGED WALLS AND COLUMNS THAT ARE TO REMAIN.
14. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
15. COORDINATE ALL DEMOLITION WORK WITH HAZARDOUS MATERIAL REPORT. IF DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED. WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
16. THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION TO CONTROL DUST, MAINTAIN FIRE RESISTIVITY AND WEATHER TIGHTNESS. SEAL PARTITIONS AT FLOOR, ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
17. COORDINATE SIZE AND LOCATION OF FLOOR REMOVALS WITH NEW WORK.
18. FOR ALL ITEMS CALLED OUT TO BE DEMOLISHED PROVIDE COMPLETE DEMOLITION SCOPE REMOVING ALL ASSOCIATED ATTACHMENTS AND ADHESIVES COMPLETE. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION.
19. REFERENCE D104 FOR ROOF INFORMATION.
20. REMOVE ALL EXISTING CEILING TILES UNLESS OTHERWISE NOTED.
21. IT IS THE INTENT OF THESE DEMO DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE, AND WEATHER RESISTIVITY EQUIPMENT, PIPING, CONDUIT, WIRING, FIXTURES, ETC. TO BE REMOVED ON FLOORS 1-3 ITEMS IN THE BASEMENT SHALL BE REMOVED AS COORDINATED WITH THE FINAL MEP/PD DRAWINGS AND ITEMS INDICATED TO BE EXISTING TO REMAIN.
22. REFER TO PHASE ONE DEMO SET (7/21/25) DWGS FOR PREVIOUSLY REMOVED ITEMS.
23. REMOVE ALL ABANDONED VENTS, LIGHTING, CONDUIT ETC ON EXTERIOR FACADES, V.I.F.



DOFI PROPERTIES

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO. 2508

SCALE $1/4" = 1'-0"$

ISSUE DATE	08/04/25
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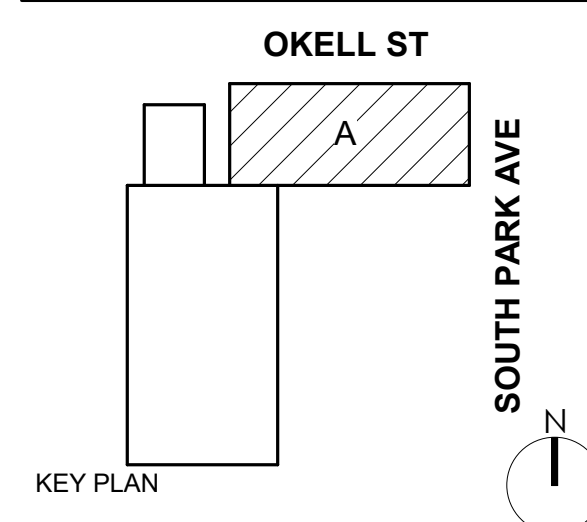
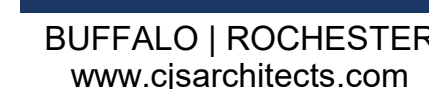
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INTERPRETATION OF THE INFORMATION
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DRAWING TITLE

D-104

PERMIT SET



SOUTH PARK
MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

JOB NO.	250
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/20
DRAWN BY	Ga
CHECKED BY	JM

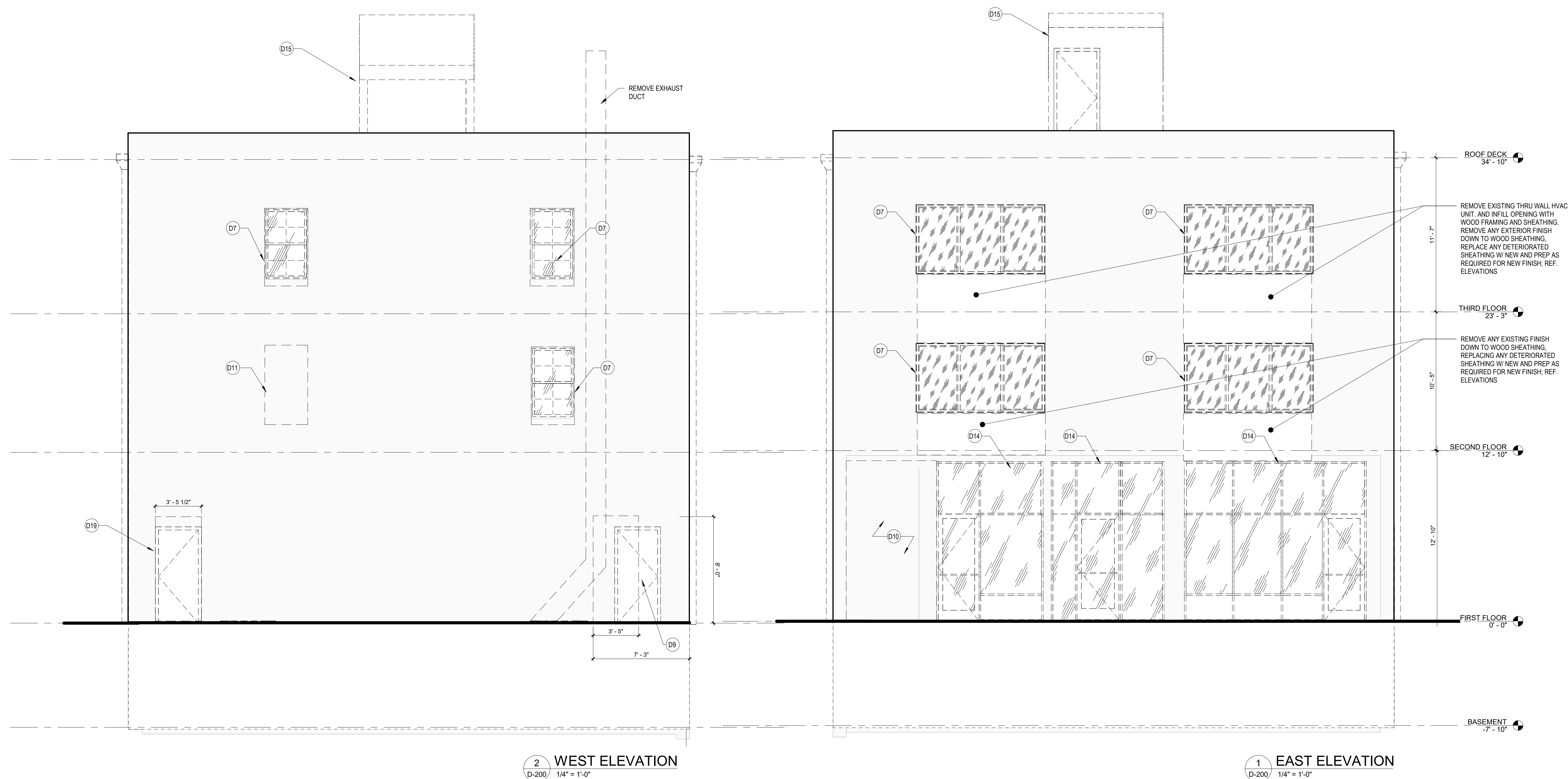
DRAWING TITLE

DEMO EXTERIOR ELEVATIONS

D-200

PERMIT SET

D1	DEMO EXISTING STAIRCOORD. REMOVAL W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT CIRCULATION NEEDS
D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING
D4	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDITION ARE TO REMAIN. INFILL STUD FRAMING/FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL
D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUCT. ON LINTEL REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY- COORD. EXTENTS W/ PLANS
D11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS
D12	SAWCUT NEW OPENING
D13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY
D14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
D15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL
D16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS AND PREP FOR NEW ROOF ASSEMBLY
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D19	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
D20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR
D21	CUT PENETRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUCT. DWGS
D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES.
D23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRAIDED AND JACKED OFF-COORD. W/ STRUCT. DWGS
D25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS REPORT FOR ANY REGULATED BUILDING MATERIALS. CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS.



KEYNOTES - DEMOLITION

01	DEMO EXISTING STAIRCORE. REMOVAL W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT CIRCULATION NEEDS
02	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
03	REMOVE EXISTING DOOR AND INFILL OPENING
04	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDITION ARE TO REMAIN. INSTALL STUD FRAMING/FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INFILL.
05	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
06	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
07	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
08	DEMO EXISTING WALL
09	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENINGS - COORD. W/ STRUCT. ON LINTEL REQUIREMENTS
10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY- COORD. EXTENTS W/ PLANS
11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS
12	SAWCUT NEW OPENING
13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY
14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL
16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS AND PREP FOR NEW ROOF ASSEMBLY
17	DEMO EXISTING SCUPPER AND PREP FOR NEW
18	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR
21	CUT PENETRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUCT. DWGS
22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES.
23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF- COORD. W/ STRUCT DWGS
25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS REPORT BY AN REGISTERED BUILDING MATERIALS. CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS.

D1	DEMO EXISTING STAIRCOORD. REMOVE W/ OTHER CONSTRUCTION ACTIVITIES AND TEMP. VERT. CIRCULATION NEEDS
D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING
D4	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDITION ARE TO REMAIN. INFILL STUDS AND FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL.
D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFLECTATE GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING
D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUCT. ON LINTEL REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY - COORD. EXTENTS W/ PLANS
D11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS
D12	SAWCUT NEW OPENING
D13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY
D14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
D15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL
D16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS, AND PREP FOR NEW ROOF ASSEMBLY
D17	DEMO EXISTING SCUPPER AND PREP FOR NEW
D18	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
D20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR
D21	CUT PENETRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUCT. DWGS
D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE. COORDINATE WITH ARCHITECT IF CONFLICT ARISES.
D23	CUT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF- COORD. W/ STRUCT DWGS
D25	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALLED REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIALS REPORT FOR ANY REGULATED BUILDING MATERIALS. CONTRACT W/ LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS.

D2	REMOVE EXISTING WINDOW WELL AND INFILL OPENING
D3	REMOVE EXISTING DOOR AND INFILL OPENING

D4	DEMO EXISTING GWB, POLY VAPOR BARRIER, INSULATION, AND ANY WATER DAMAGED STUDS AT EXISTING EXTERIOR WALL FURRING. EXISTING STUDS IN GOOD CONDITIOIN ARE TO REMAIN. INFILL STUD FRAMING/FURRING WHERE NEEDED TO FACILITATE NEW INSULATION AND DRYWALL INSTALL.
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D5	REMOVE ALL EXISTING PLUMBING FIXTURES - REFER TO GENERAL NOTES FOR ADDITIONAL MEP REMOVALS
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D6	REMOVE GWB, WALL FURRING AND INSULATION COMPLETELY TO INTERIOR PARTITION
D7	REMOVE EXISTING WINDOW ASSEMBLY AND MECHANICAL UNIT DOWN TO MASONRY OPENING

D8	DEMO EXISTING WALL
D9	DEMO EXISTING DOOR AND SAWCUT ENLARGED OPENING - COORD. W/ STRUC. ON LINTEL

	REQUIREMENTS
D10	DEMO EXISTING INFILL AND PREP OPENING FOR NEW STOREFRONT ASSEMBLY- COORD. EXTENTS W/

	PLANS
D11	DEMO INFILL AND PREP OPENING FOR NEW WINDOW ASSEMBLY - COORD. EXTENTS WITH PLANS

D12	SAWCUT NEW OPENING
D13	SAWCUT MASONRY OPENING AND PREP FOR NEW DOOR ASSEMBLY

D14	DEMO EXISTING STOREFRONT AND PREP FOR NEW ASSEMBLY
D15	DEMO EXISTING PENTHOUSE DOWN TO DECK AND PREP OPENING FOR INFILL

D16	DEMO EXISTING ROOF DECK DOWN TO RAFTERS AND PREP FOR NEW ROOF ASSEMBLY
D17	DEMO EXISTING SCUPPER AND PREP FOR NEW

D19	DEMO EXISTING DOOR AND PREP FOR NEW DOOR ASSEMBLY
D20	DEMO EXISTING FLOOR FINISH DOWN TO SUBFLOOR

D21	CUT PENTRATION IN EXISTING FLOOR FOR NEW STAIRWELL - PROVIDE ALL NECESSARY SHORING + COORD. W/ STRUC. DWGS
-----	--

D22	CUT EXISTING FLOOR/ROOF FOR NEW CHASE PENETRATION. ALL EXISTING STRUCTURAL MEMBERS TO REMAIN IN PLACE, COORDINATE WITH ARCHITECT IF CONFLICT ARISES.
D23	CUT EXISTING ROOF, AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE

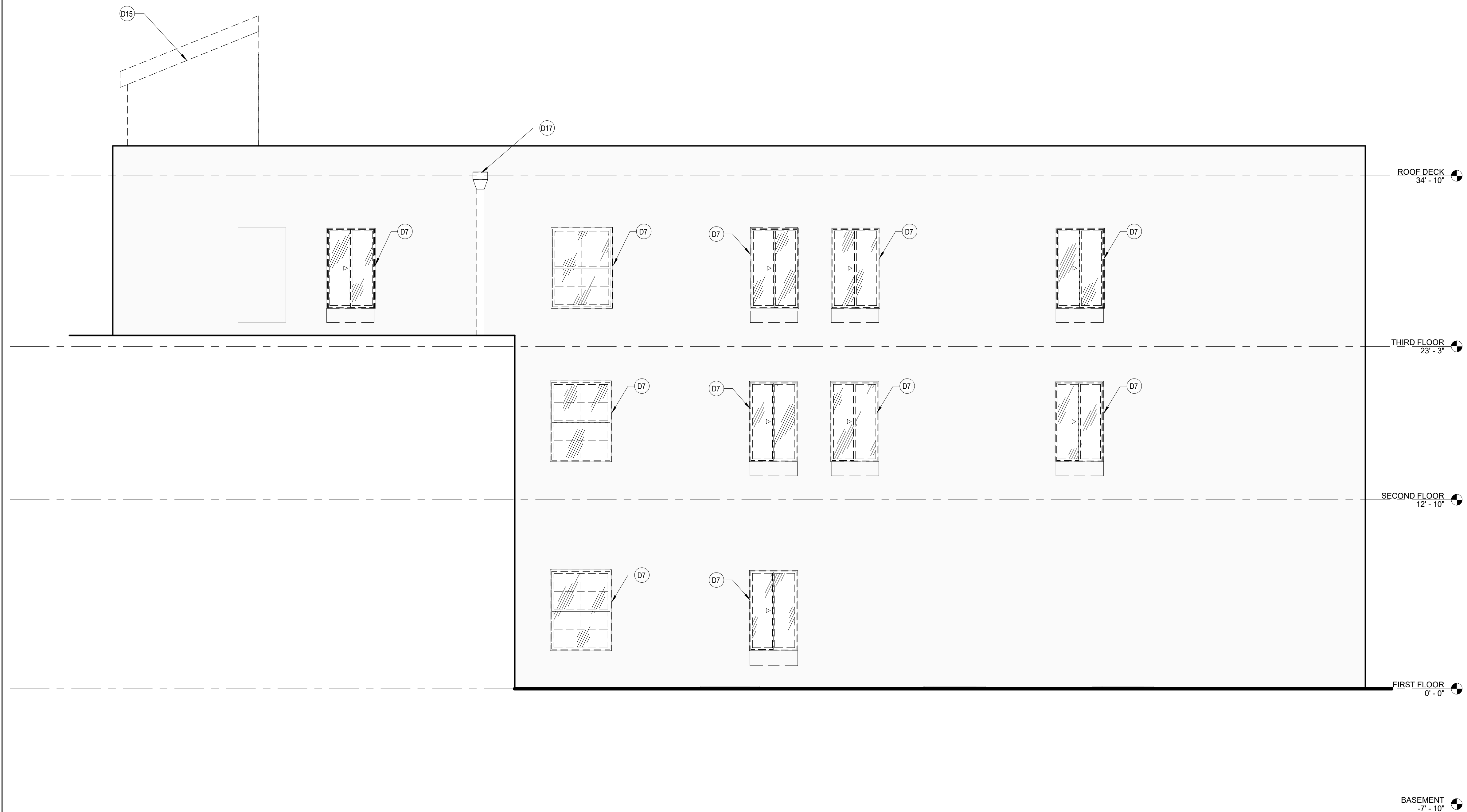
D23	COT EXISTING ROOF AND RAFTER FOR NEW ROOF HATCH. ALL STRUCTURAL MEMBERS TO BE BRACED AND BLOCKED OFF- COOR. W/ STRUCT DWGS
D26	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS

D23	COORD. REMOVAL OF WALL W/ NEW ROOF FRAMING INSTALL. REF. TO STRUCT. DWGS
D26	REMOVE EXISTING ROOFING IN ITS ENTIRETY INCLUDING ALL FLASHINGS, COPINGS ETC. COORD. W/ HAZARDOUS MATERIAL S REPORT FOR ANY REGULATED BUILDING MATERIAL S. CONTRACT W/

LICENSED ABATEMENT CONTRACTOR FOR REMOVAL OF SUCH ITEMS

GENERAL DEMOLITION NOTES

1. REFERENCE A017 FOR GENERAL NOTES.
2. REFER TO MEP DWGS TO COORDINATE DEMOLITION WORK REQUIRED FOR NEW PENETRATIONS REQUIRED BY NEW UTILITY WORK.
3. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL CONTRACT DOCUMENTS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS, THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
5. THE CONTRACTOR SHALL NOT ENCUMBER AREAS OUTSIDE OF CONTRACT LIMIT LINES WITH DEBRIS OR MATERIALS.
6. THE CONTRACTOR SHALL REMOVE ALL DEBRIS IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
7. THE CONTRACTOR SHALL NOT ALLOW DEBRIS TO ACCUMULATE. ALL DEBRIS SHALL BE REMOVED FROM THE AREA AT THE END OF EACH DAY. ALL CONSTRIABLE MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE AREA. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING OWNER REQUIREMENTS AND PROCEDURES.
8. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS.
9. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING OWNER / MANAGER & TENANT. AREAS TO BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS STORAGE, ETC. PRIOR TO DEMOLITION.
10. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AND OWNER. PRIOR TO THE BID.
11. SHOULD HAZARDOUS MATERIALS BE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK, SEAL THE AREA, AND REPORT THE CONDITION TO THE OWNER AND THE ARCHITECT AND DO NO WORK UNTIL THE CONDITION IS CORRECTED. HAZARDOUS MATERIALS INCLUDE BUT ARE NOT LIMITED TO: MOLD, ASBESTOS, PIPE COVERING (INSULATION), VINYL ASBESTOS TILE, AND LEAD BASE PAINT. REMOVE FLOOR FINISHES WHERE NEEDED.
12. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISKS OR OBSTRUCTIONS IN THE SURFACE SUCH AS FASTENERS, OUTLET COVERS, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH CONCRETE FILL, PLYWOOD, ETC.
14. PATCH AND/OR REPLACE ANY SURFACE THAT IS DAMAGED DURING THE DEMOLITION PHASE, OR DAMAGED WALLS AND COLUMNS THAT ARE TO REMAIN.
15. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
16. COORDINATE ALL DEMOLITION WORK W/ HAZARDOUS MATERIAL REPORT. ALL DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SPECIFICALLY IS NOTED TO BE SALVAGED, WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
17. THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION TO CONTAIN DUST, MAINTAIN BUILDING SECTORS AND WEATHER TIGHTNESS. PARTITIONS AT ALL ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
18. COORDINATE SIZE AND LOCATION OF FLOOR REMOVALS WITH NEW WORK.
19. FOR ALL ITEMS CALLED OUT TO BE DEMOLISHED PROVIDE COMPLETE DEMOLITION SCOPE REMOVING ALL ASSOCIATED ATTACHMENTS AND ADHESIVES COMPLETE. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION.
20. REFERENCE D104 FOR ROOF INFORMATION.
21. REMOVE ALL EXISTING CEILING TILES UNLESS OTHERWISE NOTED.
22. IT IS THE INTENT OF THESE DEMO DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION (MEPPF) EQUIPMENT, PIPING, CONDUIT, WIRING, FLEX, ETC. TO BE REMOVED ON DOORS 1-3. ITEMS IN THE BASEMENT SHALL BE REMOVED AS COORDINATED WITH THE FINAL MEPPF DRAWINGS AND ITEMS INDICATED TO BE EXISTING TO REMAIN.
23. REFER TO PHASE ONE DEMO SET (7/21/23) DWGS FOR PREVIOUSLY REMOVED ITEMS.
24. REMOVE ALL ABANDONED VENTILATION, LIGHTING, CONDUIT ETC. ON EXTERIOR FACADES, V.I.E.



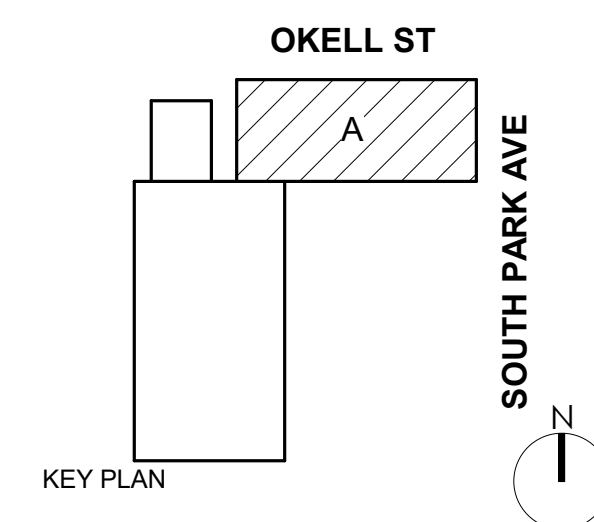
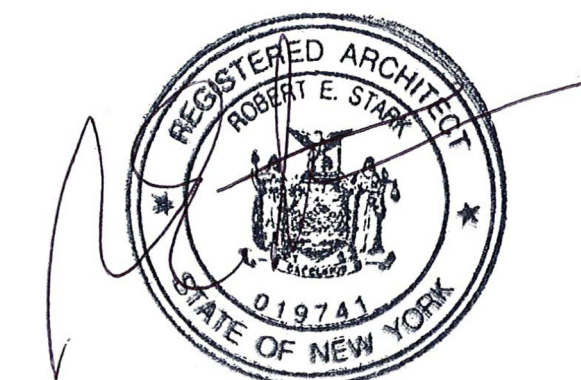
1 SOUTH ELEVATION
D-201 1/4" = 1'-0"

D-201 1/4" = 1'-0'



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DOFI PROPERTIES

SOUTH PARK
MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

BUFFALO, NY 14220

REV.#	DESCRIPTION	DATE
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JOB NO.	2500
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/21
DRAWN BY	Ga
CHECKED BY	JMC

SCALE $1/4" = 1'-0"$

ISSUE DATE 08/04/2015

DRAWN BY _____ Ga

CHECKED BY _____ JMC

THIS IS A SINGLE SHEET OF A COHESIVE
SET OF CONSTRUCTION DOCUMENTS
(INCLUDING DRAWINGS AND SPECIFICATIONS);
INTERPRETATION OF THE INFORMATION
AS PRESENTED SHOULD BE BASED ON
THE ENTIRE SET OF DOCUMENTS.

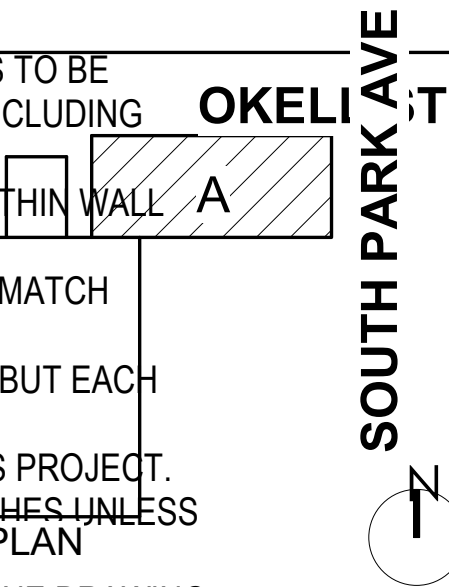
DRAWING TITLE

DEMO EXTERIOR
ELEVATION

ELEVATION

D-201

PERMIT SET



**SOUTH PARK
MIXED USE**
2221 SOUTH PARK AVE
BUFFALO, NY 14220

JOB NO.	2508
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

THIS IS A SINGLE SHEET OF A COHESIVE
SET OF CONSTRUCTION DOCUMENTS
(INCLUDING DRAWINGS AND SPECIFICATIONS)
INTERPRETATION OF THE INFORMATION
— AS PRESENTED SHOULD BE BASED ON
DRAWING TITLE TIRE SET OF DOCUMENTS.

BASEMENT PL

A-100

PERMIT SET

1. REFERENCE SHEET A-001 MATERIAL LEGEND, SYMBOL LEGEND AND ABBREVIATIONS USED.

2. REFERENCE STRUCTURAL DRAWINGS FOR UNIT MASONRY, STEEL, ETC. INFORMATION.

3. REFERENCE ROOM FINISH SCHEDULE, FLOOR PATTERN PLANS & R CEILING PLANS FOR FINISH INFORMATION.

4. REFER TO U.L. FIRE RESISTANCE DIRECTORY FOR DETAILS ON FIRE WALLS, COLUMNS ENCLOSURES, FLOOR/CEILING ASSEMBLIES & CEILING ASSEMBLIES.

5. ALL SUB-CONTRACTORS SHALL VERIFY THAT CONDITIONS PRESENT MEET STANDARD INDUSTRY ACCEPTED CRITERIA FOR ACCEPTING/PERFORMING WORK OF THEIR TRADE. IF CONDITIONS PRESENT WILL NOT FACILITATE PERFORMANCE OF THEIR WORK IN AN ACCEPTABLE FASHION, SAID CONTRACTOR SHALL BRING THE DEFICIENCIES TO THE ATTENTION OF THE CM OR GC. IF WORK PROCEEDS WITHOUT CORRECTING DEFICIENT EXISTING CONDITIONS, ANY COSTS ASSOCIATED WITH REMOVAL & REINSTALLATION OF SAID WORK WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR.

6. BATH ROUGH OPENINGS SHALL NOT INTERRUPT UL DESIGN OF FIRE RATED FLOOR, WALL, AND CEILING ASSEMBLIES.

7. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE CONTINUOUS TO THE UNDERSIDE OF FLOOR DECK, FIRE RATED CEILING ASSEMBLY, OR FIRE RATED CEILING/ROOF ASSEMBLY ABOVE.

8. PROVIDE DRAFTSTOPPING AT THE TOP OF ALL CONCEALED WALL CAVITIES. DRAFTSTOPPING SHALL BE OF AN BCNYS APPROVED MATERIAL AND SHALL PREVENT THE PASSAGE OF SMOKE FROM THE WALL CAVITY INTO ANY ADJACENT CEILING/FLOOR OR CEILING/ROOF CAVITIES.

9. PROVIDE SOLID WOOD BLOCKING AS REINFORCING FOR ALL WALL HUNG ITEMS INCLUDING BUT NOT LIMITED TO: HANDRAILS, GRAB BARS, FUTURE GRAB BARS, CABINETS, ELEC. PANELS, FIXTURES AND ACCESSORIES.

10. MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE PROVIDED AT ALL WET AREAS (TOILETS, KITCHENS, MOP SINKS, ETC.)

11. ALL STRUCTURE., MECH., ELEC., PLUMB. AND FIRE PROTECTION ELEMENTS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO OTHER SECTIONS OF THE DOCUMENTS AS APPROPRIATE FOR OTHER TRADES. WHERE DISCREPANCIES EXIST BETWEEN ARCH. DRAWINGS AND OTHER TRADES, CONTRACTOR SHALL NOTIFY GC OR CM & ARCHITECT PRIOR TO PERFORMING ANY WORK RELATED TO SAID DISCREPANCY.

12. MECH. COVERS, GRILLES, ETC. WITH MECH. DWGS. COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE, INCLUDING PREMIUM FINISHES/COLORS.

13. DOORS LOCATED IN CLOSETS OR PARTITIONS TO BE CENTERED WITHIN WALL UNLESS OTHERWISE NOTED.

14. CUSTOM PAINT ELECTRICAL PANEL BOXES IN RESIDENTIAL UNITS - MATCH ADJACENT WALL COLOR.

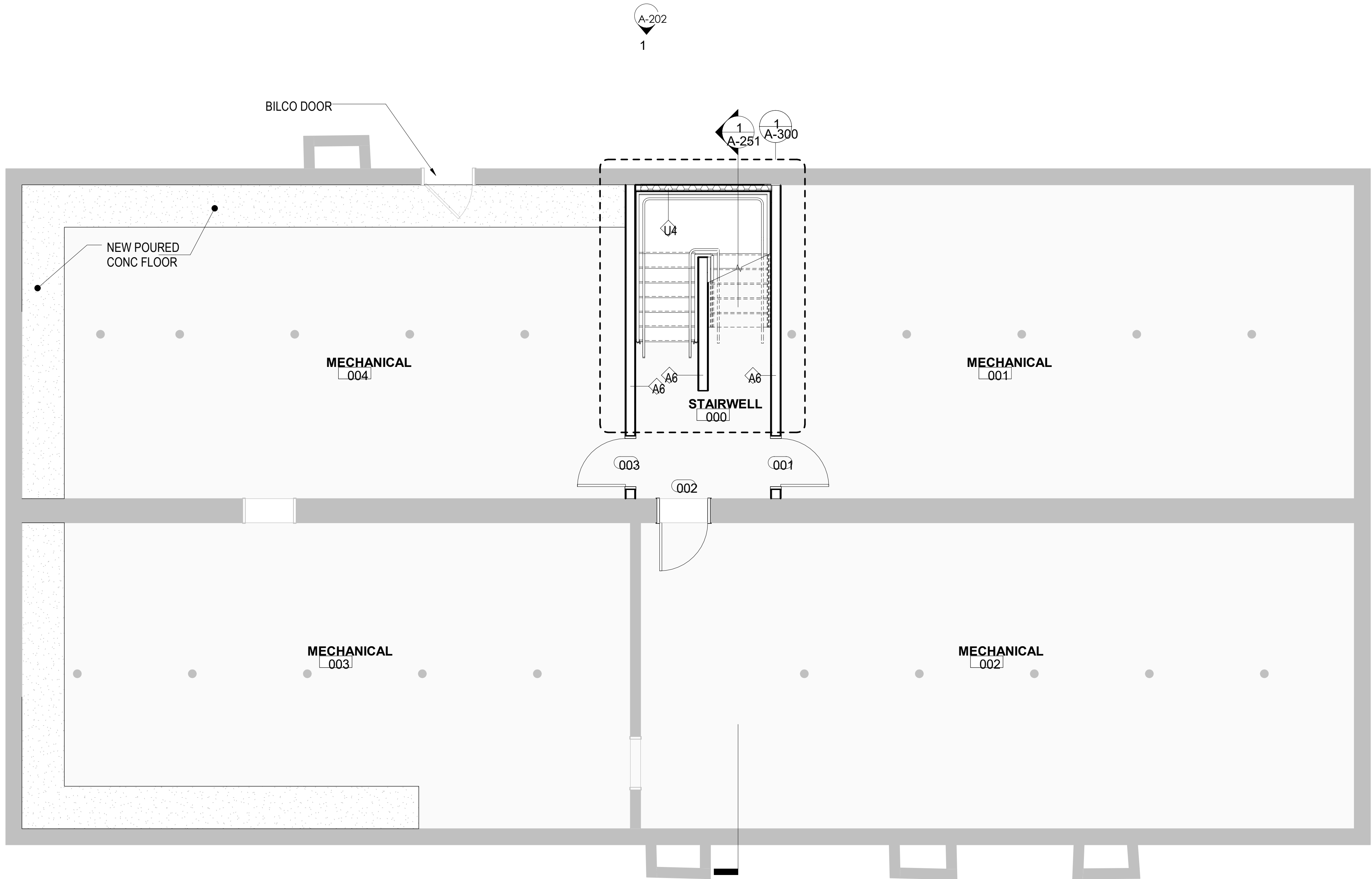
15. ALIGN FINISHED FACE OF WALLS WHERE DIFFERENT WALL TYPES ABUT EACH OTHER.

16. GENERAL FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS OF THIS PROJECT.

17. ALL DIMENSIONS ARE FINISH DIMENSIONS - FACE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.

18. ALL DIMENSIONS, MATERIAL INDICATIONS AND NOTES SHOWN ON ONE DRAWING SHALL APPLY TO ALL OTHER SIMILAR DRAWINGS UNLESS OTHERWISE NOTED.

19. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD PRIOR TO SHOP DRAWING SUBMITTAL/FABRICATION/CONSTRUCTION. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT IN WRITING FOR CLARIFICATION.

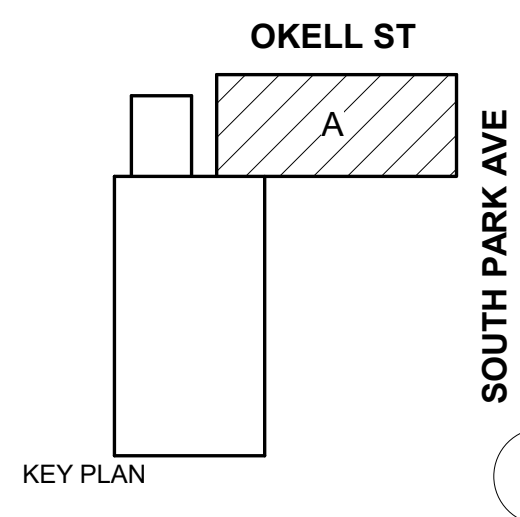
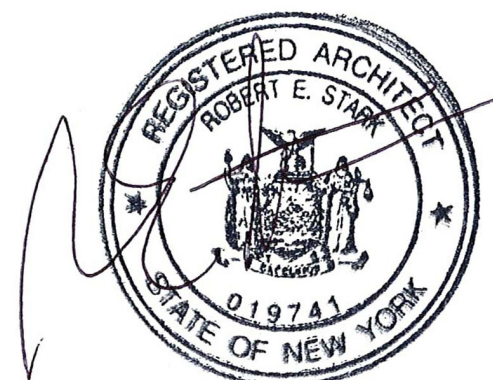
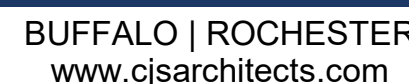


1 BASEMENT FLOOR PLAN
A-100 1/4" = 1'-0"

ELIMINATE SOUND INSULATION WITHIN UNITS



1. REFERENCE SHEET A-001 MATERIAL LEGEND, SYMBOL LEGEND AND ABBREVIATIONS LIST.
2. REFERENCE STRUCTURAL DRAWINGS FOR UNIT MASONRY, STEEL, CONCRETE ETC. INFORMATION.
3. REFERENCE ROOM FINISH SCHEDULE, FLOOR PATTERN PLANS & REFLECTED CEILING PLANS FOR FINISH INFORMATION.
4. REFER TO U.L. FIRE RESISTANCE DIRECTORY FOR DETAILS ON FIRE RATED WALLS, COLUMNS ENCLOSURES, FLOOR/CEILING ASSEMBLIES & CEILING/ROOF ASSEMBLIES.
5. ALL SUB-CONTRACTORS SHALL VERIFY THAT CONDITIONS PRESENT MEET STANDARD INDUSTRY ACCEPTED CRITERIA FOR ACCEPTING/PERFORMING WORK OF THEIR TRADE. IF CONDITIONS PRESENT WILL NOT FACILITATE PERFORMANCE OF THEIR WORK IN AN ACCEPTABLE FASHION, SAID CONTRACTOR SHALL BRING THE DEFICIENCIES TO THE ATTENTION OF THE CM OR GC. IF WORK PROCEEDS WITHOUT CORRECTING DEFICIENT EXISTING CONDITIONS, ANY COSTS ASSOCIATED WITH REMOVAL & REINSTALLATION OF SAID WORK WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR.
6. BATH, HALL AND OPENING AREAS SHALL NOT INTERRUPT UL DESIGN OF FIRE RATED FLOOR, WALL, AND CEILING ASSEMBLIES.
7. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE CONTINUOUS TO THE UNDERSIDE OF FLOOR DECK, FIRE RATED CEILING ASSEMBLY, OR FIRE RATED CEILING/ROOF ASSEMBLY ABOVE.
8. PROVIDE DRAFTSTOPPING AT THE TOP OF ALL CONCEALED WALL CAVITIES. DRAFTSTOPPING SHALL BE OF AN BONYS APPROVED MATERIAL AND SHALL PREVENT THE PASSAGE OF SMOKE FROM THE WALL CAVITY INTO ANY ADJACENT CEILING/FLOOR OR CEILING/ROOF CAVITIES.
9. PROVIDE SOLID WOOD BLOCKING AS REINFORCING FOR ALL WALL HUNG ITEMS, INCLUDING BUT NOT LIMITED TO: HANDRAILS, GRAB BARS, FUTURE GRAB BARS, CABINETS, ELEC. PANELS, FIXTURES AND ACCESSORIES.
10. MOISTURE RESISTANT GROUT BOARD SHALL BE PROVIDED AT ALL WET AREAS (TOILETS, KITCHENS, POOL SINKS, ETC.)
11. ALL STRUCTURE, MECH, ELEC, PLUMB, AND FIRE PROTECTION ELEMENTS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO OTHER SECTIONS OF THE DOCUMENTS AS APPROPRIATE FOR OTHER TRADES. WHERE SECTIONS CONFLICT, THE CONFLICTING TRADES AND DRAWINGS FOR OTHER TRADES CONTRACTOR SHALL NOTIFY THE CM OR GC AND REQUEST PRIOR TO PERFORMING ANY WORK RELATED TO SAID DISCREPANCY.
12. CORD, MECH COVERS, GRILLES, ETC. WITH MECH DWGS. COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS FULL RANGE, INCLUDING PREMIUM FINISHES/COLORS.
13. DOORS LOCATED IN CLOSETS OR PARTITIONS TO BE CENTERED WITHIN WALL UNLESS OTHERWISE NOTED.
14. CUSTOM PANEL ELECTRICAL PANEL BOXES IN RESIDENTIAL UNITS - MATCH ADJACENT WALL COLOR.
15. ALIGN FINISHED FACE OF WALLS WHERE DIFFERENT WALL TYPES ABUT EACH OTHER.
16. GENERAL FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS OF THIS PROJECT.
17. ALL DIMENSIONS ARE FINISH DIMENSIONS - FACE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS, MATERIAL INDICATIONS AND NOTES SHOWN ON ONE DRAWING SHALL APPLY TO ALL OTHER SIMILAR DRAWINGS UNLESS OTHERWISE NOTED.
19. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD PRIOR TO SHOP DRAWING SUBMITTAL/FABRICATION OF ALL DIMENSIONED CONDITIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL CONDITIONS. CONTACT THE ARCHITECT IN WRITING FOR CLARIFICATION.



2221 SOUTH PARK AVE
BUFFALO, NY 14220

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FIRST FLOOR PLAN

A-101

PERMIT SET

ELIMINATE SOUND INSULATION WITHIN UNITS

ELIMINATE ISLAND
AND REDSIGN
— KITCHEN LAYOUT
TO A GALLEY
STYLE

- PREFABRICATED CANAL
BELOW - REF. ELEV'S I
DTL'S
- NEW WINDOW IN
BLOCKED OPENING

UNIT 201

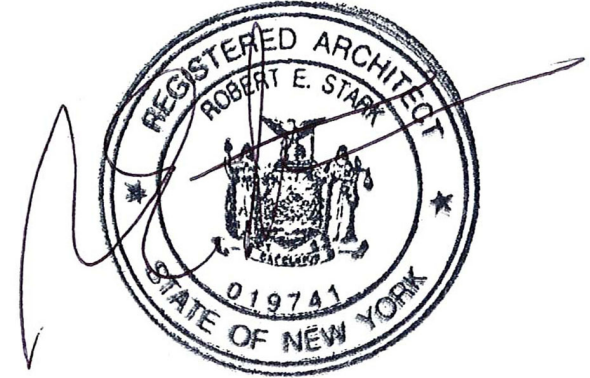
UNIT 204

UNIT 202

1 SECOND FLOOR PLAN
A-102 1/4" = 1'-0"

1	SECO
A-102	1/4" = 1'-0"

1. REFERENCE SHEET A-001 MATERIAL LEGEND, SYMBOL LEGEND AND ABBREVIATIONS USED.
2. REFERENCE STRUCTURAL DRAWINGS FOR UNIT MASONRY, STEEL, CONCRETE ETC. INFORMATION.
3. REFERENCE ROOM FINISH SCHEDULE, FLOOR PATTERN PLANS & REFLECTED CEILING PLANS FOR FINISH INFORMATION.
4. REFER TO U.L. FIRE RESISTANCE DIRECTORY FOR DETAILS ON FIRE RATED WALLS, COLUMNS ENCLOSURES, FLOOR/CEILING ASSEMBLIES & CEILING/ROOF ASSEMBLIES.
5. ALL SUB-CONTRACTORS SHALL VERIFY THAT CONDITIONS PRESENT MEET STANDARD INDUSTRY ACCEPTED CRITERIA FOR ACCEPTING/PERFORMING WORK OF THEIR TRADE. IF CONDITIONS PRESENT WILL NOT FACILITATE PERFORMANCE OF THEIR WORK IN AN ACCEPTABLE FASHION, SAID CONTRACTOR SHALL BRING THE DEFICIENCIES TO THE ATTENTION OF THE CM OR GC. IF WORK PROCEEDS WITHOUT CORRECTING DEFICIENT EXISTING CONDITIONS, ANY COSTS ASSOCIATED WITH REMOVAL & REINSTALLATION OF SAID WORK WILL BE THE RESPONSIBILITY OF SUB-CONTRACTOR.
6. BATH ROUGH OPENINGS SHALL NOT INTERRUPT UL DESIGN OF FIRE RATED FLOOR, WALL, AND CEILING ASSEMBLIES.
7. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE CONTINUOUS TO THE UNDERSIDE OF FLOOR DECK, FIRE RATED CEILING ASSEMBLY, OR FIRE RATED CEILING/ROOF ASSEMBLY ABOVE.
8. PROVIDE DRAFTSTOPPING TO THE TOP OF ALL CONCEALED WALL CAVITIES. DRAFTSTOPPING SHALL BE OF AN BCVMS APPROVED MATERIAL AND SHALL PREVENT THE PASSAGE OF SMOKE FROM THE WALL CAVITY INTO ANY ADJACENT CEILING/FLOOR OR CEILING/ROOF CAVITIES.
9. PROVIDE SOLID WOOD BLOCKING AS HANDRAILS FOR ALL WALL HUNG ITEMS, INCLUDING BUT NOT LIMITED TO: HANGING GRAB BARS, FUTURE GRAB BARS, CARPETS, ELEC. PANELS, FIXTURES AND ACCESSORIES.
10. MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE PROVIDED AT ALL WET AREAS (TOILETS, KITCHENS, POOL SINKS, ETC.)
11. ALL STRUCTURE, MECH. ELEC. PLUMB. & FIRE PROTECTION ELEMENTS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO OTHER CONDITIONS OF THE DRAWINGS TO APPROPRIATE FOR OTHER TRADES. WHERE DISCREPANCIES EXIST BETWEEN ARCH. DRAWINGS AND OTHER TRADES, CONTRACTOR SHALL NOTIFY GC OR CM & ARCHITECT PRIOR TO PERFORMING ANY WORK RELATED TO SAID DISCREPANCY.
12. CORD, MECH COVERS, GRILLES, ETC. WITH MECH. DWGS. COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE, INCLUDING PROFINITE FINISHES/COLORS.
13. DOORS LOCATED IN CLOSETS OR PARTITIONS TO BE CENTERED WITHIN WALL UNLESS OTHERWISE NOTED.
14. CUSTOM PAINT ELECTRICAL PANEL BOXES IN RESIDENTIAL UNITS - MATCH ADJACENT WALL COLOR.
15. FINISH ADJACENT FACE OF WALLS WHERE DIFFERENT WALL TYPES ABUT EACH OTHER.
16. GENERAL FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS OF THIS PROJECT. ALL DIMENSIONS ARE FINISH DIMENSIONS - FACE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS, MATERIAL, INDICATIONS AND NOTES SHOWN ON ONE DRAWING SHALL APPLY TO ALL OTHER SIMILAR DRAWINGS UNLESS OTHERWISE NOTED.
18. CARRY ALL DIMENSIONS TO THE CENTERLINE OF THE FIRE PRIOR TO SHOP DRAWING SUBMITTAL/FABRICATION/CONSTRUCTION. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT IN WRITING FOR CLARIFICATION.



A key plan map showing the intersection of Okell St and South Park Ave. The subject property is a rectangular lot shaded with diagonal lines and labeled 'A'. It is located on the east side of Okell St, just south of its intersection with South Park Ave. A north arrow is located in the bottom right corner, pointing upwards.

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

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DRAWING TITLE

SECOND FLOOR PLAN

A-102

PERMIT SET

ELIMINATE CLOSETS FROM BEDROOMS - FORCE TENANTS TO UTILIZE THEIR OWN FURNITURE?

ELIMINATE POCKET DOORS FROM BEDROOM TO BATHROOM

ELIMINATE SOUND INSULATION WITHIN UNITS

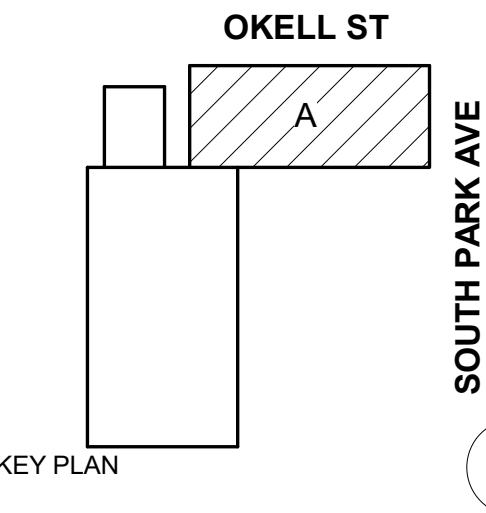
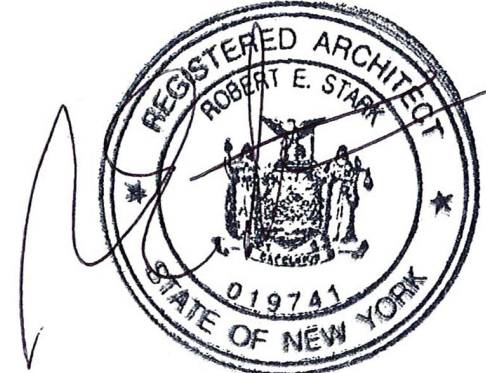
ELIMINATE ISLAND AND REDSIGN KITCHEN LAYOUT TO A GALLEY STYLE

GENERAL PLAN NOTES

1. REFERENCE SHEET A-001 MATERIAL LEGEND, SYMBOL LEGEND AND ABBREVIATIONS USED.
2. REFERENCE STRUCTURAL DRAWINGS FOR UNIT MASONRY, STEEL, CONCRETE ETC. INFORMATION.
3. REFERENCE ROOM FINISH SCHEDULE, FLOOR PATTERN PLANS & REFLECTED CEILING PLANS FOR FINISH INFORMATION.
4. REFER TO U.L. FIRE RESISTANCE DIRECTORY FOR DETAILS ON FIRE RATED WALLS, COLUMNS ENCLOSURES, FLOOR/CEILING ASSEMBLIES & CEILING/ROOF ASSEMBLIES.
5. ALL SUB-CONTRACTORS SHALL VERIFY THAT CONDITIONS PRESENT MEET STANDARD INDUSTRY ACCEPTED CRITERIA FOR ACCEPTING/PERFORMING WORK OF THEIR TRADE. IF CONDITIONS PRESENT WILL NOT FACILITATE PERFORMANCE OF THEIR WORK IN AN ACCEPTABLE FASHION, SAID CONTRACTOR SHALL BRING THE DEFICIENCIES TO THE ATTENTION OF THE CM OR GC. IF WORK PROCEEDS WITHOUT CORRECTING DEFICIENT EXISTING CONDITIONS, ANY COSTS ASSOCIATED WITH REMOVAL & REINSTALLATION OF SAID WORK WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR.
6. BATH ROUGH OPENINGS SHALL NOT INTERRUPT UL DESIGN OF FIRE RATED FLOOR, WALL AND CEILING ASSEMBLIES.
7. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE CONTINUOUS TO THE UNDERSIDE OF FLOOR DECK, FIRE RATED CEILING ASSEMBLY, OR FIRE RATED CEILING/ROOF ASSEMBLY ABOVE.
8. PROVIDE DRAFTSTOPPING AT THE TOP OF ALL CONCEALED WALL CAVITIES. DRAFTSTOPPING SHALL BE OF AN BONY'S APPROVED MATERIAL AND SHALL PREVENT THE PASSAGE OF SMOKE FROM THE WALL CAVITY INTO ANY ADJACENT CEILING/FLOOR OR CEILING/ROOF CAVITIES.
9. PROVIDE SOLID WOOD BLOCKING AS REINFORCING FOR ALL WALL HUNG ITEMS, INCLUDING BUT NOT LIMITED TO: HANDRAILS, GRAB BARS, FUTURE GRAB BARS, CABINETS, ELEC. PANELS, FIXTURES AND ACCESSORIES.
10. MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE PROVIDED AT ALL WET AREAS (TOILETS, KITCHENS, MOP SINKS, ETC.)
11. ALL STRUCTURE, MECH., ELEC., PLUMB. AND FIRE PROTECTION ELEMENTS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO OTHER SECTIONS OF THE DOCUMENTS AS APPROPRIATE FOR OTHER TRADES. WHERE DISCREPANCIES EXIST BETWEEN ARCH. DRAWINGS AND OTHER TRADES, CONTRACTOR SHALL NOTIFY GC OR CM & ARCHITECT PRIOR TO PERFORMING ANY WORK RELATED TO SAID DISCREPANCY.
12. CORD., MECH COVERS, GRILLES, ETC. WITH MECH. DWG'S. COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE, INCLUDING PREMIUM FINISHES/COLORS.
13. DOORS LOCATED IN CLOSETS OR PARTITIONS TO BE CENTERED WITHIN WALL UNLESS OTHERWISE NOTED.
14. CUSTOM PAINT ELECTRICAL PANEL BOXES IN RESIDENTIAL UNITS - MATCH ADJACENT WALL COLOR.
15. ALIGN FINISHED FACE OF WALLS WHERE DIFFERENT WALL TYPES ABUT EACH OTHER.
16. GENERAL FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS OF THIS PROJECT.
17. ALL DIMENSIONS ARE FINISH DIMENSIONS - FACE TO FACE OF FINISHES UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS, MATERIAL INDICATIONS AND NOTES SHOWN ON ONE DRAWING SHALL APPLY TO ALL OTHER SIMILAR DRAWINGS UNLESS OTHERWISE NOTED.
19. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD PRIOR TO SHOP DRAWING SUBMITTAL/FABRICATION/CONSTRUCTION. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT IN WRITING FOR CLARIFICATION.



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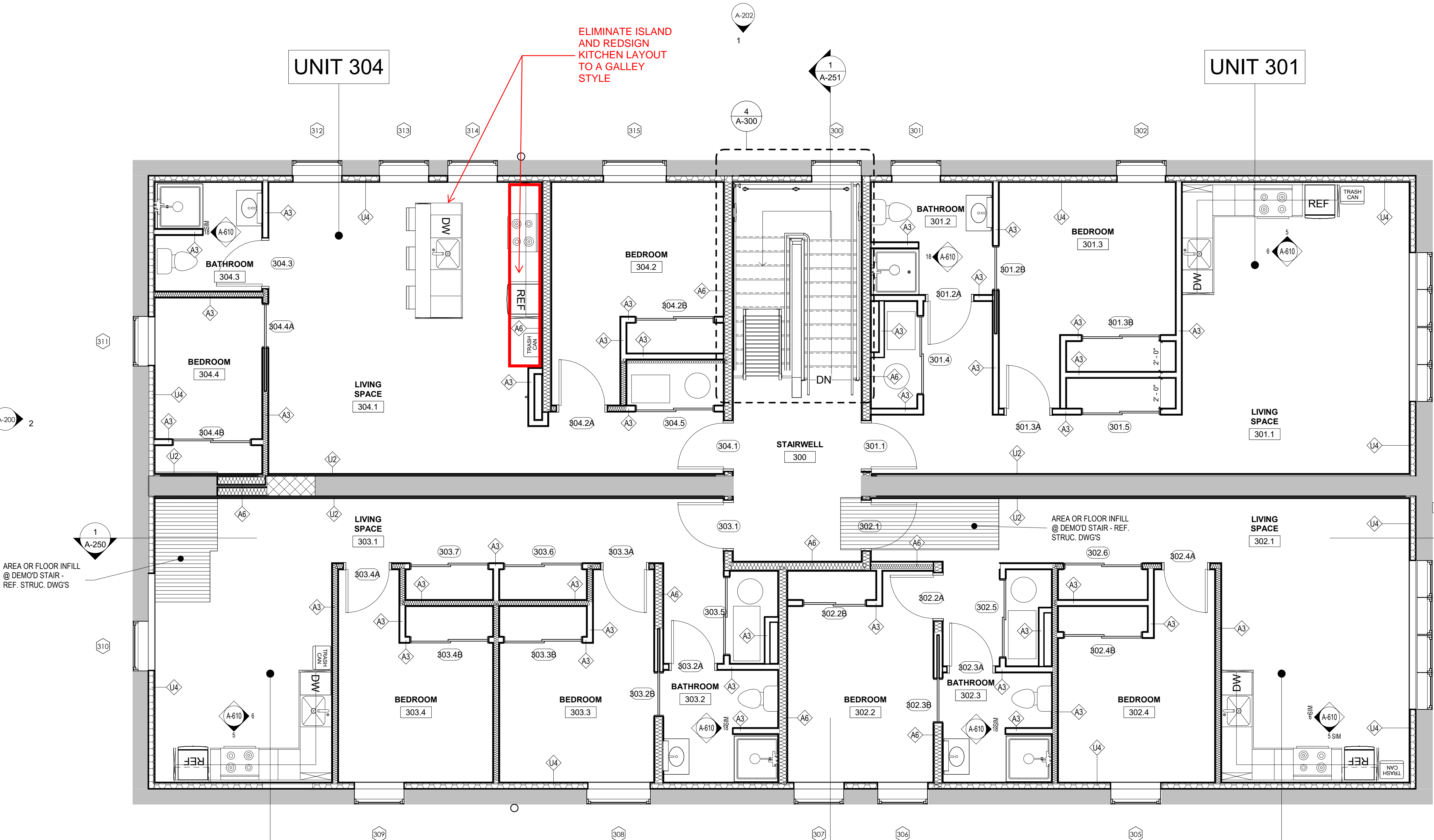
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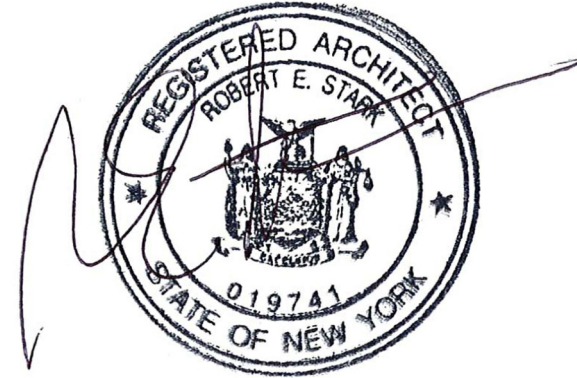
THIRD FLOOR
PLAN

A-103

PERMIT SET



1
A-103
THIRD FLOOR PLAN
1/4" = 1'-0"

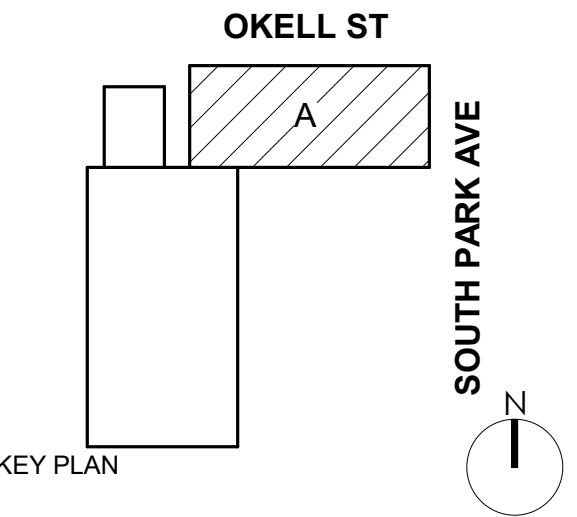


GENERAL PLAN NOTES

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- REFERENCE STRUCTURAL DRAWINGS FOR UNIT MASONRY, STEEL, CONCRETE ETC. INFORMATION.
- REFERENCE ROOM FINISH SCHEDULE, FLOOR PATTERN PLANS & REFLECTED CEILING PLANS FOR FINISH INFORMATION.
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- PROVIDE SOLID WOOD BLOCKING AS REINFORCING FOR ALL WALL HUNG ITEMS, INCLUDING BUT NOT LIMITED TO: HANDRAILS, GRAB BARS, FUTURE GRAB BARS, CABINETS, ELEC. PANELS, FIXTURES AND ACCESSORIES.
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NEW ROOF ASSEMBLY:
-POLY VAPOR BARRIER OVER EXISTING WOOD SHEATHING (REPLACE SHEATHING WHERE REQ'D)
-MIN. R30 CONTINUOUS RIGID ROOD INSUL. (PROVIDE CRICKETING WHERE/IF REQ'D.
EXISTING STRUCT. SLOPES TOWARDS EXISTING SCUPPER LOCATIONS TO BE RE-USED)
-OPTIONAL 1/2" COVERBOARD - COORD. W/ ROOFING CONTRACTOR AND OWNER ON INCLUSION
-60 MIL EPDM MEMBRANE
CONSIDER ALTERNATE ROOFING MATERIALS. IS TPO CHEAPER RIGHT NOW?

CONTRACTOR TO INSTALL ROOFING SYSTEM PER MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS. PROVIDE ALL REQ'D FLASHINGS AND OTHER MATERIALS AT PENETRATIONS, PARAPETS, COPINGS, INTERFACES W/ OTHER MATERIALS, ETC. CONTRACTOR SHALL COORD. A FINAL INSPECTION W/ A MANUFACTURER CERTIFIED REPRESENTATIVE TO ENSURE FULL PRODUCT WARRANTY WILL BE PROVIDED.



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CHECKED BY	Checker

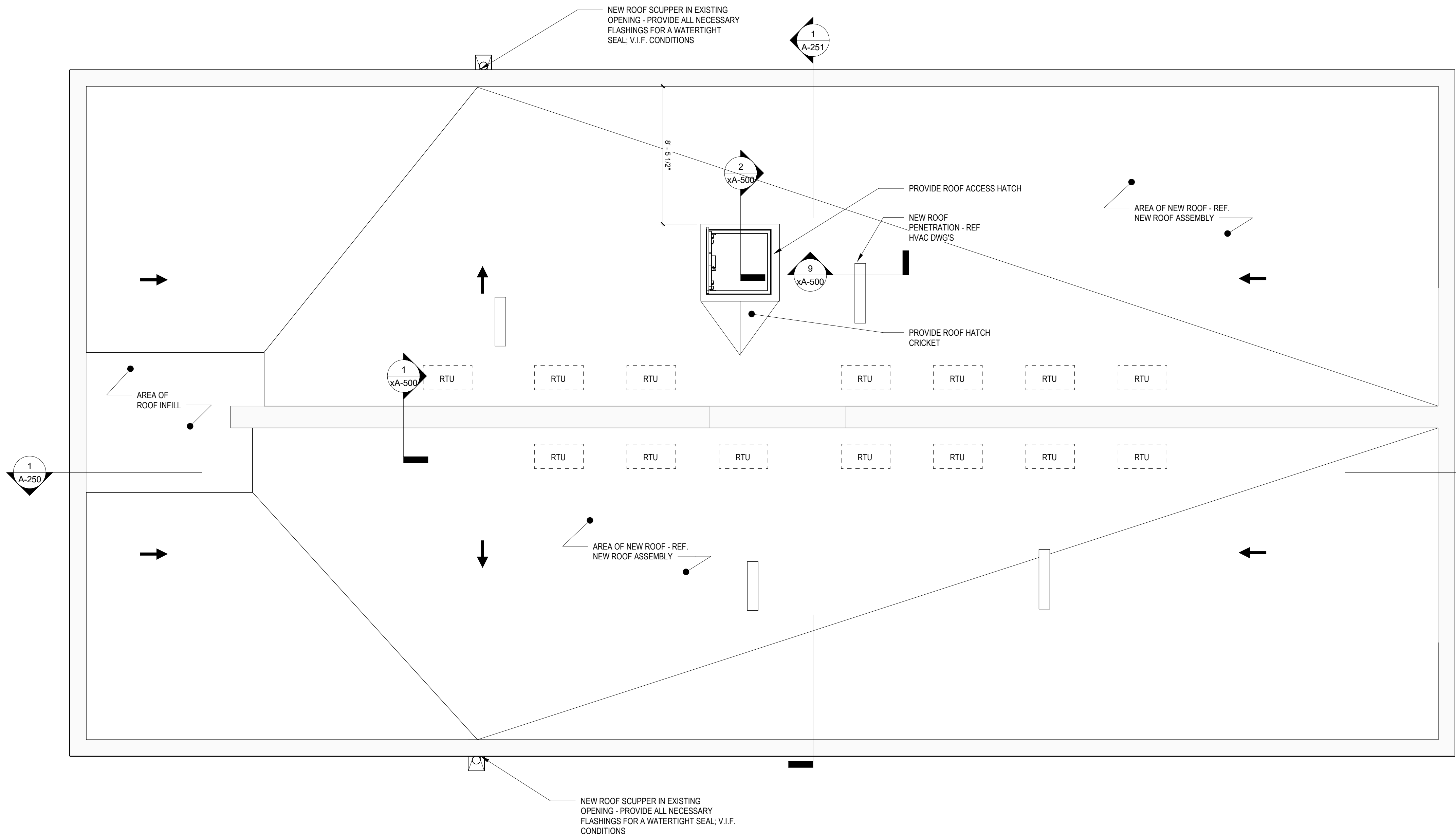
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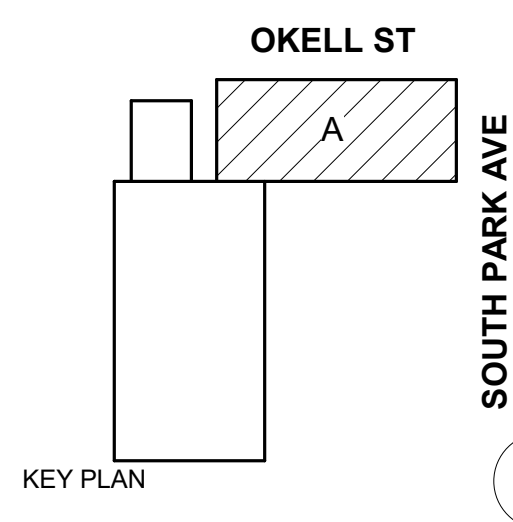
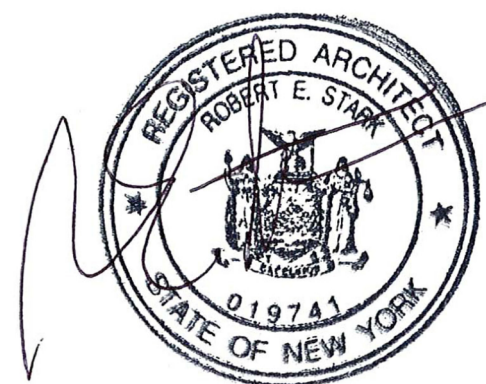
ROOF PLAN

A-104

PERMIT SET



1
A-104
ROOF PLAN
1/4" = 1'-0"



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REV.#	DESCRIPTION	DATE
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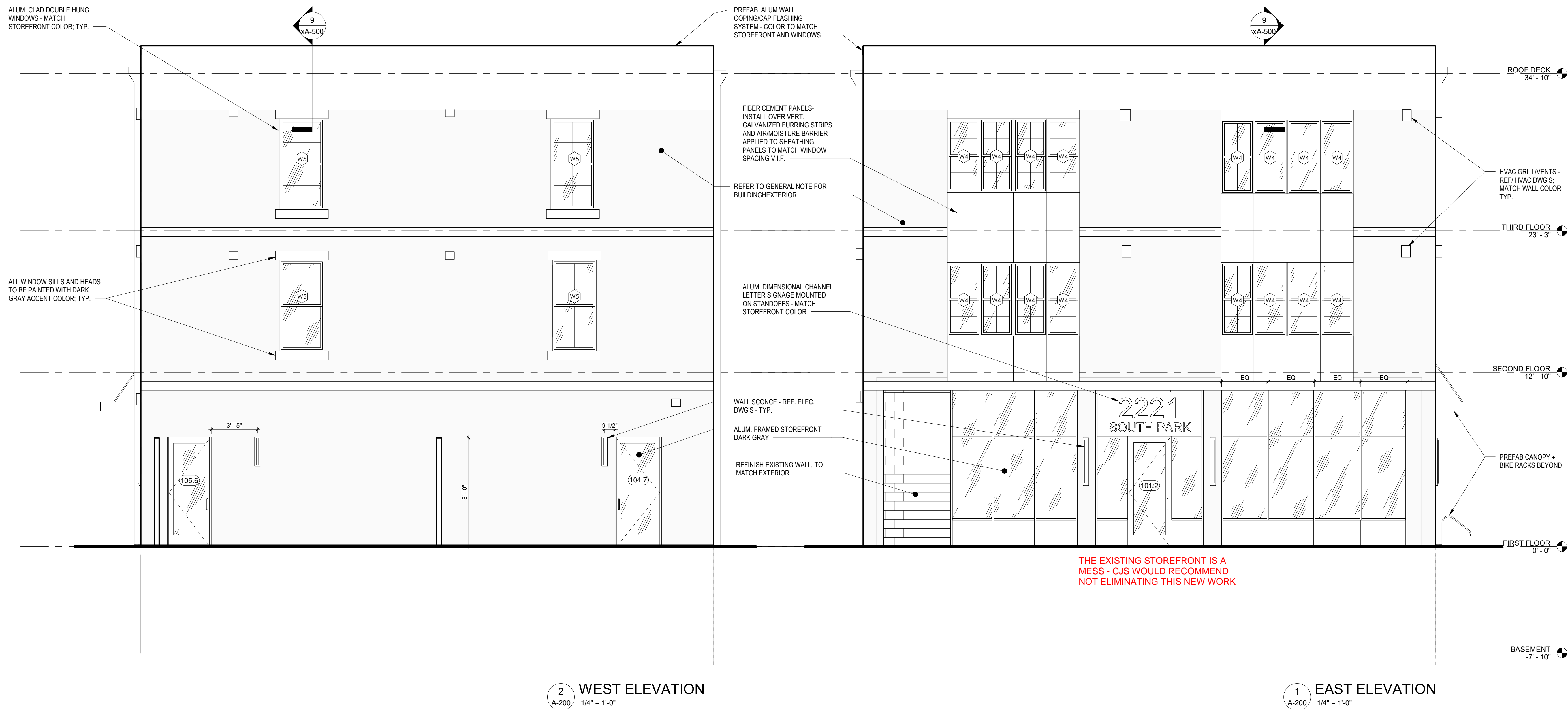
EXTERIOR ELEVATIONS

A-200

PERMIT SET

GENERAL NOTE:

G.C. SHALL RETAIN A QUALIFIED MASON TO EXAMINE ALL EXTERIOR WALLS. MASON SHALL REMOVE PARING WHERE FAILING AND REPAIR IN A MANNER CONSISTENT WITH THE EXISTING CONDITIONS. MASONRY INFILLS TO REMAIN SHALL BE EVALUATED AND REPAIRED/REPORTED AS NEEDED. ALL ABANDONED WALL OPENINGS SHALL BE INFILLED WITH MASONRY IN A MANNER CONSISTENT WITH THE EXISTING INFILLS. V.I.F. ALL EXISTING CONDITIONS.

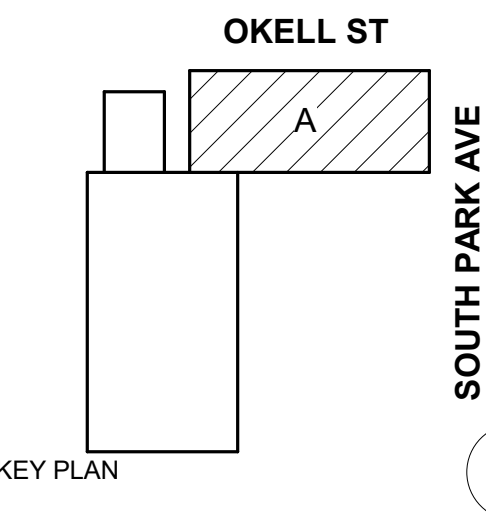
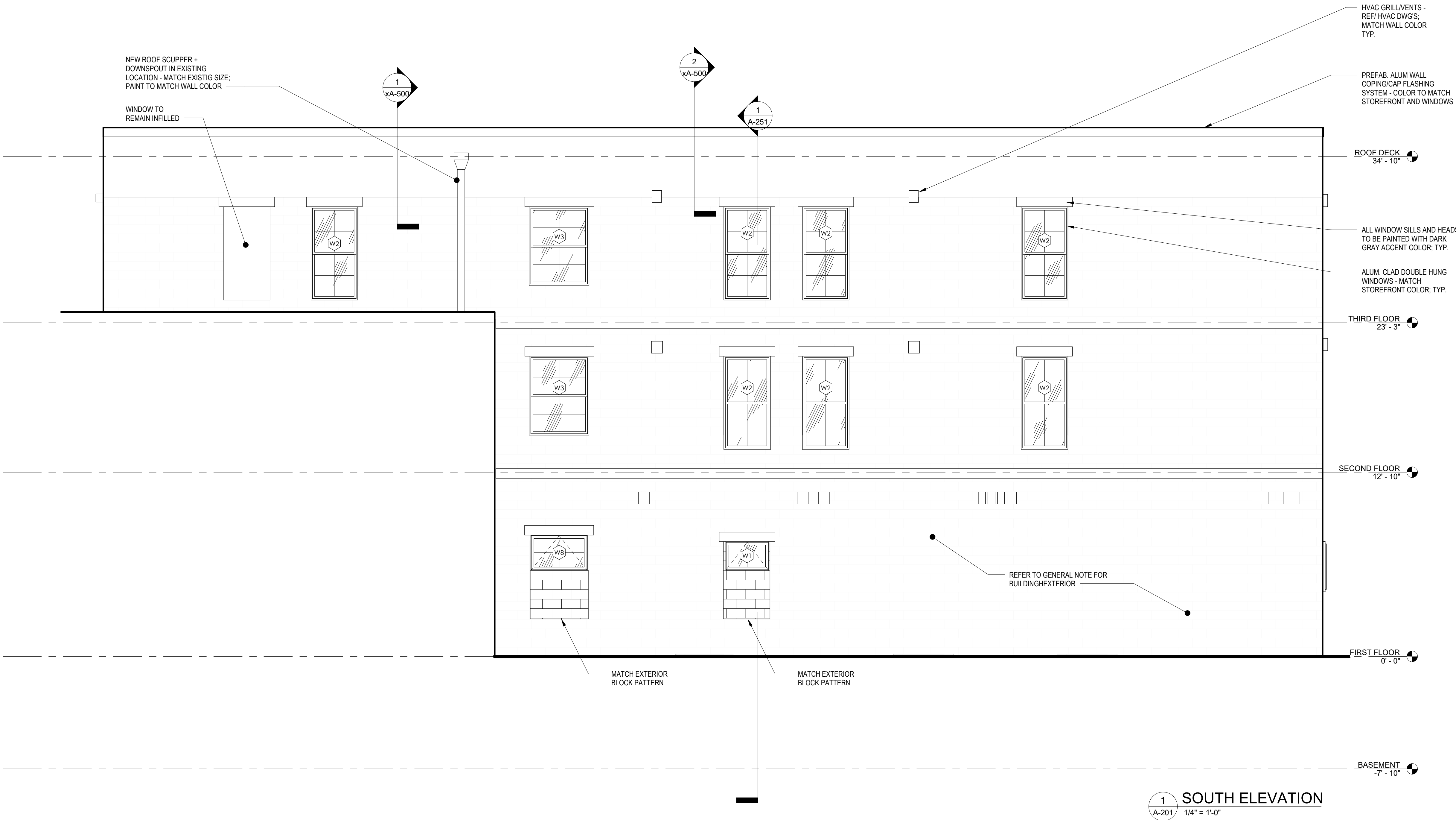
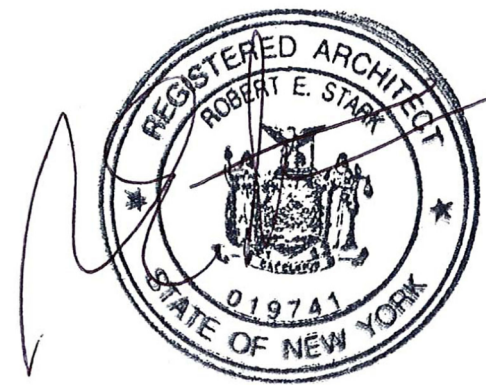


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**EXTERIOR
ELEVATIONS**

A-201

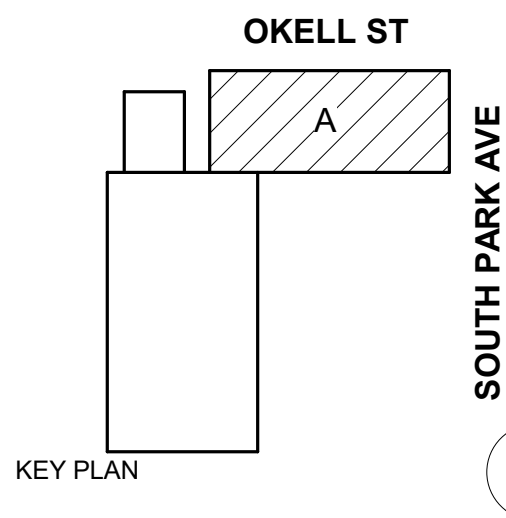
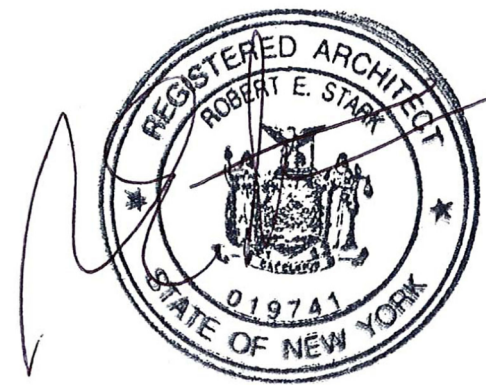
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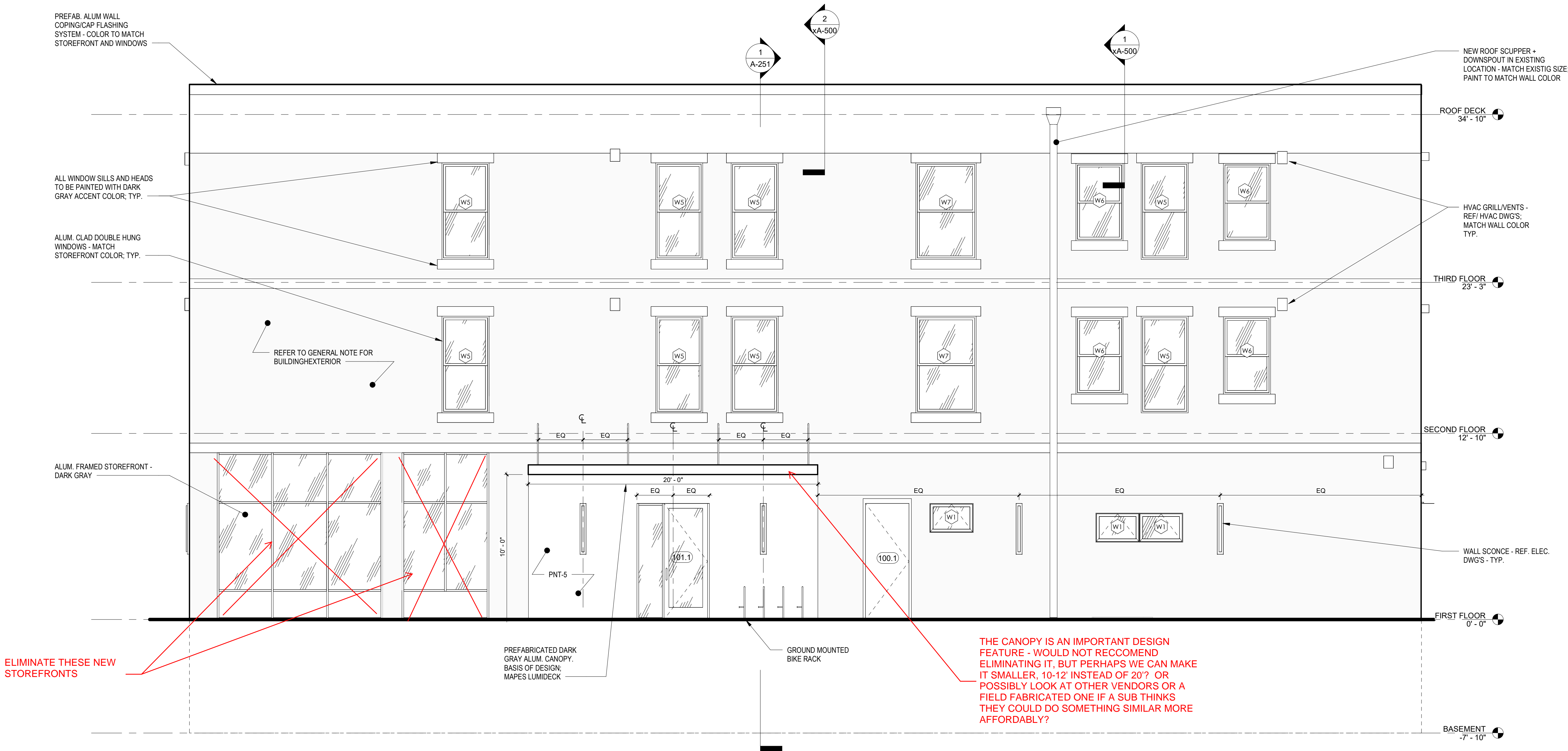
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EXTERIOR
ELEVATION

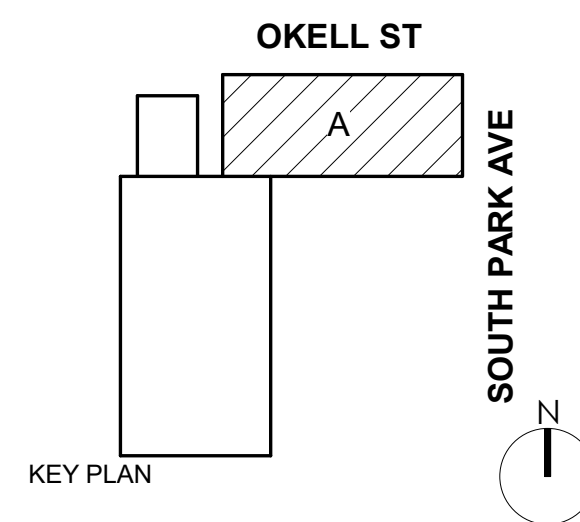
A-202

PERMIT SET



1 NORTH ELEVATION

A-202 1/4" = 1'-0"



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BUILDING SECTIONS

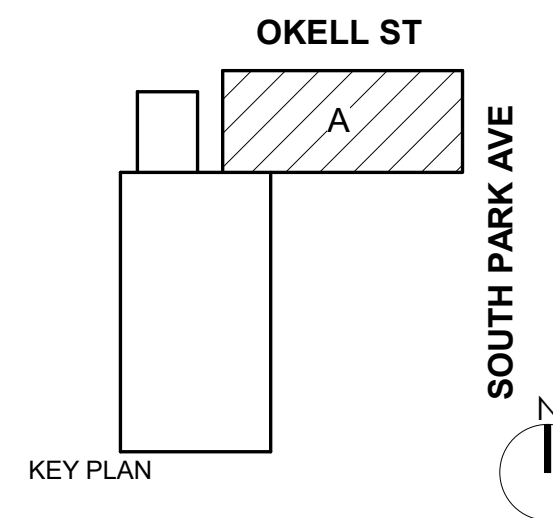
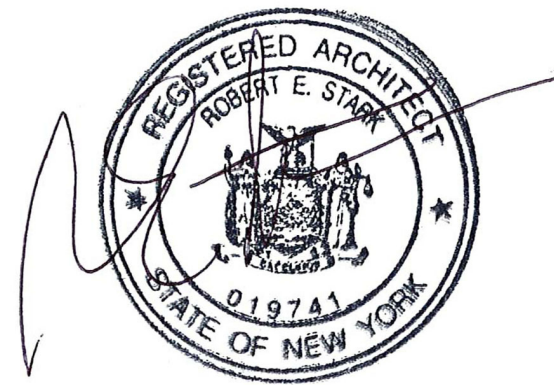
A-250

PERMIT SET





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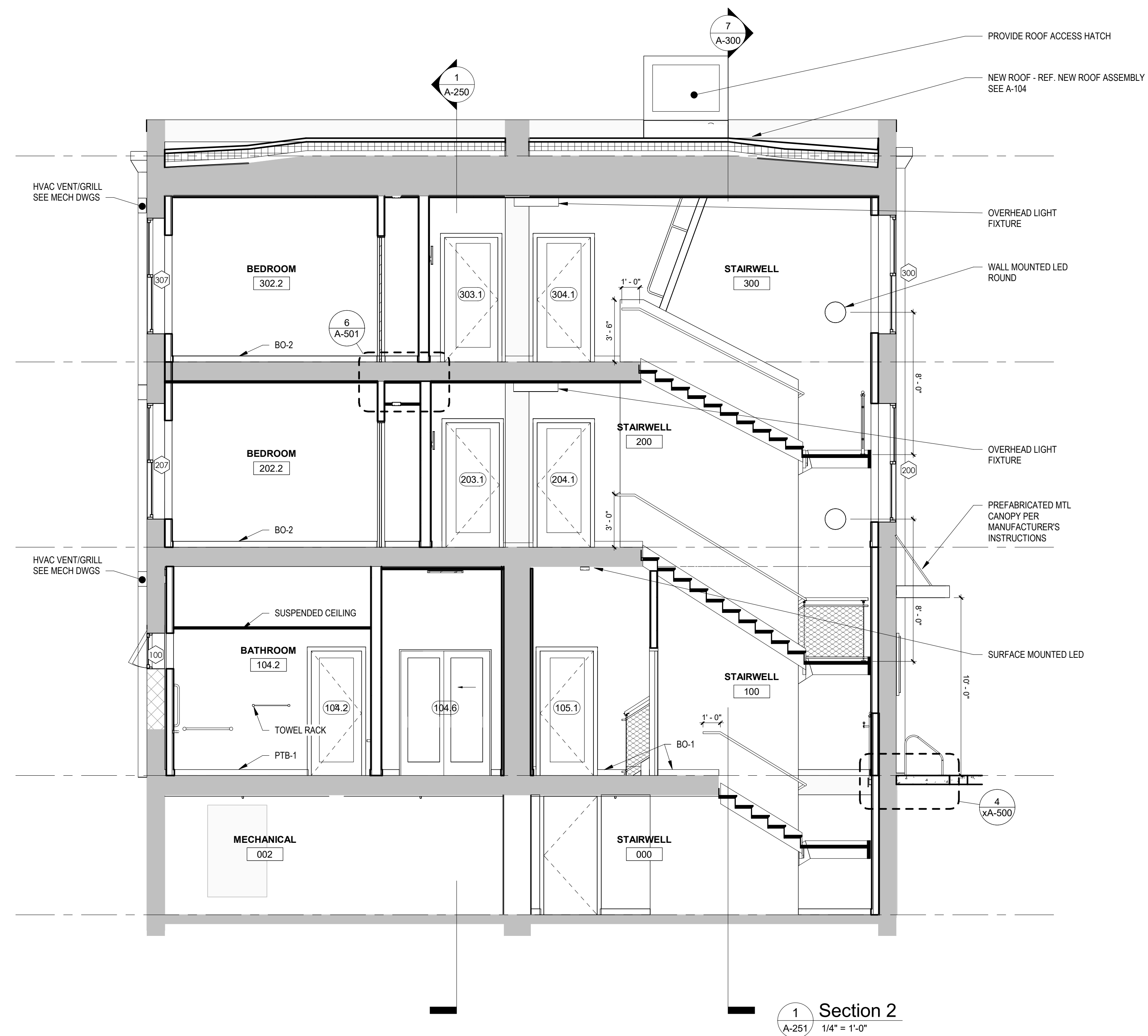
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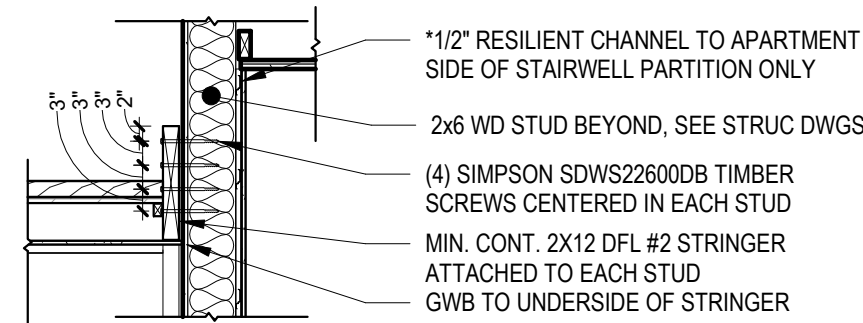
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BUILDING SECTION

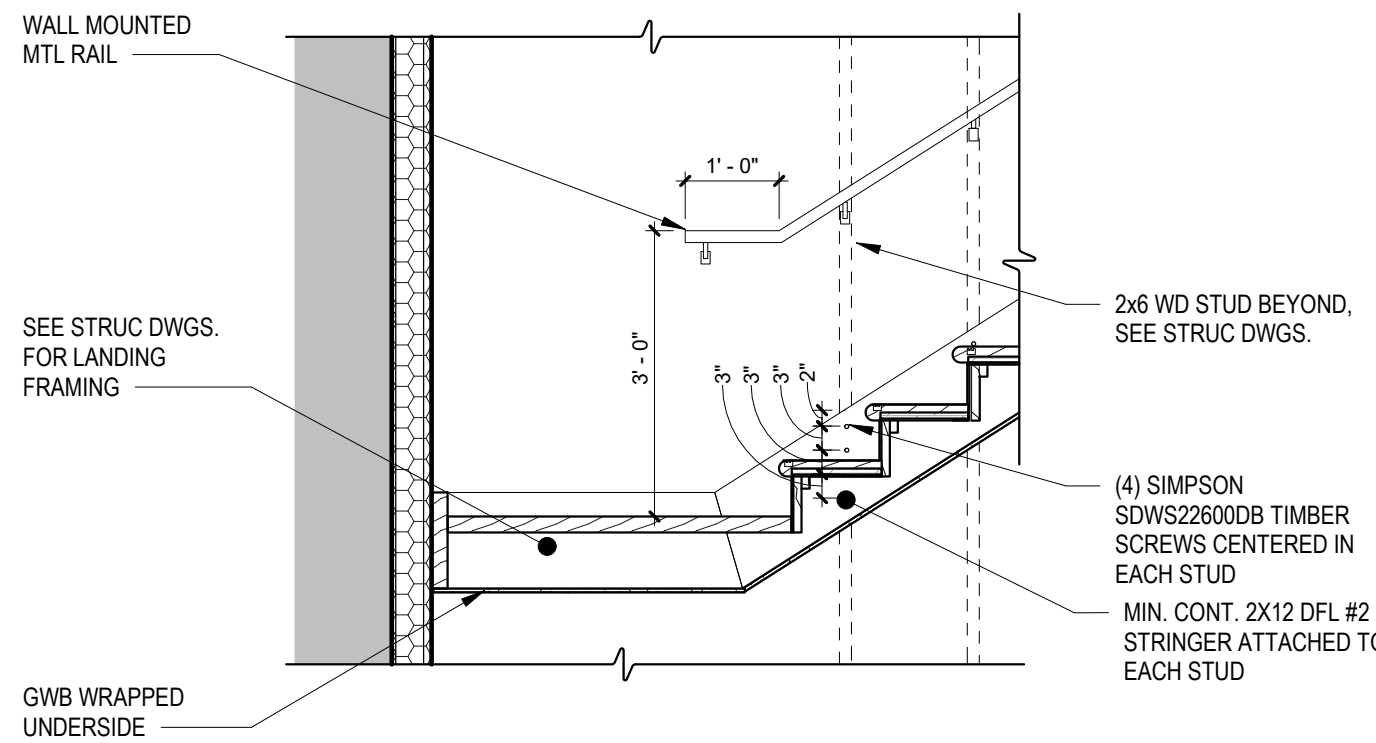
A-251

PERMIT SET

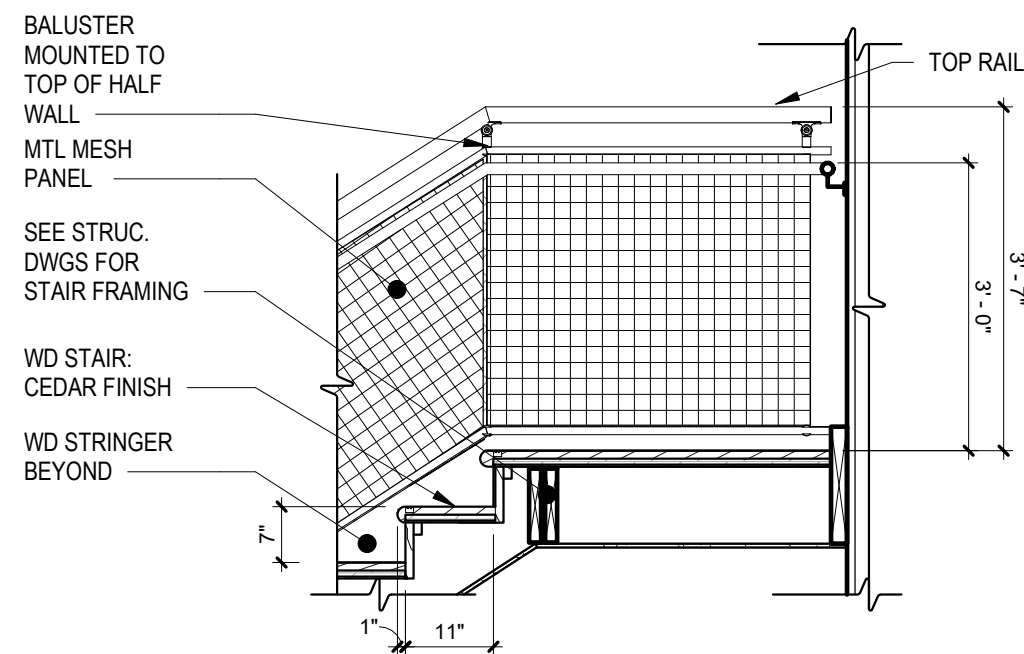




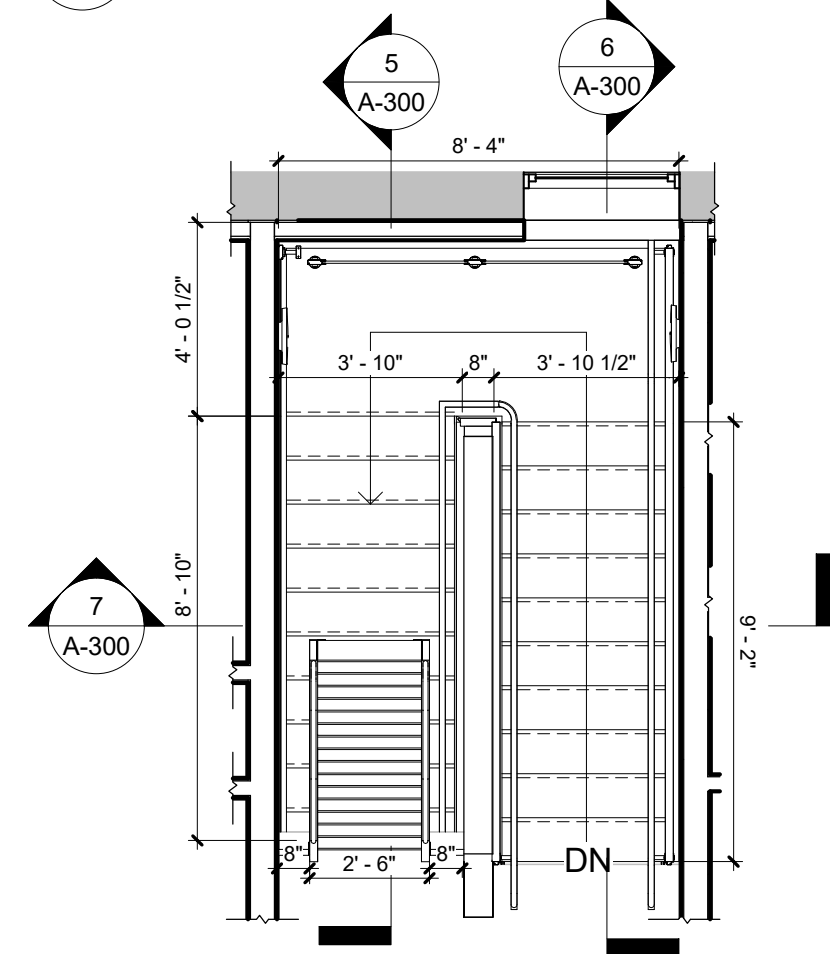
10 STAIRWELL STRINGER DETAIL
A-300 1/2" = 1'-0"



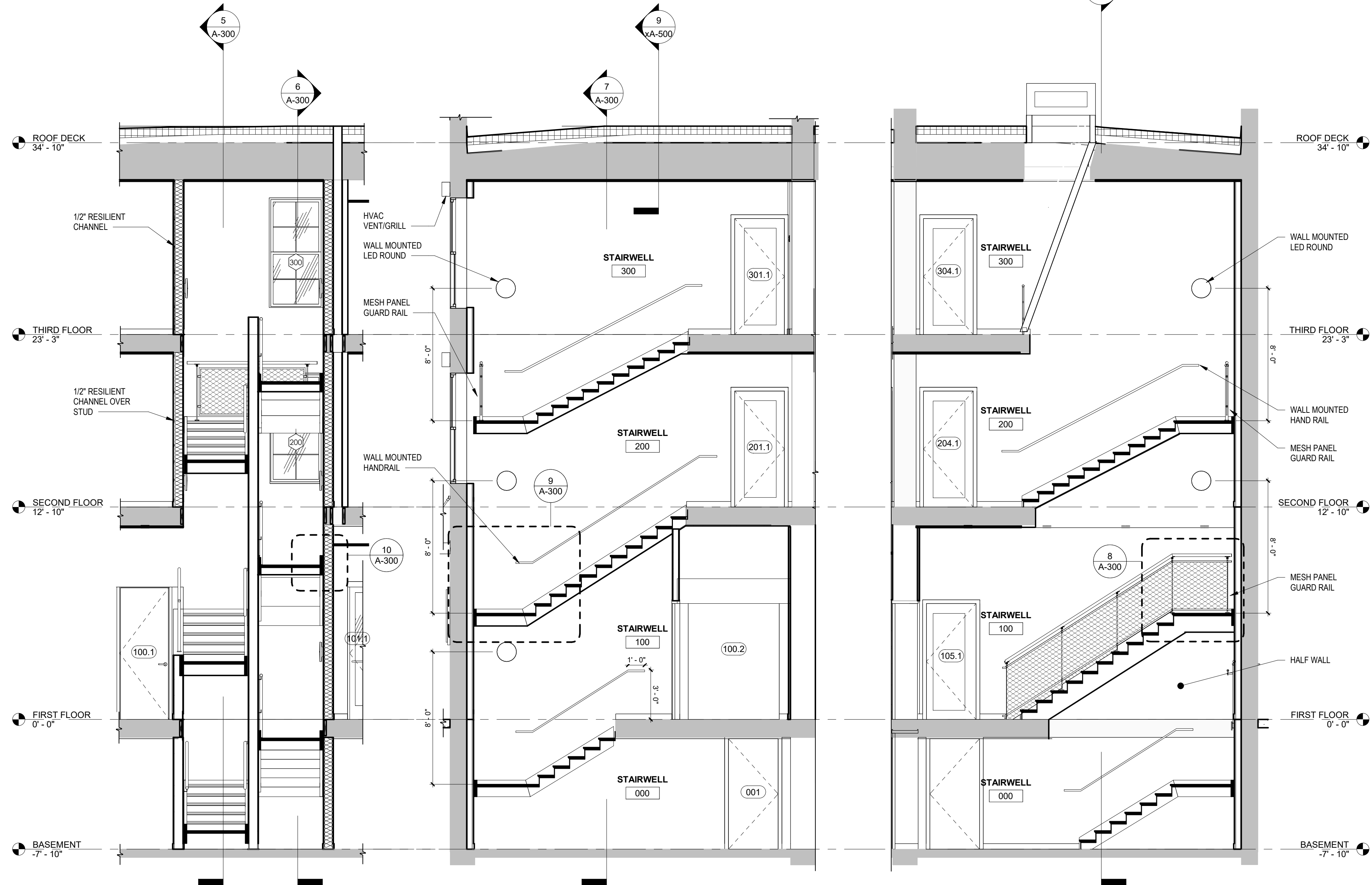
9 STAIRWELL LANDING CALL OUT
A-300 1/2" = 1'-0"



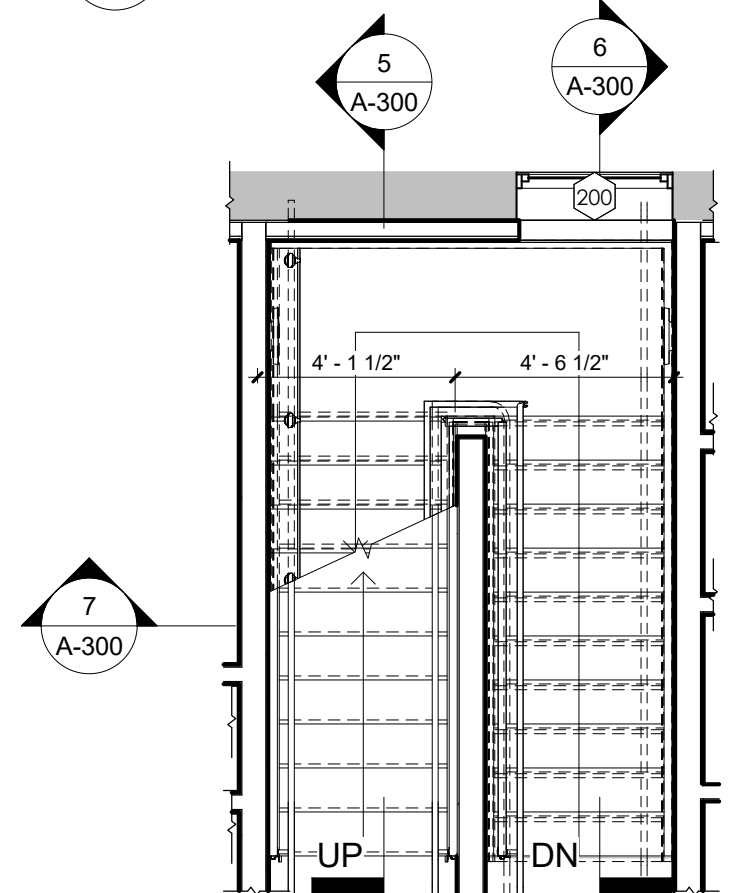
8 STAIRWELL TREAD DETAIL
A-300 1/2" = 1'-0"



4 STAIRWELL THIRD FLOOR PLAN
A-300 1/4" = 1'-0"

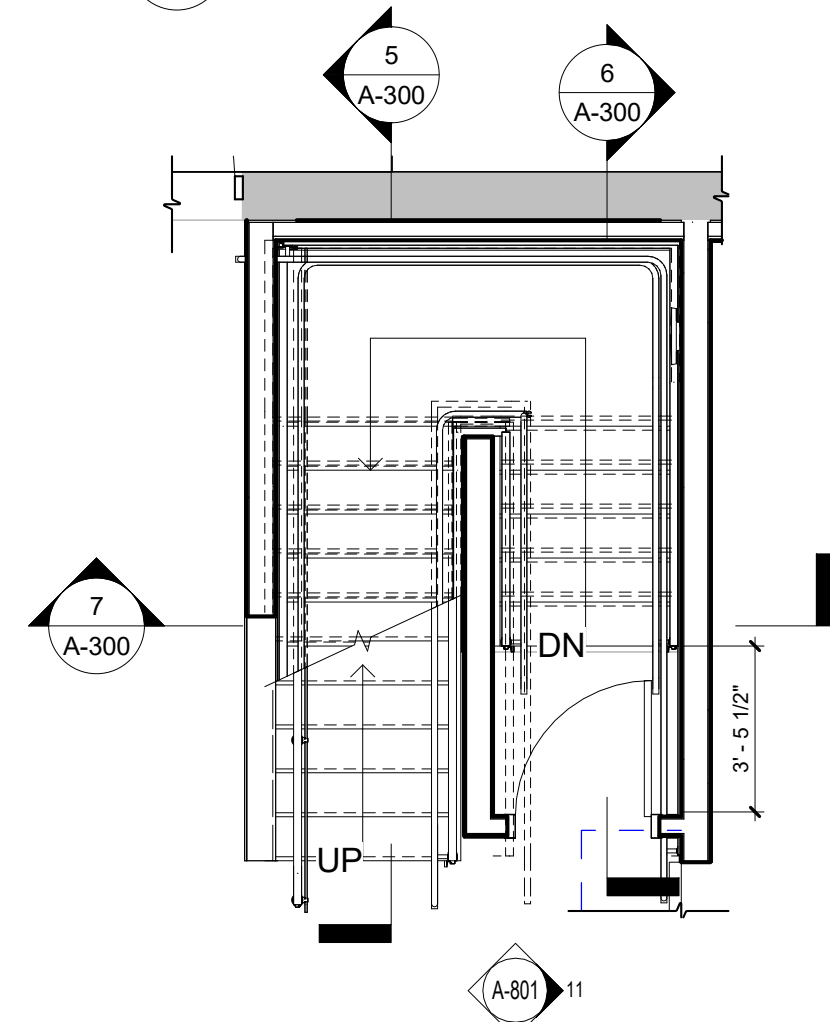


7 STAIRWELL SECTION 3
A-300 1/4" = 1'-0"



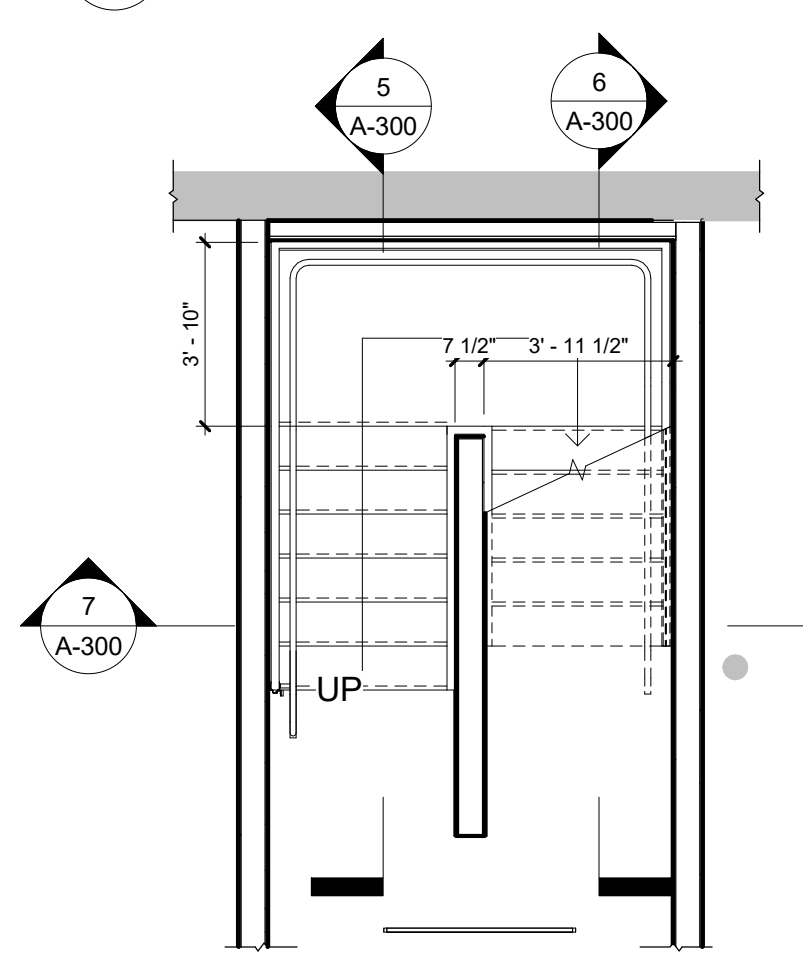
3 STAIRWELL SECOND FLOOR PLAN
A-300 1/4" = 1'-0"

6 STAIRWELL SECTION 2
A-300 1/4" = 1'-0"



2 STAIRWELL FIRST FLOOR PLAN
A-300 1/4" = 1'-0"

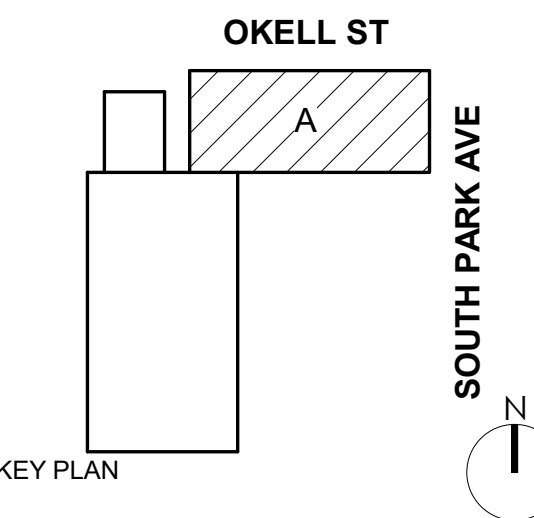
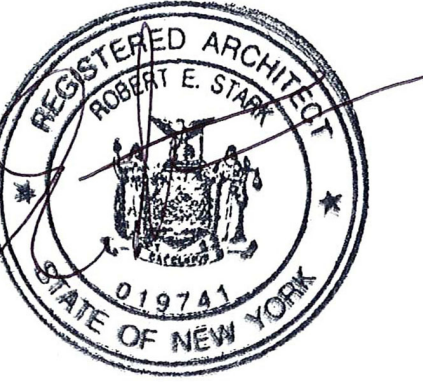
5 STAIRWELL SECTION 1
A-300 1/4" = 1'-0"



1 STAIRWELL BASEMENT PLAN
A-300 1/4" = 1'-0"

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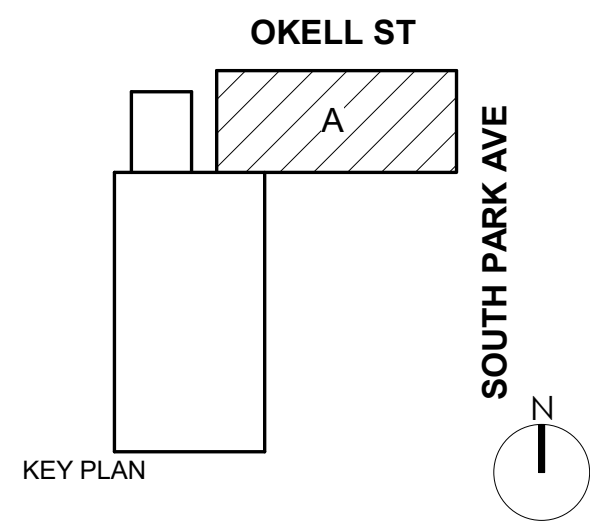
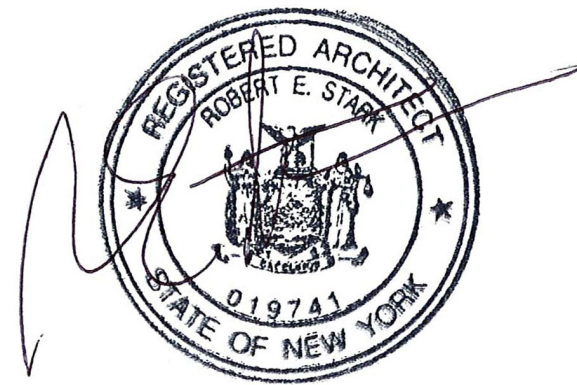
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DRAWING TITLE

VERTICAL CIRCULATION

A-300

PERMIT SET



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BASEMENT REFLECTED CEILING PLAN

A-400

PERMIT SET

GENERAL RCP NOTES

- REFER TO SHEET T001 FOR WALL TYPES, MATERIAL LEGEND, SYMBOL LEGEND AND ABBREVIATIONS USED.
- ALL LIGHT FIXTURES, SPRINKLER HEADS, GRILLES, DIFFUSERS, ETC. LOCATED WITHIN ACP CEILINGS SHALL BE CENTERED IN CEILING TILES.
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RCP'S MATERIALS LEGEND

ALL MATERIALS NOT NECESSARILY USED

- EXP** - EXPOSED - EXIST TO REMAIN; PATCH & REPAIR PLASTER AS REQ'D - PAINT
- ACT 1** - 2x2' ACOUSTICAL CEILING TILE
- ACT 2** - 2x4' ACOUSTICAL CEILING TILE
- GWB 1** - SUSPENDED GYPSUM WALL BOARD CEILING SYSTEM - PAINT
- GWB 2** - GYPSUM WALL BOARD CEILING SYSTEM AT RESIDENTIAL FLOORS - REF 9/A-450 TYP.

RCP'S SYMBOLS LEGEND

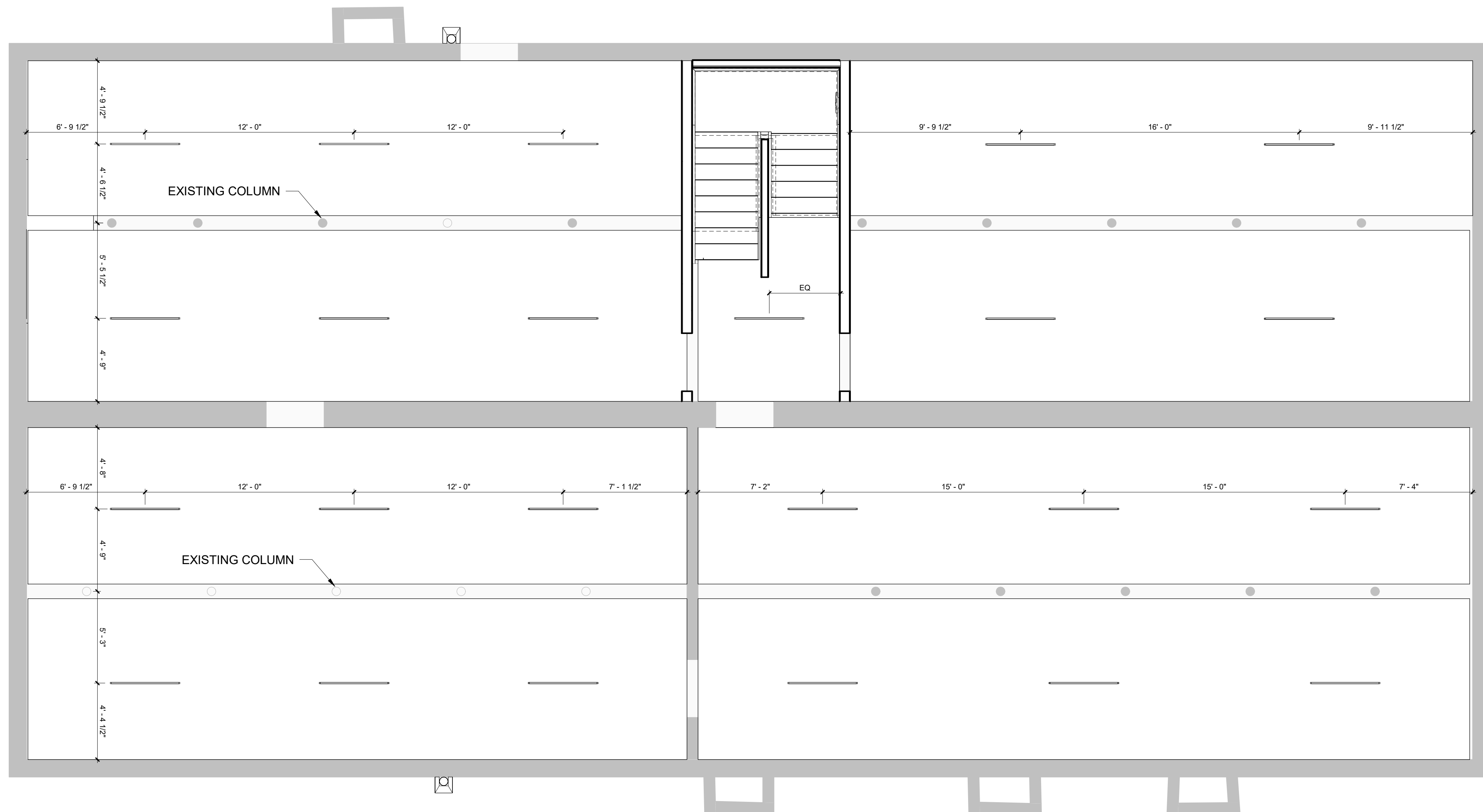
ALL SYMBOLS NOT NECESSARILY USED; SYMBOLS NOT TO SCALE

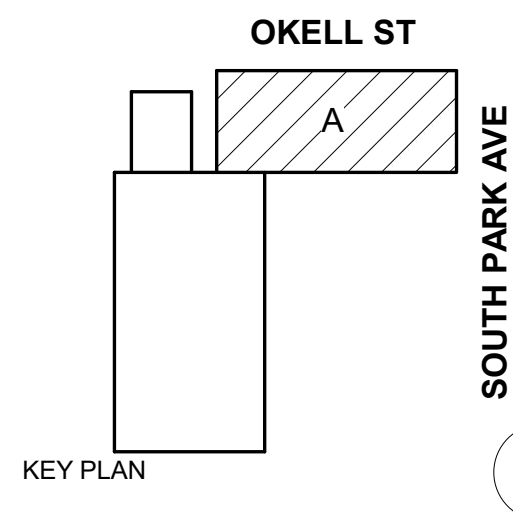
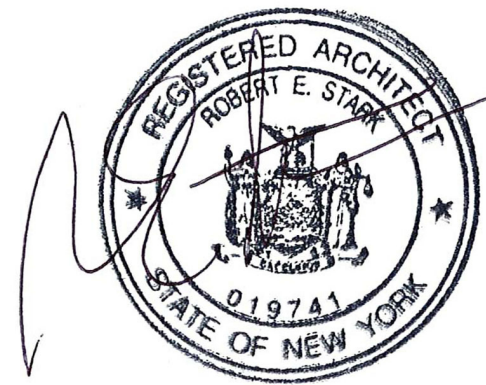
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- WALL MOUNTED SCONCE
- LOBBY/VESTIBULE CEILING LIGHT FIXT.
- STAIRWELL WALL MOUNTED ROUND
-

1
A-400
1/4" = 1'-0"

BASEMENT RCP

CHECK WITH EBS AND ELECTRICIAN - CAN
WE REMOVE BASEMENT LIGHTING?





DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO. 2508

SCALE As indicated

ISSUE DATE 08/04/25

DRAWN BY Gac

CHECKED BY JMC

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DRAWING TITLE

GROUND FLOOR REFLECTED CEILING PLAN

A-401

PERMIT SET

GENERAL RCP NOTES

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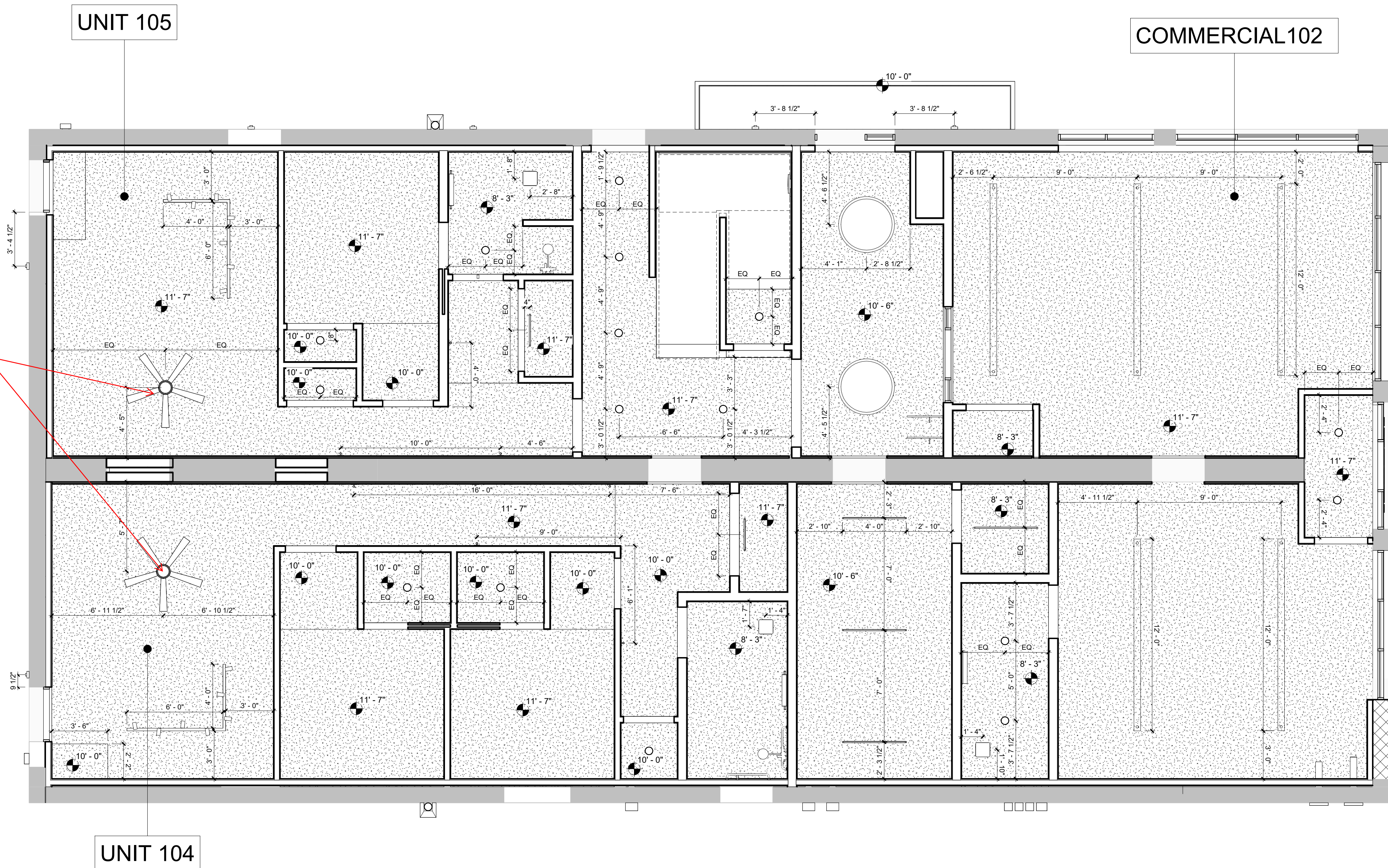
RCP'S SYMBOLS LEGEND

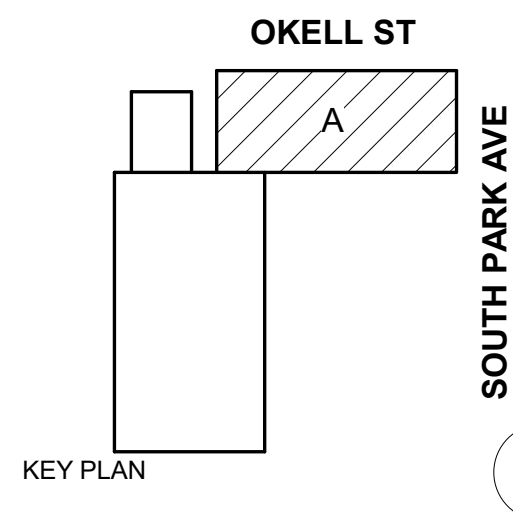
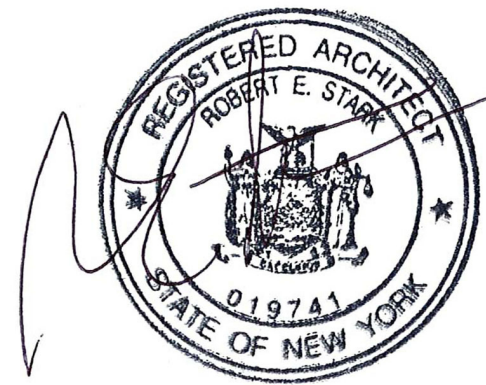
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- DIFFUSER AT GWB - REF. MECH DWG'S
- SECURITY CAMERA
- EMERGENCY SIGNAGE

1 FIRST FLOOR RCP
A-401 1/4" = 1'-0"

ELIMINATE CEILING
FANS - PROVIDE
SWITCHED
OUTLETS FOR
LIVING AREAS?





DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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DRAWING TITLE

SECOND FLOOR REFLECTED CEILING PLAN

A-402

PERMIT SET

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ELIMINATE CEILING FANS - PROVIDE SWITCHED OUTLETS FOR LIVING AREAS?

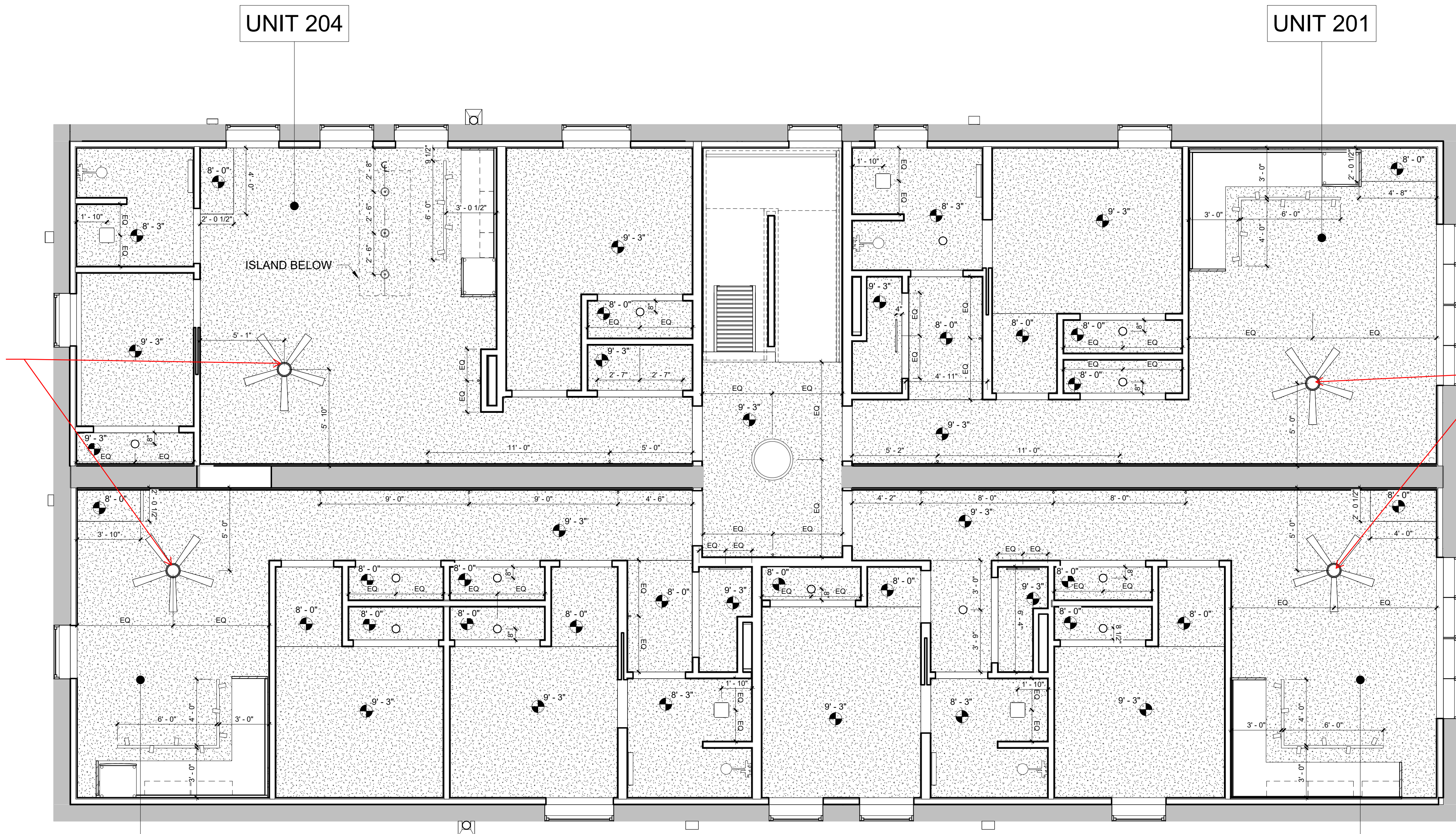
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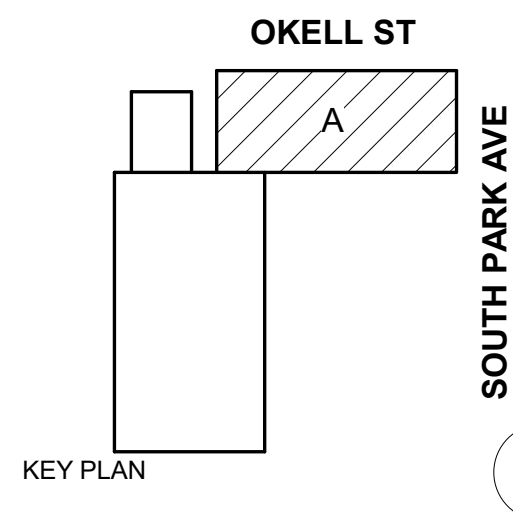
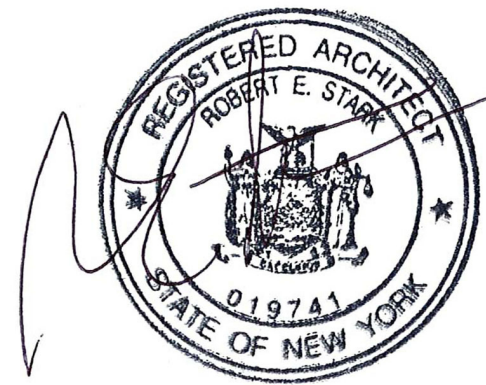
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	DIFFUSER AT GWB - REF. MECH DWG'S
	SECURITY CAMERA
	EMERGENCY SIGNAGE

1 SECOND FLOOR RCP
A-402 1/4" = 1'-0"





DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO. 2508

SCALE As indicated

ISSUE DATE 08/04/25

DRAWN BY Author

CHECKED BY Checker

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DRAWING TITLE

THIRD FLOOR REFLECTED CEILING PLAN

A-403

PERMIT SET

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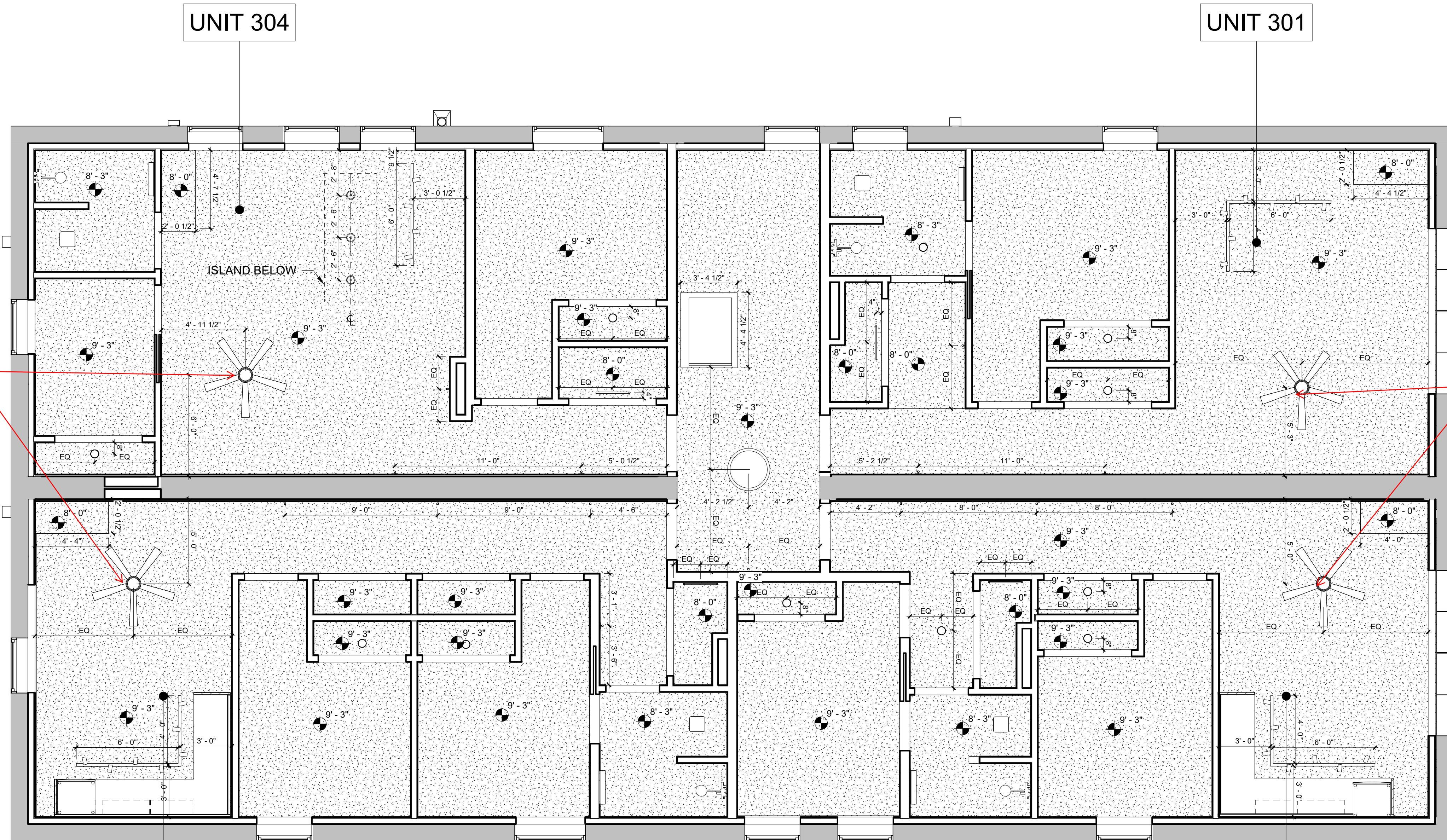
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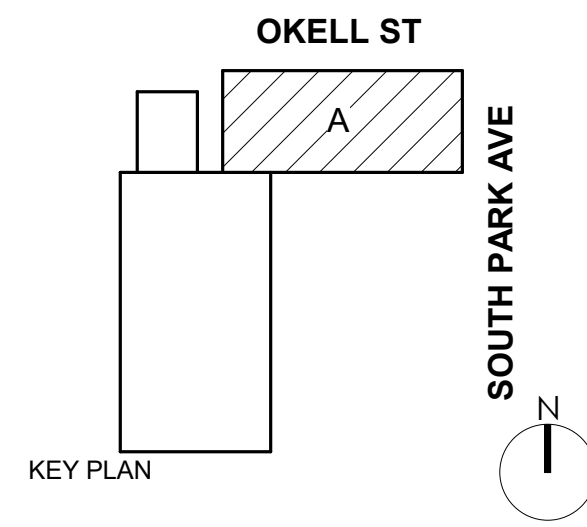
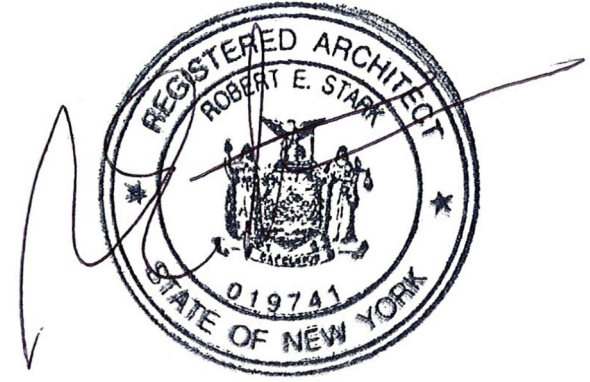
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LIVING AREAS?

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FANS - PROVIDE
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1
A-403 1/4" = 1'-0"



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DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	3/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

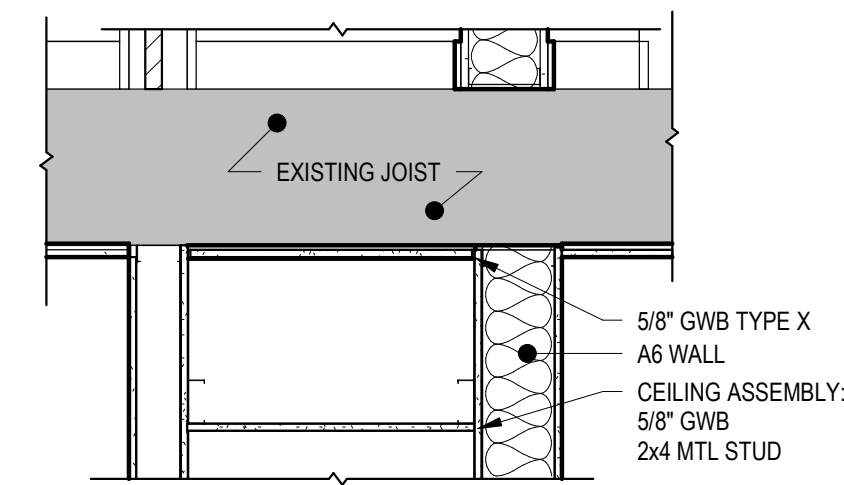
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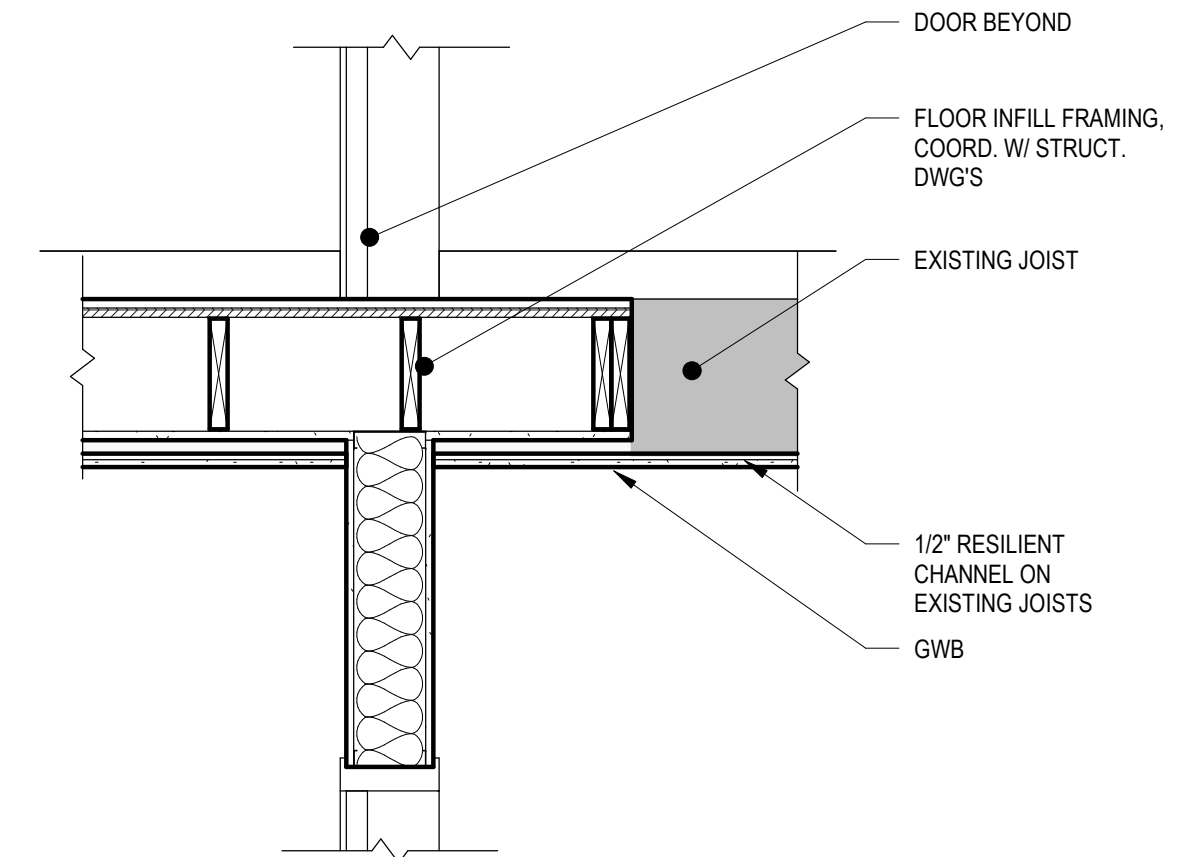
INTERIOR DETAILS

A-501

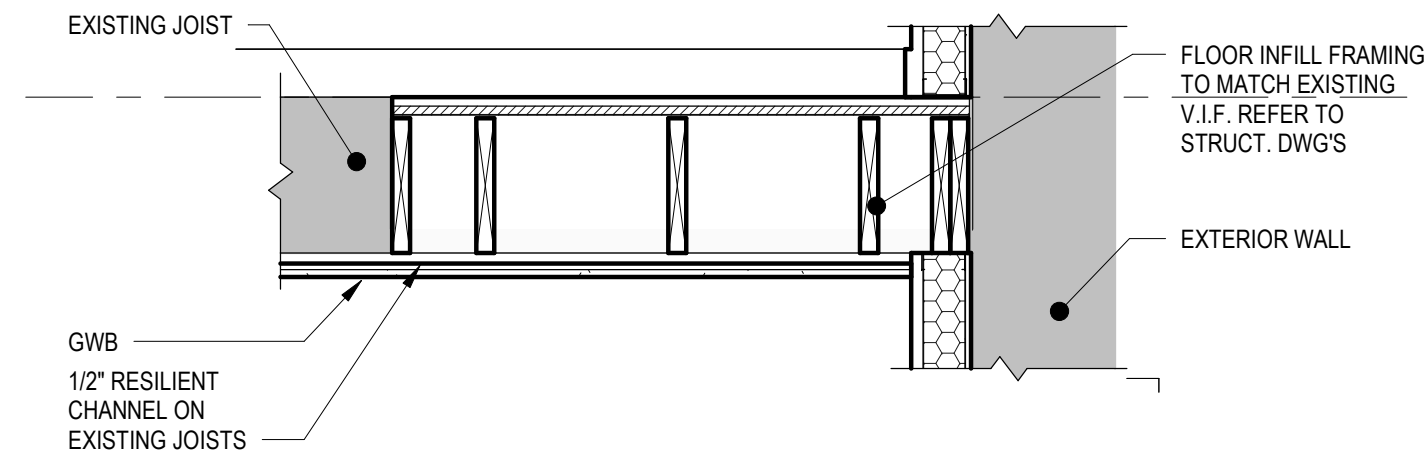
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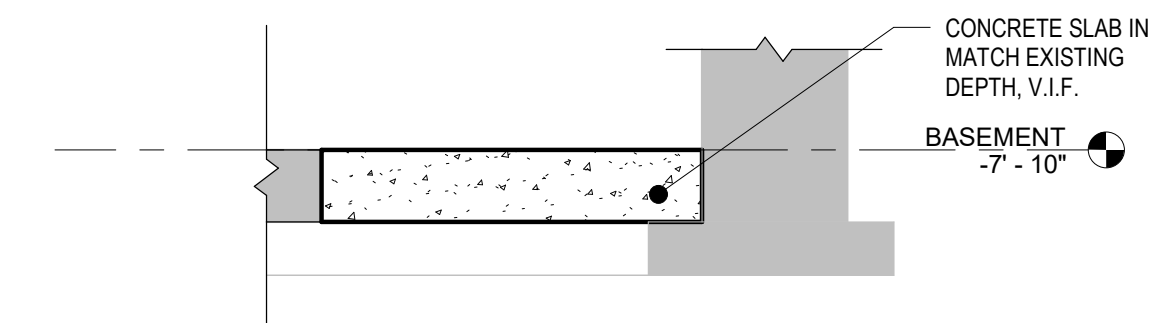
6 RATED CEILING DETAIL
A-501 3/4" = 1'-0"



5 FLOOR INFILL @ CENTRAL STAIR
A-501 3/4" = 1'-0"



2 FLOOR INFILL DETAIL @ REAR STAIR
A-501 3/4" = 1'-0"



1 FLOOR INFILL @ BASEMENT TRENCH
A-501 3/4" = 1'-0"

ROOM FINISH SCHEDULE									
ROOM NO	NAME	FLOOR FINISH	BASE FINISH	WALLS				CEILING FINISH	REMARKS
				NORTH	EAST	SOUTH	WEST		
BASEMENT									
000	STAIRWELL	PCWD-1	B01	-	-	-	-	GWB	
001	MECHANICAL	EXISTING	-	-	-	-	-	-	
002	MECHANICAL	EXISTING	-	-	-	-	-	-	
003	MECHANICAL	EXISTING	-	-	-	-	-	-	
004	MECHANICAL	EXISTING	-	-	-	-	-	-	
FIRST FLOOR									
100	STAIRWELL	CPT-3WD-1		PNT-2	PNT-1	PNT-2	PNT-1	GWB-PNT-3	
101.1	VESTIBULE	CPT-3	B02	PNT-2	PNT-1	PNT-2	PNT-1	GWB-PNT-3	
101.2	VESTIBULE	CPT-3	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
102.1	OFFICE	CPT-2	B01	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
102.2	OFFICE	CPT-2	B01	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
102.3	TOILET ROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
103.1	LAUNDRY	LVT-1	B01	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
103.2	JANITOR CLOSEST	LVT-1	B01	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
104.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
104.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
104.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
104.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
105.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
105.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
105.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
SECOND FLOOR									
200	STAIRWELL	LVT-2WD-1	B02	PNT-2	PNT-1	PNT-2	PNT-1	GWB-PNT-3	
201.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
201.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
201.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
202.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
202.2	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
202.3	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
202.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
203.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
203.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
203.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
203.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
204.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
204.2	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
204.3	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
204.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
THIRD FLOOR									
300	STAIRWELL	LVT-2WD-1	B02	PNT-2	PNT-1	PNT-2	PNT-1	GWB-PNT-3	
301.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
301.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
301.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
302.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
302.2	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
302.3	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
302.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
303.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
303.2	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
303.3	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
303.4	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
304.1	LIVING SPACE	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
304.2	BEDROOM	LVT-2	B02	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
304.3	BATHROOM	PT-2	PTB-1	PNT-1	PNT-1	PNT-1	PNT-1	GWB-PNT-3	
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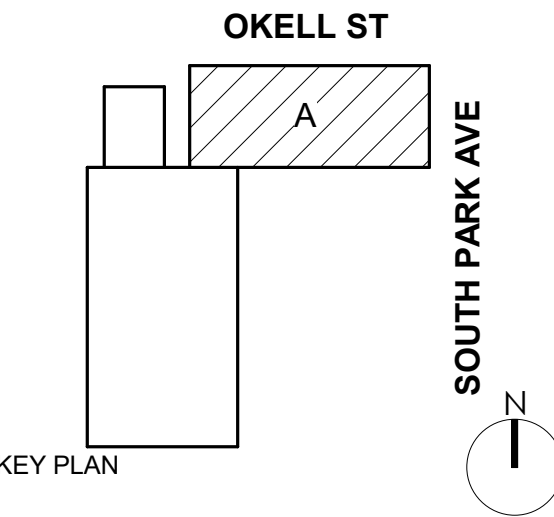
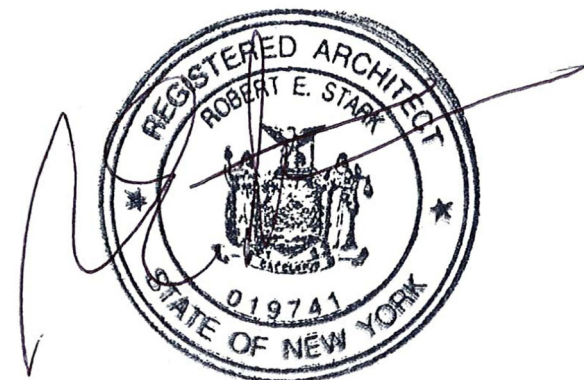
*ALL CLOSESTS TREATED SAME AS ADJOINING ROOM

FINISH MATERIAL LIST				
FLOOR				
MATERIAL	TAG	MANUFACTURER	MODEL	NOTES
CARPET	CPT-1	MILLIKEN	OBEX ENTRANCE FLOORING STYLE CUT COLOR GREY TILE SIZE 19"x19"	
CARPET	CPT-2	INTERFACE	LAUNCH PAD ARTIST PROOF 125280AK00 COLOR:107480 GRAPHITE	
CARPET	CPT-3	INTERFACE	SR7799 104915 KHAKI	VESTIBULE AND ENTRANCE FLOOR STAIRWELL
PORCELAIN TILE	PT-1	DALTILE	DELEGATE COLOR OFF WHITE DL25 12"x24"	TBD
PORCELAIN TILE	PT-2	DALTILE	OUTLANDER GRAND DESIGN COLOR:ONYX OUS9	BATHROOMS
LVT	LVT-1	INTERFACE	BRUSHED LINES A01605 GRAPHITE	TBD
LVT	LVT-2	INTERFACE	NATURAL WOOD GRAINS CEDAR A00212	TBD
				TBD
WOOD STEPS	WD-1	CONTRACTOR MADE 2" WOOD STEPS	CENTRAL MAIN STAIRS: CEDAR FINISH	
BASE				
VINLY BASE	B01	TARKETT REVEAL 4-1/4"	COLOR TBD	
WOOD BASE	B02	TARKETT MANDALAY TB3 4-1/2"	COLOR TO MATCH WALL	
PORCELAIN TILE	PTB-1	DALTILE	OUTLANDER COLLECTION MARINE COLOR OUS9 12"x24"	
WALLS				
PORCELAIN TILE	PWT-1	ARTWALK DESIGN	AWD-T1198	
PORCELAIN TILE	PWT-2	DALTILE	SATRE POKE COLOR:CONFETTI FLECKS PK23 12"x24"	BACKSPLASH IN OFFICES KITCHENETTES
PORCELAIN TILE	PWT-3	DALTILE	SATRE POKE COLOR:CLOUD FLECKS PK23 12"x24"	BACKSPLASH IN RESIDENTIAL UNITS
PORCELAIN TILE	PWT-4	DALTILE	OUTLANDER COLLECTION MARINE COLOR OUS9 12"x24"	SHOWER TILE
PAINT	PNT-1	BENJAMIN MOORE	WHITE OC-151	UNIT PAINT
PAINT	PNT-2	BENJAMIN MOORE	CSP-110 VINTAGE PEWTER	STAIRWELL/VESTIBULE PAINT
PAINT	PNT-3	BENJAMIN MOORE	CHINTILLY LACE OC-65	UNIT CEILINGS
SURFACES				
DEKTON	QTZ-1	SILVERKOAST	LAGUNA VELVET FINISH 2 CM	KITCHEN ISLAND AND COUNTERTOPS
WOOD SURROUND	WD-2	LAMINATED WOOD LOOK ENCLOSURE	CHERRY FINISH	KITCHEN ENCLOSURE
CABINETS				
WOLF CABINETS		ENDEAVOR	EASTON SERIES: POLAR	UNIT CABINETRY
CEILINGS				
GWB	GWB			
MISC.				
WINDOW TREATMENTS	FB-1	SELECT BLINDS	ROLLER SHADE TBD AND COLOR PAVEMENT	

GENERAL FINISH NOTES:
PNT-1 THROUGHOUT UNLESS OTHERWISE NOTED
ALL WALL PAINT FINISHED IS MATTE
BASE AND TRIM IS THE WALL COLOR



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DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	1/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

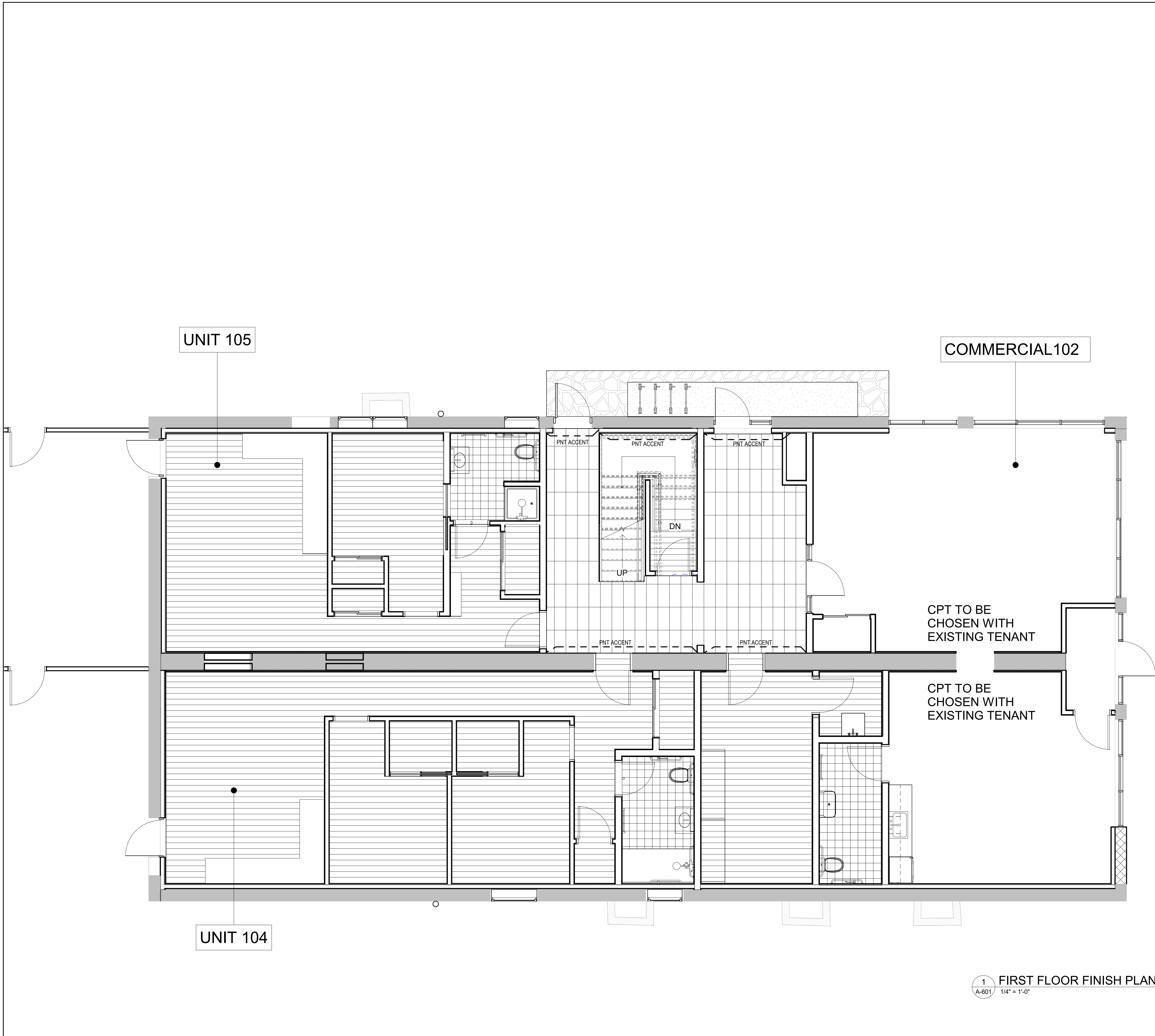
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FINISH SCHEDULE

A-600

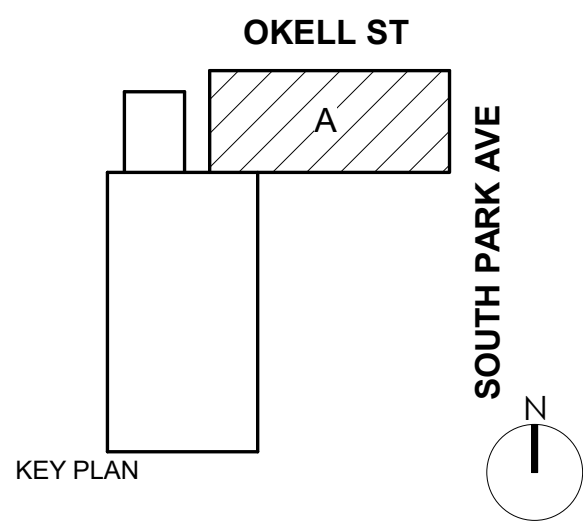
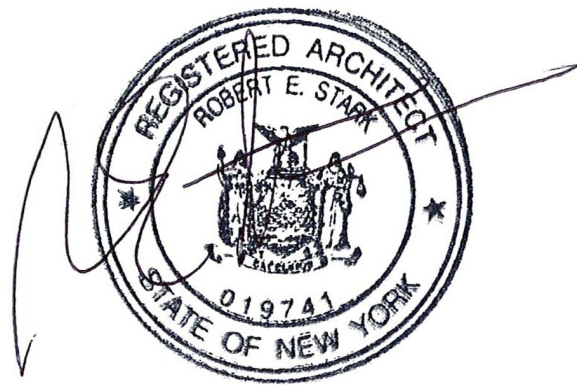
PERMIT SET



FINISHES LEGEND
ALL MATERIALS NOT NECESSARILY USED

- LVT-1
- CONCRETE
- COLORED CONCRETE
- TILE
- TILE-2
- CPT-1
- WALK OFF MAT

1 FIRST FLOOR FINISH PLAN
A-601 1/4" = 1'-0"



DOFI PROPERTIES

**SOUTH PARK
MIXED USE**

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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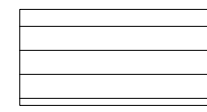
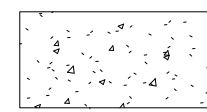
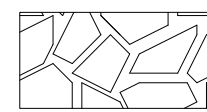
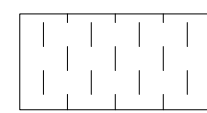
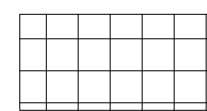
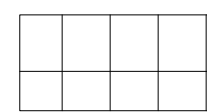
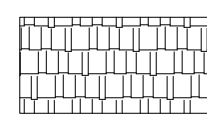
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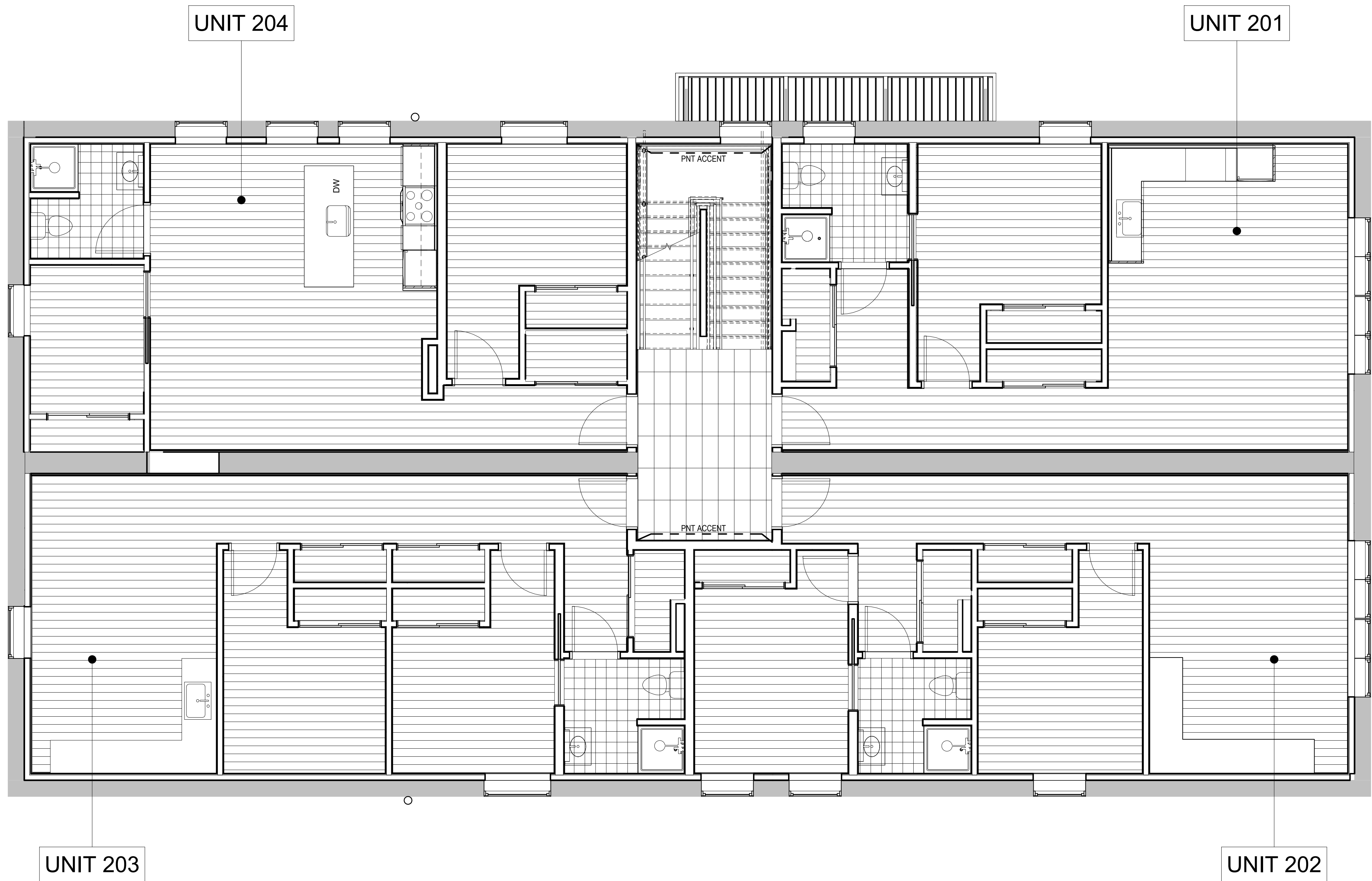
**FIRST FLOOR
FINISH PLAN**

A-601

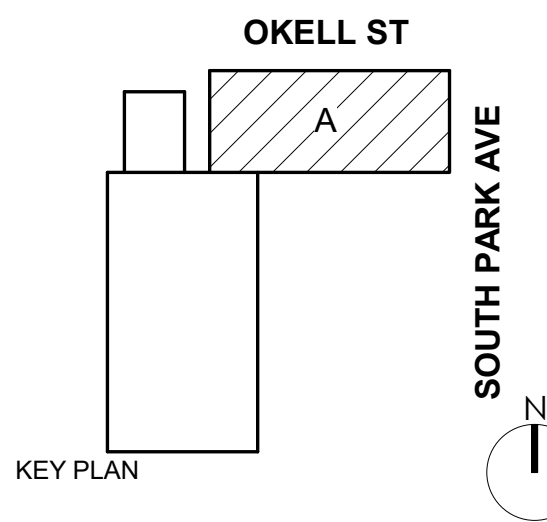
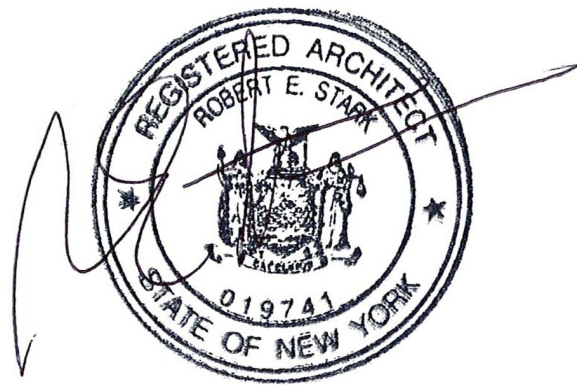
PERMIT SET

FINISHES LEGEND
ALL MATERIALS NOT NECESSARILY USED

-  LVT-1
-  CONCRETE
-  COLORED CONCRETE
-  TILE
-  TILE-2
-  CPT-1
-  WALK OFF MAT



1 SECOND FLOOR PLAN
A-602 1/4" = 1'-0"



DOFI PROPERTIES

**SOUTH PARK
MIXED USE**

2221 SOUTH PARK AVE
BUFFALO, NY 14220

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DRAWN BY	Author
CHECKED BY	Checker

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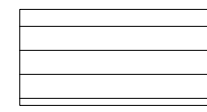
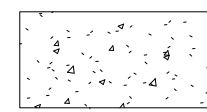
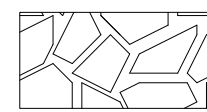
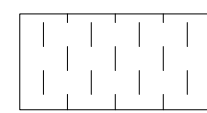
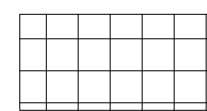
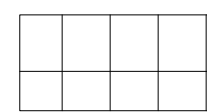
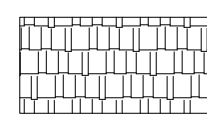
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**SECOND FLOOR
FINISH PLAN**

A-602

PERMIT SET

FINISHES LEGEND
ALL MATERIALS NOT NECESSARILY USED

-  LVT-1
-  CONCRETE
-  COLORED CONCRETE
-  TILE
-  TILE-2
-  CPT-1
-  WALK OFF MAT



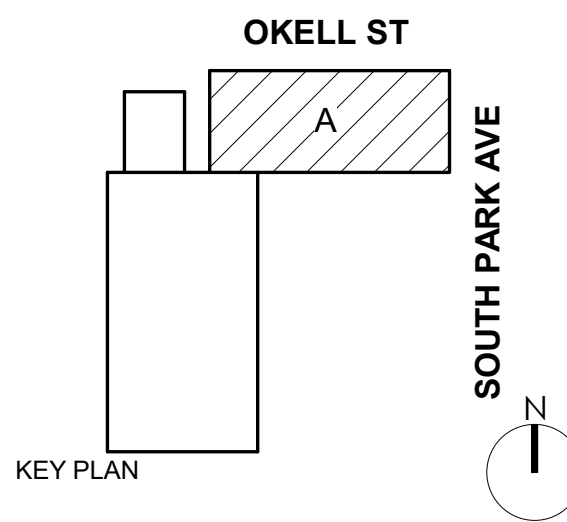
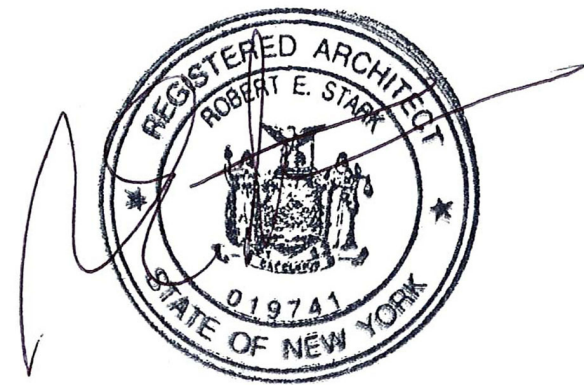
UNIT 302

UNIT 303

UNIT 301

UNIT 304

1 THIRD FLOOR FINISH PLAN
A-603 1/4" = 1'-0"



DOFI PROPERTIES

SOUTH PARK
MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

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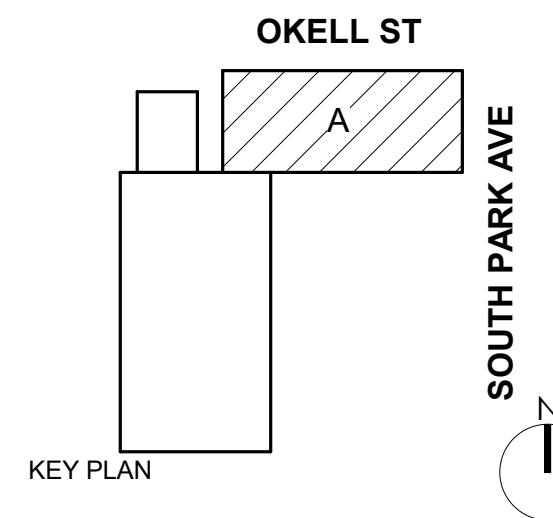
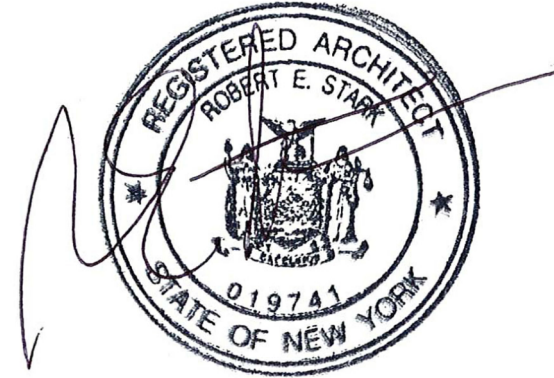
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DRAWING TITLE

THIRD FLOOR
FINISH PLAN

A-603

PERMIT SET



DOFI PROPERTIES

SOUTH PARK MIXED USE

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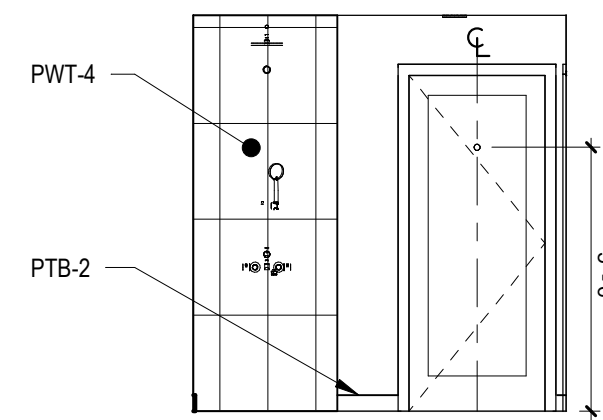
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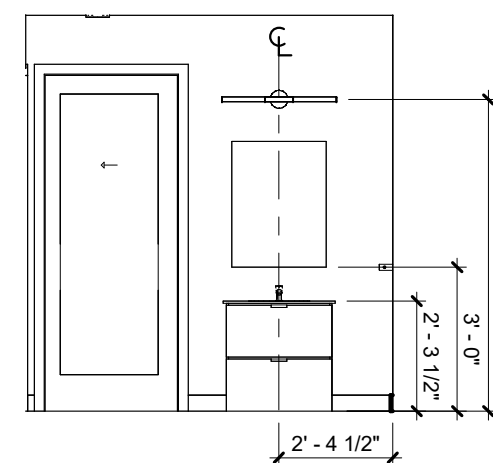
INTERIOR ELEVATIONS

A-610

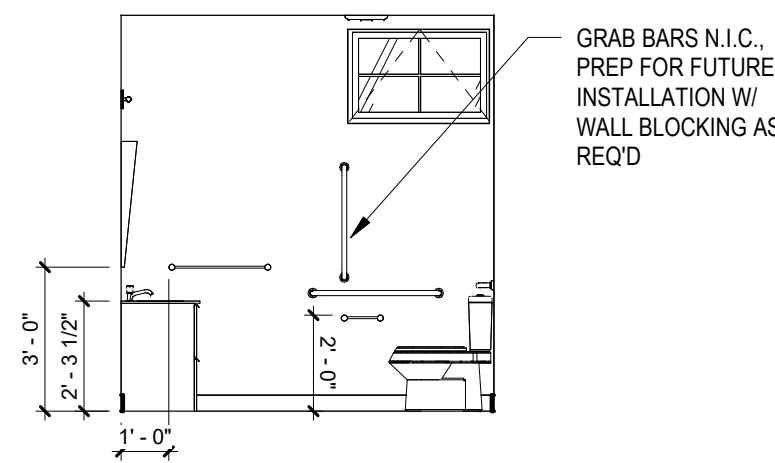
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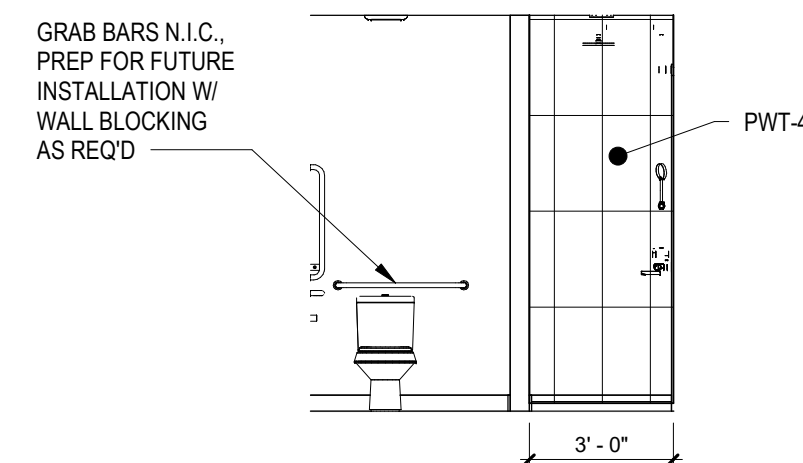
21
A-610
TYP/ BATHROOM
ELEVATION 4
1/4" = 1'-0"



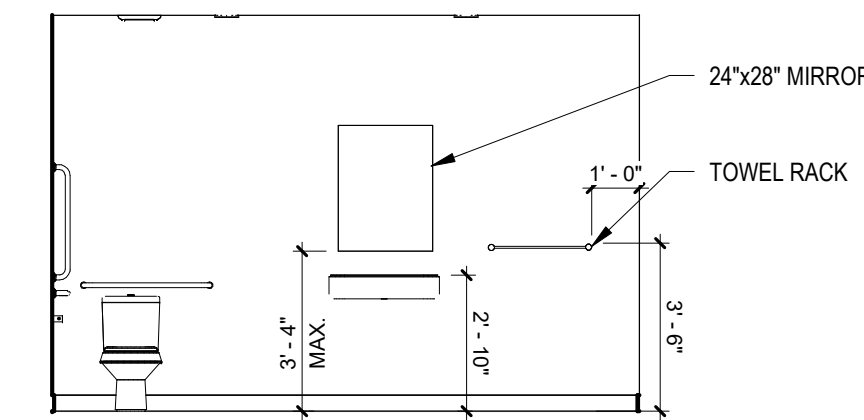
20
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TYP. BATHROOM
ELEVATION 3
1/4" = 1'-0"



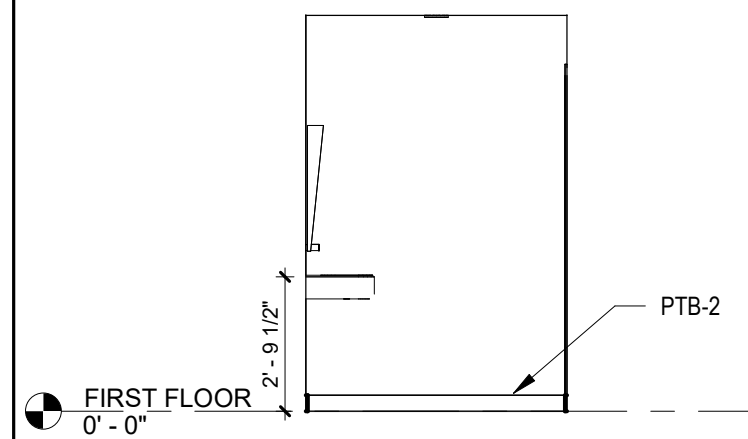
19
A-610
TYP. BATHROOM
ELEVATION 2
1/4" = 1'-0"



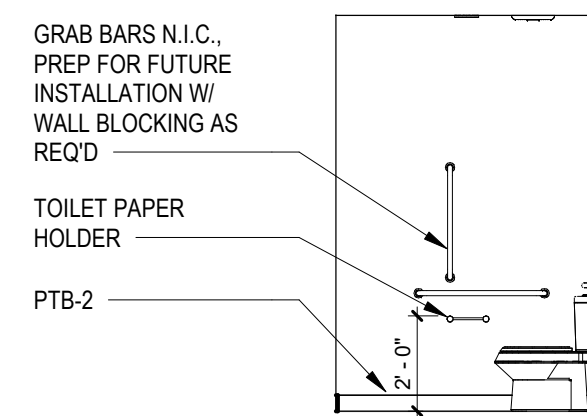
18
A-610
TYP. BATHROOM
ELEVATION 1
1/4" = 1'-0"



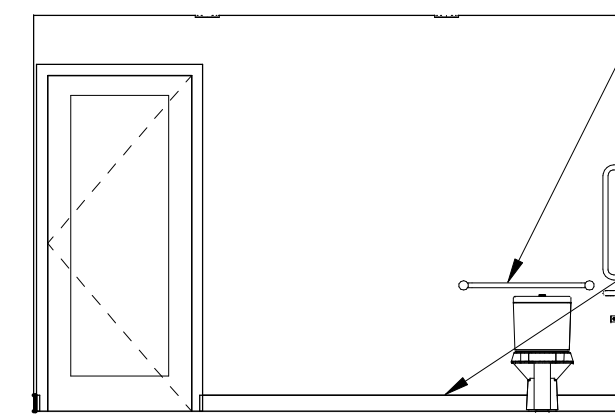
17
A-610
102.4 TOILET WEST
1/4" = 1'-0"



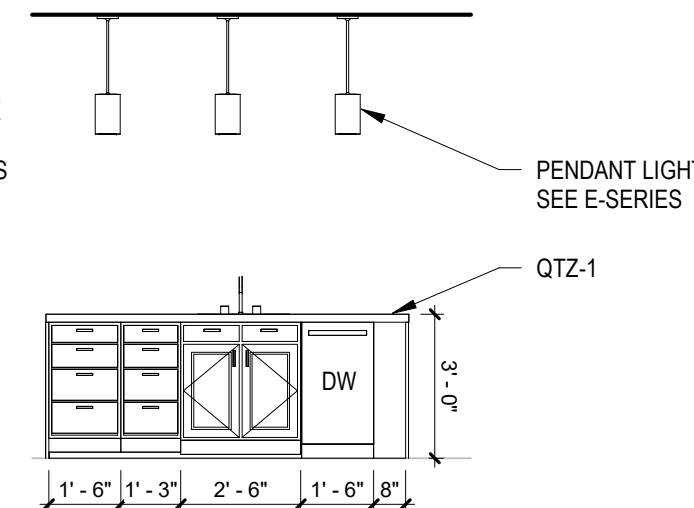
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A-610
102.4 TOILET NORTH
1/4" = 1'-0"



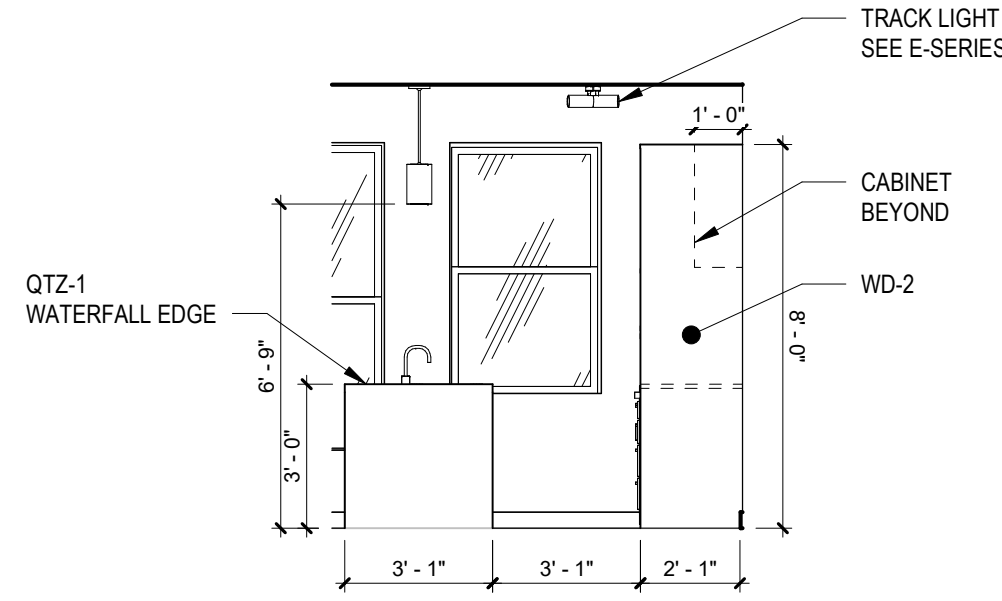
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A-610
102.4 TOILET SOUTH
1/4" = 1'-0"



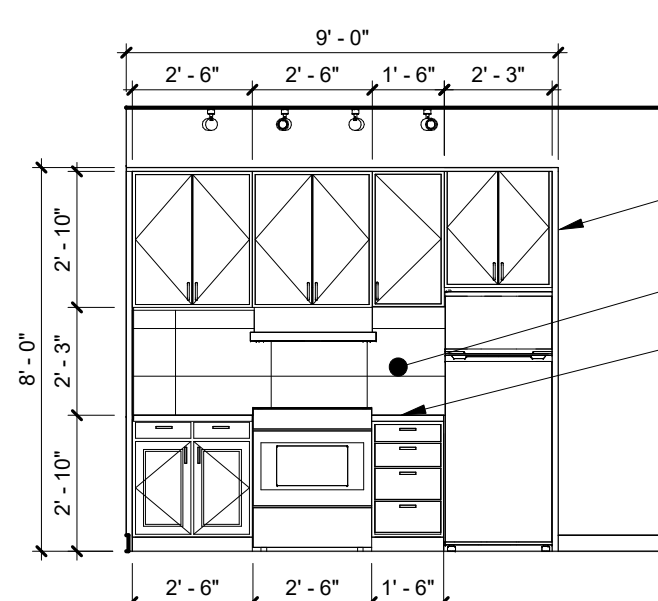
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A-610
102.4 TOILET EAST
1/4" = 1'-0"



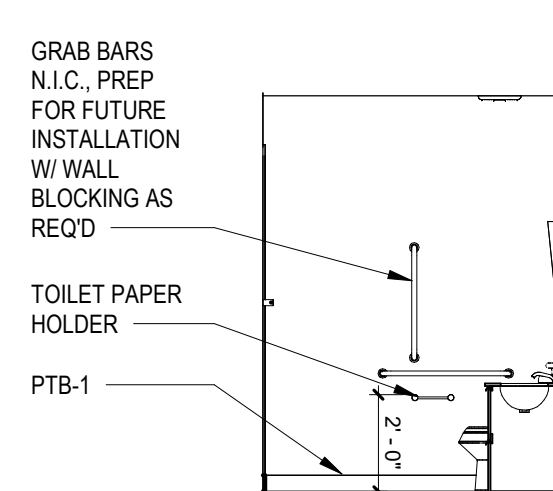
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A-610
UNIT 204 ISLAND WEST
1/4" = 1'-0"



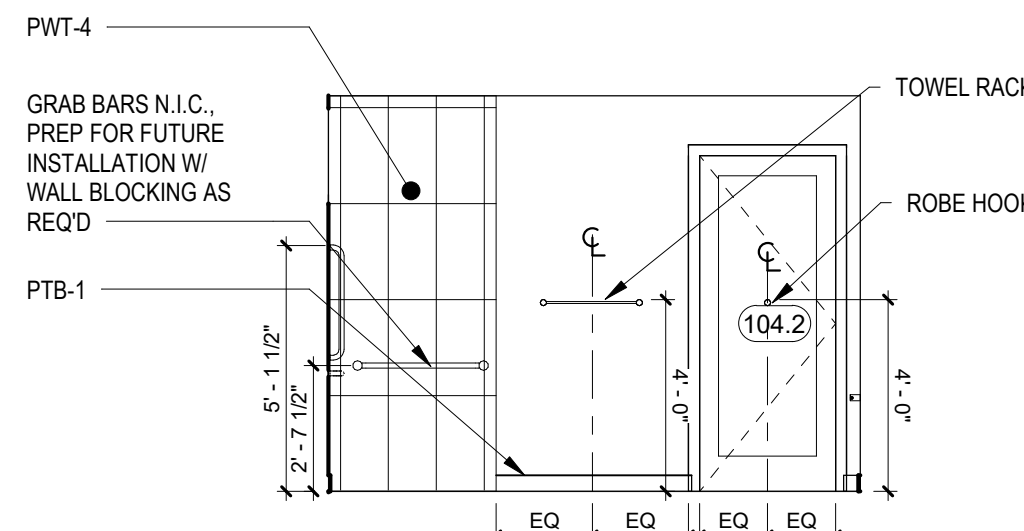
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A-610
UNIT 204 ISLAND NORTH
1/4" = 1'-0"



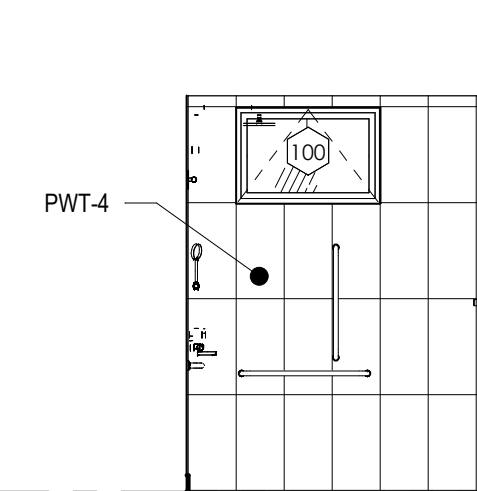
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UNIT 204 KITCHEN EAST
1/4" = 1'-0"



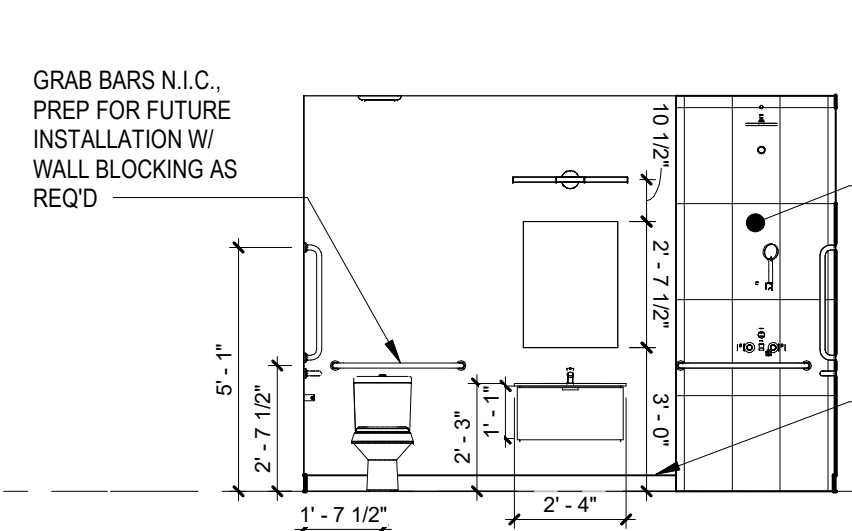
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A-610
104 BATHROOM NORTH
1/4" = 1'-0"



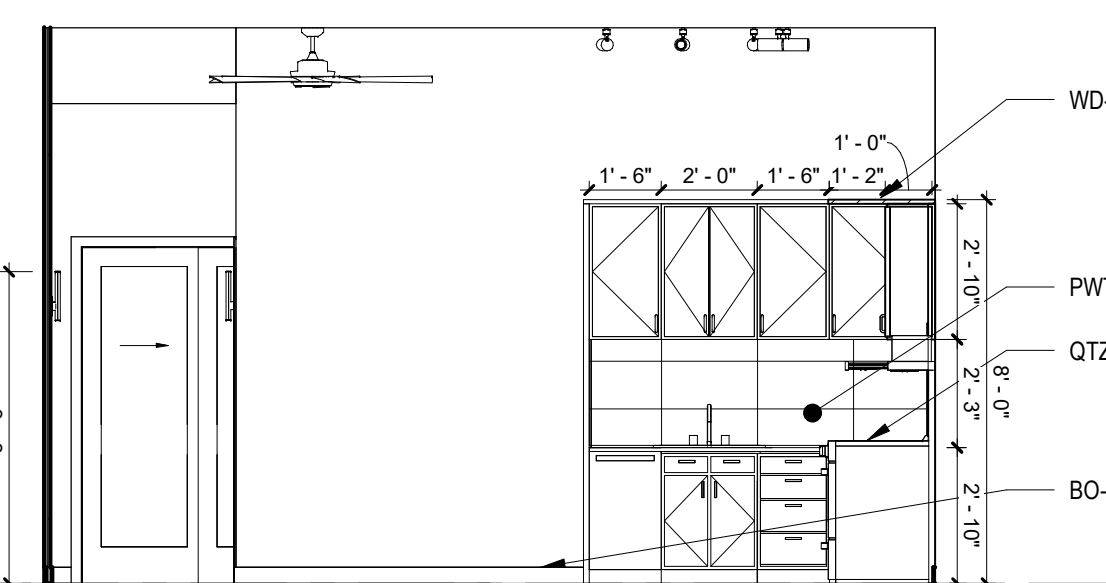
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A-610
104 BATHROOM WEST
1/4" = 1'-0"



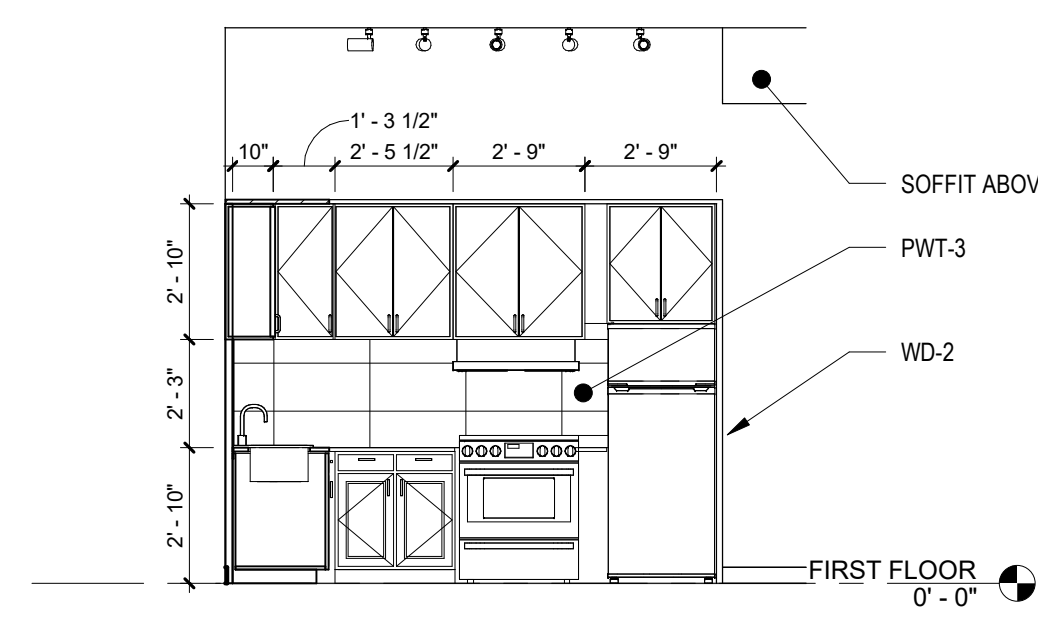
8
A-610
104 BATHROOM SOUTH
1/4" = 1'-0"



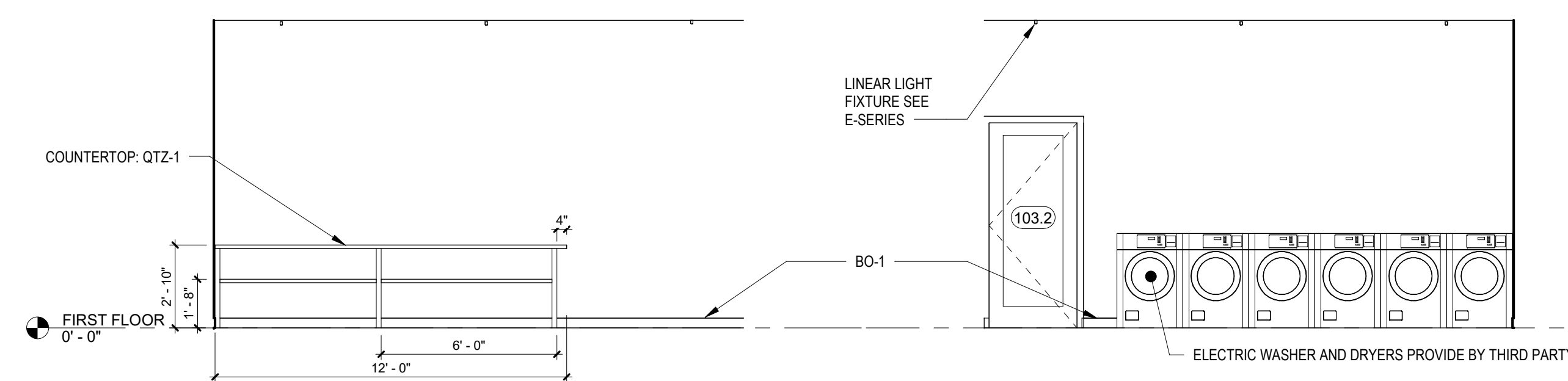
7
A-610
104 BATHROOM EAST
1/4" = 1'-0"



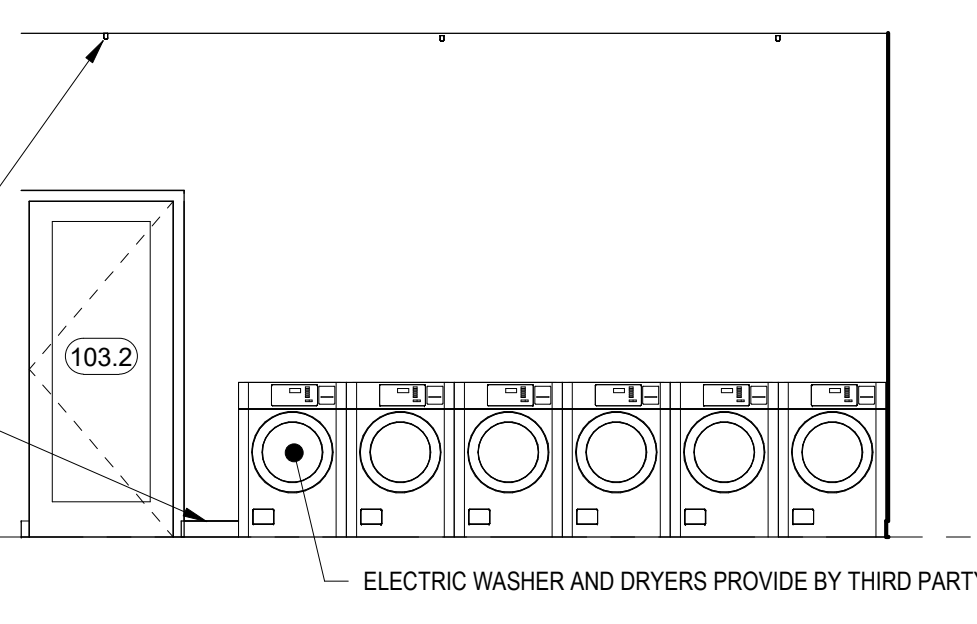
6
A-610
104 KITCHEN EAST
1/4" = 1'-0"



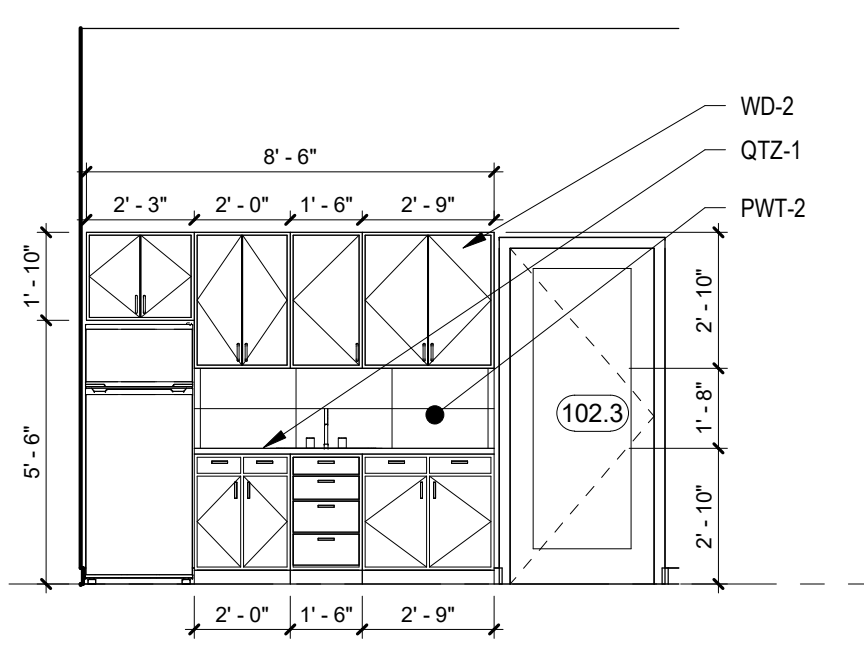
5
A-610
104 KITCHEN SOUTH
1/4" = 1'-0"



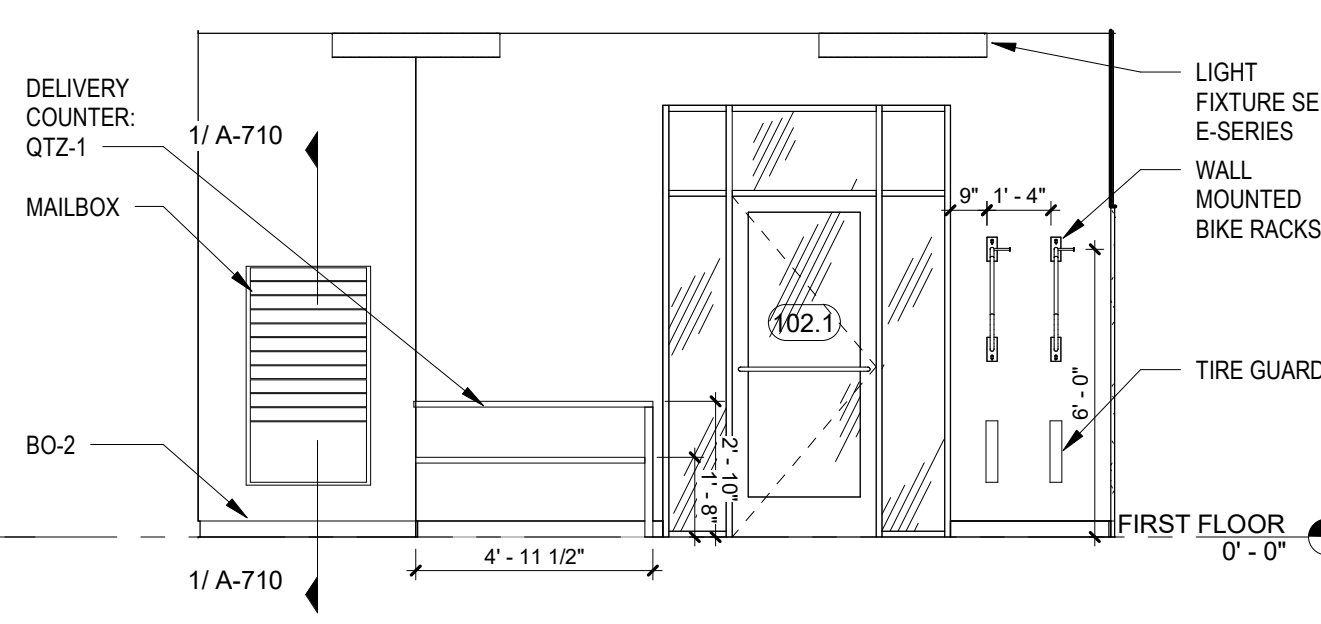
4
A-610
LAUNDRY ROOM WEST
1/4" = 1'-0"



3
A-610
LAUNDRY ROOM ELEVATION EAST
1/4" = 1'-0"



2
A-610
OFFICE KITCHENETTE SOUTH
1/4" = 1'-0"



1
A-610
MAILBOX ELEVATION
1/4" = 1'-0"



221 SOUTH PARK AVE
BUFFALO, NY 14220

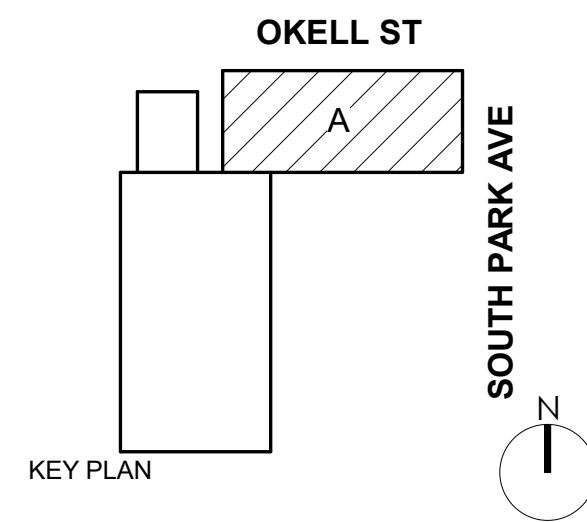
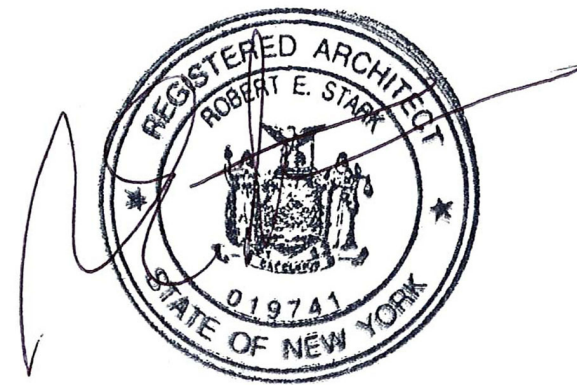
JOB NO.	2508
SCALE	3/4" = 1'-0"
ISSUE DATE	08/04/25
DRAWN BY	Author
CHECKED BY	Checker

DRAWING TITLE

A-710



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DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	As indicated
ISSUE DATE	08/04/25
DRAWN BY	NJM/JC
CHECKED BY	RES

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

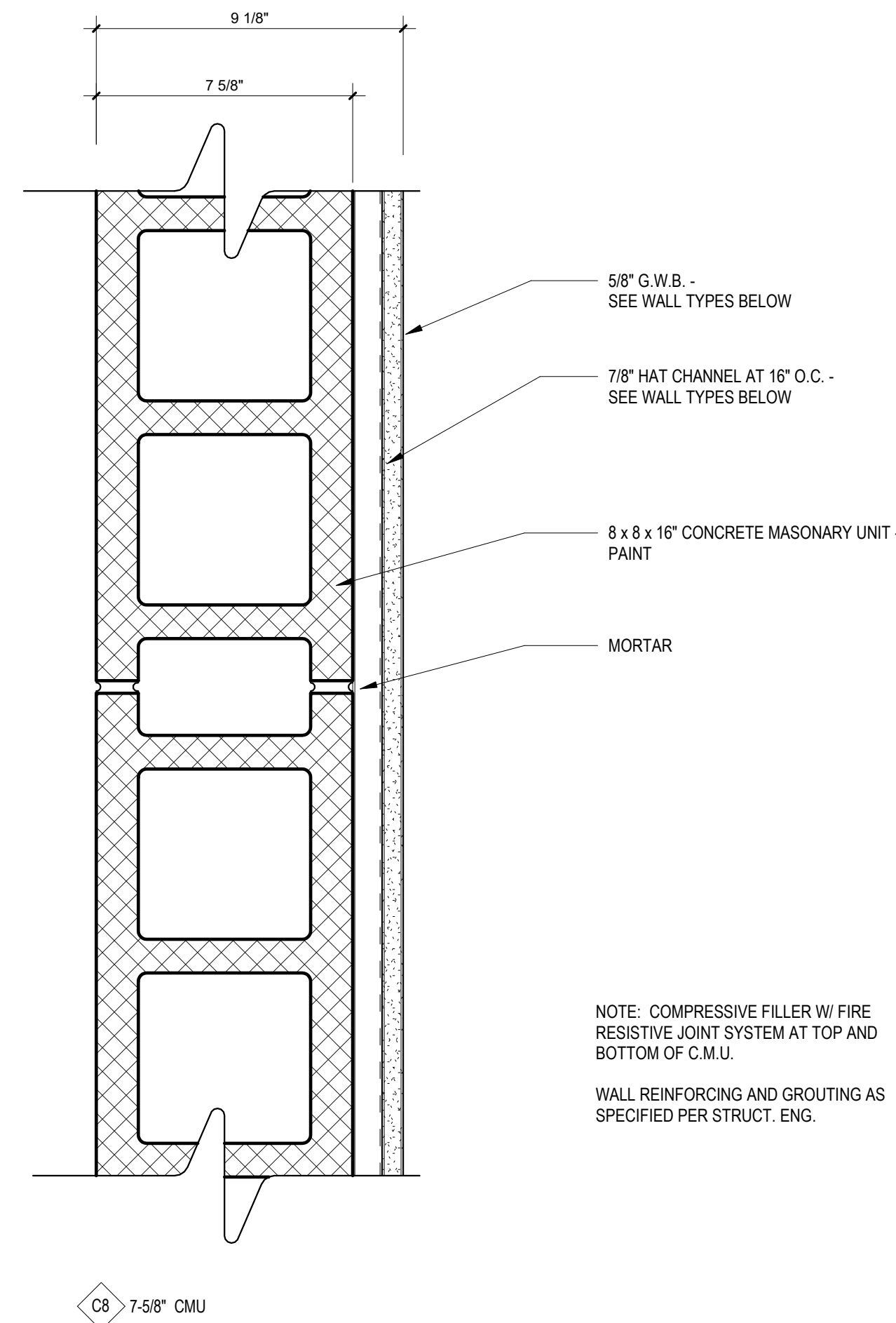
PARTITION SCHEDULE

A-800

PERMIT SET

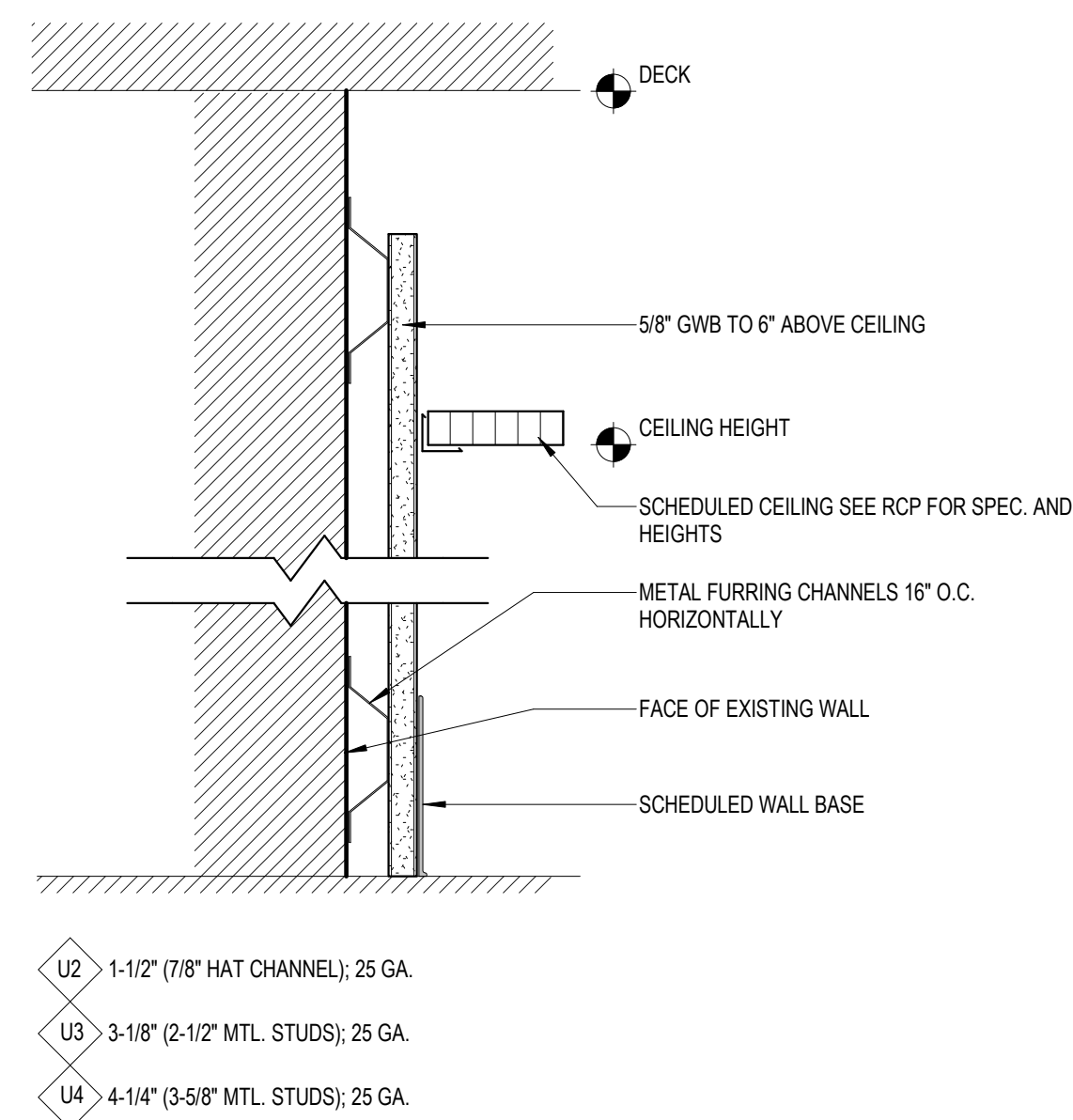
WALL TYPE NOTES

1. PROVIDE CONTINUOUS BEAD OF SEALANT AT TOP AND BOTTOM STUDS OF ALL PARTITION WALLS THAT SEPERATE A CORRIDOR, HALLWAY, TENANTS, MECHANICAL CLOSETS, COMMON SPACES, AND UTILITY SPACES FROM AN OCCUPIED SPACE. AT FIRE RATED PARTITIONS, PROVIDE FIRE RATED SEALANT.
2. SEAL ALL OPENINGS, GAPS PENETRATIONS, AND JOINTS IN PARTITION TYPES AS FOLLOWS:
FIRE RATED PARTITIONS: SEAL IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED FOR THROUGH PENETRATION FIRESTOP SYSTEMS AND FIRE RESISTIVE JOINT SYSTEMS.
SMOKE TIGHT PARTITIONS: SEAL COMPLETELY WITH ELASTOMERIC SEALANT, FOR LOCATION AND EXTEND OF PARTITIONS. DESIGNATED AS "SMOKE TIGHT" REFER TO CODE COMPLIANCE DRAWINGS AND OTHER LOCATIONS AS INDICATED AND REQUIRED ELSEWHERE BY THE CONTRACT DOCUMENTS.
3. FOR ALL JANITOR'S CLOSETS AND WALLS ADJACENT TO WET WALL LOCATIONS - PROVIDE 1 LAYER 5/8" MOISTURE RESISTANT G.W.B. ON WET SIDE OF WALL IN LIEU OF G.W.B. SHOWN ON PARTITION TYPE. THIS NOTE DOES NOT APPLY TO PARTION TYPES USING CEMENT BOARD.
4. FOR WALL SCHEDULED TO RECIEVE CERAMIC TILE WALL FINISH, REPLACE GYPSUM WALL BOARD BEHIND CERAMIC TILE WITH CEMENT BACKER BOARD UNITS.
5. SEE WALL SECTIONS FOR EXTERIOR WALL TYPES.
6. ALL INTERIOR PARTITION GYPSUM BOARD TO EXTEND TO UNDERSIDE OF FLOOR SLAB OR ROOF DECK ABOVE ON BOTH SIDES UNLESS OTHERWISE NOTED.



C CMU PARTITION TYPE

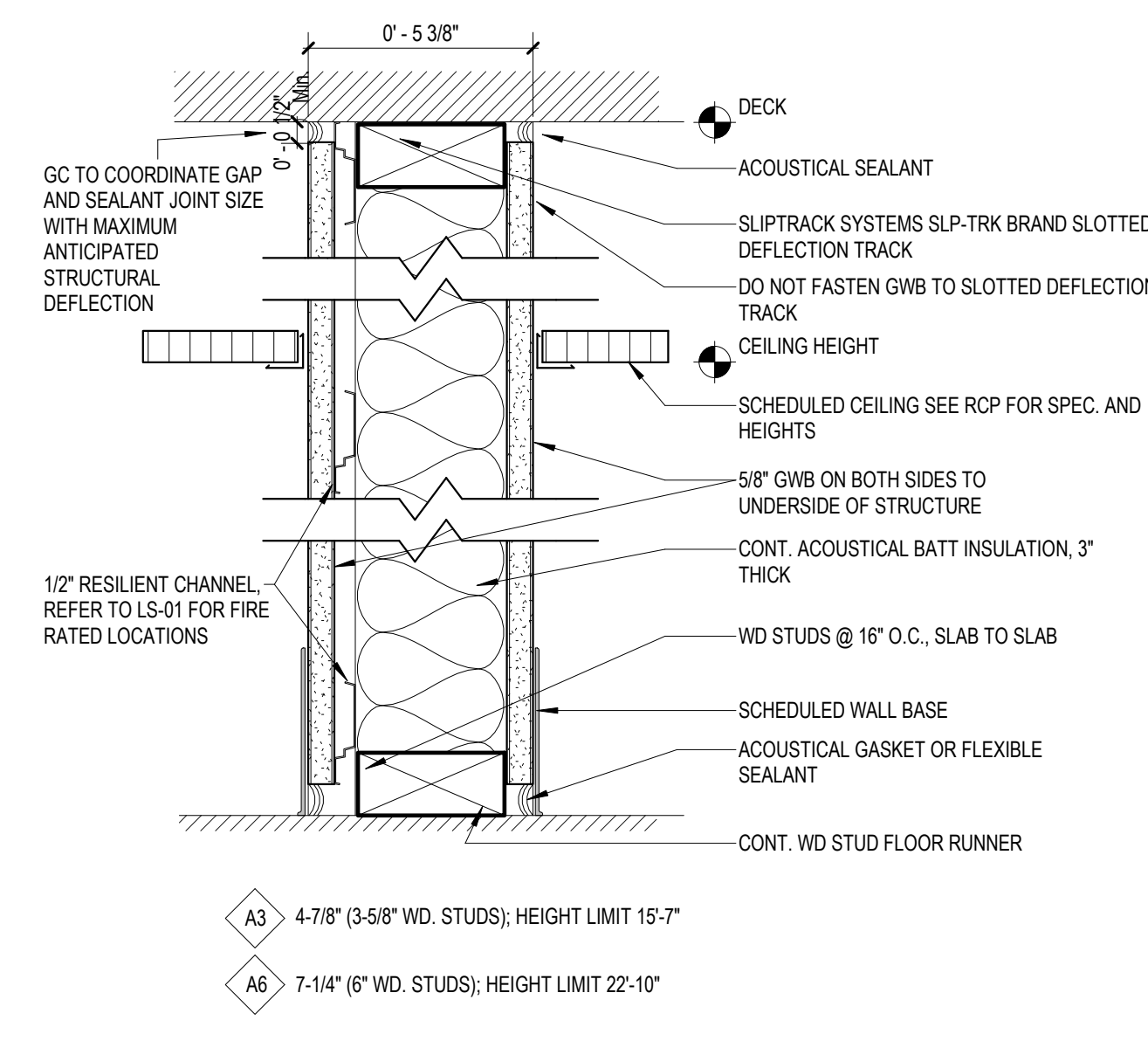
CONCRETE MASONRY UNIT



U UNBALANCED PARTITION TYPE

Non-rated Furred Partition

*USE MR RATED DRYWALL IN BATHROOMS



A METAL STUD INSULATED PARTITION TYPE

*USE MR RATED DRYWALL IN BATHROOMS

DOOR SCHEDULE - ALL												
DOOR				DOOR					FRAME			COMMENTS
NO.	WIDTH	HEIGHT	Door Type	Door Material	Hardware	FINISH	GLASS TYPE	FIRE RATING	TYPE	MATERIAL	FINISH	
BASEMENT												
001	3' - 0"	6' - 8"	F	HM	2	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
002	3' - 0"	7' - 0"	C	HM	2	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
003	3' - 0"	6' - 8"	F	HM	2	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
FIRST FLOOR												
100.1	3' - 0"	8' - 0"	B	ALUM	11	CLR	2	15min	-	ALUM	CLR	
100.2	5' - 6"	7' - 0"	K		N/A	PT	-	15 min.			PT	FIRE SHUTTER
100.3	2' - 10"	7' - 0"	G	HM	10	PT2	-	15 min.	1	HM	PT	PREHUNG DOOR + FRAME
101.1	3' - 0"	8' - 0"	A	ALUM	8	CLR	2	-	-	ALUM	CLR	
101.2	3' - 0"	8' - 0"	A	ALUM	12	CLR	2	-	-	ALUM	CLR	
102.1	3' - 0"	7' - 1 1/4"	A	ALUM	8	CLR	1	-	-	ALUM	CLR	
102.2	3' - 0"	7' - 0"	C	HM	3	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
102.3	3' - 0"	7' - 0"	C	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
102.4	4' - 0"	7' - 0"	D	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
103.1	3' - 0"	6' - 8"	F	HM	7	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
103.2	3' - 0"	7' - 0"	C	HM	6	PT2	-	-	1	HM	PT2	PREHUNG DOOR + FRAME
104.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
104.2	2' - 10"	7' - 0"	G	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.3A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.3B	2' - 8"	6' - 8"	E	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.4A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.4B	2' - 8"	6' - 8"	E	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.5	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.6	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
104.7	3' - 2"	7' - 11 1/4"	A	ALUM	9	CLR	2	-	-	ALUM	CLR	
105.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
105.2A	2' - 10"	7' - 0"	G	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
105.2B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
105.3A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
105.3B	4' - 0"	7' - 0"	D	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
105.4	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
105.5	4' - 0"	7' - 0"	D	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
105.6	3' - 0"	7' - 11 1/4"	A	ALUM	9	CLR	2	-	-	ALUM	CLR	
106	3' - 0"	7' - 0"	C		13	PT2	-	-				FENCE GATE DOOR
107	3' - 0"	7' - 0"	C		13	PT2	-	-				FENCE GATE DOOR
SECOND FLOOR												
201.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
201.2A	2' - 10"	7' - 0"	G		3	PT2	-	-	2	WD		PREHUNG DOOR + FRAME
201.2B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
201.3A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
201.3B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
201.4	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
201.5	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
202.2A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.2B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.3A	2' - 10"	7' - 0"	G	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.3B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
202.4A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.4B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.5	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
202.6	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
203.2A	2' - 10"	7' - 0"	G	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.2B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
203.3A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.3B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.4A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.4B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.5	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.6	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
203.7	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
204.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
204.2A	3' - 0"	7' - 0"	C	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
204.2B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
204.3	3' - 0"	7' - 0"	C	WSC	3	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
204.4A	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
204.4B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
204.5	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
THIRD FLOOR												
301.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
301.2A	2' - 10"	7' - 0"	G	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
301.2B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
301.3A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
301.3B	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
301.4	5' - 0"	7' - 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
301.5	5' - 0"	7' - 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
302.1	3' - 0"	7' - 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
302.2A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
302.2B	4' - 0"	7' - 0"	D	WSC	5	PT2	-	-		WD	PT	PREHUNG DOOR + FRAME
302.3A	2' - 10"	7' - 0"	G	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
302.3B	2' - 10"	7' - 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
302.4A	2' - 10"	7' - 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME

DOOR SCHEDULE - ALL												
DOOR			Door Type	DOOR					FRAME			COMMENTS
NO.	WIDTH	HEIGHT		Door Material	Hardware	FINISH	GLASS TYPE	FIRE RATING	TYPE	MATERIAL	FINISH	
302.4B	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
302.5	5'- 0"	7'- 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
302.6	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.1	3'- 0"	7'- 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
303.2A	2'- 10"	7'- 0"	G	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.2B	2'- 10"	7'- 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
303.3A	2'- 10"	7'- 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.3B	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.4A	2'- 10"	7'- 0"	G	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.4B	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.5	5'- 0"	7'- 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.6	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
303.7	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
304.1	3'- 0"	7'- 0"	C	WC	1	PT2	-	15 min.	1	HM	PT2	PREHUNG DOOR + FRAME
304.2A	3'- 0"	7'- 0"	C	WSC	2	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
304.2B	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
304.3	3'- 0"	7'- 0"	C	WSC	4	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME
304.4A	2'- 10"	7'- 0"	I	WSC	4	PT2	-	-	-	-	-	POCKET DOOR
304.4B	5'- 0"	7'- 0"	H	WSC	5	PT2	-	-	2		PT	PREHUNG DOOR + FRAME
304.5	5'- 0"	7'- 0"	J	WSC	5	PT2	-	-	2	WD	PT	PREHUNG DOOR + FRAME

DOOR HARDWARE SETS

SET #	DESCRIPTION	COMPONENTS (PER DOOR LEAF)	QUANTITY	SET #	DESCRIPTION	COMPONENTS (PER DOOR LEAF)	QUANTITY
1.	UNIT ENTRY DOORS	HINGES 1 MORTISE LOCKSET 1 CONTINUOUS SEAL NA MORTISE DROPDOWN SWEEP NA JAMB MOUNT CLOSER 1 DOOR STOP 1	3 1 NA NA 1 1	9.	PATIO DOOR	MANUFACTURERS STANDARD HARDWARE WITH KEYPED LOCKING MECHANISM FROM EXTERIOR ALUM. SADDLE THRESHOLD 1 DOOR SWEEP 1	1 1
2.	PASSAGE (APARTMENTS)	HINGES 3 PASSAGE LOCKSET 1 DOOR SILENCER 3 DOOR STOP 1	3 1 3 1	10.	STAIR DOOR TO BASEMENT	HINGES 3 STOREFRONT LOCKSET** 1 DOOR STOP 1 CLOSER 1 CONTINUOUS SMOKE SEAL 1	3 1 1 1 1
3.	PRIVACY (APARTMENTS)	HINGES 3 PASSAGE LOCKSET 1 DOOR SILENCER 3 DOOR STOP 1	3 1 3 1	11.	STAIR ENTRY DOOR - EXTERIOR	CONTINUOUS HINGE 1 EXTERIOR LOCKSET/LEVER 1 PANIC DEVICE STAIR SIDE 1 DOOR CLOSER 1 CONTINUOUS WEATHERSTRIPPING 1 ALUM. SADDLE THRESHOLD 1 DOOR SWEEP 1	1 1 1 1 1 1 1
4.	POCKET (APARTMENTS)	STANDARD POCKET DOOR HARDWARE		12.	COMMERCIAL ENTRY***	CONTINUOUS HINGE 1 EXTERIOR LOCKSET/LEVER 1 EXTERIOR PULL 1 PANIC DEVICE STAIR SIDE 1 DOOR CLOSER 1 CONTINUOUS WEATHERSTRIPPING 1 DOOR SWEEP 1 ALUM. SADDLE THRESHOLD 1 DOOR SWEEP 1 PATHWAY FOR FUTURE ELEC. CONNECTIONS 1	1 1 1 1 1 1 1 1 1 1
5.	SLIDING (APARTMENTS)	STANDARD SLIDING DOOR HARDWARE		13.	FENCE GATE DOOR	STANDARD GATE DOOR HARDWARE	
6.	STOREFRONT	HINGES 3 STOREFRONT LOCKSET 1 DOOR SILENCER 3 DOOR STOP 1	3 1 3 1				
7.	PASSAGE	HINGES 3 STOREFRONT LOCKSET 1 DOOR SILENCER 3 DOOR STOP 1	3 1 3 1				
8.	STOREFRONT ENTRY	CONTINUOUS HINGES 1 EXTERIOR LOCKSET/LEVER W/ ELEC. LATCH RETRACTION 1 PANIC DEVICE 1 DOOR CLOSER 1 CONTINUOUS WEATHERSTRIPPING (EXT DOORS) 1 ALUM. SADDLE THRESHOLD (EXT DOORS) 1 DOOR SWEEP (EXTERIOR DOORS) 1 DOOR STOP 1 ELECTRIFIED DOOR STRIKE (EXT. DOOR) 1 BUZZER INTERCOM* 1	1 1 1 1 1 1 1 1 1 1				
		*TIE INTO DOOR STRIKE				**FREE EGRESS FROM BASEMENT SIDE ***BASIS OF DESIGN (TO BE MODIFIED FOR FUTURE TENANT NEEDS)	

GENERAL NOTE:

1. REFER TO LS-01 FOR ENERGY CODE REQUIREMENTS

DOOR/ FRAME FINISH LEGEND

1 PRIMED AND PAINTED - COLOR BY ARCHITECT
2 STAIN AND CLEAR COAT - FINISH BY ARCHITECT

GLAZING TYPES

GL-1 3/16" CLEAR CERAMIC FIRE RATED SAFETY GLASS
GL-2 1" INSULATED GLAZING UNIT W/ ARGON GAS AND FULLY TEMPERED
GL-3 FIRE RATED GLASS

DOOR MATERIAL TYPES

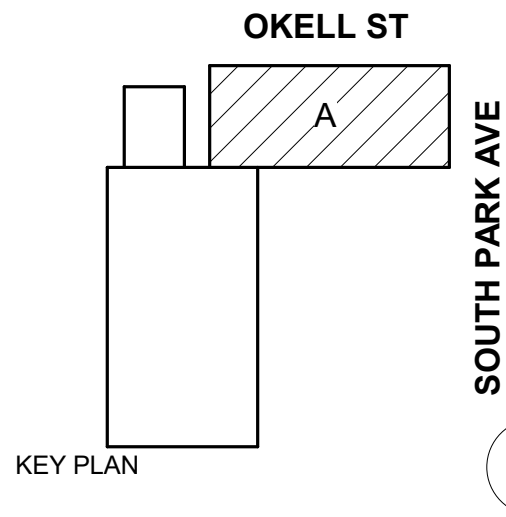
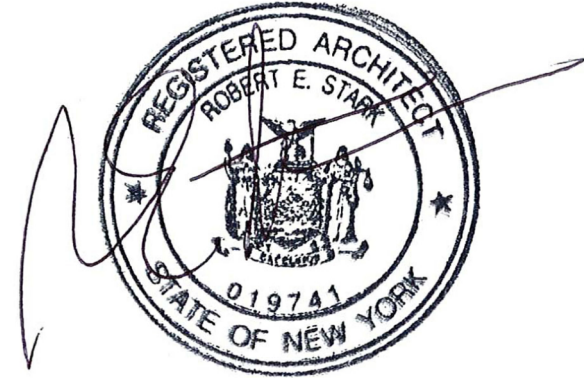
WSC	WOOD - SOLID CORE	HM	HOLLOW METAL
WC	WOOD COMPOSITE	ALUM	ALUMINUM
PT	PAINTED - PREFIN		

Window Schedule

Mark	Type Mark	Head Height	Sill Height	Nominal Height	Nominal Width	Rough Height	Rough Width	Glass Type	Comments
FIRST FLOOR									
100	W1	8'-0"	6'-0"			2'-0 1/2"	3'-0 1/2"		
101	W8	8'-5 1/2"	6'-0"			2'-6"	4'-0"		
102	W1	7'-4"	5'-4"			2'-0 1/2"	3'-0 1/2"		
103	W1	7'-4"	5'-4"			2'-0 1/2"	3'-0 1/2"		
104	W1	8'-0"	6'-0"			2'-0 1/2"	3'-0 1/2"		
SECOND FLOOR									
200	W5	8'-1"	1'-5"			6'-8 1/2"	3'-3 1/2"		
201	W5	8'-1"	1'-5"			6'-8 1/2"	3'-3 1/2"		
202	W5	8'-1"	1'-5"			6'-8 1/2"	3'-3 1/2"		
203.1	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
203.2	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
203.3	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
203.4	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
204.1	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
204.2	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
204.3	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
204.4	W4	8'-1"	2'-8"			5'-5 1/2"	2'-5 1/2"		
205	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
206	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
207	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
208	W3	8'-1"	2'-7"			5'-6 1/2"	4'-2 1/2"		
209	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
210	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
211	W6	8'-0 1/2"	2'-8 1/2"			5'-4 1/2"	3'-3 1/2"		
212	W5	8'-1"	1'-5"			6'-8 1/2"	3'-3 1/2"		
213	W6	8'-0 1/2"	2'-8 1/2"			5'-4 1/2"	3'-3 1/2"		
214	W7	8'-1"	1'-5"			6'-8 1/2"	4'-2 1/2"		
THIRD FLOOR									
300	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
301	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
302	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
303.1	W4	8'-1 3/4"	2'-8 3/4"			5'-5 1/2"	2'-5 1/2"		
303.2	W4	8'-1 3/4"	2'-8 3/4"			5'-5 1/2"	2'-5 1/2"		
303.3	W4	8'-1 3/4"	2'-8 3/4"			5'-5 1/2"	2'-5 1/2"		
303.4	W4	8'-1 3/4"	2'-8 3/4"			5'-5 1/2"	2'-5 1/2"		
304.1	W4	8'-3"	2'-10"			5'-5 1/2"	2'-5 1/2"		
304.2	W4	8'-3"	2'-10"			5'-5 1/2"	2'-5 1/2"		
304.3	W4	8'-3"	2'-10"			5'-5 1/2"	2'-5 1/2"		
304.4	W4	8'-3"	2'-10"			5'-5 1/2"	2'-5 1/2"		
305	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
306	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
307	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
308	W3	8'-1"	2'-7"			5'-6 1/2"	4'-2 1/2"		
309	W2	8'-1"	1'-7"			6'-6 1/2"	3'-3 1/2"		
310	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
311	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
312	W6	8'-2 1/2"	2'-10 1/2"			5'-4 1/2"	3'-3 1/2"		
313	W5	8'-3"	1'-7"			6'-8 1/2"	3'-3 1/2"		
314	W6	8'-2 1/2"	2'-10 1/2"			5'-4 1/2"	3'-3 1/2"		
315	W7	8'-3"	1'-7"			6'-8 1/2"	4'-2 1/2"		

GENERAL WINDOW NOTES

- ALL PROPOSED WINDOW DETAILS ARE DRAWN BY WINDOW MFR WEATHER SHIELD (BASIS OF DESIGN).
- ALL PROPOSED WINDOWS TO BE FROM MFR'S 'PREMIUM SERIES' - ALUM CLAD WOOD WINDOWS WITH FACTORY AAMA 2605 FINISH ON THE EXTERIOR. INTERIOR TO BE PINE FACTORY PRIMED & PAINTED, COLOR TBD BY ARCHITECT.
- DRAWINGS ARE FOR COMPARING WINDOW PROFILES ONLY AND DOES NOT DETAIL METHOD FOR ATTACHMENT INTO ADJACENT CONSTRUCTION. COORDINATE WITH WINDOW MFR FOR ALL BUILDING CONSTRUCTION DETAILS.
- REFER TO LS-01 FOR ENERGY CODE REQUIREMENTS



DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	As indicated
ISSUE DATE	08/04/25
DRAWN BY	Gac
CHECKED BY	JMC

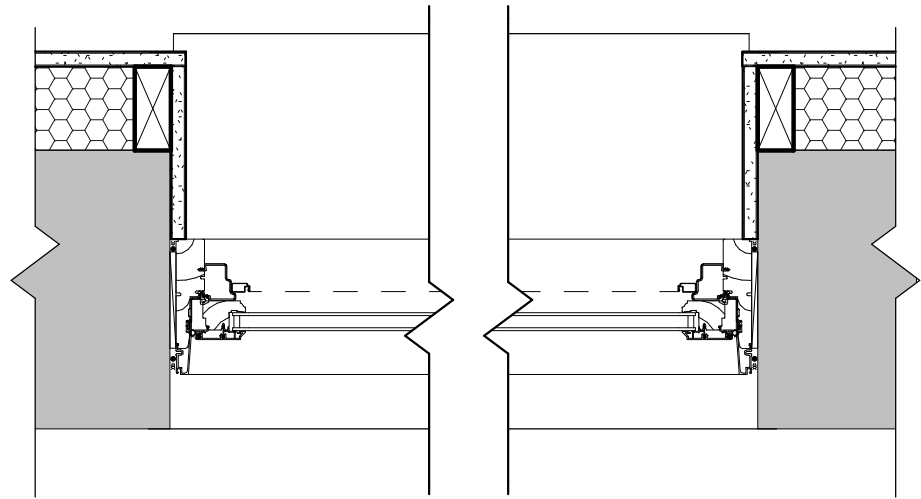
THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

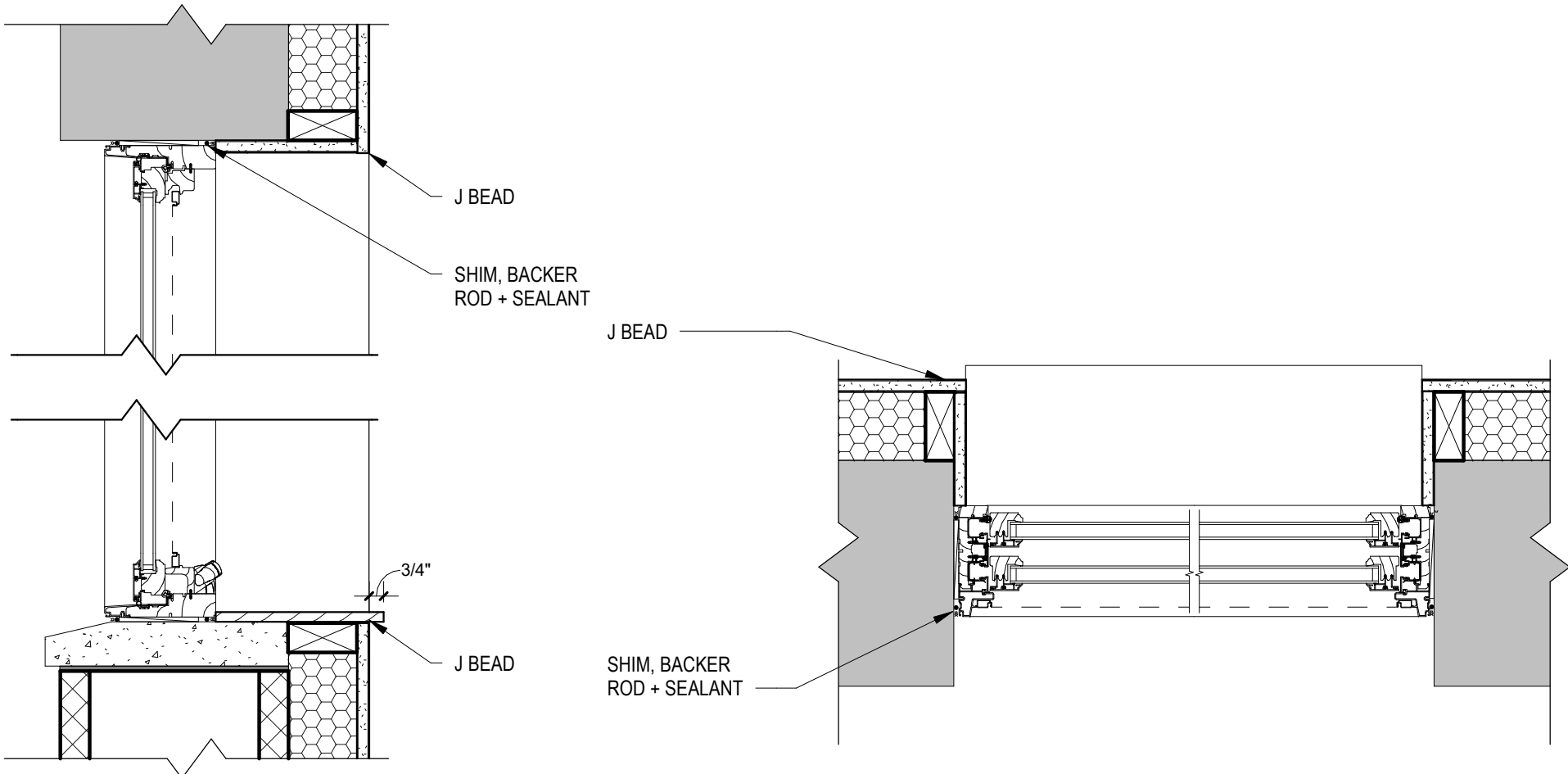
WINDOW SCHEDULE, TYPES + DETAILS

A-805

PERMIT SET

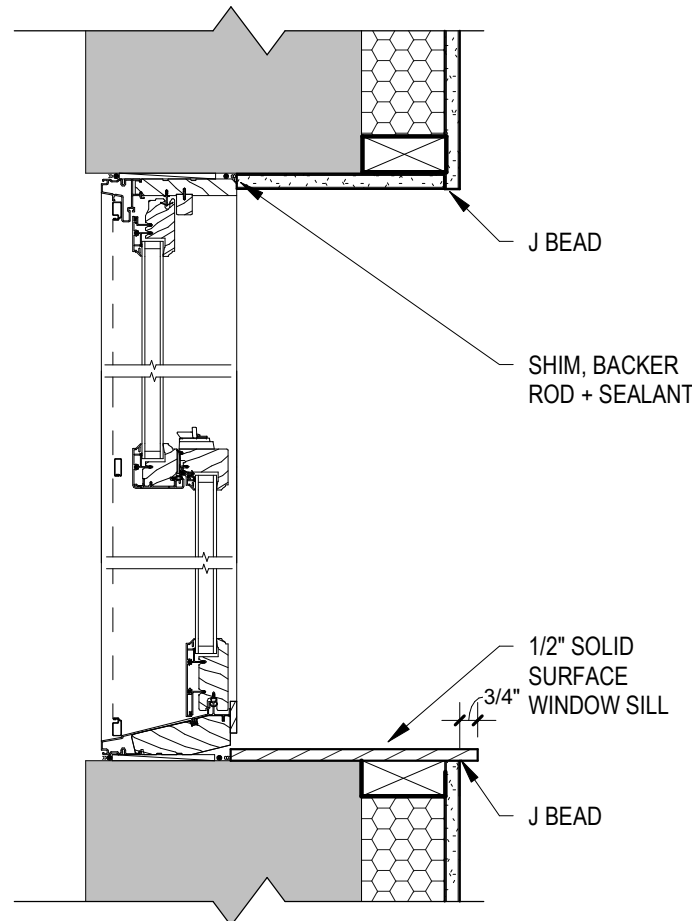


11 AWNING PLAN DETAIL
A-805 1 1/2" = 1'-0"

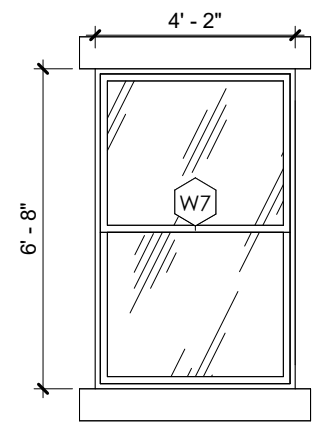


10 AWNING SECTION DETAIL
A-805 1 1/2" = 1'-0"

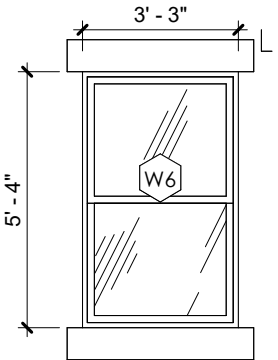
9 DOUBLE HUNG PLAN DETAIL
A-805 1 1/2" = 1'-0"



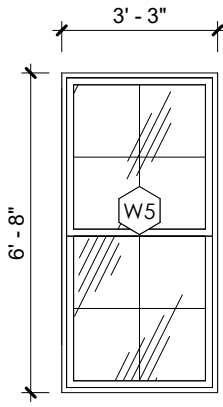
8 DOUBLE HUNG SECTION DETAIL
A-805 1 1/2" = 1'-0"



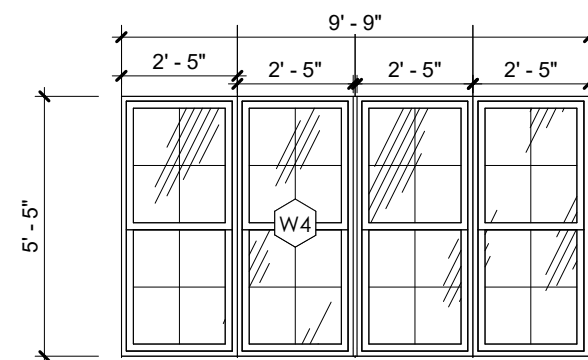
7 TYPE W7
A-805 1/4" = 1'-0"



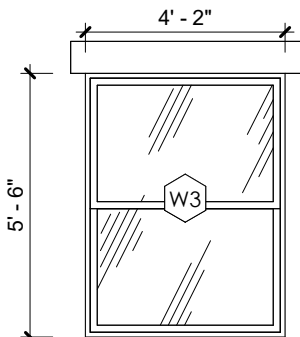
6 TYPE W6
A-805 1/4" = 1'-0"



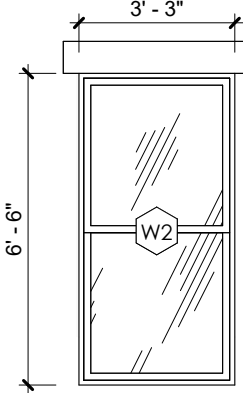
5 TYPE W5
A-805 1/4" = 1'-0"



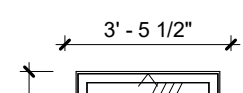
4 TYPE W4
A-805 1/4" = 1'-0"



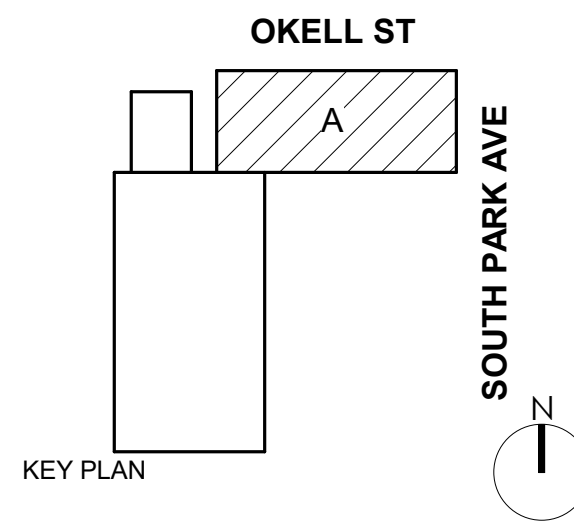
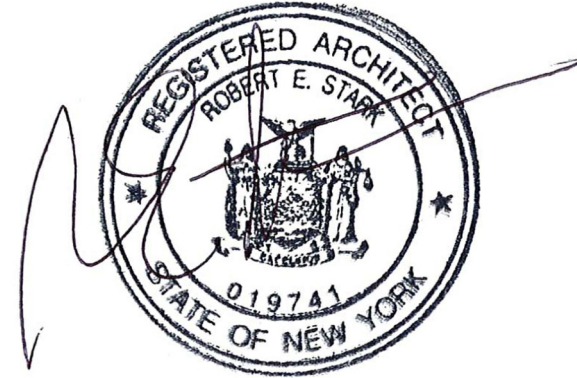
3 TYPE W3
A-805 1/4" = 1'-0"



2 TYPE W2
A-805 1/4" = 1'-0"



1 TYPE W1
A-805 1/4" = 1'-0"



DOFI PROPERTIES

SOUTH PARK MIXED USE

2221 SOUTH PARK AVE
BUFFALO, NY 14220

REV. #	DESCRIPTION	DATE
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JOB NO.	2508
SCALE	As indicated
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DRAWN BY	Gac
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THIS IS A SINGLE SHEET OF A COHESIVE
SET OF CONSTRUCTION DOCUMENTS
(INCLUDING DRAWINGS AND SPECIFICATIONS).
INTERPRETATION OF THE INFORMATION
AS PRESENTED SHOULD BE BASED ON
THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

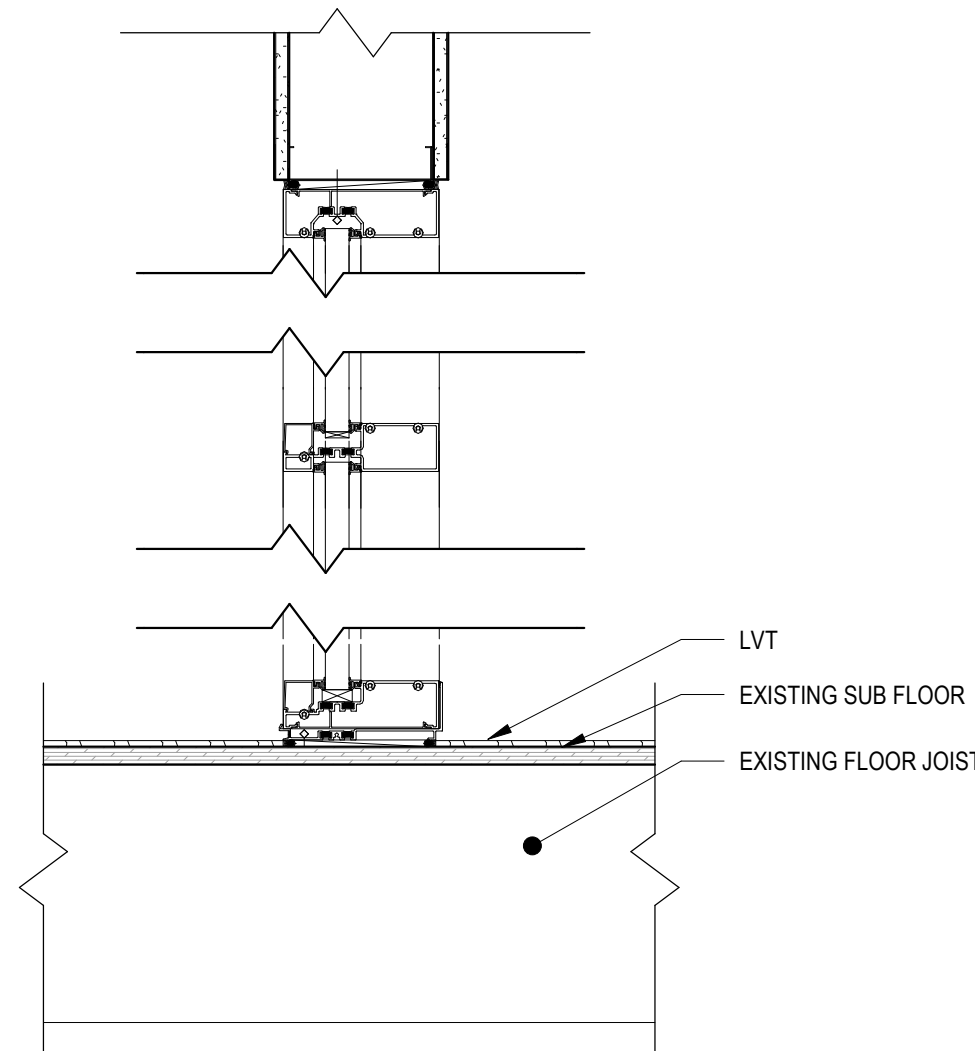
STOREFRONT TYPES AND DETAILS

A-810

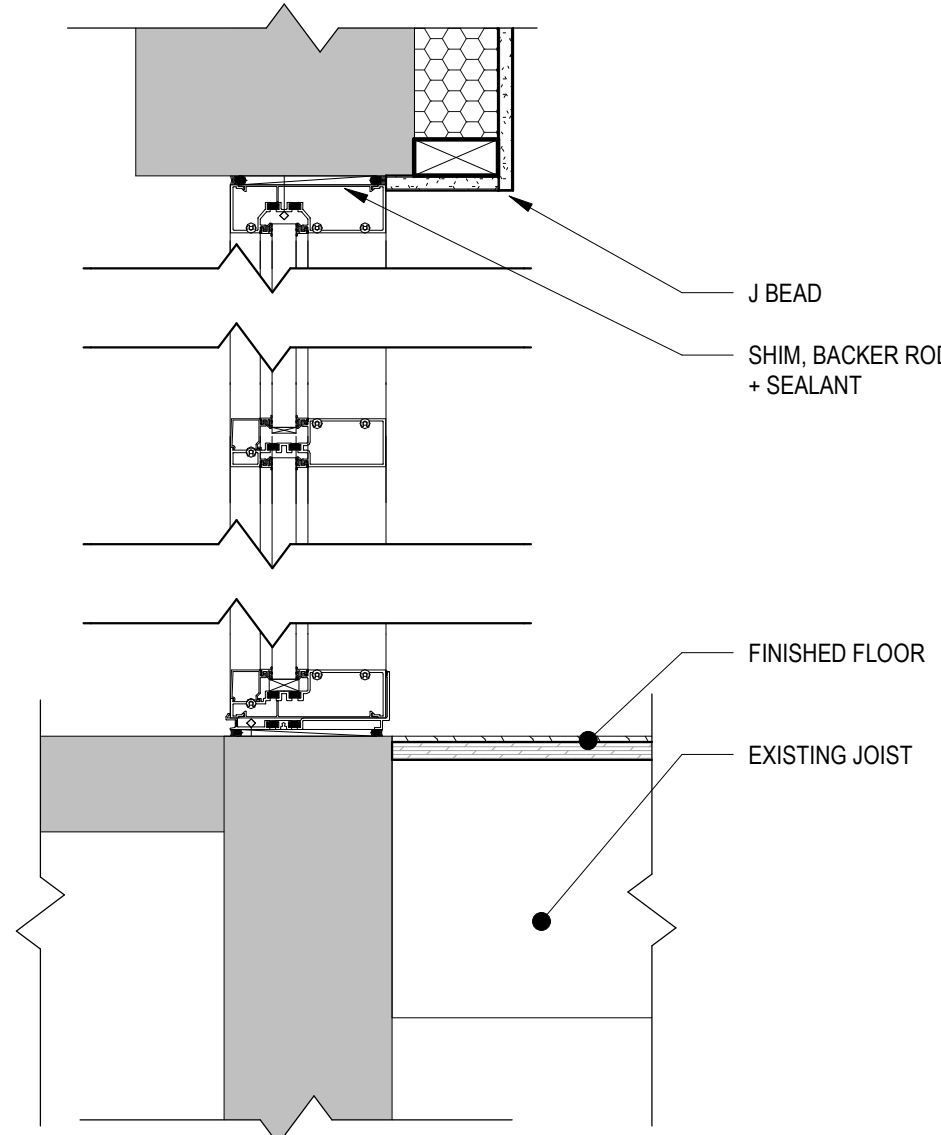
PERMIT SET

GENERAL NOTE:

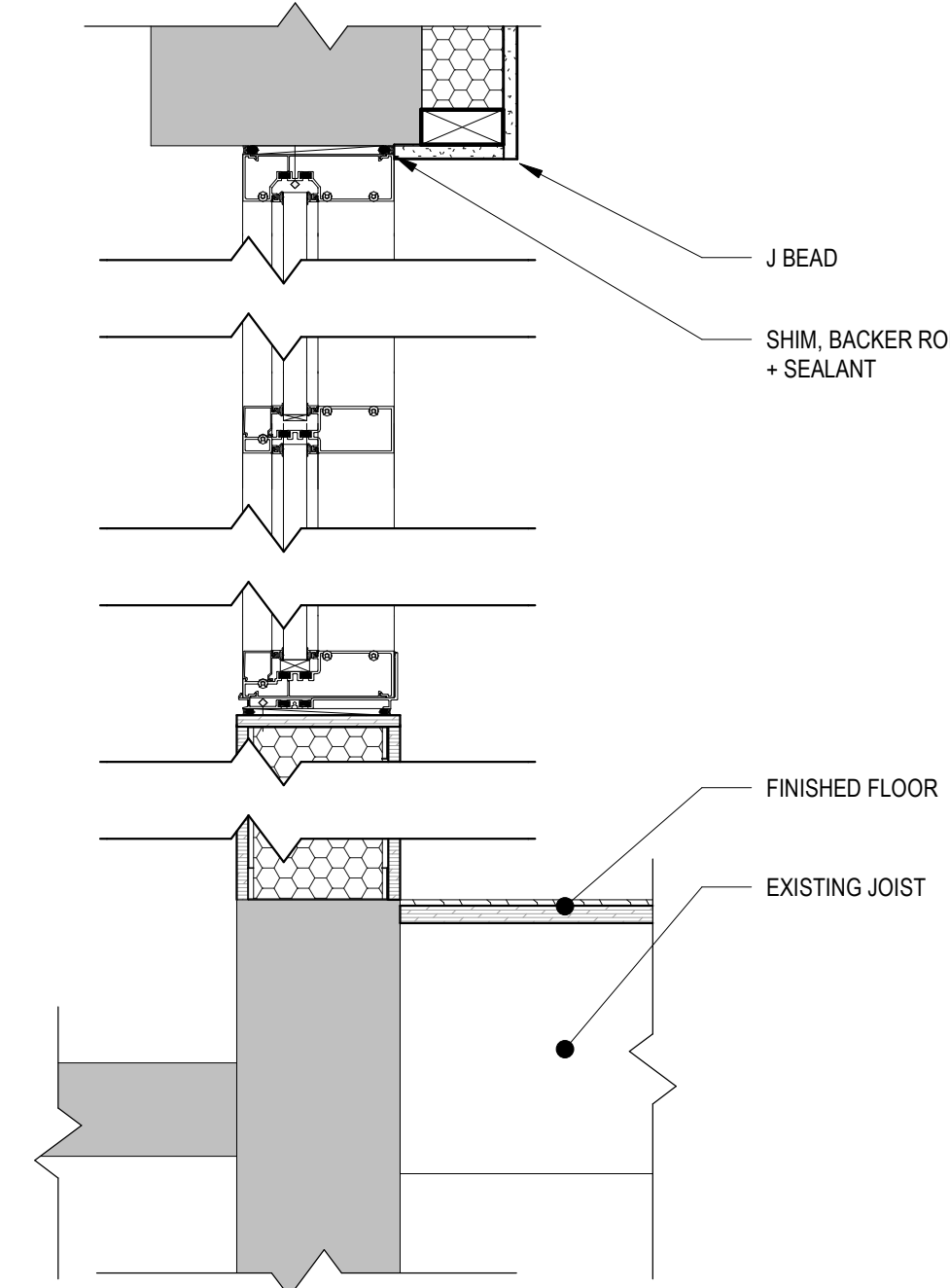
- ALL EXTERIOR GLAZING TO BE 1" THICK INSULATED GLAZING, ARGON FILLED, W/ LOW-E COATING
- REFER TO LS-01 FOR ENERGY CODE REQUIREMENTS
- UTILIZE TEMPERED GLAZING IN HAZARDOUS LOCATIONS (ADJACENT TO DOORS + WITHIN 18" OF A WALKING SURFACE).



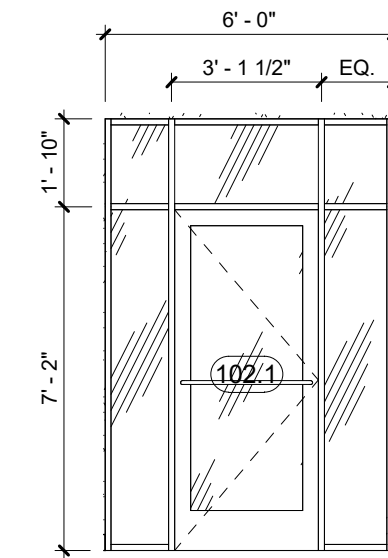
11 INTERIOR STOREFRONT SECTION DETAIL
A-810 1 1/2" = 1'-0"



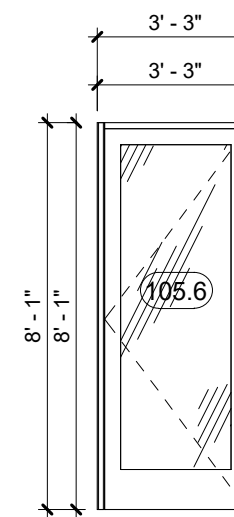
10 EXTERIOR STOREFRONT SECTION DETAIL 2
A-810 1 1/2" = 1'-0"



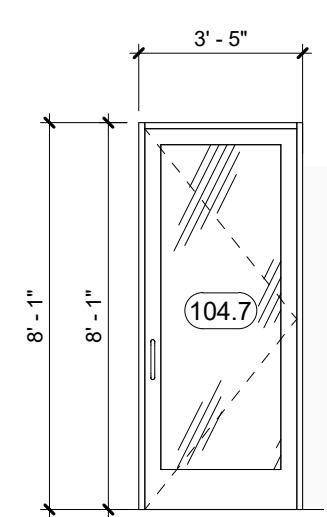
9 EXTERIOR STOREFRONT SECTION DETAIL 1
A-810 1 1/2" = 1'-0"



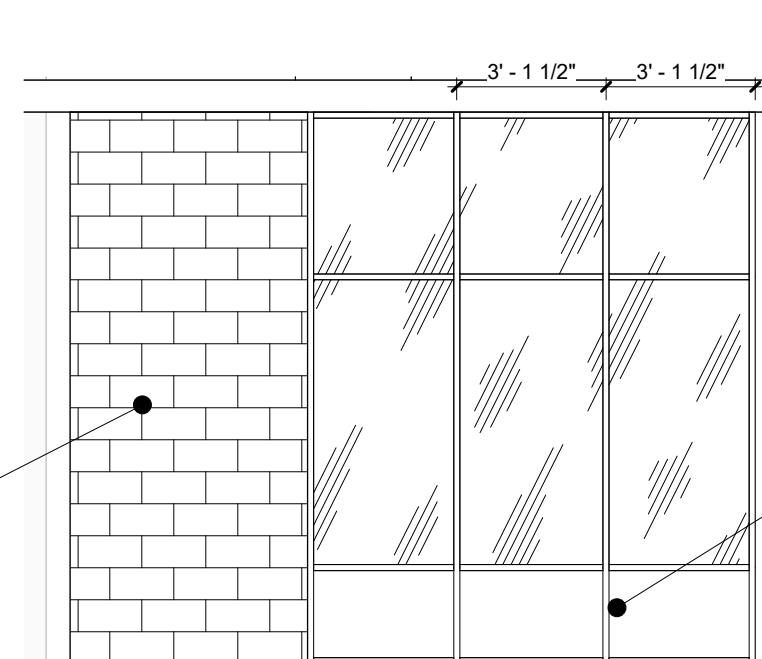
8 STOREFRONT 08
A-810 1/4" = 1'-0"



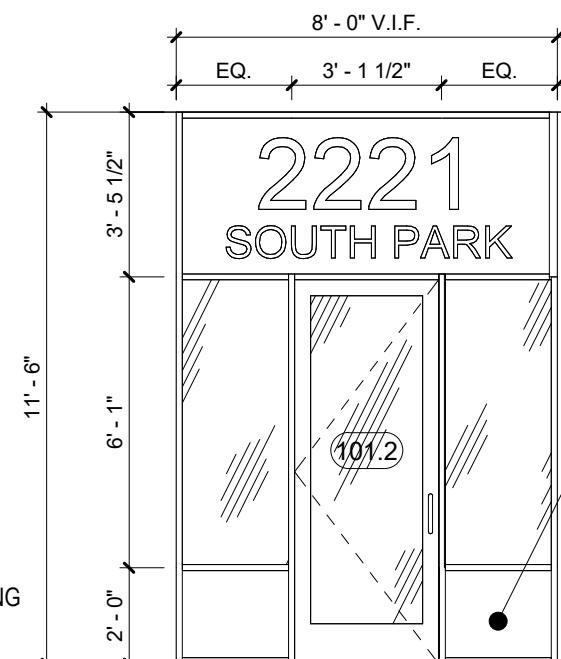
7 STOREFRONT 07
A-810 1/4" = 1'-0"



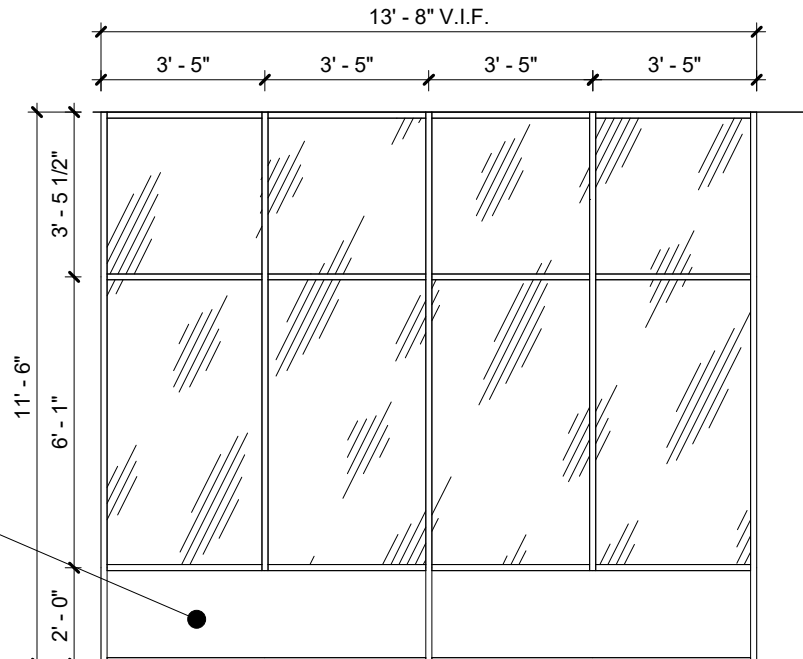
6 STOREFRONT 06
A-810 1/4" = 1'-0"



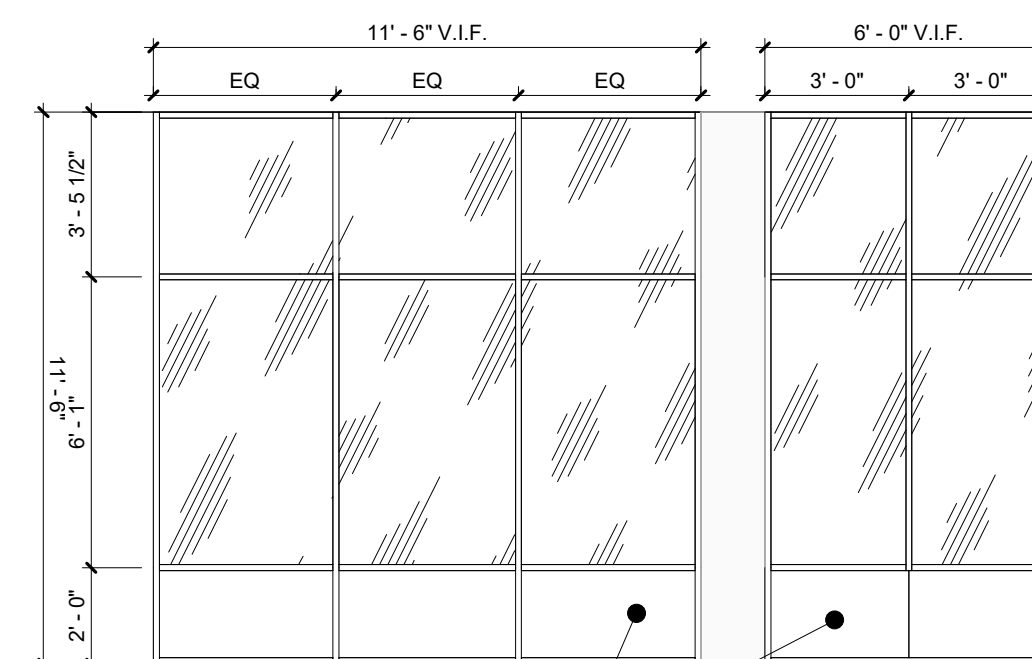
5 STOREFRONT 05
A-810 1/4" = 1'-0"



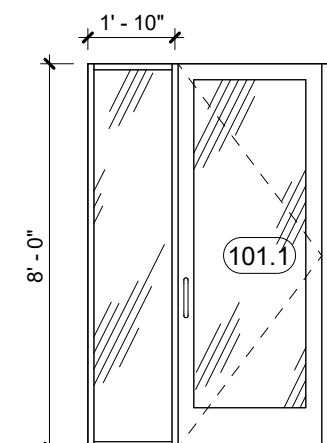
4 STOREFRONT 04
A-810 1/4" = 1'-0"



3 STOREFRONT 03
A-810 1/4" = 1'-0"



2 STOREFRONT 02
A-810 1/4" = 1'-0"



1 STOREFRONT 01
A-810 1/4" = 1'-0"