

Consultants:

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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

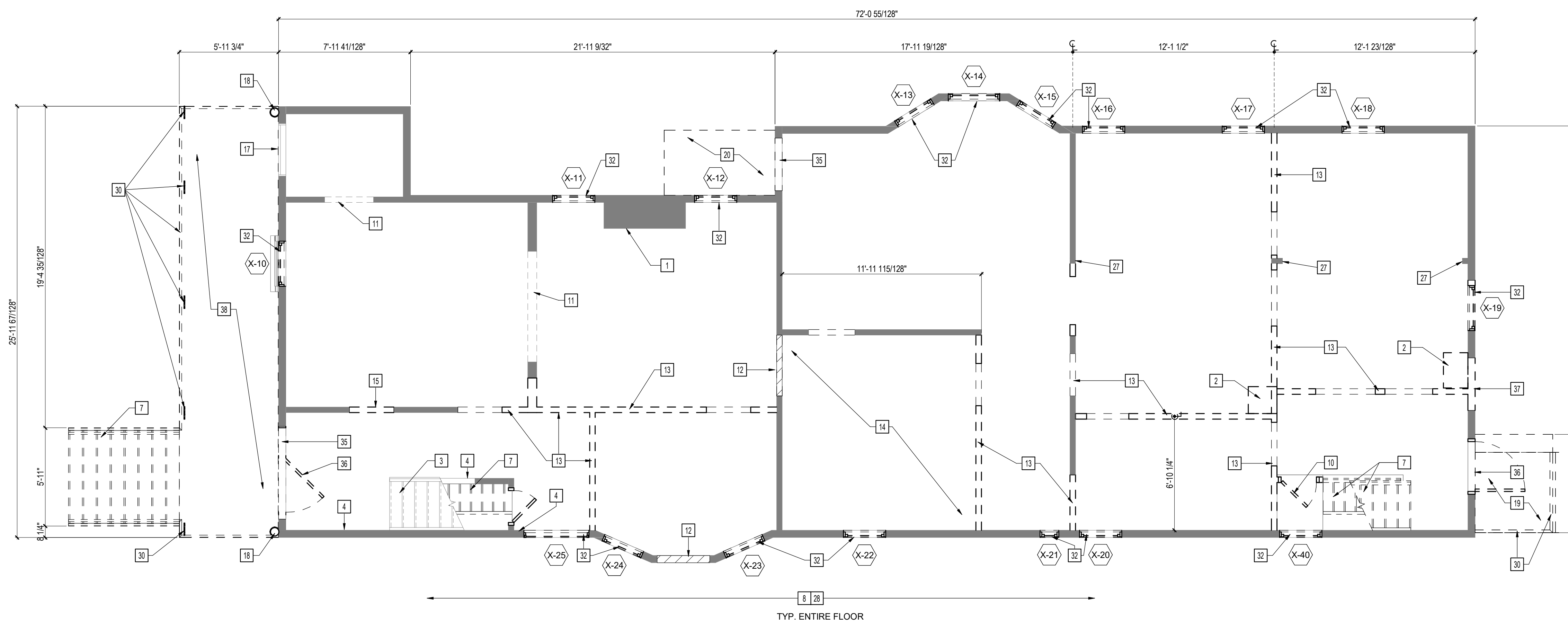
Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25

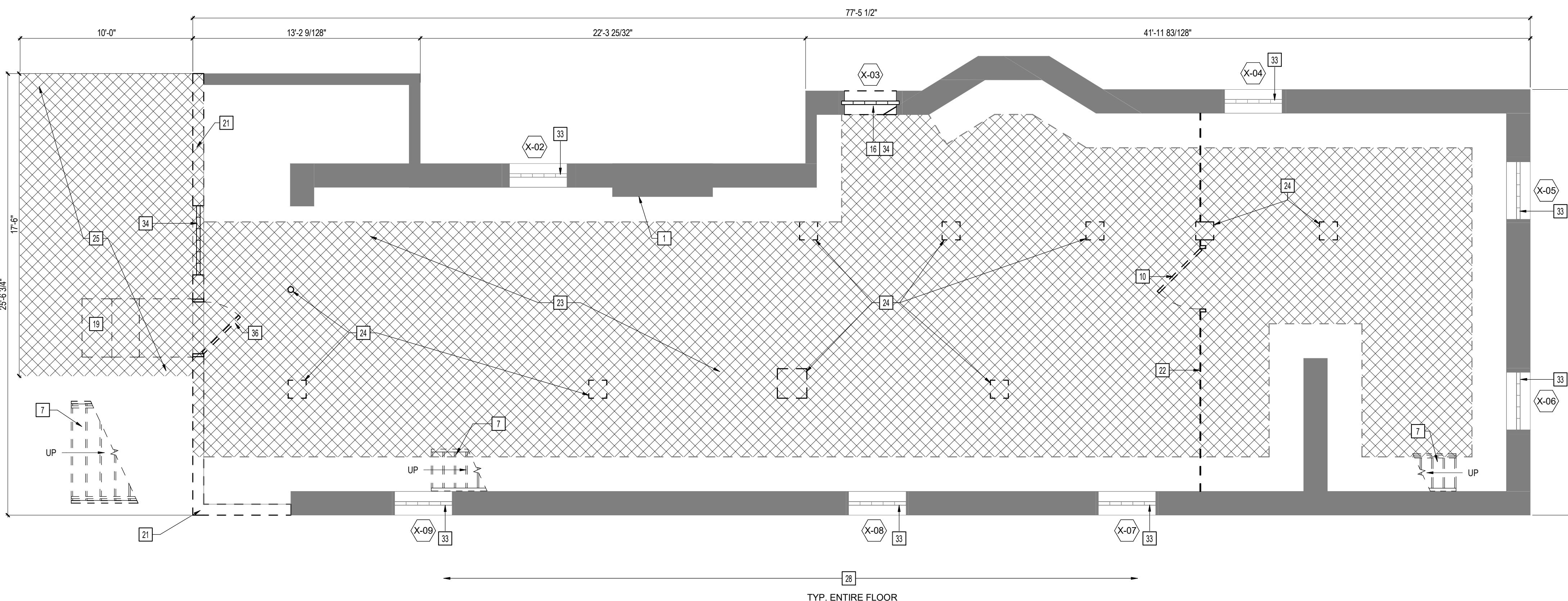
Project Number: 24032

Sheet Title: **BASEMENT & FIRST FLOOR DEMOLITION PLANS**

Sheet Number: **AD101**



2 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



1 BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL TO REMAIN. REFER TO DEMO PLAN NOTES FOR MORE SPECIFIC SCOPE OF WORK
- NEW OPENING IN EXISTING WALL
- REMOVE EXISTING WALL
- EXISTING DOOR AND HARDWARE TO BE REMOVED
- EXISTING WOOD WINDOW SASH, STOPS AND STOOL TO BE REMOVED
- REMOVE EXISTING OPENING AS PART OF WALL TO BE REMOVED
- PREP EXISTING OPENING TO BE INFILLED
- EXISTING OPENING IN EXISTING WALL TO REMAIN
- APPROXIMATE AREA TO BE EXCAVATED. COORDINATE WITH STRUCTURAL.

DEMO PLAN NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- 1 EXISTING BRICK FIREPLACE AND CHIMNEY TO REMAIN. CLEAN, PROTECT AND PREP FOR REPOINTING.
 - 2 REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY IN ITS ENTIRETY.
 - 3 EXISTING WOOD STAIR AND RAILINGS TO REMAIN. PROTECT AND SALVAGE DECORATIVE WOOD SPINDLES AND POSTS.
 - 4 CAREFULLY SALVAGE HISTORIC WAINSCOTING.
 - 5 SALVAGE HISTORIC MANTLE.
 - 6 CAREFULLY SALVAGE HISTORIC WOOD BASE.
 - 7 REMOVE EXISTING WOOD STAIRS AND RAILINGS IN THEIR ENTIRETY.
 - 8 REMOVE EXISTING FINISHED FLOOR IN ITS ENTIRETY. REMOVE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PREP ALL SUBFLOORING TO RECEIVE NEW FINISHED FLOOR.
 - 9 EXISTING WOOD POCKET DOORS AND TRIM TO REMAIN. PROTECT AND SALVAGE FOR REFINISHING.
 - 10 REMOVE EXISTING INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE.
 - 11 EXISTING FRAMED OPENING TO REMAIN. PROTECT AS REQUIRED.
 - 12 PREP EXISTING FRAMED OPENING TO BE INFILLED.
 - 13 REMOVE EXISTING LINE OF STUDS, INCLUDING ASSOCIATED SILL AND TOP PLATES, AND EXISTING FRAMED OPENINGS.
 - 14 REMOVE METAL FRAMING AT CEILING.
 - 15 FRAME NEW OPENING IN EXISTING LINE OF STUDS. PREP TO RECEIVE NEW DOOR.
 - 16 CREATE NEW OPENING IN EXISTING FOUNDATION WALL. PREP TO RECEIVE NEW DOOR.
 - 17 SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED.
 - 18 CAREFULLY SALVAGE EXISTING WOOD POSTS.
 - 19 REMOVE EXISTING CONCRETE PAD AND STEPS.
 - 20 REMOVE EXISTING SLOPED CONCRETE PAD.
 - 21 REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED. PREP FOR NEW LINEAR FOOTING AND CONCRETE.
 - 22 REMOVE EXISTING PEG BOARD PARTITION WALL IN ITS ENTIRETY.
 - 23 EXCAVATE BASEMENT FLOOR. DO NOT UNDERMINE EXISTING FOUNDATIONS OR FOOTINGS. COORDINATE WITH STRUCTURAL TO ESTABLISH MINIMUM DISTANCE FROM EXISTING FOUNDATIONS.
 - 24 REMOVE EXISTING COLUMNS. PROVIDE TEMPORARY SHORING DURING EXCAVATION. PREP FOR NEW SPREAD FOOTINGS AND COLUMNS. EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. PROVIDE TEMPORARY SHORING. PREP FOR NEW FOUNDATION, RETAINING WALLS AND CONCRETE PAD.
 - 25 EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. PROVIDE TEMPORARY SHORING. PREP FOR NEW FOUNDATION, RETAINING WALLS AND CONCRETE PAD.
 - 26 REMOVE EXISTING WOOD BEAM AND METAL JACK POSTS AS PART OF STAIR REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - 27 EXISTING STRUCTURAL WOOD POST TO REMAIN. VERIFY DIMENSIONS AND LOCATION IN FIELD.
 - 28 REMOVE ALL EXISTING PIPING, WIRING, FIXTURES, DEVICES, AND DUCTWORK.
 - 29 EXISTING ROOF. SEE AD200 SERIES FOR DEMO/REPAIR WORK.
 - 30 EXISTING PORCH RAIL COMPONENTS. SEE AD200 SERIES FOR DEMO WORK.
 - 31 EXISTING WOOD CORNICE OR DECORATIVE ELEMENTS. SEE AD200 SERIES FOR DEMO/SALVAGE WORK.
 - 32 EXISTING WINDOW AND FRAME. SEE AD200 SERIES FOR DEMO WORK.
 - 33 EXISTING GLASS BLOCK WINDOW TO REMAIN. CLEAN AND PROTECT.
 - 34 EXISTING GLASS BLOCK WINDOW. SEE AD200 SERIES FOR DEMO WORK.
 - 35 EXISTING AREA OF WALL INFILL. SEE AD200 SERIES FOR DEMO WORK.
 - 36 EXISTING EXTERIOR DOOR AND FRAME. SEE AD200 SERIES FOR DEMO WORK.
 - 37 NEW WALL OPENING. SEE AD200 SERIES FOR DEMO WORK.
 - 38 EXISTING WOOD PORCH. SEE AD200 SERIES FOR DEMO WORK.

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Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**


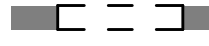
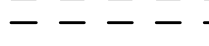
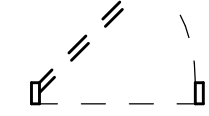
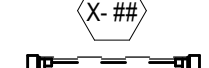
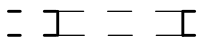
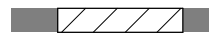
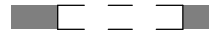
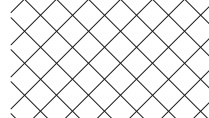
Date: 4/11/25

Project Number: 24032

Sheet Title: **SECOND & THIRD FLOOR DEMOLITION PLANS**

Sheet Number: **AD102**

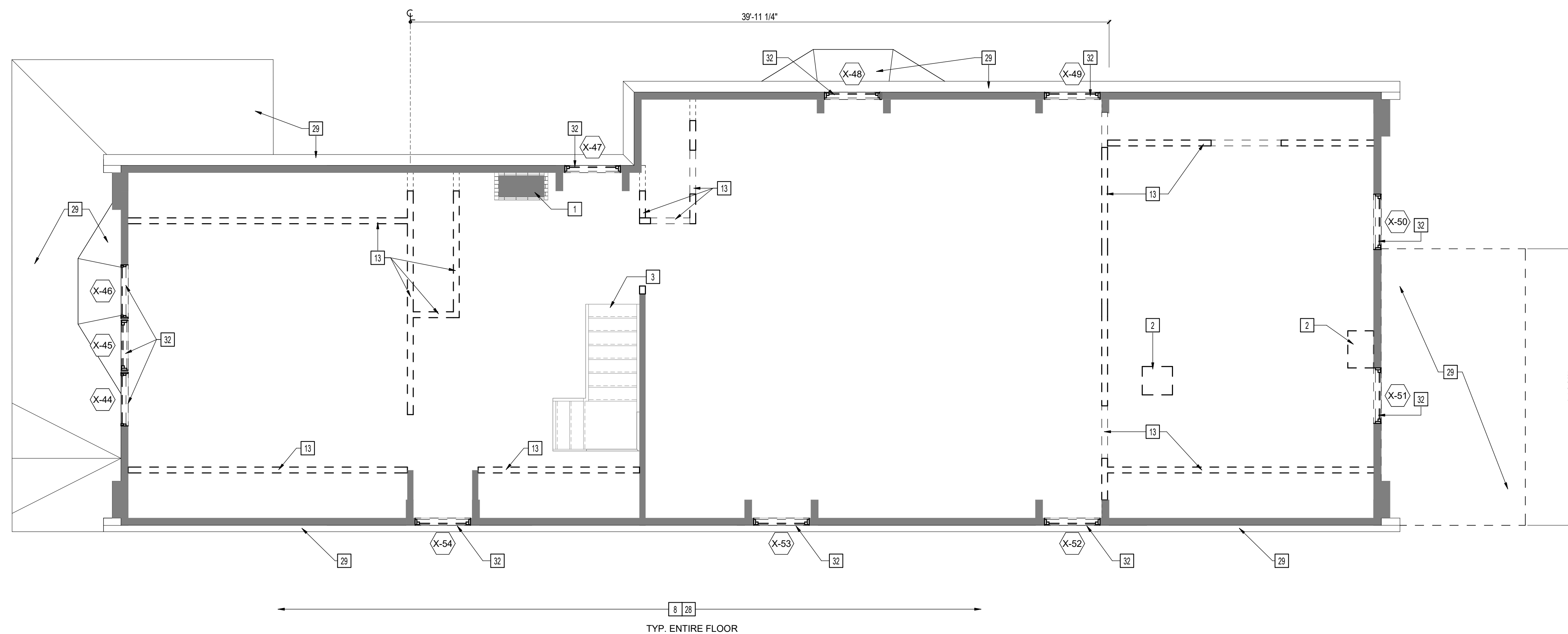
SYMBOL LEGEND

-  EXISTING WALL TO REMAIN. REFER TO DEMO PLAN NOTES FOR MORE SPECIFIC SCOPE OF WORK
-  NEW OPENING IN EXISTING WALL
-  REMOVE EXISTING WALL
-  EXISTING DOOR AND HARDWARE TO BE REMOVED
-  EXISTING WOOD WINDOW SASH, STOPS AND STOOL TO BE REMOVED
-  REMOVE EXISTING OPENING AS PART OF WALL TO BE REMOVED
-  PREP EXISTING OPENING TO BE INFILLED
-  EXISTING OPENING IN EXISTING WALL TO REMAIN
-  APPROXIMATE AREA TO BE EXCAVATED. COORDINATE WITH STRUCTURAL.

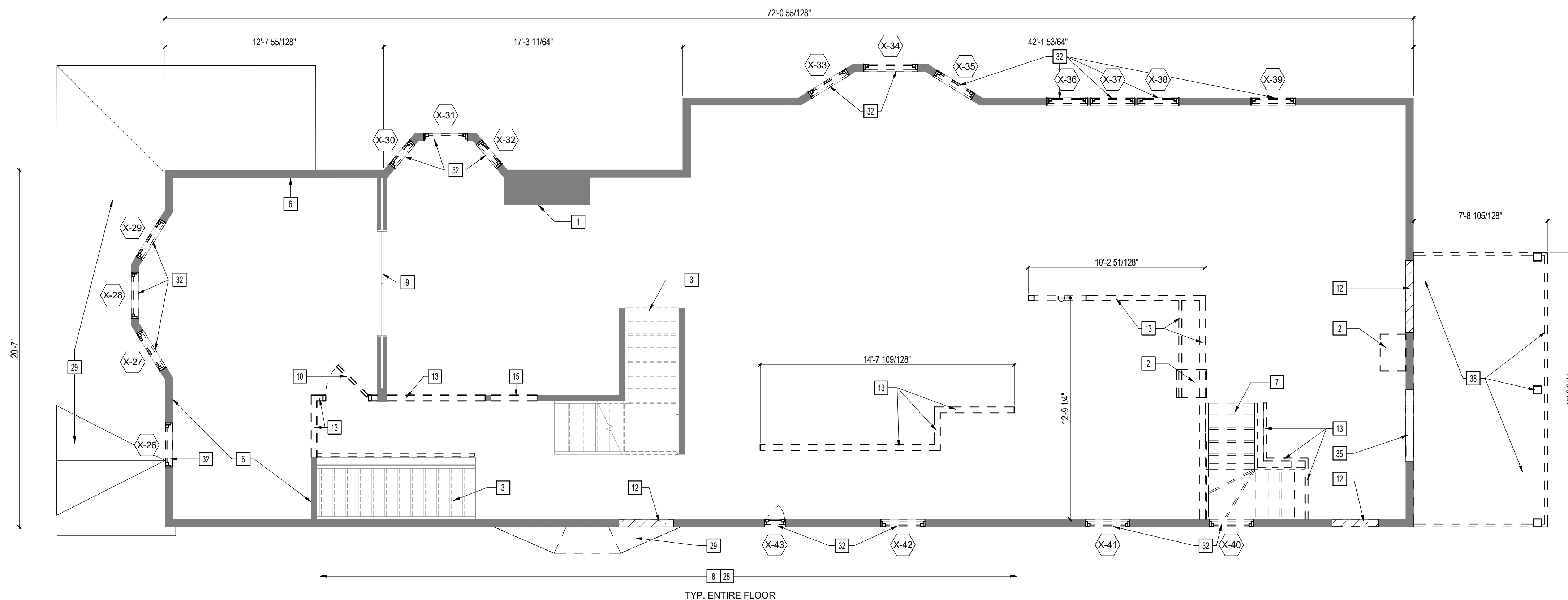
DEMO PLAN NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- 1 EXISTING BRICK FIREPLACE AND CHIMNEY TO REMAIN. CLEAN, PROTECT AND PREP FOR REPOINTING.
 - 2 REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY IN ITS ENTIRETY.
 - 3 EXISTING WOOD STAIR AND RAILINGS TO REMAIN. PROTECT AND SALVAGE DECORATIVE WOOD SPINDLES AND POSTS.
 - 4 CAREFULLY SALVAGE HISTORIC WAINSCOTING.
 - 5 SALVAGE HISTORIC MANTLE.
 - 6 CAREFULLY SALVAGE HISTORIC WOOD BASE.
 - 7 REMOVE EXISTING WOOD STAIRS AND RAILINGS IN THEIR ENTIRETY.
 - 8 REMOVE EXISTING FINISHED FLOOR IN ITS ENTIRETY. REMOVE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PREP ALL SUBFLOORING TO RECEIVE NEW FINISHED FLOOR.
 - 9 EXISTING WOOD POCKET DOORS AND TRIM TO REMAIN. PROTECT AND SALVAGE FOR REFINISHING.
 - 10 REMOVE EXISTING INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE.
 - 11 EXISTING FRAMED OPENING TO REMAIN. PROTECT AS REQUIRED.
 - 12 PREP EXISTING FRAMED OPENING TO BE INFILLED.
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 - 14 REMOVE METAL FRAMING AT CEILING.
 - 15 FRAME NEW OPENING IN EXISTING LINE OF STUDS. PREP TO RECEIVE NEW DOOR.
 - 16 CREATE NEW OPENING IN EXISTING FOUNDATION WALL. PREP TO RECEIVE NEW DOOR.
 - 17 SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED.
 - 18 CAREFULLY SALVAGE EXISTING WOOD POSTS.
 - 19 REMOVE EXISTING CONCRETE PAD AND STEPS.
 - 20 REMOVE EXISTING SLOPED CONCRETE PAD.
 - 21 REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED. PREP FOR NEW LINEAR FOOTING AND CONCRETE.
 - 22 REMOVE EXISTING PEG BOARD PARTITION WALL IN ITS ENTIRETY.
 - 23 EXCAVATE BASEMENT FLOOR. DO NOT UNDERMINE EXISTING FOUNDATIONS OR FOOTINGS. COORDINATE WITH STRUCTURAL TO ESTABLISH MINIMUM DISTANCE FROM EXISTING FOUNDATIONS.
 - 24 REMOVE EXISTING COLUMNS. PROVIDE TEMPORARY SHORING DURING EXCAVATION. PREP FOR NEW SPREAD FOOTINGS AND COLUMNS. EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. PROVIDE TEMPORARY SHORING. PREP FOR NEW FOUNDATION, RETAINING WALLS AND CONCRETE PAD.
 - 25 REMOVE EXISTING WOOD BEAM AND METAL JACK POSTS AS PART OF STAIR REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - 26 EXISTING STRUCTURAL WOOD POST TO REMAIN. VERIFY DIMENSIONS AND LOCATION IN FIELD.
 - 27 REMOVE ALL EXISTING PIPING, WIRING, FIXTURES, DEVICES, AND DUCTWORK.
 - 28 EXISTING ROOF. SEE AD200 SERIES FOR DEMO/REPAIR WORK.
 - 29 EXISTING PORCH RAIL COMPONENTS. SEE AD200 SERIES FOR DEMO WORK.
 - 30 EXISTING WOOD CORNICE OR DECORATIVE ELEMENTS. SEE AD200 SERIES FOR DEMO/SALVAGE WORK.
 - 31 EXISTING WINDOW AND FRAME. SEE AD200 SERIES FOR DEMO WORK.
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 - 33 EXISTING GLASS BLOCK WINDOW. SEE AD200 SERIES FOR DEMO WORK.
 - 34 EXISTING AREA OF WALL INFILL. SEE AD200 SERIES FOR DEMO WORK.
 - 35 EXISTING EXTERIOR DOOR AND FRAME. SEE AD200 SERIES FOR DEMO WORK.
 - 36 NEW WALL OPENING. SEE AD200 SERIES FOR DEMO WORK.
 - 37 EXISTING WOOD PORCH. SEE AD200 SERIES FOR DEMO WORK.



2 THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"



1 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

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Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

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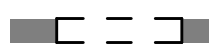
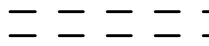
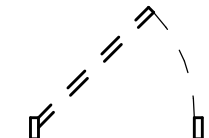
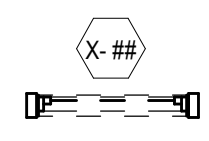
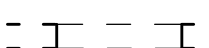
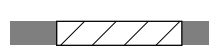
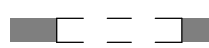
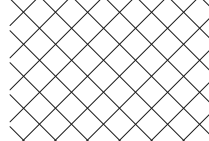
Date: 4/11/25

Project Number: 24032

Sheet Title: ROOF DEMOLITION PLAN

Sheet Number: AD103

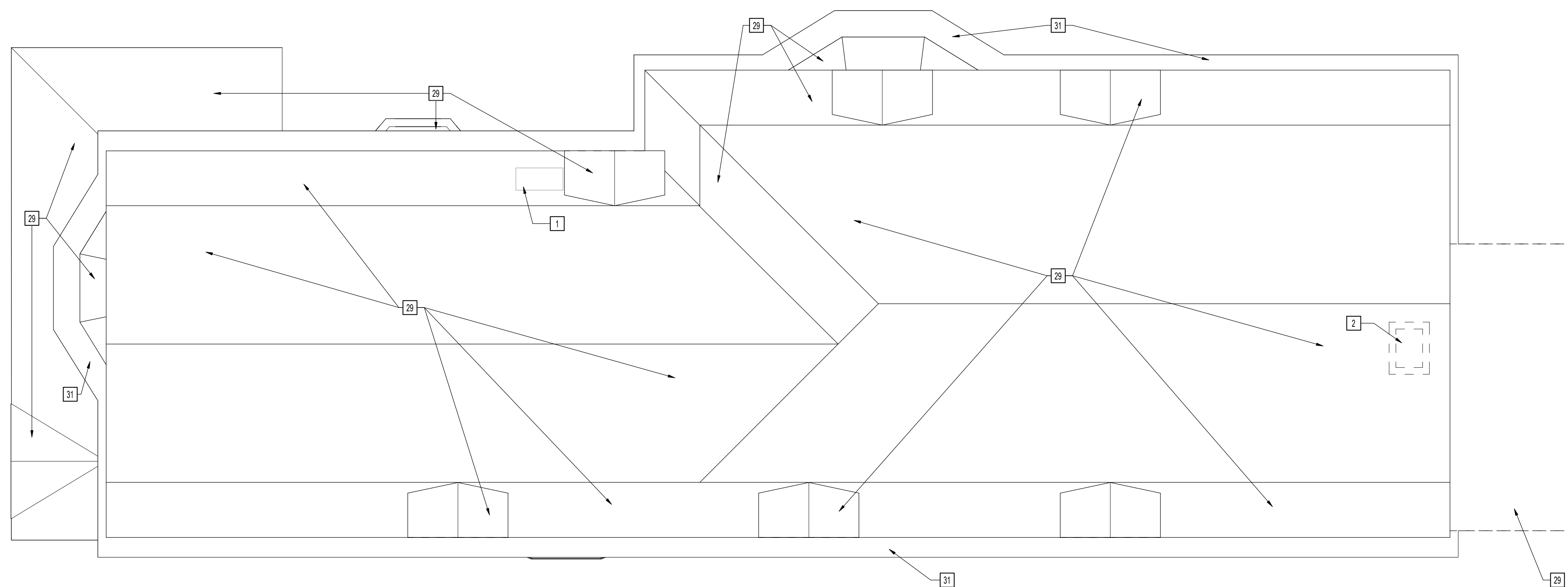
SYMBOL LEGEND

-  EXISTING WALL TO REMAIN. REFER TO DEMO PLAN NOTES FOR MORE SPECIFIC SCOPE OF WORK
-  NEW OPENING IN EXISTING WALL
-  REMOVE EXISTING WALL
-  EXISTING DOOR AND HARDWARE TO BE REMOVED
-  EXISTING WOOD WINDOW SASH, STOPS AND STOOL TO BE REMOVED
-  REMOVE EXISTING OPENING AS PART OF WALL TO BE REMOVED
-  PREP EXISTING OPENING TO BE INFILLED
-  EXISTING OPENING IN EXISTING WALL TO REMAIN
-  APPROXIMATE AREA TO BE EXCAVATED. COORDINATE WITH STRUCTURAL.

DEMO PLAN NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- | # | KEYNOTES |
|----|---|
| 1 | EXISTING BRICK FIREPLACE AND CHIMNEY TO REMAIN. CLEAN, PROTECT AND PREP FOR REPOINTING. |
| 2 | REMOVE EXISTING BRICK FIREPLACE AND CHIMNEY IN ITS ENTIRETY. |
| 3 | EXISTING WOOD STAIR AND RAILINGS TO REMAIN. PROTECT AND SALVAGE DECORATIVE WOOD SPINDLES AND POSTS. |
| 4 | CAREFULLY SALVAGE HISTORIC WAINSCOTING. |
| 5 | SALVAGE HISTORIC MANTLE. |
| 6 | CAREFULLY SALVAGE HISTORIC WOOD BASE. |
| 7 | REMOVE EXISTING WOOD STAIRS AND RAILINGS IN THEIR ENTIRETY. |
| 8 | REMOVE EXISTING FINISHED FLOOR IN ITS ENTIRETY. REMOVE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PREP ALL SUBFLOORING TO RECEIVE NEW FINISHED FLOOR. |
| 9 | EXISTING WOOD POCKET DOORS AND TRIM TO REMAIN. PROTECT AND SALVAGE FOR REFINISHING. |
| 10 | REMOVE EXISTING INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE. |
| 11 | EXISTING FRAMED OPENING TO REMAIN. PROTECT AS REQUIRED. |
| 12 | PREP EXISTING FRAMED OPENING TO BE INFILLED. |
| 13 | REMOVE EXISTING LINE OF STUDS, INCLUDING ASSOCIATED SILL AND TOP PLATES, AND EXISTING FRAMED OPENINGS. |
| 14 | REMOVE METAL FRAMING AT CEILING. |
| 15 | FRAME NEW OPENING IN EXISTING LINE OF STUDS. PREP TO RECEIVE NEW DOOR. |
| 16 | CREATE NEW OPENING IN EXISTING FOUNDATION WALL. PREP TO RECEIVE NEW DOOR. |
| 17 | SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED. |
| 18 | CAREFULLY SALVAGE EXISTING WOOD POSTS. |
| 19 | REMOVE EXISTING CONCRETE PAD AND STEPS. |
| 20 | REMOVE EXISTING SLOPED CONCRETE PAD. |
| 21 | REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED. PREP FOR NEW LINEAR FOOTING AND CONCRETE |
| 22 | REMOVE EXISTING PEG BOARD PARTITION WALL IN ITS ENTIRETY. |
| 23 | EXCAVATE BASEMENT FLOOR. DO NOT UNDERMINE EXISTING FOUNDATIONS OR FOOTINGS. COORDINATE WITH STRUCTURAL TO ESTABLISH MINIMUM DISTANCE FROM EXISTING FOUNDATIONS. |
| 24 | REMOVE EXISTING COLUMNS. PROVIDE TEMPORARY SHORING DURING EXCAVATION. PREP FOR NEW SPREAD FOOTINGS AND COLUMNS. |
| 25 | EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. PROVIDE TEMPORARY SHORING. PREP FOR NEW FOUNDATION, RETAINING WALLS AND CONCRETE PAD. |
| 26 | REMOVE EXISTING WOOD BEAM AND METAL JACK POSTS AS PART OF STAIR REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED. |
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| 36 | EXISTING EXTERIOR DOOR AND FRAME. SEE AD200 SERIES FOR DEMO WORK. |
| 37 | NEW WALL OPENING. SEE AD200 SERIES FOR DEMO WORK. |
| 38 | EXISTING WOOD PORCH. SEE AD200 SERIES FOR DEMO WORK. |



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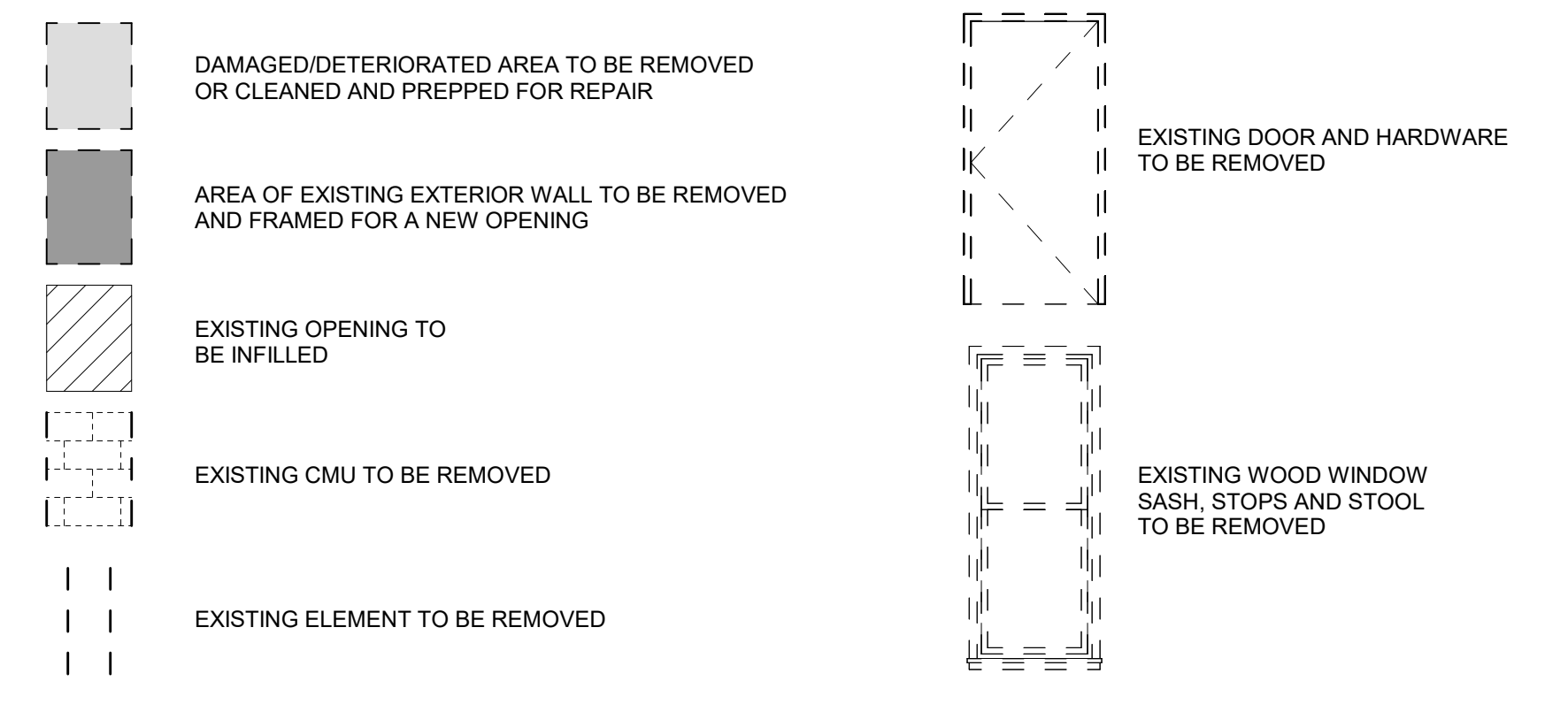
Date: 4/11/25

Project Number: 24032

Sheet Title: **EAST & WEST DEMOLITION ELEVATIONS**

Sheet Number: **AD200**

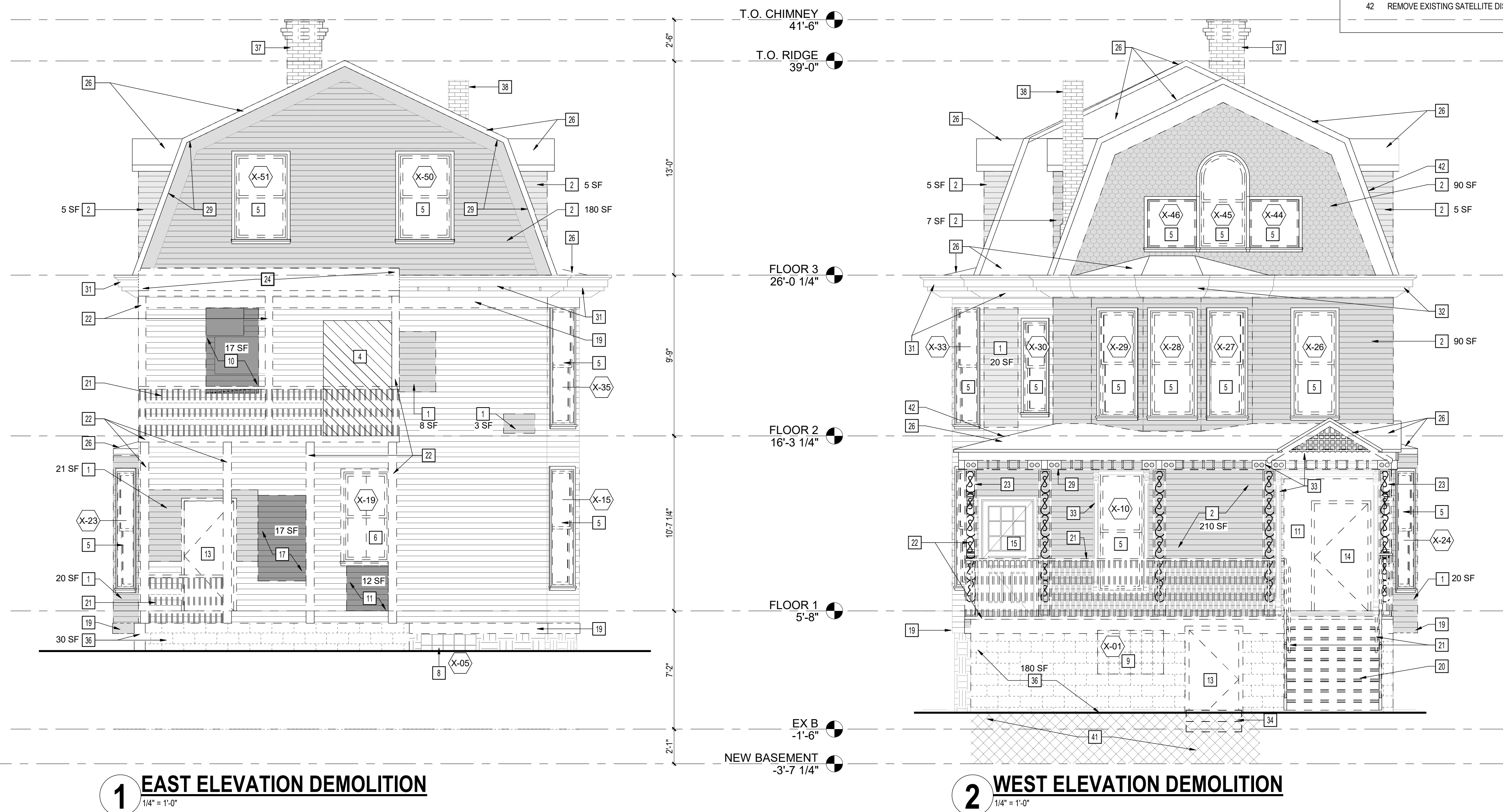
SYMBOL LEGEND



DEMO ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- REMOVE EXISTING WOOD SIDING AND EXTERIOR SHEATHING.
 - REMOVE EXISTING VINYL SIDING, ASSOCIATED VINYL TRIM AND EXTERIOR SHEATHING.
 - REMOVE METAL SIDING MATERIAL. ASSESS CONDITION OF SHEATHING AND SIDING MATERIALS BENEATH.
 - PREP EXISTING WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO RECEIVE NEW WINDOW & FRAME.
 - PREP WALL OPENING TO RECEIVE NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO RECEIVE NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO BE INFILLED.
 - EXISTING GLASS BLOCK WINDOW TO REMAIN. CLEAN AND PROTECT.
 - REMOVE EXISTING GLASS BLOCK WINDOW IN ITS ENTIRETY.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE DOOR AND FRAME. PREP WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP ORIGINAL WALL OPENING TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
 - SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED.
 - REMOVE PORTION OF EXISTING EXTERIOR WALL IN ITS ENTIRETY, INCLUDING WOOD SIDING, SHEATHING AND WOOD STUDS.
 - REMOVE EXISTING WOOD SIDING, EXTERIOR SHEATHING, INSULATION AND WOOD STUDS. PREP NEW WALL OPENING TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WINDOWS, SIDING, EXTERIOR SHEATHING & WOOD STUDS. PREP WALL OPENING TO RECEIVE NEW STOREFRONT WINDOWS.
 - REMOVE DETERIORATED WOOD TRIM AND EXISTING NON-WOOD TRIM.
 - REMOVE EXISTING WOOD STAIR IN ITS ENTIRETY.
 - REMOVE EXISTING RAILING IN ITS ENTIRETY.
 - REMOVE EXISTING WOOD PORCH FLOORING AND ASSOCIATED STRUCTURE.
 - SALVAGE EXISTING WOOD POST.
 - REMOVE EXISTING PORCH ROOF, SHEATHING AND ASSOCIATED STRUCTURE IN ITS ENTIRETY.
 - REMOVE AREA OF EXISTING ROOF, SHEATHING AND RAFTERS. COORDINATE WITH STRUCTURAL FOR NEW DORMER FRAMING.
 - REMOVE EXISTING ROOF AND SHEATHING IN ITS ENTIRETY. EXISTING WOOD RAFTERS TO REMAIN. REPLACE DETERIORATED OR STRUCTURALLY UNSOUND RAFTERS AS REQUIRED.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
 - REMOVE DETERIORATED PORTIONS OF EXISTING SOFFIT.
 - REMOVE EXISTING VINYL SOFFIT IN ITS ENTIRETY.
 - REMOVE EXISTING SIGNAGE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD CORNICE.
 - REMOVE EXISTING DECORATIVE METAL CORNICE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD BRACKETS AND OTHER DECORATIVE WOOD ELEMENTS.
 - REMOVE EXISTING CONCRETE PAD AND STEPS.
 - REMOVE EXISTING, SLOPED CONCRETE PAD.
 - REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - REMOVE EXISTING BRICK CHIMNEY IN ITS ENTIRETY.
 - EXISTING CHIMNEY TO REMAIN. CLEAN BRICK AND PREP FOR REPOINTING.
 - CLEAN EXISTING STONE FOUNDATION AND PREP FOR REPOINTING.
 - CLEAN EXISTING CMU FOUNDATION AND PREP FOR REPOINTING.
 - EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. SEE AD100 SERIES FOR SCOPE.
 - REMOVE EXISTING SATELLITE DISH.



1 EAST ELEVATION DEMOLITION
1/4" = 1'-0"

2 WEST ELEVATION DEMOLITION
1/4" = 1'-0"

Consultants:

Signature & Seal:

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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

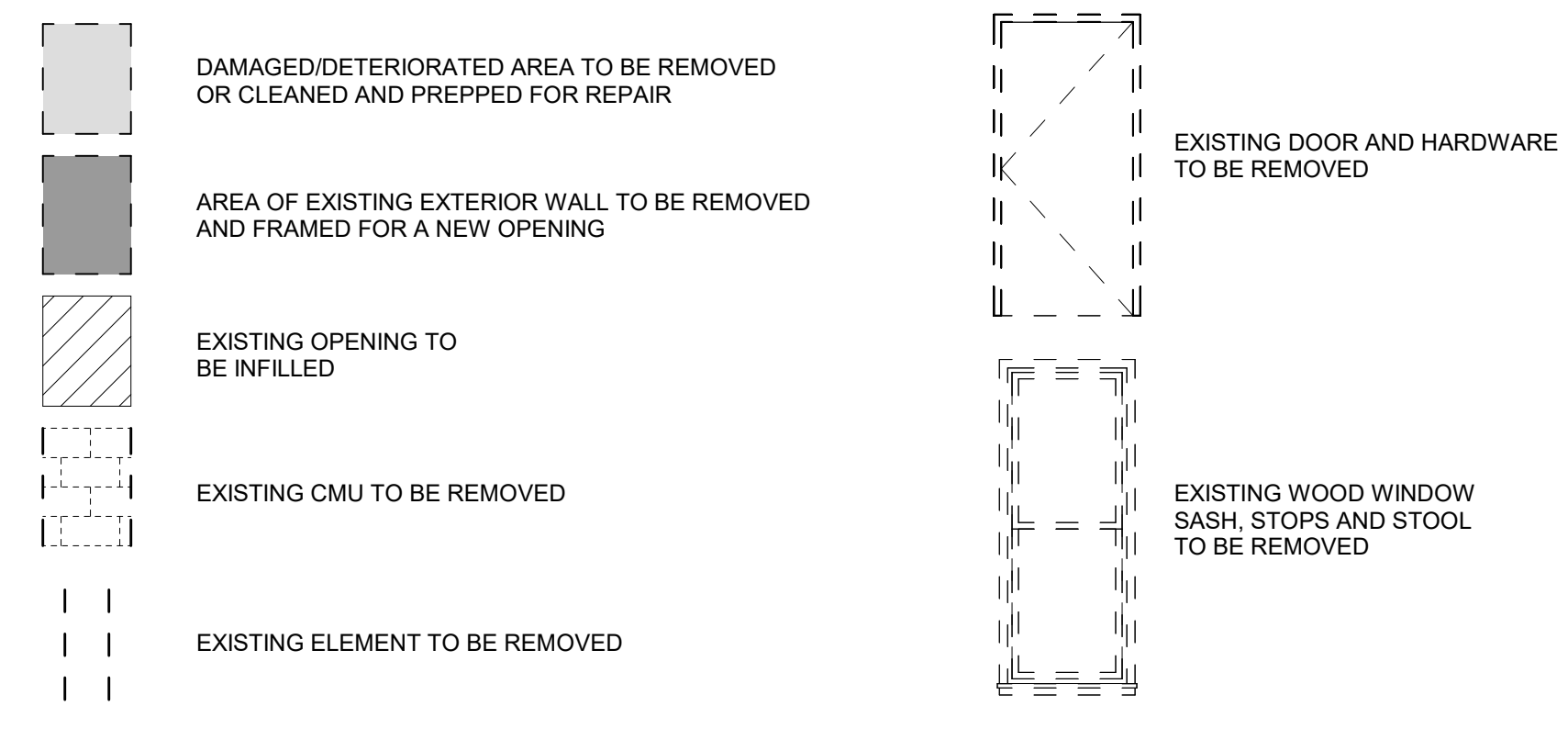
Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25
Project Number: 24032
Sheet Title: **NORTH DEMOLITION ELEVATION**

Sheet Number: **AD201**

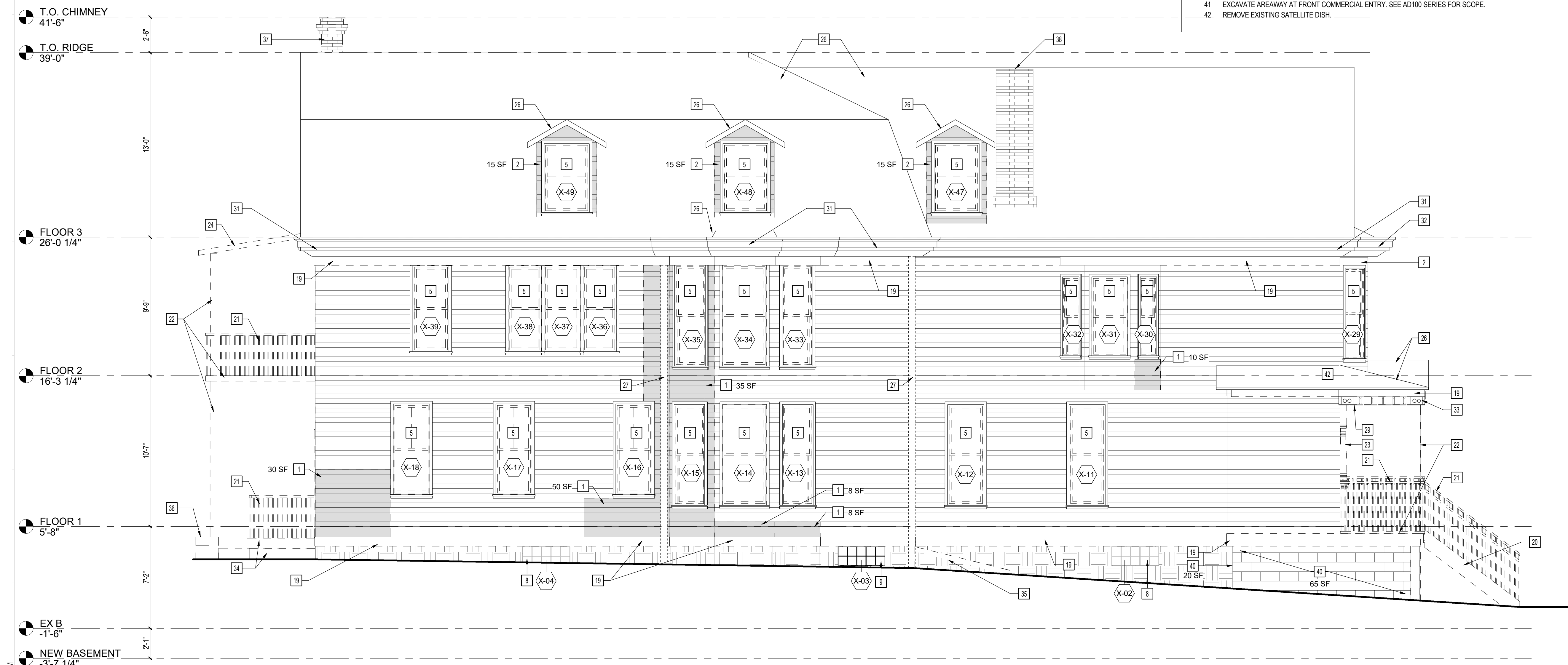
SYMBOL LEGEND



DEMO ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- REMOVE EXISTING WOOD SIDING AND EXTERIOR SHEATHING.
 - REMOVE EXISTING VINYL SIDING, ASSOCIATED VINYL TRIM AND EXTERIOR SHEATHING.
 - REMOVE METAL SIDING MATERIAL. ASSESS CONDITION OF SHEATHING AND SIDING MATERIALS BENEATH.
 - PREP EXISTING WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO RECEIVE NEW WINDOW & FRAME. PREP WALL OPENING TO RECEIVE NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO RECEIVE NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO BE INFILLED.
 - EXISTING GLASS BLOCK WINDOW TO REMAIN. CLEAN AND PROTECT.
 - REMOVE EXISTING GLASS BLOCK WINDOW IN ITS ENTIRETY.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE DOOR AND FRAME. PREP WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP ORIGINAL WALL OPENING TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
 - SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED.
 - REMOVE PORTION OF EXISTING EXTERIOR WALL IN ITS ENTIRETY, INCLUDING WOOD SIDING, SHEATHING AND WOOD STUDS.
 - REMOVE EXISTING WOOD SIDING, EXTERIOR SHEATHING, INSULATION AND WOOD STUDS. PREP NEW WALL OPENING TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WINDOWS, SIDING, EXTERIOR SHEATHING & WOOD STUDS. PREP WALL OPENING TO RECEIVE NEW STOREFRONT WINDOWS.
 - REMOVE DETERIORATED WOOD TRIM AND EXISTING NON-WOOD TRIM.
 - REMOVE EXISTING WOOD STAIR IN ITS ENTIRETY.
 - REMOVE EXISTING RAILING IN ITS ENTIRETY.
 - REMOVE EXISTING WOOD PORCH FLOORING AND ASSOCIATED STRUCTURE.
 - SALVAGE EXISTING WOOD POST.
 - REMOVE EXISTING PORCH ROOF, SHEATHING AND ASSOCIATED STRUCTURE IN ITS ENTIRETY.
 - REMOVE AREA OF EXISTING ROOF, SHEATHING AND RAFTERS. COORDINATE WITH STRUCTURAL FOR NEW DORMER FRAMING.
 - REMOVE EXISTING ROOF AND SHEATHING IN ITS ENTIRETY. EXISTING WOOD RAFTERS TO REMAIN. REPLACE DETERIORATED OR STRUCTURALLY UNSOUND RAFTERS AS REQUIRED.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
 - REMOVE DETERIORATED PORTIONS OF EXISTING SOFFIT.
 - REMOVE EXISTING VINYL SOFFIT IN ITS ENTIRETY.
 - REMOVE EXISTING SIGNAGE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD CORNICE.
 - REMOVE EXISTING DECORATIVE METAL CORNICE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD BRACKETS AND OTHER DECORATIVE WOOD ELEMENTS.
 - REMOVE EXISTING CONCRETE PAD AND STEPS.
 - REMOVE EXISTING, SLOPED CONCRETE PAD.
 - REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - REMOVE EXISTING BRICK CHIMNEY IN ITS ENTIRETY.
 - EXISTING CHIMNEY TO REMAIN. CLEAN BRICK AND PREP FOR REPOINTING.
 - CLEAN EXISTING STONE FOUNDATION AND PREP FOR REPOINTING.
 - CLEAN EXISTING CMU FOUNDATION AND PREP FOR REPOINTING.
 - EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. SEE AD100 SERIES FOR SCOPE.
 - REMOVE EXISTING SATELLITE DISH.



1 NORTH ELEVATION DEMOLITION
1/4" = 1'-0"

4/15/2025 10:35:45 PM

Consultants:

Signature & Seal:

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Client: BRESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

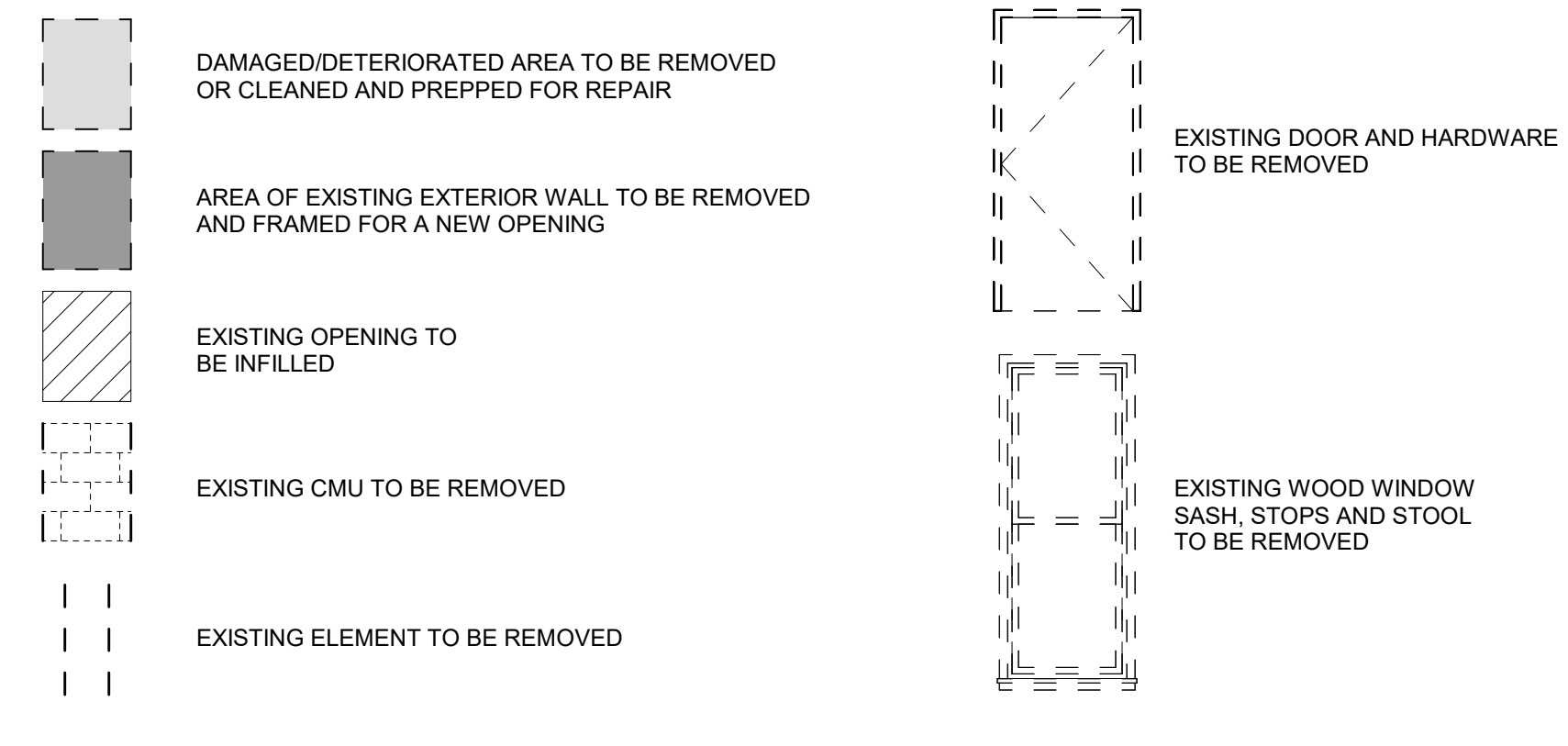
Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25
Project Number: 24032
Sheet Title: **SOUTH DEMOLITION ELEVATION**

Sheet Number: **AD202**

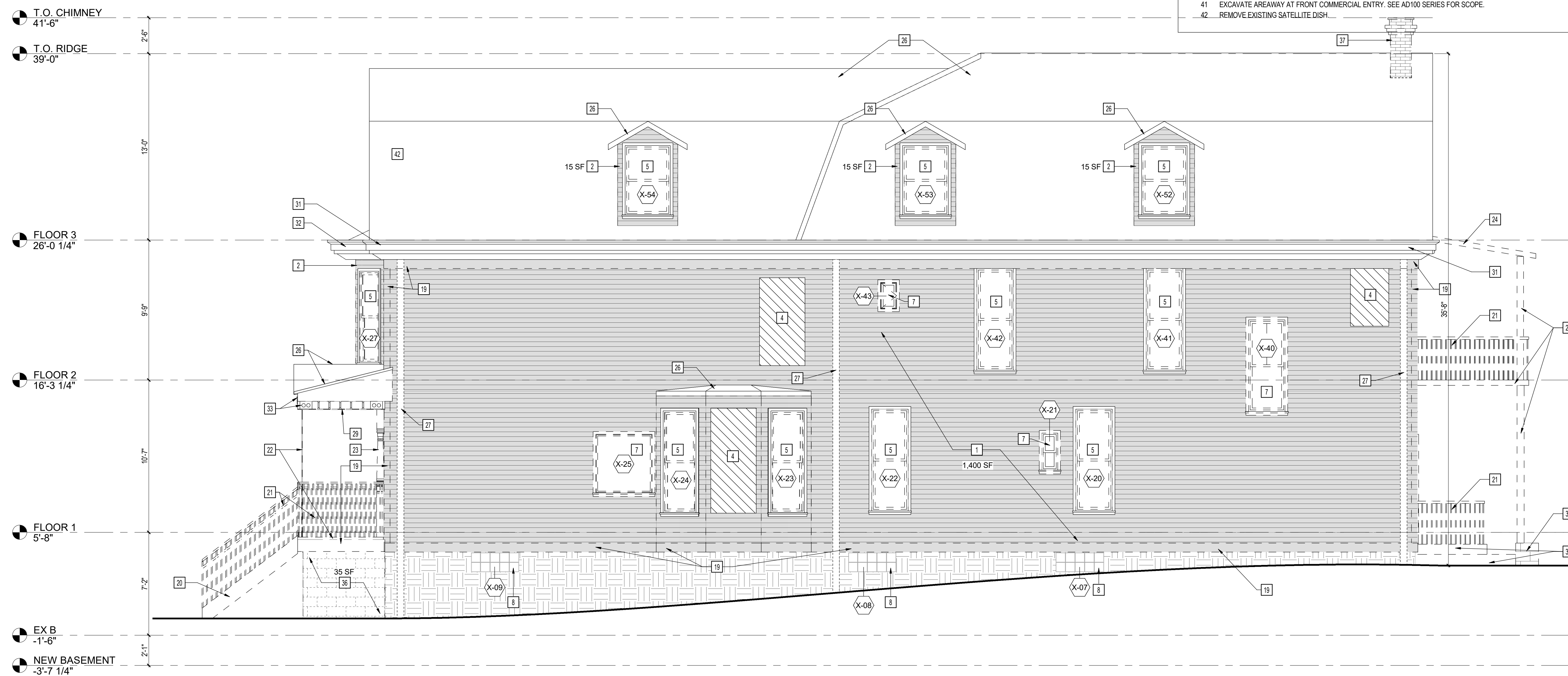
SYMBOL LEGEND



DEMO ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- REMOVE EXISTING WOOD SIDING AND EXTERIOR SHEATHING.
 - REMOVE EXISTING VINYL SIDING, ASSOCIATED VINYL TRIM AND EXTERIOR SHEATHING.
 - REMOVE METAL SIDING MATERIAL. ASSESS CONDITION OF SHEATHING AND SIDING MATERIALS BENEATH.
 - PREP EXISTING WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO RECEIVE NEW WINDOW & FRAME.
 - PREP WALL OPENING TO RECEIVE NEW DOOR & FRAME.
 - REMOVE EXISTING WINDOW AND FRAME. PREP WALL OPENING TO BE INFILLED.
 - EXISTING GLASS BLOCK WINDOW TO REMAIN. CLEAN AND PROTECT.
 - REMOVE EXISTING GLASS BLOCK WINDOW IN ITS ENTIRETY.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WALL INFILL, EXTERIOR SHEATHING AND SIDING FROM ORIGINAL OPENING. PREP TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP WALL OPENING TO BE INFILLED.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREP ORIGINAL WALL OPENING TO RECEIVE NEW DOOR AND FRAME.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
 - SALVAGE EXISTING DOOR TO BE REFINISHED AND FIXED CLOSED.
 - REMOVE PORTION OF EXISTING EXTERIOR WALL IN ITS ENTIRETY, INCLUDING WOOD SIDING, SHEATHING AND WOOD STUDS.
 - REMOVE EXISTING WOOD SIDING, EXTERIOR SHEATHING, INSULATION AND WOOD STUDS. PREP NEW WALL OPENING TO RECEIVE NEW WINDOW AND FRAME.
 - REMOVE EXISTING WINDOWS, SIDING, EXTERIOR SHEATHING & WOOD STUDS. PREP WALL OPENING TO RECEIVE NEW STOREFRONT WINDOWS.
 - REMOVE DETERIORATED WOOD TRIM AND EXISTING NON-WOOD TRIM.
 - REMOVE EXISTING WOOD STAIR IN ITS ENTIRETY.
 - REMOVE EXISTING RAILING IN ITS ENTIRETY.
 - REMOVE EXISTING WOOD PORCH FLOORING AND ASSOCIATED STRUCTURE.
 - SALVAGE EXISTING WOOD POST.
 - REMOVE EXISTING PORCH ROOF, SHEATHING AND ASSOCIATED STRUCTURE IN ITS ENTIRETY.
 - REMOVE AREA OF EXISTING ROOF, SHEATHING AND RAFTERS. COORDINATE WITH STRUCTURAL FOR NEW DORMER FRAMING.
 - REMOVE EXISTING ROOF AND SHEATHING IN ITS ENTIRETY. EXISTING WOOD RAFTERS TO REMAIN. REPLACE DETERIORATED OR STRUCTURALLY UNSOUND RAFTERS AS REQUIRED.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS.
 - REMOVE DETERIORATED PORTIONS OF EXISTING SOFFIT.
 - REMOVE EXISTING VINYL SOFFIT IN ITS ENTIRETY.
 - REMOVE EXISTING SIGNAGE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD CORNICE.
 - REMOVE EXISTING DECORATIVE METAL CORNICE IN ITS ENTIRETY.
 - SALVAGE DECORATIVE WOOD BRACKETS AND OTHER DECORATIVE WOOD ELEMENTS.
 - REMOVE EXISTING CONCRETE PAD AND STEPS.
 - REMOVE EXISTING SLOPED CONCRETE PAD.
 - REMOVE EXISTING CMU BLOCK WALL. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - REMOVE EXISTING BRICK CHIMNEY IN ITS ENTIRETY.
 - EXISTING CHIMNEY TO REMAIN. CLEAN BRICK AND PREP FOR REPOINTING.
 - CLEAN EXISTING STONE FOUNDATION AND PREP FOR REPOINTING.
 - CLEAN EXISTING CMU FOUNDATION AND PREP FOR REPOINTING.
 - EXCAVATE AREAWAY AT FRONT COMMERCIAL ENTRY. SEE AD100 SERIES FOR SCOPE.
 - REMOVE EXISTING SATELLITE DISH.



1 SOUTH ELEVATION DEMOLITION
1/4" = 1'-0"

4/15/2025 10:35:47 PM

Consultants:

Signature & Seal:

Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213



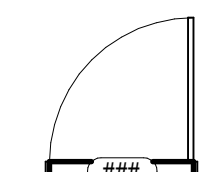
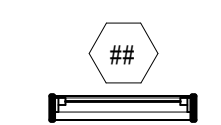
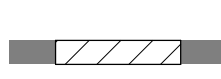
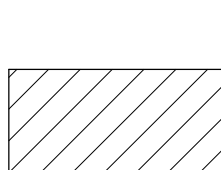
Drawing History: # Date Description
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Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25
Project Number: 24032
Sheet Title: **BASEMENT & FIRST FLOOR PLANS**

Sheet Number: **A101**

SYMBOL LEGEND

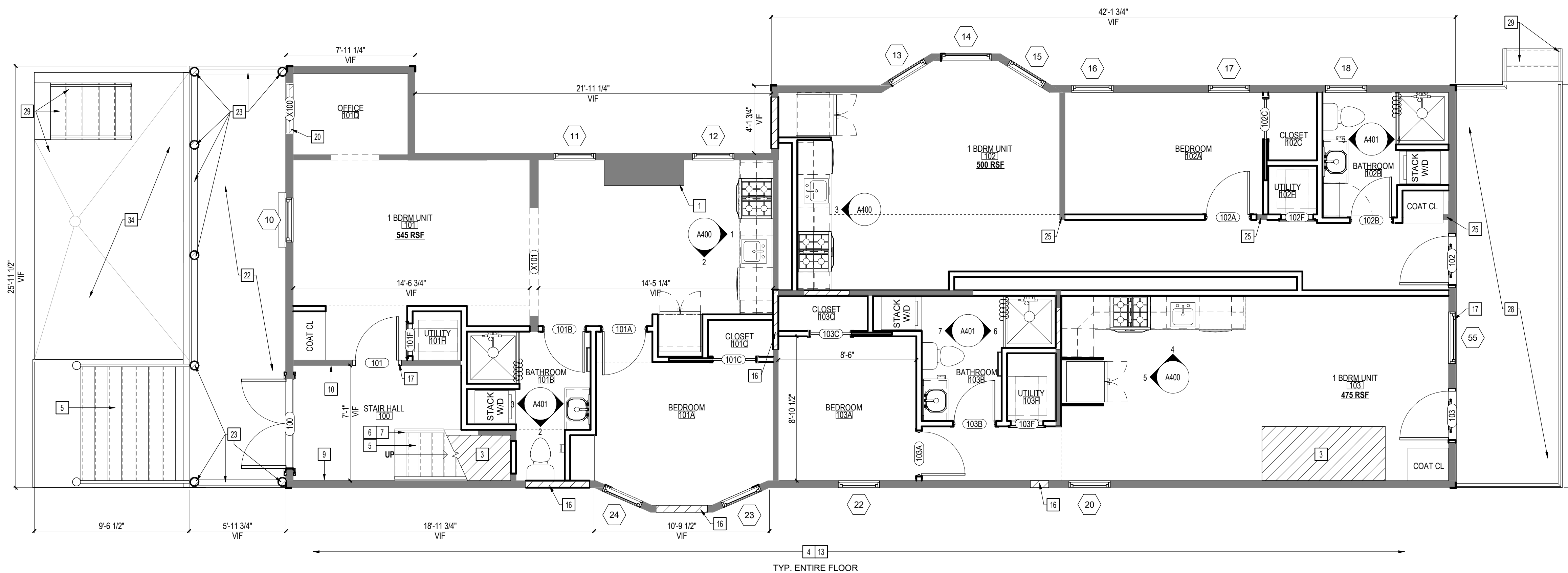
-  EXISTING WALL
-  NEW WALL
-  INSTALL NEW DOOR, FRAME & HARDWARE
-  INSTALL NEW WINDOW & FRAME
-  INFILL EXISTING OPENING IN EXISTING WALL
-  INFILL EXISTING FLOOR OPENING

NEW PLAN NOTES

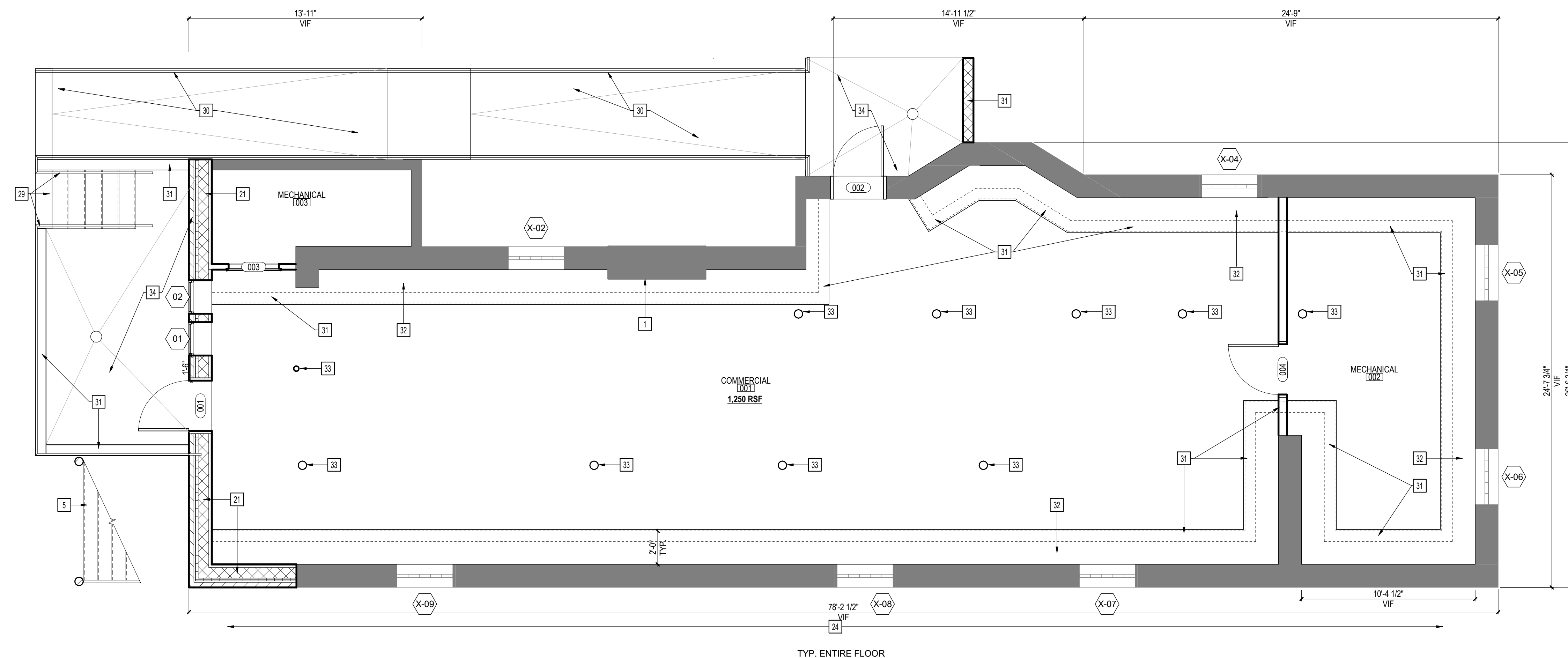
NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- | # | KEYNOTES |
|----|--|
| 1 | CLEAN AND REPOINT EXISTING BRICK FIREPLACE AND CHIMNEY. |
| 2 | FRAME NEW FLOOR OPENING. REFER TO FRAMING PLANS AND DETAILS. |
| 3 | INFILL EXISTING FLOOR OPENING. SISTER NEW FLOOR JOISTS TO EXISTING STRUCTURE AND PROVIDE NEW SUBFLOORING. |
| 4 | REPLACE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PROVIDE FINISHED FLOOR THROUGHOUT. |
| 5 | REBUILD WOOD STAIR. DIMENSIONS AND NOSING PROFILE TO MATCH ORIGINAL. |
| 6 | REPAIR, REINSTALL, AND REFINISH SALVAGED STAIR SPINDLES AND POSTS. |
| 7 | PROVIDE WOOD SPINDLES AND POSTS, PROFILE AND FINISH TO MATCH SALVAGED ORIGINALS. |
| 8 | PROVIDE LOW WALL WITH WOOD TOP AND TRIM. REFER TO DETAILS. |
| 9 | REPAIR, REINSTALL, AND REFINISH HISTORIC WAINSCOTING. |
| 10 | PROVIDE WOOD WAINSCOTING TO MATCH HISTORIC. |
| 11 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD MANTLE. |
| 12 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD BASE. |
| 13 | PROVIDE WOOD BASE, PROFILE TO MATCH SALVAGED HISTORIC WOOD BASE. INSTALL THROUGHOUT AND FINISH TO MATCH. |
| 14 | PROVIDE WOOD STAIR, RAILING AND ASSOCIATED STRUCTURE. REFER TO STAIR DETAILS AND INFORMATION. |
| 15 | APPROXIMATE LOCATION OF ALL MECHANICAL AND PLUMBING VENTS. COORDINATE WITH MECHANICAL AND PLUMBING WORK. PROVIDE FLASHING WITH AIR AND WEATHER SEALING AT ALL ROOF PENETRATIONS. |
| 16 | INFILL EXISTING FRAMED OPENING. REFER TO DETAILS. |
| 17 | FRAME NEW OPENING IN EXISTING WALL. REFER TO FRAMING PLANS AND DETAILS. |
| 18 | REPAIR AND REINSTALL SALVAGED WOOD POCKET DOORS AND TRIM. PREP AND PAINT. |
| 19 | REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. REFER TO A200 SERIES, NEW ELEVATION NOTES AND DETAILS FOR NEW WORK. |
| 20 | REPAIR AND REFINISH SALVAGED WOOD DOOR. FIX CLOSED AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. BLACK OUT LIGHTS. PROVIDING FURRING, INSULATION AND CONTINUOUS NEW INTERIOR FINISH. REFER TO DETAILS. |
| 21 | REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL. |
| 22 | REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE. REFER TO FRAMING PLANS. |
| 23 | SALVAGED AND REBUILD POSTS, PORCH RAILINGS AND DECORATIVE WOOD ELEMENTS. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 24 | PROVIDE BASEMENT FLOOR FINISH. REFER TO FINISH PLANS AND SCHEDULE. |
| 25 | CONCEAL EXISTING STRUCTURAL WOOD POSTS IN NEW WALLS, BEHIND GWB. |
| 26 | PROVIDE NEW ROOF SHEATHING AND INSULATION INSTALLED ON EXISTING STRUCTURE. REFER TO DETAILS, A200 SERIES AND NEW ELEVATION NOTES FOR NEW WORK. |
| 27 | DECORATIVE WOOD CORNICE. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 28 | PROVIDE WOOD PORCH. |
| 29 | PROVIDE STAIRS AND RAILINGS. |
| 30 | PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS. |
| 31 | PROVIDE CONCRETE RETAINING WALL. DO NOT UNDERMINE EXISTING FOUNDATIONS AND FOOTINGS. COORDINATE WITH CIVIL/STRUCTURAL. |
| 32 | PROVIDE BENCH SURFACE AT EXISTING BASEMENT FLOOR LEVEL, TYP. ENTIRE BASEMENT. |
| 33 | PROVIDE CONCRETE FOOTER AND STRUCTURAL POST AT NEW BASEMENT FLOOR LEVEL. COORDINATE WITH STRUCTURAL. |
| 34 | PROVIDE CONCRETE PAD, SLOPED TO DRAIN. COORDINATE WITH CIVIL/STRUCTURAL. |
| 35 | BUILD NEW DORMER ADDITION. REFER TO A202, NEW ELEVATION NOTES, FRAMING PLANS AND DETAILS FOR NEW WORK. |
| 36 | PROVIDE SLOPED CONCRETE APPROACH (5% MAX. RISE NOT TO EXCEED 3'). |
| 37 | PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH. |

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2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

Consultants:

Signature & Seal:

Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**


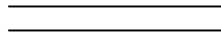
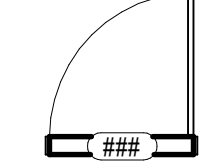
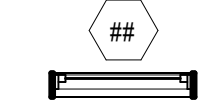
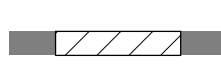

Date: 4/11/25

Project Number: 24032

Sheet Title: **SECOND & THIRD FLOOR PLANS**

Sheet Number: **A102**

SYMBOL LEGEND

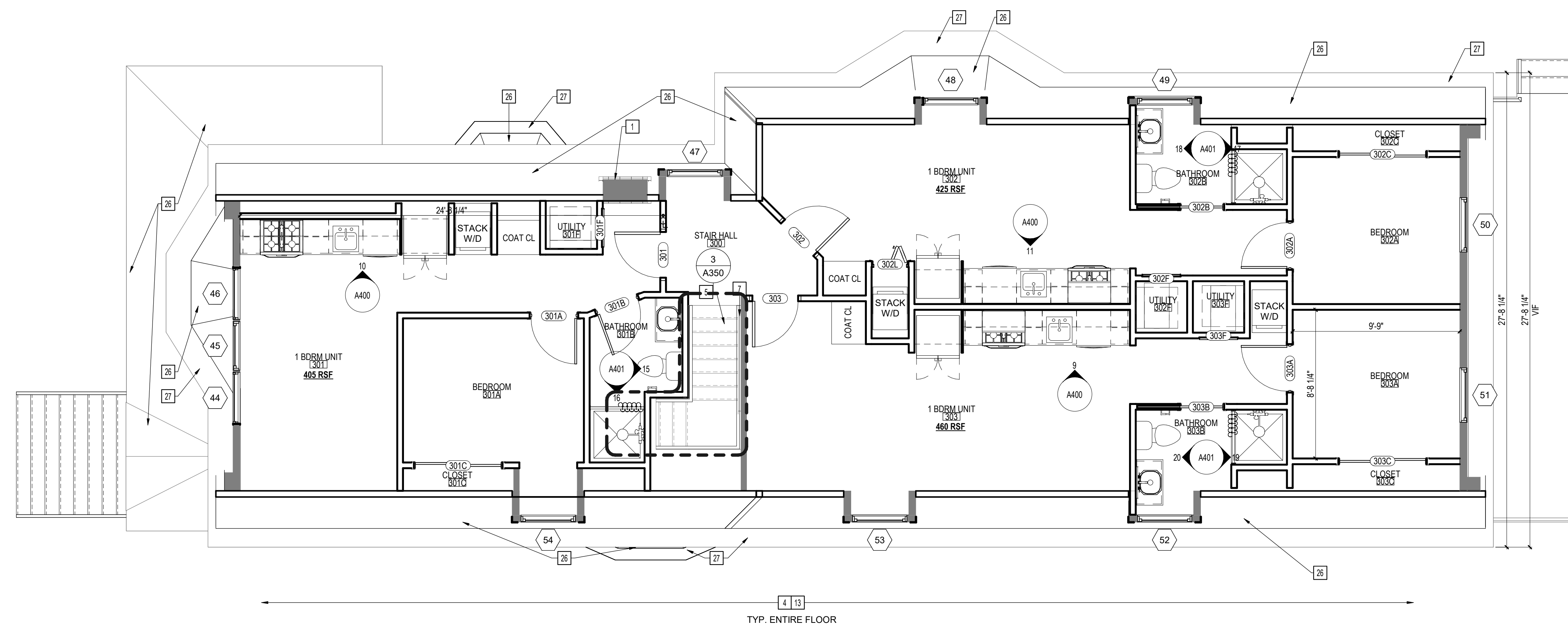
-  EXISTING WALL
-  NEW WALL
-  INSTALL NEW DOOR, FRAME & HARDWARE
-  INSTALL NEW WINDOW & FRAME
-  INFILL EXISTING OPENING IN EXISTING WALL
-  INFILL EXISTING FLOOR OPENING

NEW PLAN NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- | # | KEYNOTES |
|----|--|
| 1 | CLEAN AND REPOINT EXISTING BRICK FIREPLACE AND CHIMNEY. |
| 2 | FRAME NEW FLOOR OPENING. REFER TO FRAMING PLANS AND DETAILS. |
| 3 | INFILL EXISTING FLOOR OPENING. SISTER NEW FLOOR JOISTS TO EXISTING STRUCTURE AND PROVIDE NEW SUBFLOORING. |
| 4 | REPLACE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PROVIDE FINISHED FLOOR THROUGHOUT. |
| 5 | REBUILD WOOD STAIR, DIMENSIONS AND NOSING PROFILE TO MATCH ORIGINAL. |
| 6 | REPAIR, REINSTALL, AND REFINISH SALVAGED STAIR SPINDLES AND POSTS. |
| 7 | PROVIDE WOOD SPINDLES AND POSTS, PROFILE AND FINISH TO MATCH SALVAGED ORIGINALS. |
| 8 | PROVIDE LOW WALL WITH WOOD TOP AND TRIM. REFER TO DETAILS. |
| 9 | REPAIR, REINSTALL, AND REFINISH HISTORIC WAINSCOTING. |
| 10 | PROVIDE WOOD WAINSCOTING TO MATCH HISTORIC. |
| 11 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD MANTLE. |
| 12 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD BASE. |
| 13 | PROVIDE WOOD BASE, PROFILE TO MATCH SALVAGED HISTORIC WOOD BASE. INSTALL THROUGHOUT AND FINISH TO MATCH. |
| 14 | PROVIDE WOOD STAIR, RAILING AND ASSOCIATED STRUCTURE. REFER TO STAIR DETAILS AND INFORMATION. |
| 15 | APPROXIMATE LOCATION OF ALL MECHANICAL AND PLUMBING VENTS. COORDINATE WITH MECHANICAL AND PLUMBING WORK. PROVIDE FLASHING WITH AIR AND WEATHER SEALING AT ALL ROOF PENETRATIONS. |
| 16 | INFILL EXISTING FRAMED OPENING. REFER TO DETAILS. |
| 17 | FRAME NEW OPENING IN EXISTING WALL. REFER TO FRAMING PLANS AND DETAILS. |
| 18 | REPAIR AND REINSTALL SALVAGED WOOD POCKET DOORS AND TRIM. PREP AND PAINT. |
| 19 | REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. REFER TO A200 SERIES, NEW ELEVATION NOTES AND DETAILS FOR NEW WORK. |
| 20 | REPAIR AND REFINISH SALVAGED WOOD DOOR. FIX CLOSED AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. BLACK OUT LIGHTS, PROVIDING FURRING, INSULATION AND CONTINUOUS NEW INTERIOR FINISH. REFER TO DETAILS. |
| 21 | REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL. |
| 22 | REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE. REFER TO FRAMING PLANS. |
| 23 | SALVAGED AND REBUILD POSTS, PORCH RAILINGS AND DECORATIVE WOOD ELEMENTS. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 24 | PROVIDE BASEMENT FLOOR FINISH. REFER TO FINISH PLANS AND SCHEDULE. |
| 25 | CONCEAL EXISTING STRUCTURAL WOOD POSTS IN NEW WALLS, BEHIND GWB. |
| 26 | PROVIDE NEW ROOF, SHEATHING AND INSULATION INSTALLED ON EXISTING STRUCTURE. REFER TO DETAILS, A200 SERIES AND NEW ELEVATION NOTES FOR NEW WORK. |
| 27 | DECORATIVE WOOD CORNICE. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 28 | PROVIDE WOOD PORCH. |
| 29 | PROVIDE STAIRS AND RAILINGS. |
| 30 | PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS. |
| 31 | PROVIDE CONCRETE RETAINING WALL. DO NOT UNDERMINE EXISTING FOUNDATIONS AND FOOTINGS. COORDINATE WITH CIVIL/STRUCTURAL. |
| 32 | PROVIDE BENCH SURFACE AT EXISTING BASEMENT FLOOR LEVEL, TYP. ENTIRE BASEMENT. |
| 33 | PROVIDE CONCRETE FOOTER AND STRUCTURAL POST AT NEW BASEMENT FLOOR LEVEL. COORDINATE WITH STRUCTURAL. |
| 34 | PROVIDE CONCRETE PAD, SLOPED TO DRAIN. COORDINATE WITH CIVIL/STRUCTURAL. |
| 35 | BUILD NEW DORMER ADDITION. REFER TO A202, NEW ELEVATION NOTES, FRAMING PLANS AND DETAILS FOR NEW WORK. |
| 36 | PROVIDE SLOPED CONCRETE APPROACH (5% MAX. RISE NOT TO EXCEED 3'). |
| 37 | PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH. |

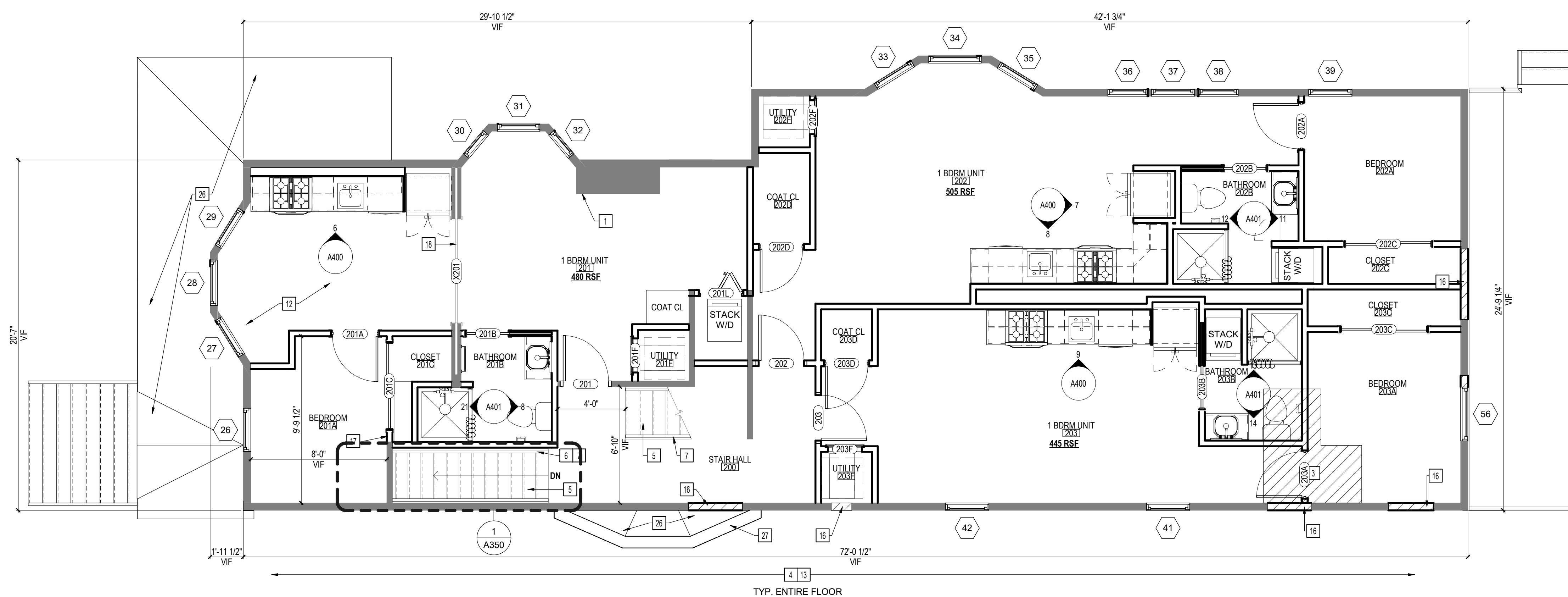
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TYP. ENTIRE FLOOR

2 PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"



TYP. ENTIRE FLOOR

1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

Consultants:

Signature & Seal:

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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**


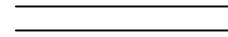
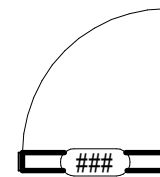


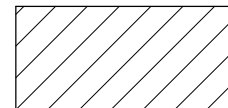
Date: 4/11/25

Project Number: 24032

Sheet Title: **ROOF PLAN**

Sheet Number: **A103**

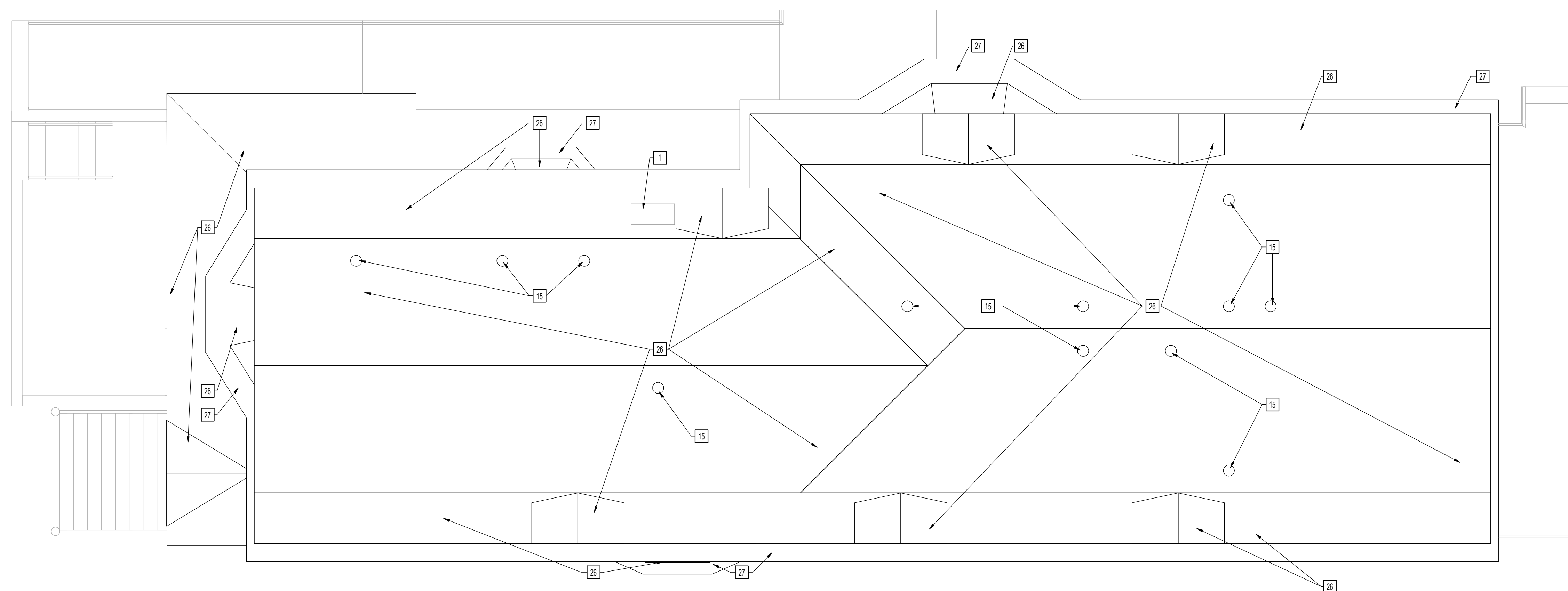
SYMBOL LEGEND

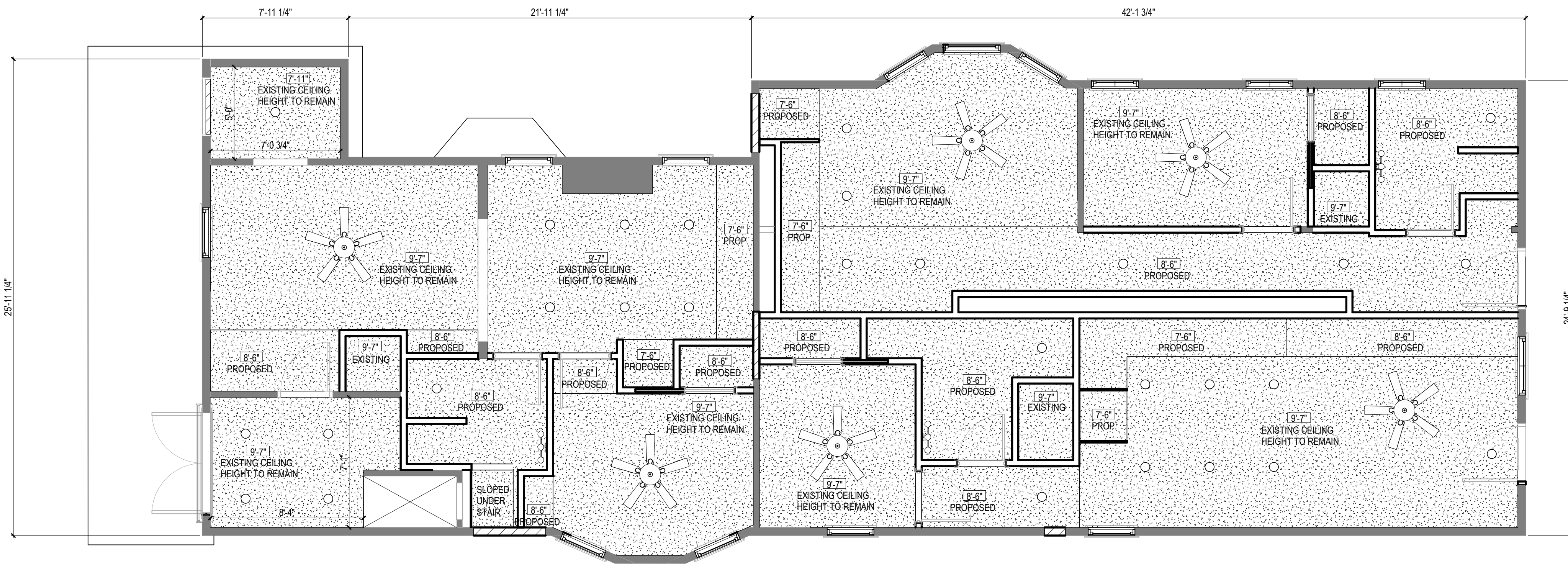
-  EXISTING WALL
-  NEW WALL
-  INSTALL NEW DOOR, FRAME & HARDWARE
-  INSTALL NEW WINDOW & FRAME
-  INFILL EXISTING OPENING IN EXISTING WALL
-  INFILL EXISTING FLOOR OPENING

NEW PLAN NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- | # | KEYNOTES |
|----|--|
| 1 | CLEAN AND REPOINT EXISTING BRICK FIREPLACE AND CHIMNEY. |
| 2 | FRAME NEW FLOOR OPENING. REFER TO FRAMING PLANS AND DETAILS. |
| 3 | INFILL EXISTING FLOOR OPENING. SISTER NEW FLOOR JOISTS TO EXISTING STRUCTURE AND PROVIDE NEW SUBFLOORING. |
| 4 | REPLACE DAMAGED AND DETERIORATED AREAS OF SUBFLOORING. PROVIDE FINISHED FLOOR THROUGHOUT. |
| 5 | REBUILD WOOD STAIR, DIMENSIONS AND NOSING PROFILE TO MATCH ORIGINAL. |
| 6 | REPAIR, REINSTALL, AND REFINISH SALVAGED STAIR SPINDLES AND POSTS. |
| 7 | PROVIDE WOOD SPINDLES AND POSTS, PROFILE AND FINISH TO MATCH SALVAGED ORIGINALS. |
| 8 | PROVIDE LOW WALL WITH WOOD TOP AND TRIM. REFER TO DETAILS. |
| 9 | REPAIR, REINSTALL, AND REFINISH HISTORIC WAINSCOTING. |
| 10 | PROVIDE WOOD WAINSCOTING TO MATCH HISTORIC. |
| 11 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD MANTLE. |
| 12 | REPAIR, REINSTALL, AND REFINISH HISTORIC WOOD BASE. |
| 13 | PROVIDE WOOD BASE, PROFILE TO MATCH SALVAGED HISTORIC WOOD BASE. INSTALL THROUGHOUT AND FINISH TO MATCH. |
| 14 | PROVIDE WOOD STAIR, RAILING AND ASSOCIATED STRUCTURE. REFER TO STAIR DETAILS AND INFORMATION. |
| 15 | APPROXIMATE LOCATION OF ALL MECHANICAL AND PLUMBING VENTS. COORDINATE WITH MECHANICAL AND PLUMBING WORK. PROVIDE FLASHING WITH AIR AND WEATHER SEALING AT ALL ROOF PENETRATIONS. |
| 16 | INFILL EXISTING FRAMED OPENING. REFER TO DETAILS. |
| 17 | FRAME NEW OPENING IN EXISTING WALL. REFER TO FRAMING PLANS AND DETAILS. |
| 18 | REPAIR AND REINSTALL SALVAGED WOOD POCKET DOORS AND TRIM. PREP AND PAINT. |
| 19 | REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. REFER TO A200 SERIES, NEW ELEVATION NOTES AND DETAILS FOR NEW WORK. |
| 20 | REPAIR AND REFINISH SALVAGED WOOD DOOR. FIX CLOSED AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. BLACK OUT LIGHTS. PROVIDING FURRING, INSULATION AND CONTINUOUS NEW INTERIOR FINISH. REFER TO DETAILS. |
| 21 | REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL. |
| 22 | REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE. REFER TO FRAMING PLANS. |
| 23 | SALVAGED AND REBUILD POSTS, PORCH RAILINGS AND DECORATIVE WOOD ELEMENTS. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 24 | PROVIDE BASEMENT FLOOR FINISH. REFER TO FINISH PLANS AND SCHEDULE. |
| 25 | CONCEAL EXISTING STRUCTURAL WOOD POSTS IN NEW WALLS, BEHIND GWB. |
| 26 | PROVIDE NEW ROOF, SHEATHING AND INSULATION INSTALLED ON EXISTING STRUCTURE. REFER TO DETAILS, A200 SERIES AND NEW ELEVATION NOTES FOR NEW WORK. |
| 27 | DECORATIVE WOOD CORNICE. REFER TO A200 SERIES AND DETAILS FOR NEW WORK. |
| 28 | PROVIDE WOOD PORCH. |
| 29 | PROVIDE STAIRS AND RAILINGS. |
| 30 | PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS. |
| 31 | PROVIDE CONCRETE RETAINING WALL. DO NOT UNDERMINE EXISTING FOUNDATIONS AND FOOTINGS. COORDINATE WITH CIVIL/STRUCTURAL. |
| 32 | PROVIDE BENCH SURFACE AT EXISTING BASEMENT FLOOR LEVEL, TYP. ENTIRE BASEMENT. |
| 33 | PROVIDE CONCRETE FOOTER AND STRUCTURAL POST AT NEW BASEMENT FLOOR LEVEL. COORDINATE WITH STRUCTURAL. |
| 34 | PROVIDE CONCRETE PAD, SLOPED TO DRAIN. COORDINATE WITH CIVIL/STRUCTURAL. |
| 35 | BUILD NEW DORMER ADDITION. REFER TO A202, NEW ELEVATION NOTES, FRAMING PLANS AND DETAILS FOR NEW WORK. |
| 36 | PROVIDE SLOPED CONCRETE APPROACH (5% MAX. RISE NOT TO EXCEED 3"). |
| 37 | PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH. |



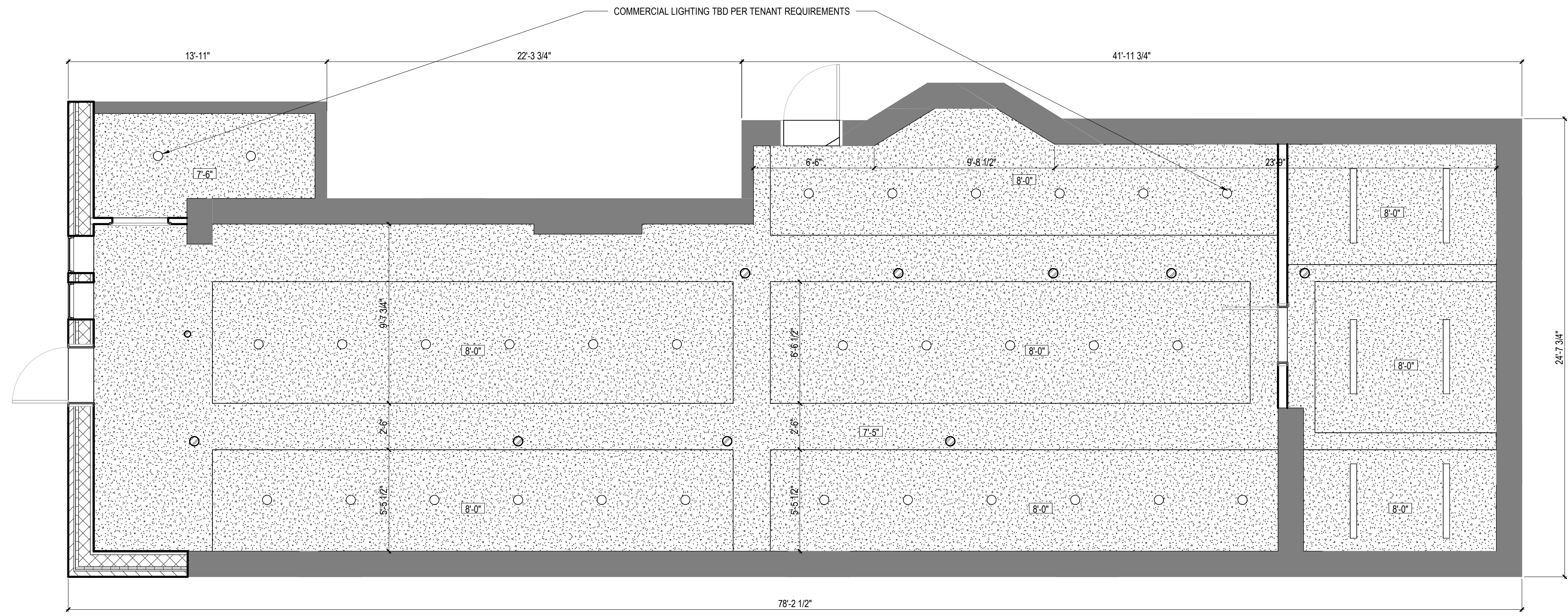


SYMBOL LEGEND

- EXISTING WALL
- NEW WALL
- INFILL EXISTING OPENING IN EXISTING WALL
- NEW GYPSUM BOARD CEILING
- CEILING HEIGHT
- RECESSED CAN LIGHT
- SURFACE MOUNTED LINEAR LIGHT

NOTE: FIELD VERIFY AND COORDINATE ALL DIMENSIONS WITH ALL TRADES.

2 FIRST FLOOR RCP PROPOSED
1/4" = 1'-0"



1 BASEMENT RCP PROPOSED
1/4" = 1'-0"

Consultants:

Signature & Seal:

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Client: BRESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

Drawing History:	#	Date	Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25
Project Number: 24032
Sheet Title: **BASEMENT & FIRST FLOOR REFLECTED CEILING PLAN**

Sheet Number: **A121**

Consultants:

Signature & Seal:

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Client: BRESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25


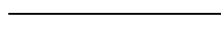
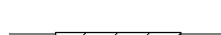
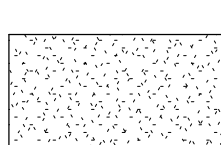



Project Number: 24032

Sheet Title: **SECOND & THIRD FLOOR REFLECTED CEILING PLAN**

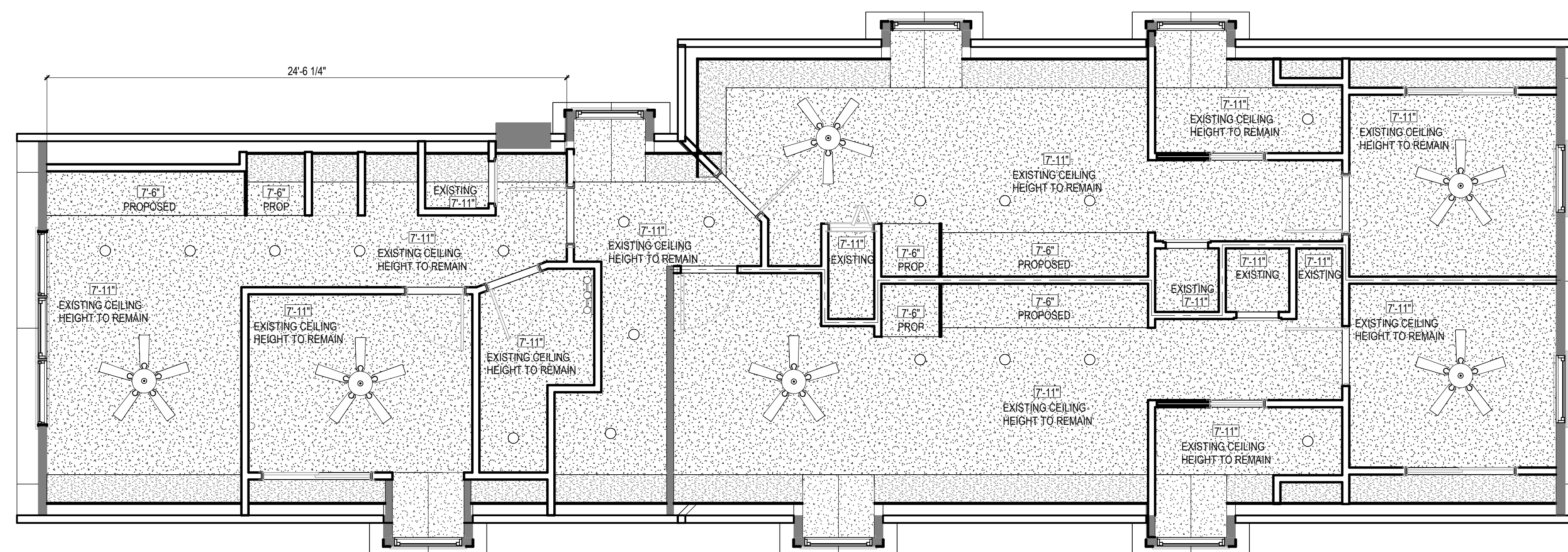
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A122

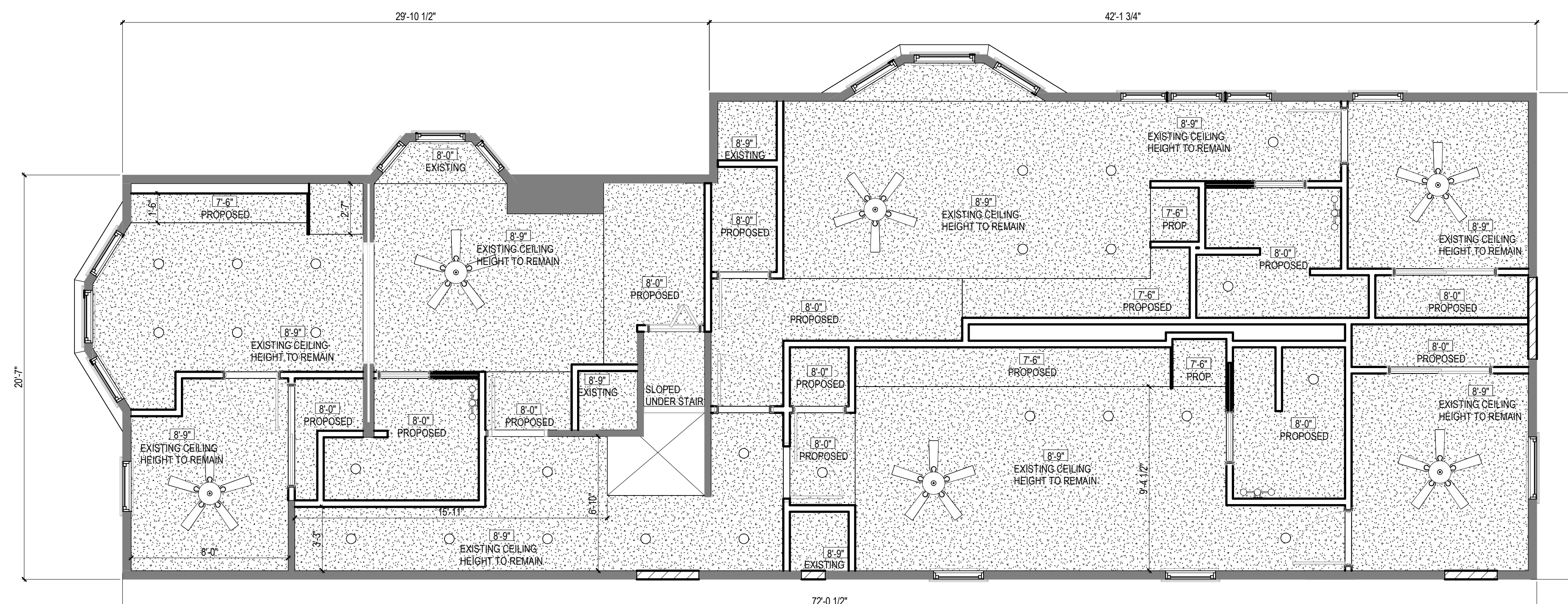
SYMBOL LEGEND

-  EXISTING WALL
-  NEW WALL
-  INFILL EXISTING OPENING IN EXISTING WALL
-  NEW GYPSUM BOARD CEILING
-  CEILING HEIGHT
-  RECESSED CAN LIGHT
-  SURFACE MOUNTED LINEAR LIGHT

NOTE: FIELD VERIFY AND COORDINATE ALL DIMENSIONS WITH ALL TRADES.



2 THIRD FLOOR RCP PROPOSED
1/4" = 1'-0"



1 SECOND FLOOR RCP PROPOSED
1/4" = 1'-0"

Consultants:

Signature & Seal:

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Client: BREESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: DD - NOT FOR CONSTRUCTION


Date: 4/11/25


Project Number: 24032

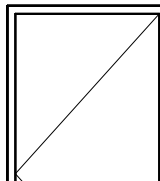
Sheet Title: EAST & WEST ELEVATIONS

Sheet Number: A200

SYMBOL LEGEND

 DAMAGED/DETERIORATED AREA TO BE REPLACED WITH NEW SHEATHING & NEW WOOD SIDING TO MATCH

 EXTERIOR WALL OPENING TO BE INFILLED AND REPLACED WITH NEW SHEATHING & NEW WOOD SIDING TO MATCH

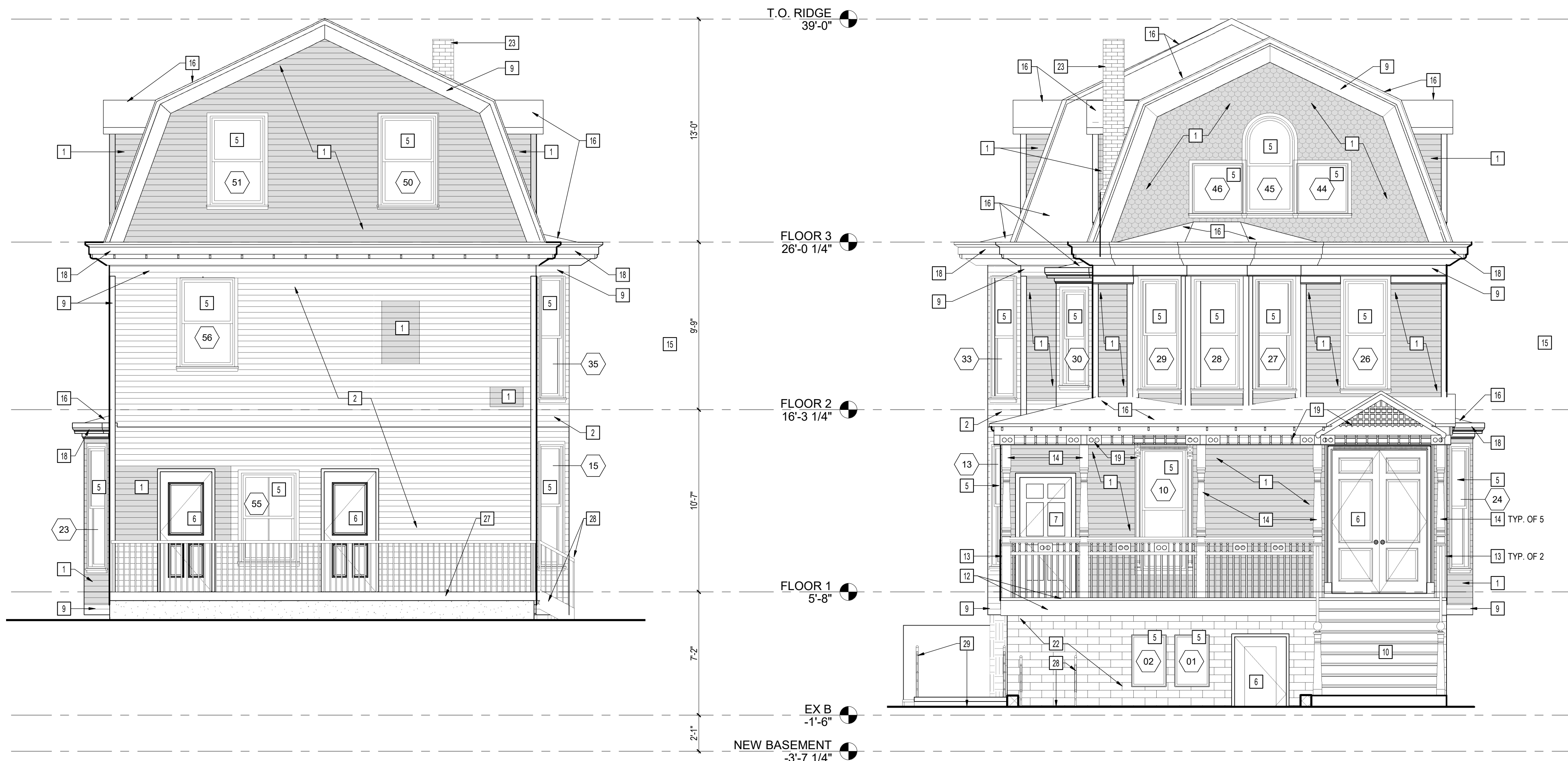
 NEW DOOR AND HARDWARE TO BE INSTALLED

 NEW WOOD WINDOW SASH, STOPS AND STOOL TO BE INSTALLED

NEW ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES**
- 1 REPLACE EXTERIOR SHEATHING. REPLACE DETERIORATED AND MISSING AREAS OF SIDING WITH NEW WOOD SIDING TO MATCH.
 - 2 REPAIR SHEATHING AND SIDING. PREP AND PAINT ALL EXISTING AND NEW WOOD SIDING TO ACHIEVE CONSISTENT FINISH.
 - 3 INFILL WALL OPENING. PROVIDE SHEATHING AND WOOD SIDING, FINISHED TO MATCH.
 - 4 REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. PROVIDE WOOD STUDS, EXTERIOR SHEATHING, CAVITY INSULATION AND WOOD SIDING, FINISHED TO MATCH.
 - 5 PROVIDE WINDOW AND FRAME. REFER TO NEW WINDOW SCHEDULE.
 - 6 PROVIDE DOOR, FRAME AND ASSOCIATED HARDWARE. REFER TO DOOR SCHEDULE.
 - 7 REPAIR SALVAGED WOOD DOOR. FIX IN PLACE AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. PREP AND PAINT DOOR AND FRAME.
 - 8 PROVIDE WOOD STOREFRONT, WINDOWS AND ASSOCIATED TRIM.
 - 9 REPLACE DETERIORATED AND MISSING WOOD TRIM WITH NEW WOOD TRIM TO MATCH. REPAIR REMAINING TRIM. PREP AND PAINT ALL TRIM TO ACHIEVE CONSISTENT FINISH.
 - 10 REBUILD AND PAINT NEW WOOD STAIR TO MATCH HISTORIC ORIGINAL.
 - 11 PROVIDE PAINTED WOOD RAILING, PROFILE TO MATCH HISTORIC ORIGINAL.
 - 12 REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE.
 - 13 REPAIR, REINSTALL, AND PAINT SALVAGED WOOD POSTS.
 - 14 CREATE, INSTALL & PAINT NEW WOOD POSTS, PROFILE TO MATCH SALVAGED POSTS.
 - 15 PROVIDE FACTORY FINISHED METAL GUTTERS AND DOWNSPOUTS.
 - 16 REPLACE ROOF SHEATHING ON EXISTING RAFTERS. PROVIDE R-30 CONTINUOUS RIGID INSULATION OUTBOARD OF SHEATHING. PROVIDE FURRING FOR VENTILATION BETWEEN INSULATION AND ROOF SHINGLES. PROVIDE ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING.
 - 17 REPLACE DETERIORATED AND MISSING PORTIONS OF SOFFIT AND FACIA BOARD. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 18 REPLACE DETERIORATED AND MISSING PORTIONS OF DECORATIVE WOOD CORNICE, PROFILE TO MATCH. REPAIR AND REINSTALL SALVAGED PIECES. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 19 PATCH AND REPAIR SALVAGED WOOD DECORATION. IF DETERIORATED BEYOND REPAIR, RECREATE NEW WOOD ELEMENTS TO MATCH. PREP AND PAINT ALL NEW AND EXISTING ELEMENTS TO ACHIEVE CONSISTENT FINISH.
 - 20 PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH.
 - 21 PROVIDE SLOPED CONCRETE APPROACH (5% MAX, RISE NOT TO EXCEED 3').
 - 22 REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL.
 - 23 EXISTING CHIMNEY TO REMAIN. WASH BRICK AND REPOINT JOINTS.
 - 24 REPAIR AND REPOINT EXISTING STONE FOUNDATION.
 - 25 REPAIR AND REPOINT EXISTING CMU FOUNDATION.
 - 26 BUILD NEW ROOF DORMER. PROVIDE NEW EXTERIOR SHEATHING, R-30 CONTINUOUS RIGID INSULATION, FURRING, ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING, SAME AS THE REST OF THE ROOF. PROVIDE EXTERIOR SHEATHING, WOOD SIDING AND INSULATION AT NEW EXTERIOR WALLS.
 - 27 PROVIDE WOOD PORCH.
 - 28 PROVIDE STAIRS AND RAILINGS.
 - 29 PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS.



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

Consultants:

Signature & Seal:

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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

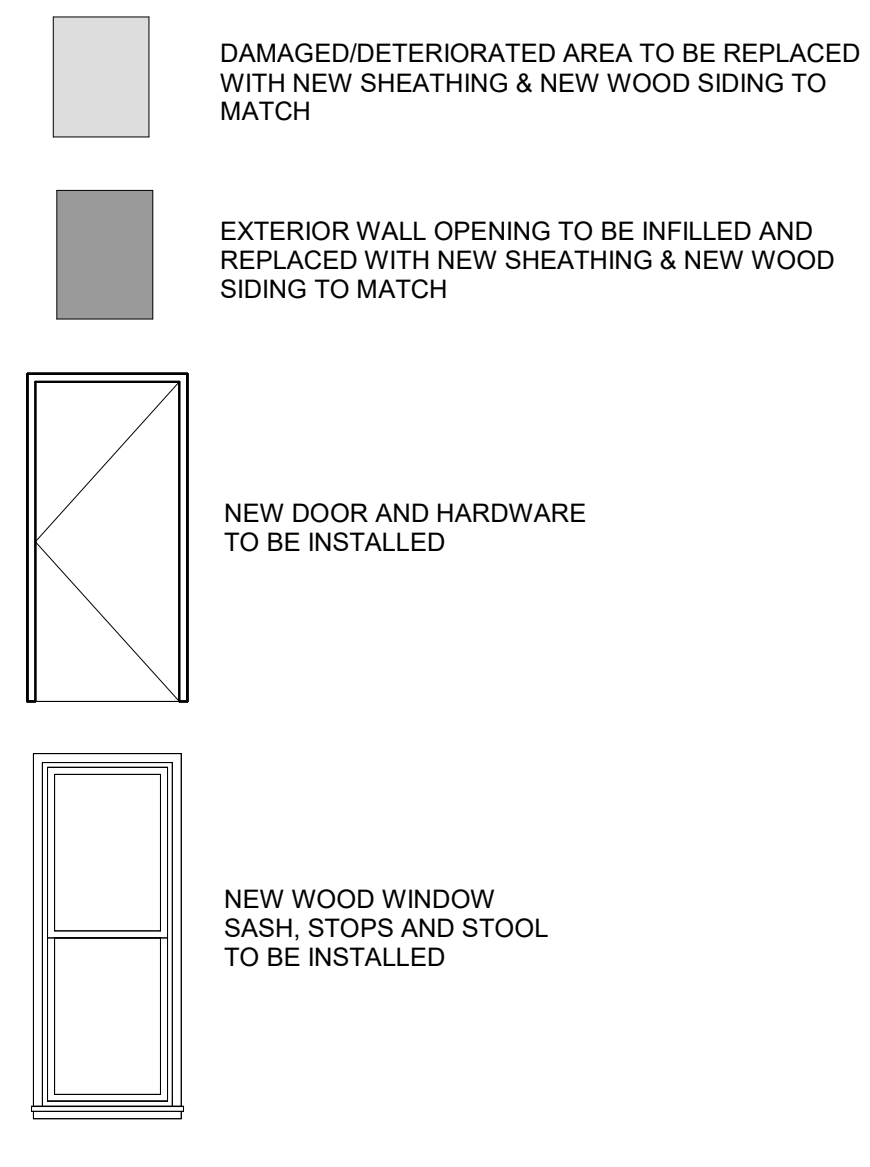
Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25
Project Number: 24032
Sheet Title: **NORTH ELEVATION**

Sheet Number: **A201**

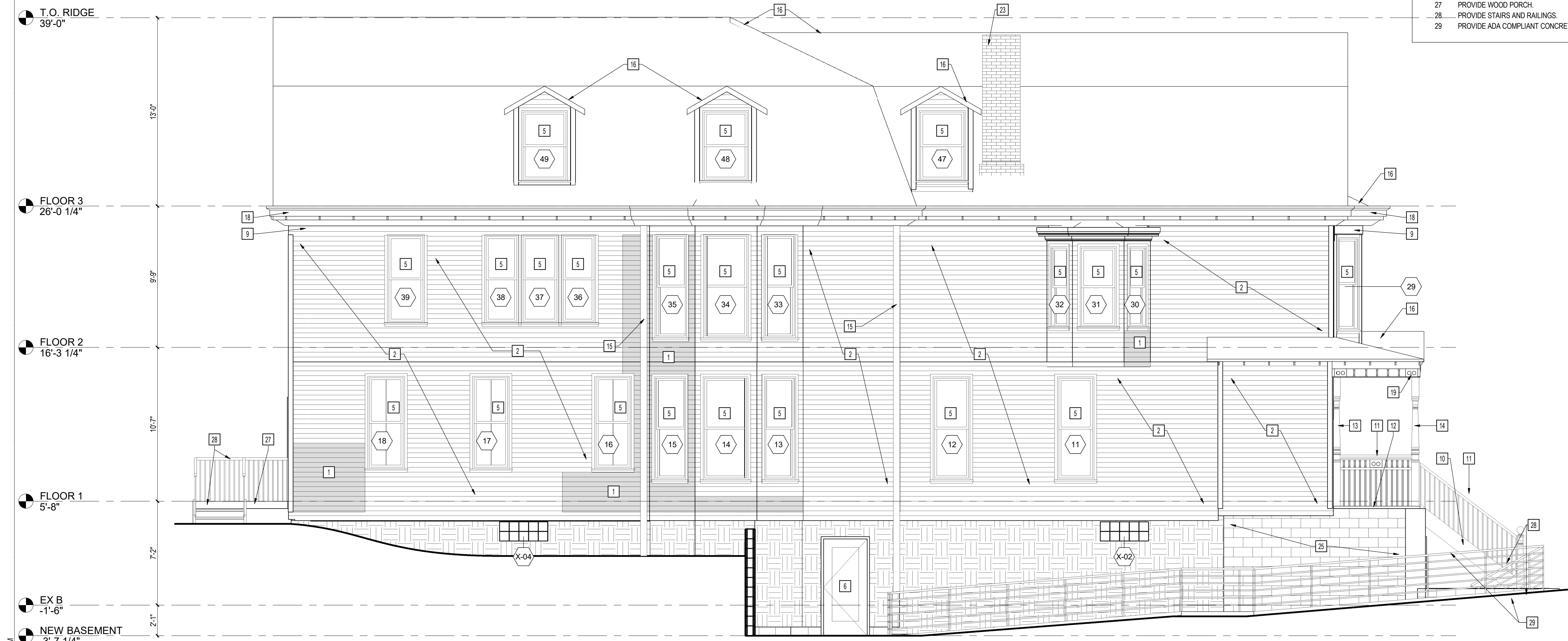
SYMBOL LEGEND



NEW ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES**
- 1 REPLACE EXTERIOR SHEATHING. REPLACE DETERIORATED AND MISSING AREAS OF SIDING WITH NEW WOOD SIDING TO MATCH.
 - 2 REPAIR SHEATHING AND SIDING. PREP AND PAINT ALL EXISTING AND NEW WOOD SIDING TO ACHIEVE CONSISTENT FINISH.
 - 3 INFILL WALL OPENING. PROVIDE SHEATHING AND WOOD SIDING, FINISHED TO MATCH.
 - 4 REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. PROVIDE WOOD STUDS, EXTERIOR SHEATHING, CAVITY INSULATION AND WOOD SIDING, FINISHED TO MATCH.
 - 5 PROVIDE WINDOW AND FRAME. REFER TO NEW WINDOW SCHEDULE.
 - 6 PROVIDE DOOR, FRAME AND ASSOCIATED HARDWARE. REFER TO DOOR SCHEDULE.
 - 7 REPAIR SALVAGED WOOD DOOR. FIX IN PLACE AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. PREP AND PAINT DOOR AND FRAME.
 - 8 PROVIDE WOOD STOREFRONT, WINDOWS AND ASSOCIATED TRIM.
 - 9 REPLACE DETERIORATED AND MISSING WOOD TRIM WITH NEW WOOD TRIM TO MATCH. REPAIR REMAINING TRIM. PREP AND PAINT ALL TRIM TO ACHIEVE CONSISTENT FINISH.
 - 10 REBUILD AND PAINT NEW WOOD STAIR TO MATCH HISTORIC ORIGINAL.
 - 11 PROVIDE PAINTED WOOD RAILING, PROFILE TO MATCH HISTORIC ORIGINAL.
 - 12 REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE.
 - 13 REPAIR, REINSTALL, AND PAINT SALVAGED WOOD POSTS.
 - 14 CREATE, INSTALL & PAINT NEW WOOD POSTS, PROFILE TO MATCH SALVAGED POSTS.
 - 15 PROVIDE FACTORY FINISHED METAL GUTTERS AND DOWNSPOUTS.
 - 16 REPLACE ROOF SHEATHING ON EXISTING RAFTERS. PROVIDE R-30 CONTINUOUS RIGID INSULATION OUTBOARD OF SHEATHING. PROVIDE FURRING FOR VENTILATION BETWEEN INSULATION AND ROOF SHINGLES. PROVIDE ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING.
 - 17 REPLACE DETERIORATED AND MISSING PORTIONS OF SOFFIT AND FACIA BOARD. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 18 REPLACE DETERIORATED AND MISSING PORTIONS OF DECORATIVE WOOD CORNICE. PROFILE TO MATCH. REPAIR AND REINSTALL SALVAGED PIECES. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 19 PATCH AND REPAIR SALVAGED WOOD DECORATION. IF DETERIORATED BEYOND REPAIR, RECREATE NEW WOOD ELEMENTS TO MATCH. PREP AND PAINT ALL NEW AND EXISTING ELEMENTS TO ACHIEVE CONSISTENT FINISH.
 - 20 PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH.
 - 21 PROVIDE SLOPED CONCRETE APPROACH (5% MAX, RISE NOT TO EXCEED 3').
 - 22 REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL.
 - 23 EXISTING CHIMNEY TO REMAIN. WASH BRICK AND REPOINT JOINTS.
 - 24 REPAIR AND REPOINT EXISTING STONE FOUNDATION.
 - 25 REPAIR AND REPOINT EXISTING CMU FOUNDATION.
 - 26 BUILD NEW ROOF DORMER. PROVIDE NEW EXTERIOR SHEATHING, R-30 CONTINUOUS RIGID INSULATION, FURRING, ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING, SAME AS THE REST OF THE ROOF. PROVIDE EXTERIOR SHEATHING, WOOD SIDING AND INSULATION AT NEW EXTERIOR WALLS.
 - 27 PROVIDE WOOD PORCH.
 - 28 PROVIDE STAIRS AND RAILINGS.
 - 29 PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS.



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

4/15/2025 10:35:28 PM

Consultants:

Signature & Seal:

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Client: BRESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

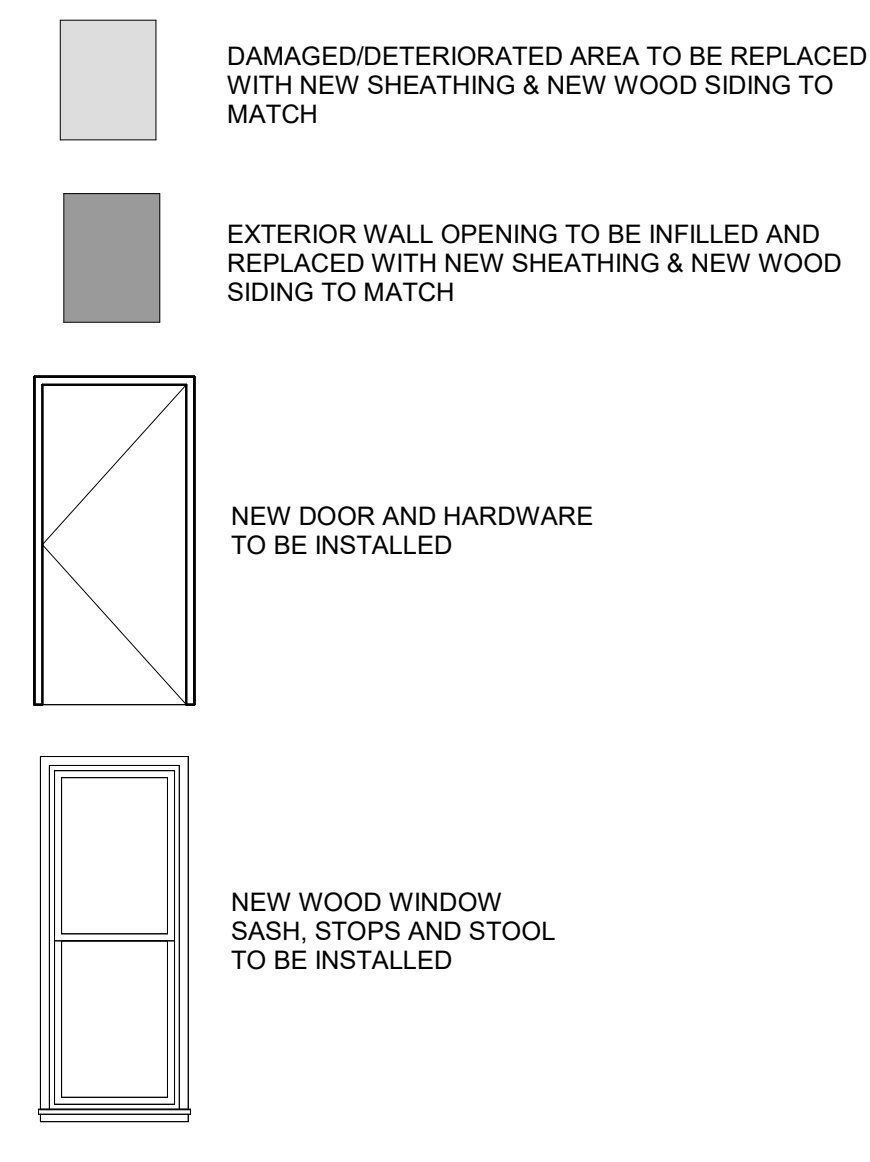
Drawing History: # Date Description

Project Status: DD - NOT FOR CONSTRUCTION

Date: 4/11/25
Project Number: 24032
Sheet Title: SOUTH ELEVATION

Sheet Number: A202

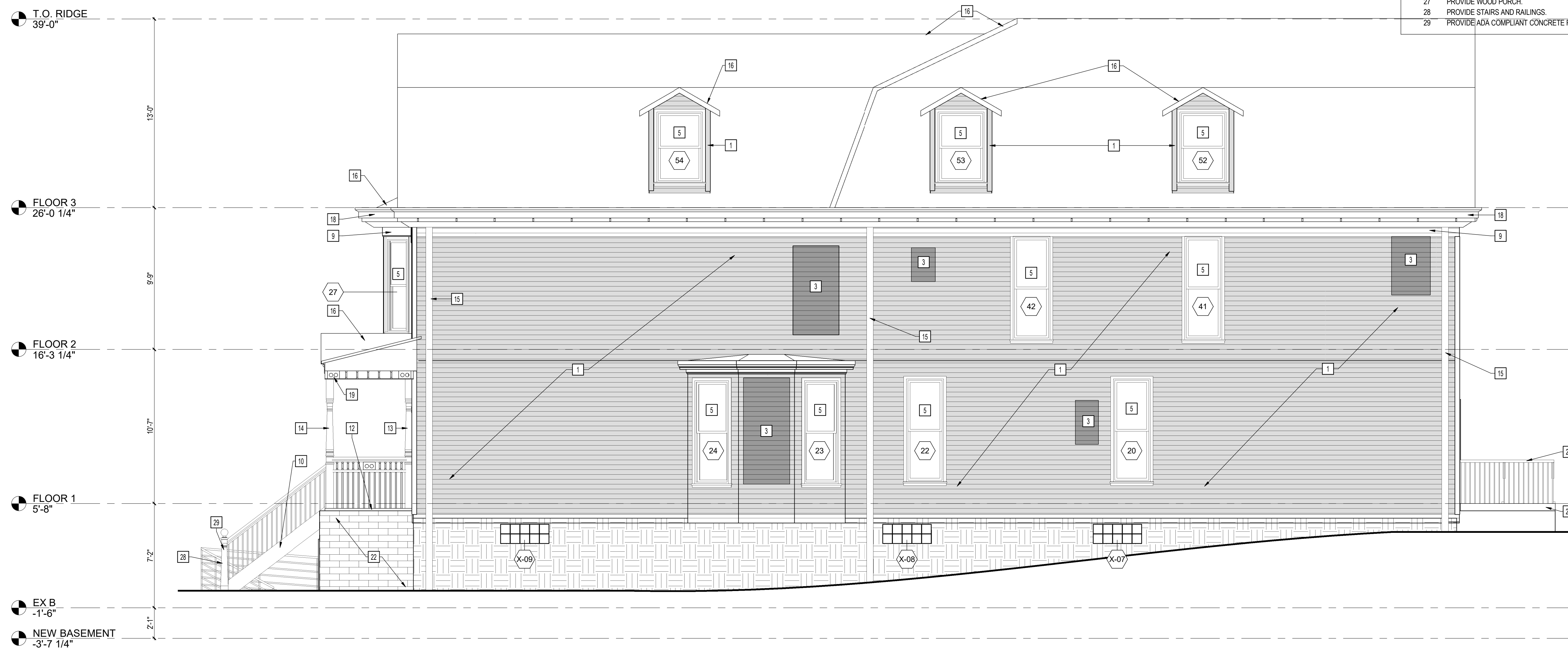
SYMBOL LEGEND



NEW ELEVATION NOTES

NOT ALL NOTES ARE APPLICABLE TO EACH DRAWING.

- # KEYNOTES
- 1 REPLACE EXTERIOR SHEATHING. REPLACE DETERIORATED AND MISSING AREAS OF SIDING WITH NEW WOOD SIDING TO MATCH.
 - 2 REPAIR SHEATHING AND SIDING. PREP AND PAINT ALL EXISTING AND NEW WOOD SIDING TO ACHIEVE CONSISTENT FINISH.
 - 3 INFILL WALL OPENING. PROVIDE SHEATHING AND WOOD SIDING, FINISHED TO MATCH.
 - 4 REBUILD PORTION OF EXTERIOR WALL, ANGLED TO COMPLETE ORIGINAL THREE-PART BAY. PROVIDE WOOD STUDS, EXTERIOR SHEATHING, CAVITY INSULATION AND WOOD SIDING, FINISHED TO MATCH.
 - 5 PROVIDE WINDOW AND FRAME. REFER TO NEW WINDOW SCHEDULE.
 - 6 PROVIDE DOOR, FRAME AND ASSOCIATED HARDWARE. REFER TO DOOR SCHEDULE.
 - 7 REPAIR SALVAGED WOOD DOOR. FIX IN PLACE AND SEAL TO PROVIDE CONTINUOUS AIR BARRIER. PREP AND PAINT DOOR AND FRAME.
 - 8 PROVIDE WOOD STOREFRONT, WINDOWS AND ASSOCIATED TRIM.
 - 9 REPLACE DETERIORATED AND MISSING WOOD TRIM WITH NEW WOOD TRIM TO MATCH. REPAIR REMAINING TRIM. PREP AND PAINT ALL TRIM TO ACHIEVE CONSISTENT FINISH.
 - 10 REBUILD AND PAINT NEW WOOD STAIR TO MATCH HISTORIC ORIGINAL.
 - 11 PROVIDE PAINTED WOOD RAILING, PROFILE TO MATCH HISTORIC ORIGINAL.
 - 12 REBUILD WOOD PORCH AND ASSOCIATED STRUCTURE.
 - 13 REPAIR, REINSTALL, AND PAINT SALVAGED WOOD POSTS.
 - 14 CREATE, INSTALL & PAINT NEW WOOD POSTS, PROFILE TO MATCH SALVAGED POSTS.
 - 15 PROVIDE FACTORY FINISHED METAL GUTTERS AND DOWNSPOUTS.
 - 16 REPLACE ROOF SHEATHING ON EXISTING RAFTERS. PROVIDE R-30 CONTINUOUS RIGID INSULATION OUTBOARD OF SHEATHING. PROVIDE FURRING FOR VENTILATION BETWEEN INSULATION AND ROOF SHINGLES. PROVIDE ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING.
 - 17 REPLACE DETERIORATED AND MISSING PORTIONS OF SOFFIT AND FACIA BOARD. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 18 REPLACE DETERIORATED AND MISSING PORTIONS OF DECORATIVE WOOD CORNICE, PROFILE TO MATCH. REPAIR AND REINSTALL SALVAGED PIECES. PREP AND PAINT ALL TO ACHIEVE CONSISTENT FINISH.
 - 19 PATCH AND REPAIR SALVAGED WOOD DECORATION. IF DETERIORATED BEYOND REPAIR, RECREATE NEW WOOD ELEMENTS TO MATCH. PREP AND PAINT ALL NEW AND EXISTING ELEMENTS TO ACHIEVE CONSISTENT FINISH.
 - 20 PROVIDE WOOD LATTICE SCREEN, FINISHED TO MATCH.
 - 21 PROVIDE SLOPED CONCRETE APPROACH (5% MAX. RISE NOT TO EXCEED 3').
 - 22 REBUILD CMU WALL AS STRUCTURAL LAYER OF NEW, INSULATED CAVITY WALL WITH MODULAR CAST STONE, JUMBO BRICK OR SIMILAR MASONRY FACADE MATERIAL.
 - 23 EXISTING CHIMNEY TO REMAIN. WASH BRICK AND REPOINT JOINTS.
 - 24 REPAIR AND REPOINT EXISTING STONE FOUNDATION.
 - 25 REPAIR AND REPOINT EXISTING CMU FOUNDATION.
 - 26 BUILD NEW ROOF DORMER. PROVIDE NEW EXTERIOR SHEATHING, R-30 CONTINUOUS RIGID INSULATION, FURRING, ADDITIONAL SHEATHING, WEATHER RESISTANT BARRIER AND NEW ASPHALT SHINGLE ROOFING, SAME AS THE REST OF THE ROOF. PROVIDE EXTERIOR SHEATHING, WOOD SIDING AND INSULATION AT NEW EXTERIOR WALLS.
 - 27 PROVIDE WOOD PORCH.
 - 28 PROVIDE STAIRS AND RAILINGS.
 - 29 PROVIDE ADA COMPLIANT CONCRETE RAMP WITH METAL RAILINGS.



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

4/11/2025 12:35:31 PM

Consultants:

Signature & Seal:

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Client: BREESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

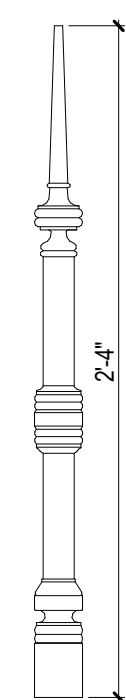
Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25

Project Number: 24032

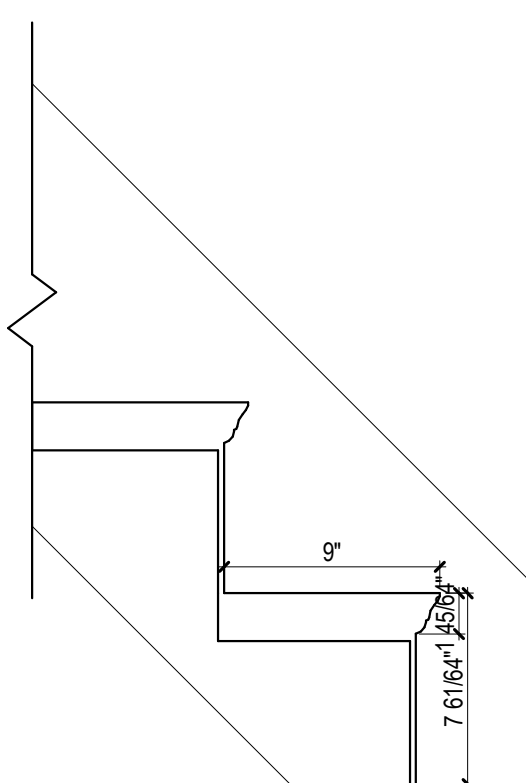
Sheet Title: **INTERIOR (HISTORIC) STAIR INFORMATION**

Sheet Number: **A350**

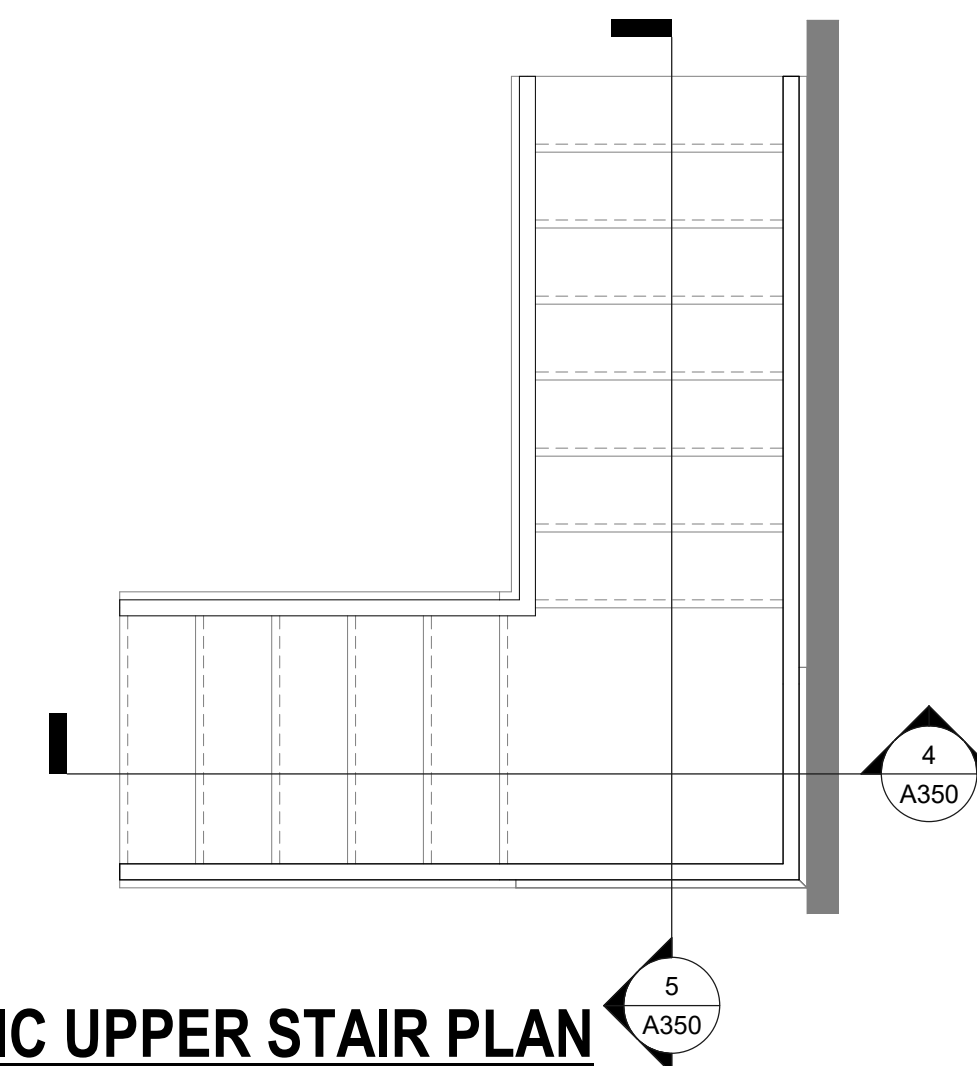


*THIS PROFILE IS ONLY FOR THE EXISTING STAIRCASE THAT WILL REMIAN

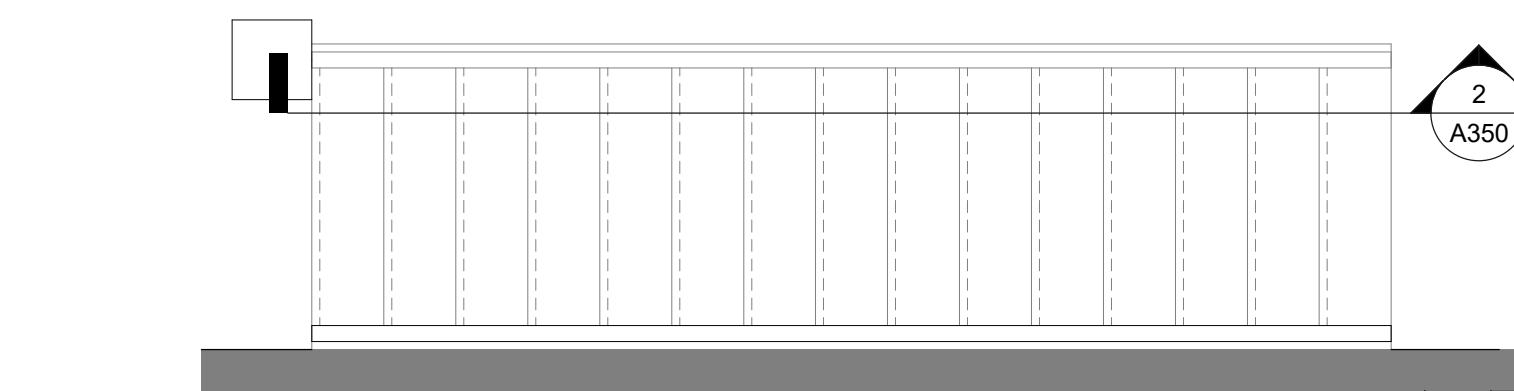
7 STAIR SPINDLE PROFILE
1/12" = 1'-0"



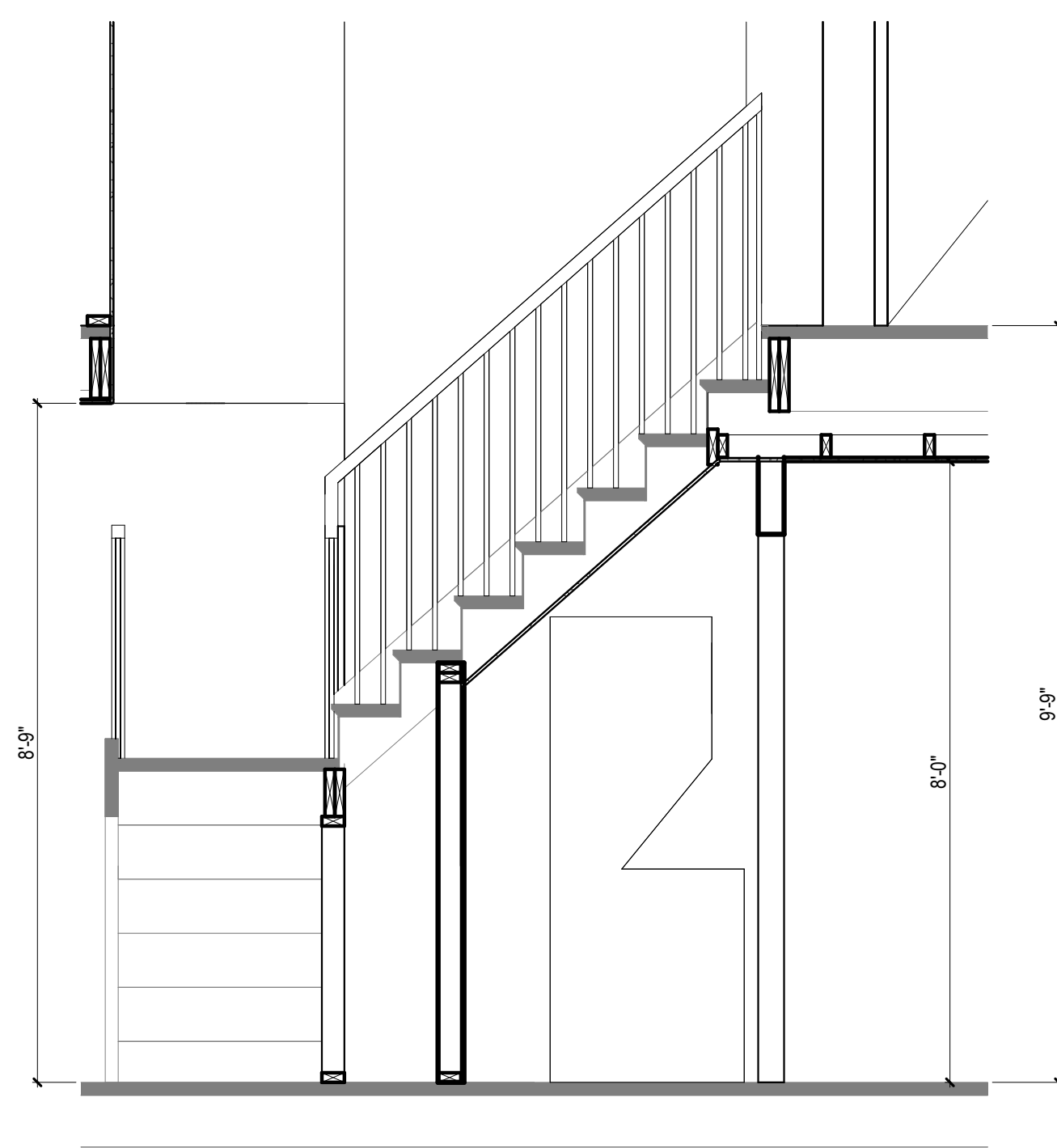
6 STAIR NOSING PROFILE
1/12" = 1'-0"



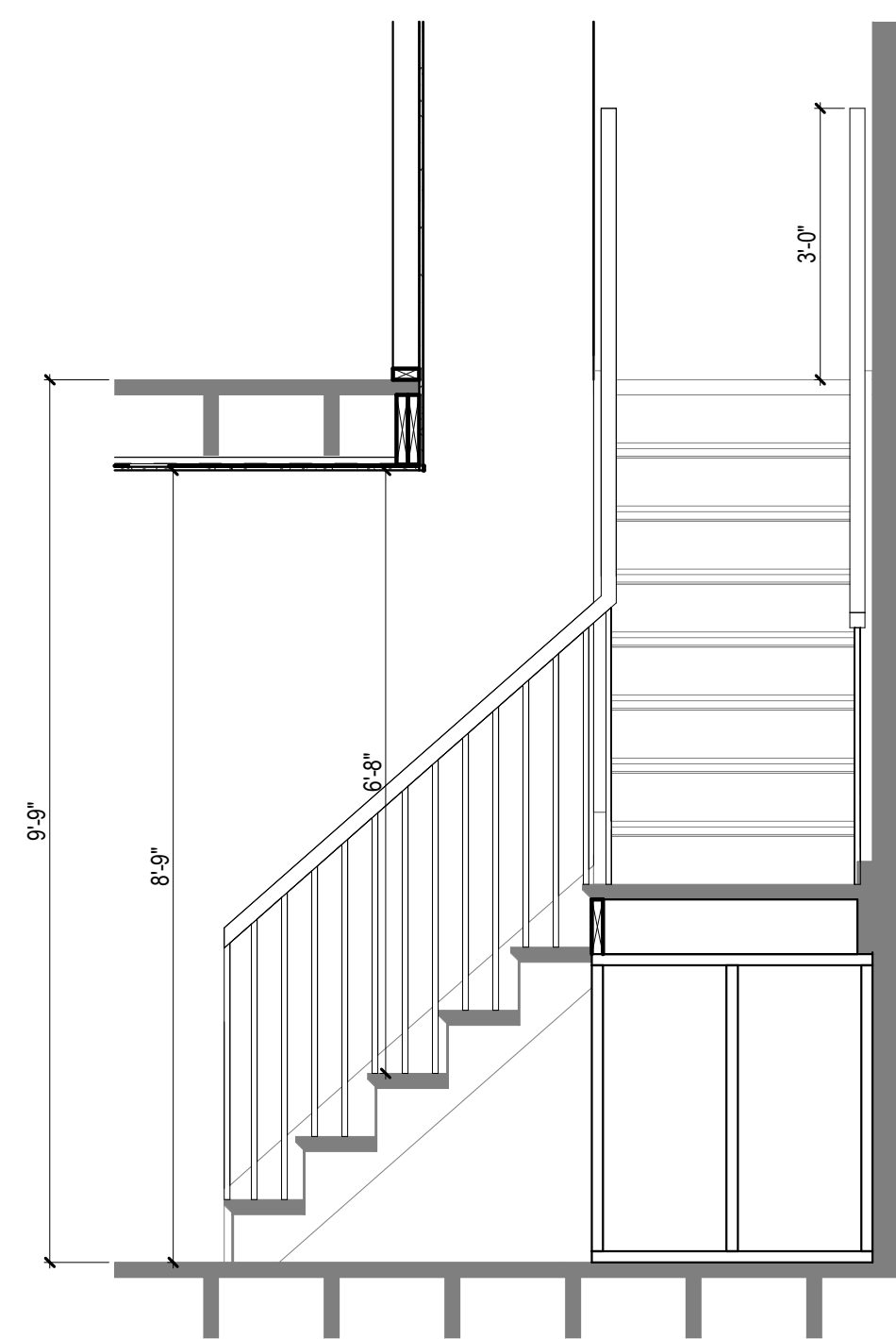
3 HISTORIC UPPER STAIR PLAN
1/2" = 1'-0"



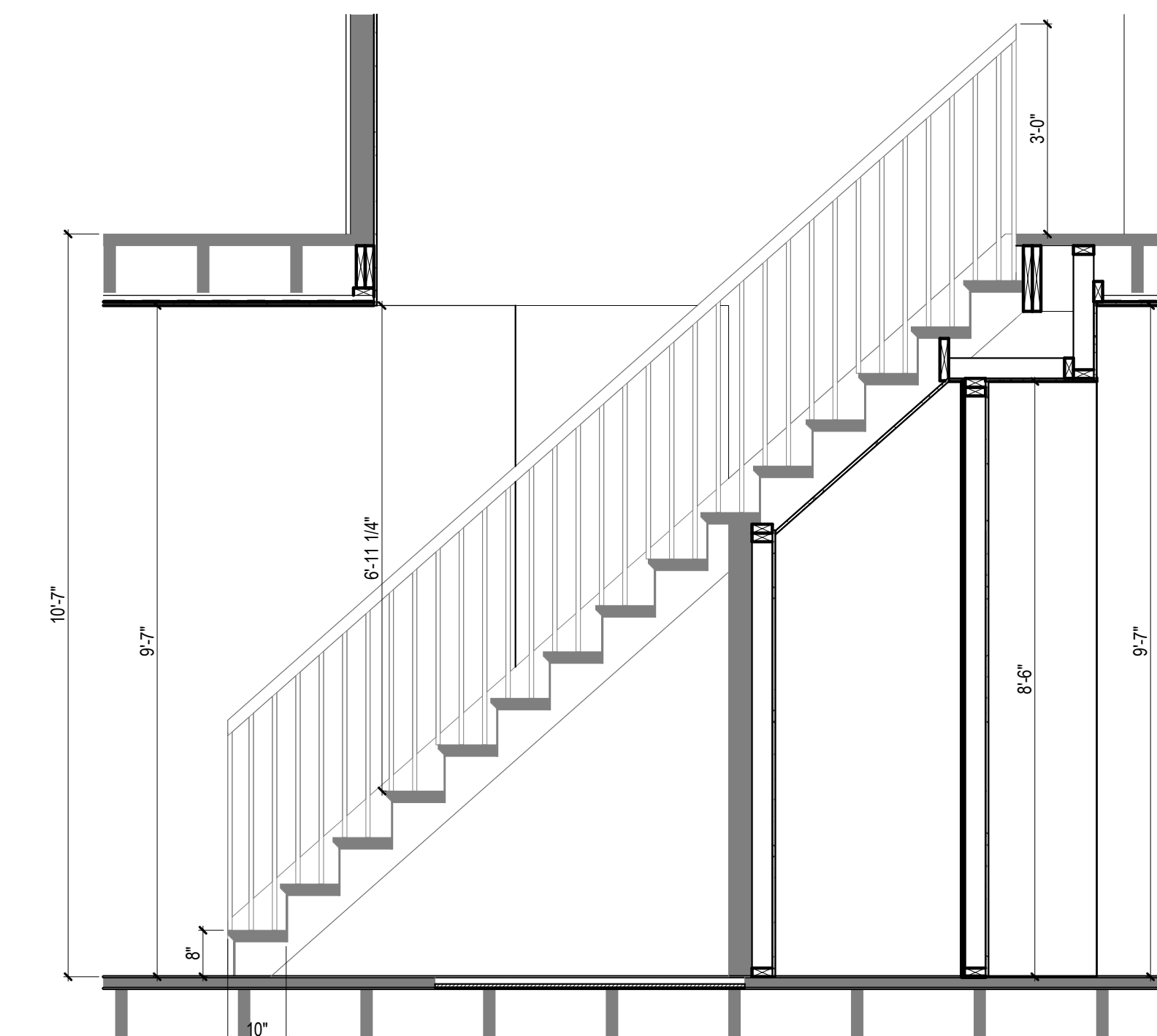
1 GRAND STAIR PLAN
1/2" = 1'-0"



5 SECOND FLOOR STAIR SECTION WEST
1/2" = 1'-0"



4 SECOND FLOOR STAIR SECTION NORTH
1/2" = 1'-0"



2 HISTORIC GRAND STAIR SECTION
1/2" = 1'-0"

Consultants:

Signature & Seal:

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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

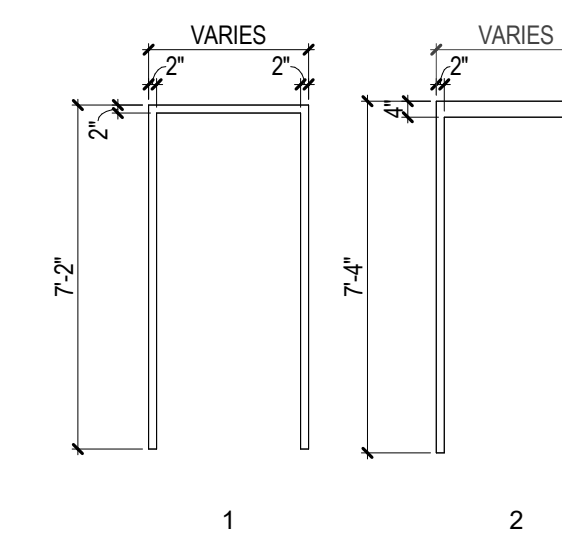
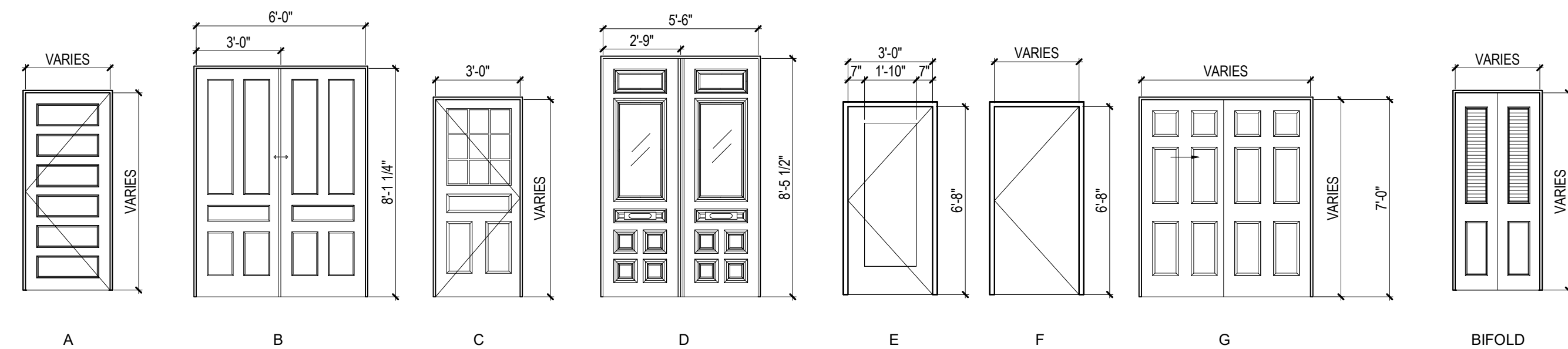
Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25

Project Number: 24032

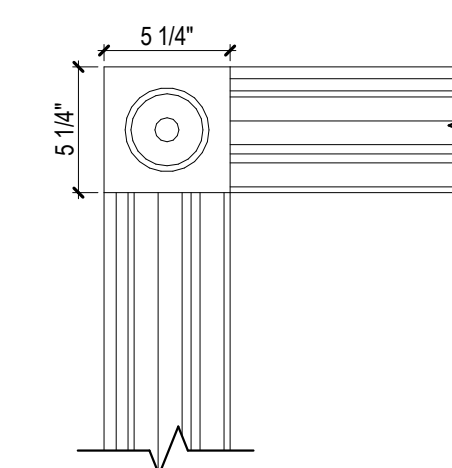
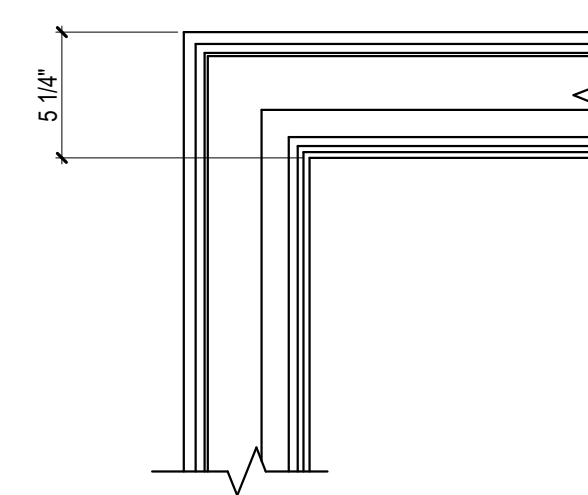
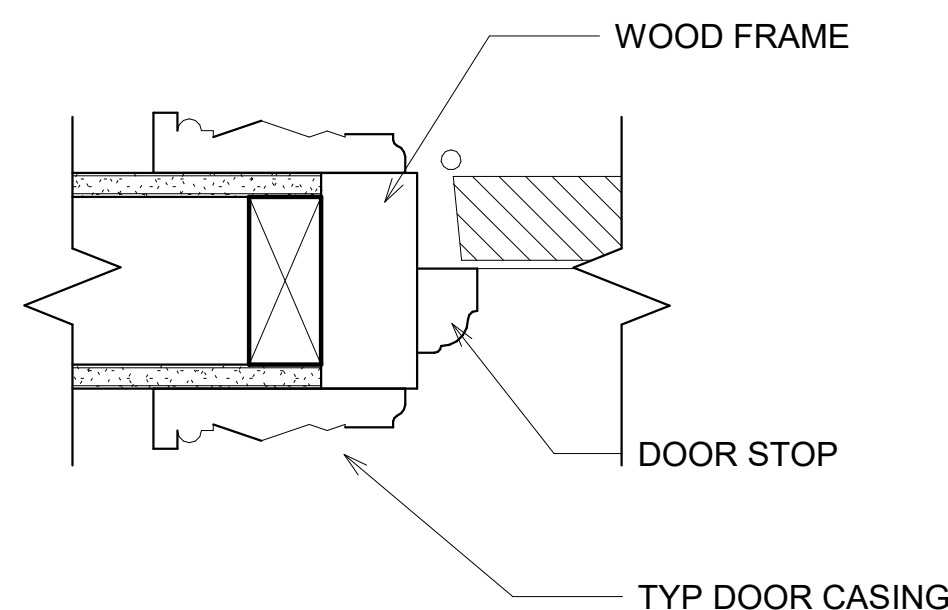
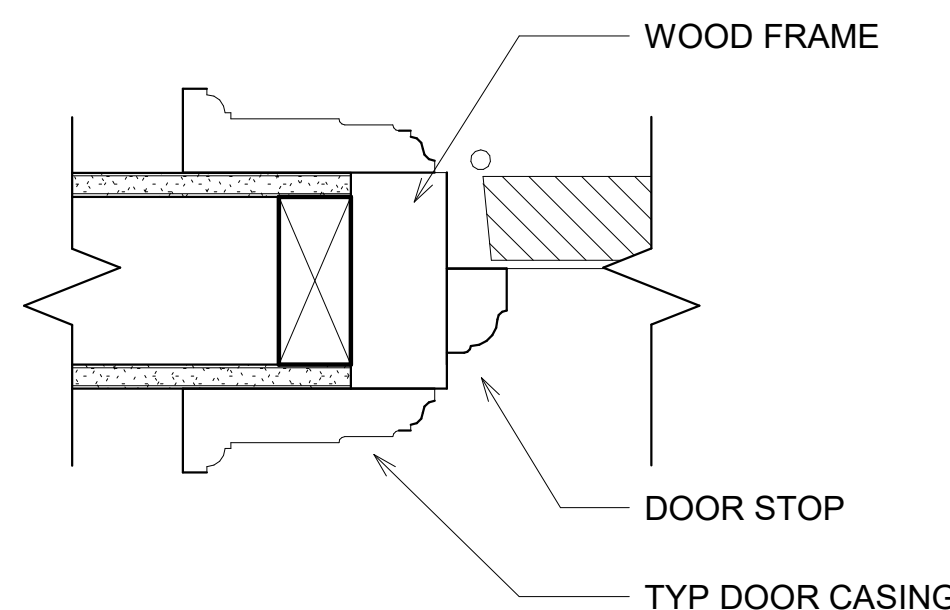
Sheet Title: **DOOR INFORMATION**

Sheet Number: **A500**



DOOR TYPES
1/4" = 1'-0"

FRAME TYPES
1/4" = 1'-0"



1 TYP JAMB DETAIL A
3/8" = 1'-0"

2 TYP JAMB DETAIL B
3/8" = 1'-0"

3 TYP ENLARGED CASING ELEVATION A
1 1/2" = 1'-0"

4 TYP ENLARGED CASING ELEVATION B
1 1/2" = 1'-0"

DOOR SCHEDULE

DOOR NO.	WIDTH	HEIGHT	DOOR		FRAME		CASING PROFILE	DETAILS			HARDWARE GROUP	FIRE RATING	REMARKS	DOOR NO.
			TYPE	MATERIAL	TYPE	MATERIAL		HEAD	JAMB	THRESHOLD				
001	3'-0"	6'-8"	E	ALUM	2	HM								001
002	3'-0"	6'-8"	E	ALUM	1	HM								002
003	3'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							003
004	3'-0"	6'-8"	F	HM	1	HM								004
100	5'-6"	8'-4"	D	WD	1	WD	EXISTING							100
101	2'-8"	7'-0"	A	WD	1	WD	B					20 MIN		101
101A	2'-8"	7'-0"	A	WD	1	WD	B							101A
101B	2'-6"	7'-0"	A	WD	1	WD	B							101B
101C	2'-8"	6'-8"	G	WD	1	WD	B							101C
101F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							101F
102	3'-0"	7'-0"	C	WD	1	WD	B							102
102A	2'-8"	7'-0"	A	WD	1	WD	B							102A
102B	2'-6"	7'-0"	A	WD	1	WD	B							102B
102C	2'-6"	6'-8"	G	WD	1	WD	B							102C
102F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							102F
103	3'-0"	7'-0"	C	WD	1	WD	B							103
103A	2'-8"	7'-0"	A	WD	1	WD	B							103A
103B	2'-6"	7'-0"	A	WD	1	WD	B							103B
103C	2'-6"	6'-8"	G	WD	1	WD	B							103C
103F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							103F
201	2'-8"	7'-0"	A	WD	1	HM	A					20 MIN		201
201A	2'-8"	7'-0"	A	WD	1	WD	A							201A
201B	2'-6"	6'-8"	G	WD	1	WD	A							201B
201C	5'-0"	7'-0"	G	WD	1	WD	A							201C
201F	5'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							201F
201L	2'-6"	7'-0"	BIFOLD	WD	1	WD	A							201L
202	2'-8"	7'-0"	A	WD	1	HM	A					20 MIN		202
202A	2'-8"	7'-0"	A	WD	1	WD	A							202A
202B	2'-6"	6'-8"	G	WD	1	WD	A							202B
202C	5'-0"	7'-0"	G	WD	1	WD	A							202C
202D	2'-6"	7'-0"	A	WD	1	WD	A							202D
202F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							202F
203	2'-8"	7'-0"	A	WD	1	HM	A					20 MIN		203
203A	2'-8"	7'-0"	A	WD	1	WD	A							203A
203B	2'-6"	6'-8"	G	WD	1	WD	A							203B
203C	5'-0"	7'-0"	G	WD	1	WD	A							203C
203D	2'-6"	7'-0"	A	WD	1	WD	A							203D
203F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							203F
301	2'-8"	6'-8"	A	WD	1	HM	A					20 MIN		301
301A	2'-8"	7'-0"	A	WD	1	WD	A							301A
301B	2'-6"	7'-0"	A	WD	1	WD	A							301B
301C	5'-0"	6'-8"	G	WD	1	WD	A							301C
301F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	WD	---							301F
302	2'-8"	6'-8"	A	WD	1	HM	A					20 MIN		302
302A	2'-8"	7'-0"	A	WD	1	WD	A							302A
302B	2'-6"	6'-8"	G	WD	1	WD	A							302B
302C	5'-0"	7'-0"	G	WD	1	WD	A							302C
302F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							302F
302L	2'-0"	7'-0"	BIFOLD	WD	1	WD	A							302L
303	2'-8"	6'-8"	A	WD	1	HM	A					20 MIN		303
303A	2'-8"	7'-0"	A	WD	1	WD	A							303A
303B	2'-6"	6'-8"	G	WD	1	WD	A							303B
303C	5'-0"	7'-0"	G	WD	1	WD	A							303C
303F	2'-0"	6'-0"	ACCESS PANEL	MTL	---	MTL	---							303F
X100	3'-0"	6'-8"	C	WD	EXISTING	WD	EXISTING							SALVAGED
X101	0"	0"	FRAMED OPENING	---	---	---	---							EXISTING FRAMED OPENING TO REMAIN. REFINISH TO MATCH.
X101B	0"	0"	FRAMED OPENING	---	---	---	---							EXISTING
X201	6'-0"	8'-1 1/4"	B	WD	EXISTING	WD	EXISTING							SALVAGED

GENERAL NOTES

- DOOR TYPES REPRESENT
 - A. TYPE A: ALL INTERIOR DOORS
 - B. TYPE B: POCKET DOOR PROFILE
 - C. TYPE C: EXTERIOR APARTMENT ENTRANCES
 - D. TYPE D: FRONT DOOR REPLICA PROFILE
 - E. TYPE E: EXTERIOR COMMERCIAL ENTRANCES
 - F. TYPE F: INTERIOR COMMERCIAL DOORS
 - G. TYPE G: SLIDING CLOSET DOORS
- DOOR TYPES A, B, AND D REPRESENT PROFILES BASED ON EXISTING CONDITIONS OR ATTACHED INSTANCES
- TYPE B DOORS WILL BE REFERBISHED AND MADE USEABLE OR FIXED CLOSED (REFER TO FLOOR PLANS)
- CASING AND JAMB PROFILES REPRESENT A BASIS OF DESIGN INTENT FOR THE DOORS THROUGHOUT THE SPACE
- PROFILES OF DOOR DETAILS WILL BE RE-EVALUATED



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Client: BRESER
DEVELOPMENT

Project: 1273 NIAGARA ST.
RENOVATION

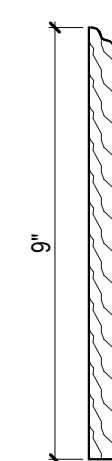
Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

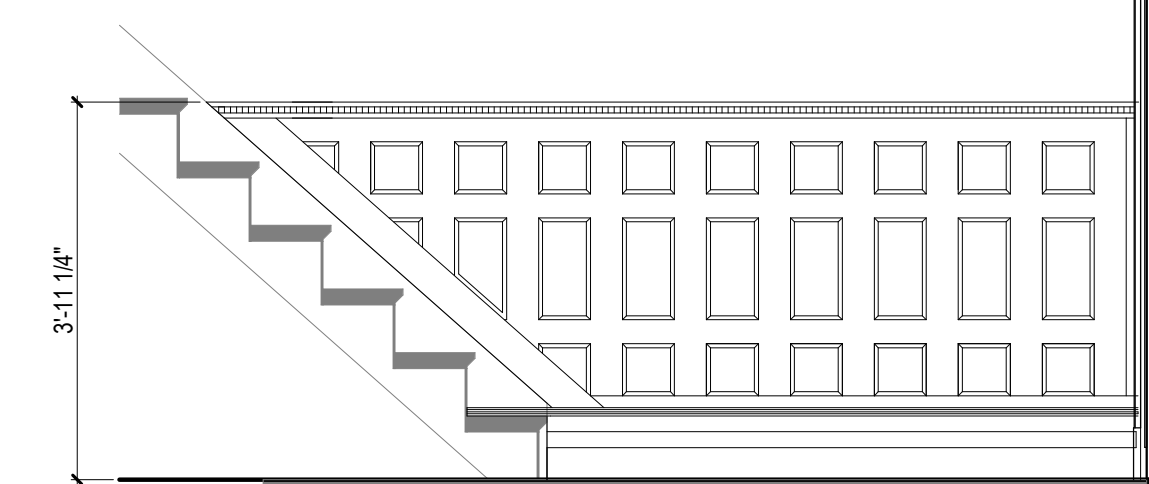
Project Status: DD - NOT FOR
CONSTRUCTION

Date: 4/11/25
Project Number: 24032
Sheet Title: MISCELLANEOUS
HISTORIC DETAILS

Sheet Number: **A560**



1 TYP BASE BOARD PROFILE
3" = 1'-0"



2 FIRST FLOOR STAIR TYP WAINSCOTING
1/2" = 1'-0"
REFERENCED FROM SHEET: AD121

ROOM FINISH SCHEDULE						
Level	ROOM #	ROOM NAME	CEILING FINISH	BASE FINISH	FLOOR FINISH	WALL FINISH
NEW BASEMENT	001	COMMERCIAL	GWB-1		CONC-1	
NEW BASEMENT	002	MECHANICAL	GWB-1		CONC-1	
NEW BASEMENT	003	MECHANICAL	GWB-1		CONC-1	
FLOOR 1	100	STAIR HALL	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	101	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	101A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	101B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 1	101C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	101D	OFFICE	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	101F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 1	102	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	102A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	102B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 1	102C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	102F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 1	103	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	103A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	103B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 1	103C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 1	103F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 2	200	STAIR HALL	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	201	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	201A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	201B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 2	201C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	201F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 2	201K	KITCHEN	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	202	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	202A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	202B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 2	202C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	202D	COAT CL	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	202F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 2	203	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	203A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	203B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 2	203C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	203D	COAT CL	GWB-1	WB-1	WD-1	PNT-1
FLOOR 2	203F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 3	300	STAIR HALL	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	300S	STAIR	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	301	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	301A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	301B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 3	301C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	301F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 3	301L	LAUNDRY	GWB-1	WB-1	PT-1	PNT-1
FLOOR 3	302	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	302A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	302B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 3	302C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	302F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 3	302L	LAUNDRY	GWB-1	WB-1	PT-1	PNT-1
FLOOR 3	303	1 BDRM UNIT	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	303A	BEDROOM	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	303B	BATHROOM	GWB-1	WB-1	PT-1	PNT-1
FLOOR 3	303C	CLOSET	GWB-1	WB-1	WD-1	PNT-1
FLOOR 3	303F	UTILITY	GWB-1	WB-1	PT-2	PNT-1
FLOOR 3	303L	LAUNDRY	GWB-1	WB-1	PT-1	PNT-1

ROOM FINISH MATERIALS:

NOTE: ALL PRODUCTS NOTED ARE BASIS OF DESIGN - SUBJECT TO CHANGE

WALLS

PNT-1 MATERIAL: PAINT 1
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW 9542 NATURAL WHITE

FLOORS

WD-1 MATERIAL: ENGINEERED HARDWOOD
MANUFACTURER: BJELIN
COLLECTION: WOODURA PLANKS
STYLE: BOHULT 3.0 S
COLOR: EARTH GREY
SIZE: 5.94" X 46.06"
PATTERN: PLANK

CONC-1 MATERIAL: CONCRETE

PT-1 MATERIAL: PORCELAIN TILE FLOOR
MANUFACTURER: DAL TILE
COLLECTION: PERPETUO
COLOR: BRILLIANT WHITE
SIZE: 12"X24"
PATTERN: HERRINGBONE

PT-2 MATERIAL: PORCELAIN TILE FLOOR
MANUFACTURER: DAL TILE
COLLECTION: MODERN HEARTH
COLOR: CHIMNEY CORNER
SIZE: 12"X12"
PATTERN: OFFSET

BASE

WB-1 WOOD BASE TO MATCH EXISTING
HISTORIC CONDITIONS IN SIZE,
PROFILE AND FINISH - VIF

CEILING

GWB-1 MATERIAL: GYPSUM WALL BOARD
PAINT: SW 9542 NATURAL WHITE



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Client: **BREESER DEVELOPMENT**

Project: **1273 NIAGARA ST. RENOVATION**

Project Address: 1273 NIAGARA ST.
BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: **DD - NOT FOR CONSTRUCTION**

Date: 4/11/25

Project Number: 24032

Sheet Title: **FINISH INFORMATION**

Sheet Number: **A800**

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Client: BREESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

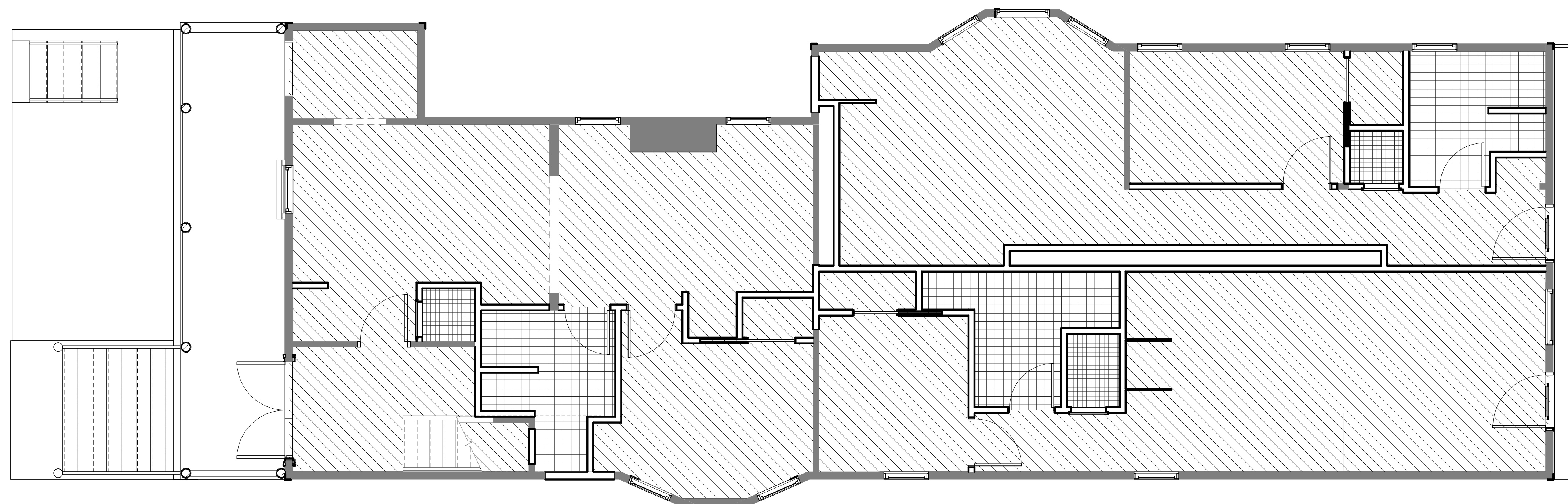
Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

Drawing History: # Date Description

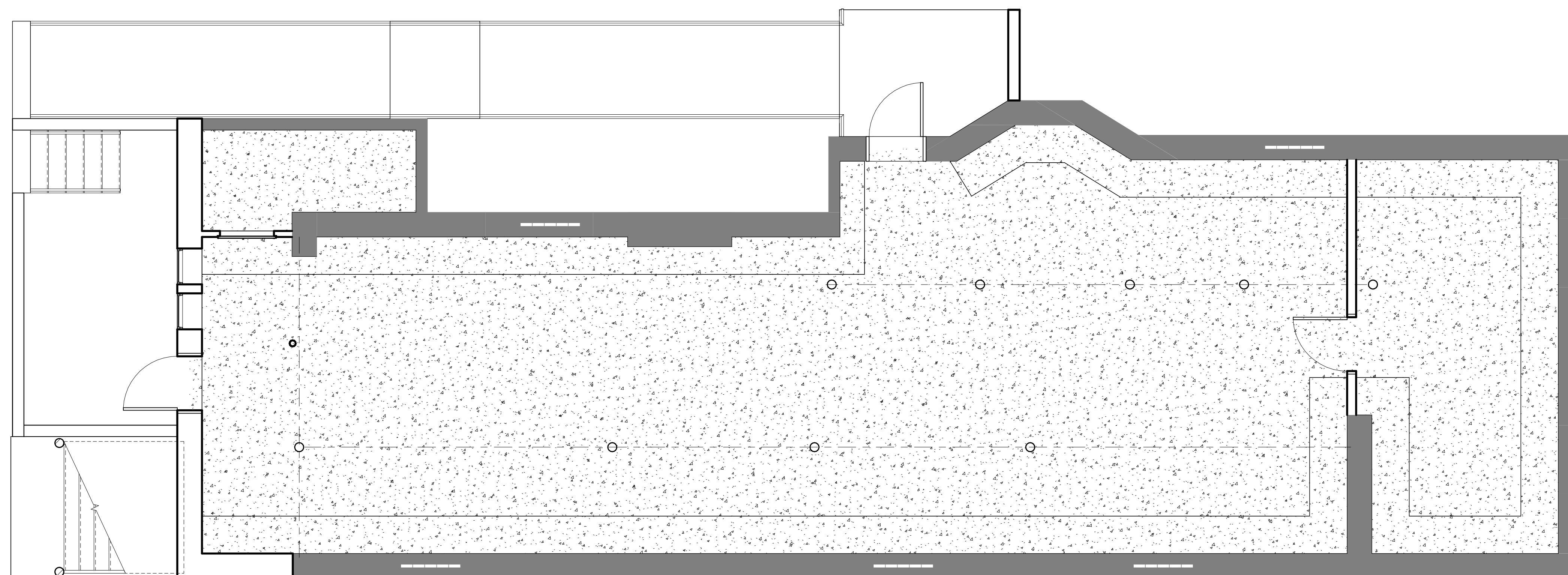
Project Status: DD - NOT FOR CONSTRUCTION

Date: 4/11/25
Project Number: 24032
Sheet Title: BASEMENT & FIRST FLOOR FINISH PLANS

Sheet Number: **A802**



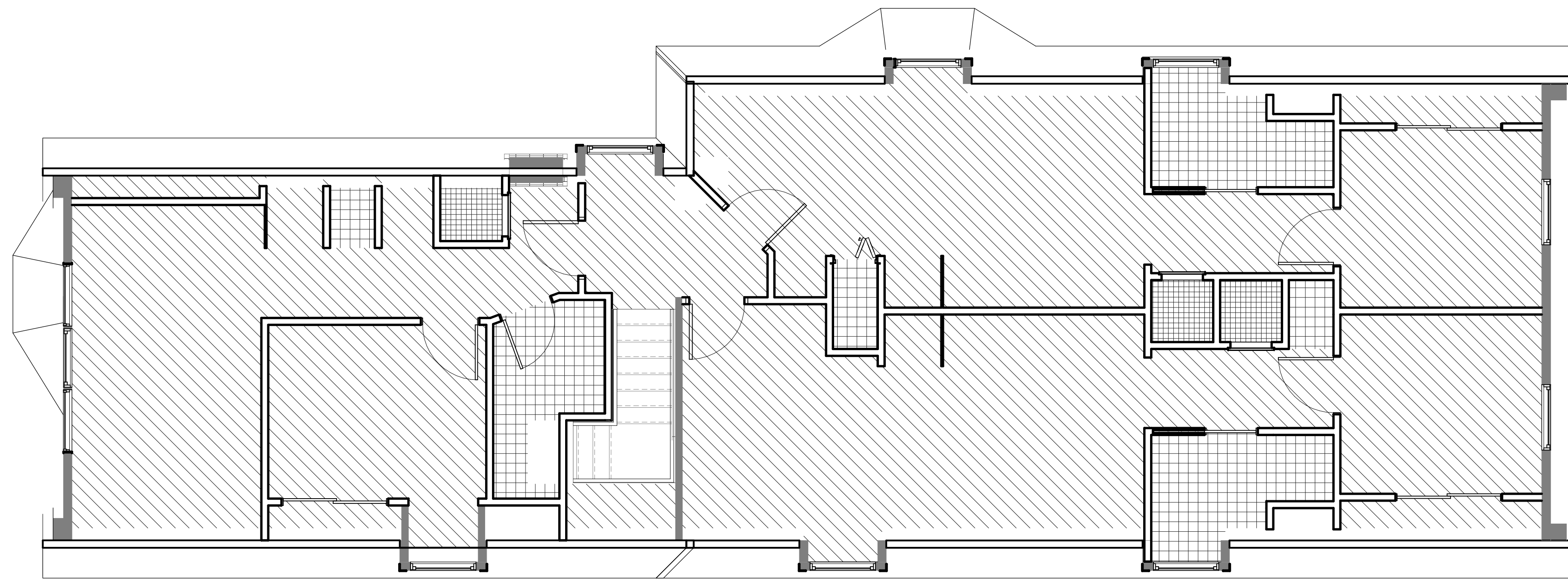
2 FIRST FLOOR PLAN FINISH PLAN
1/4" = 1'-0"



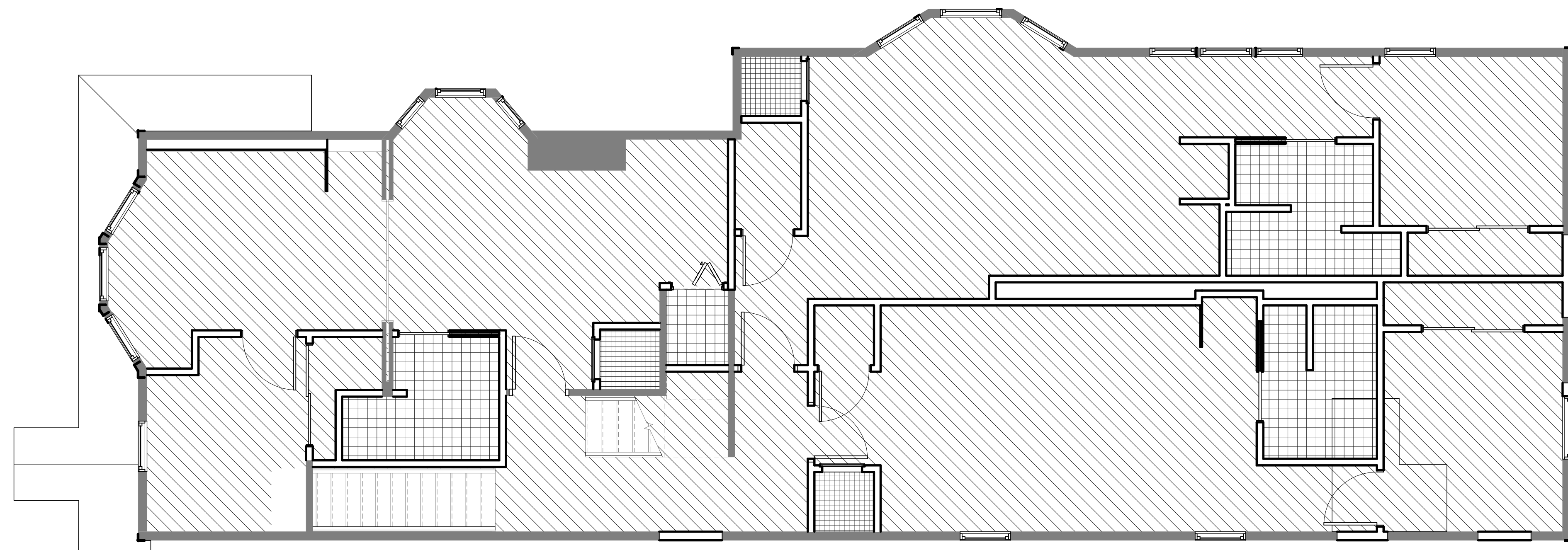
1 BASEMENT FLOOR PLAN FINISH PLAN
1/4" = 1'-0"

ROOM FLOOR FINISH LEGEND:

- | | |
|--------|------|
| CONC-1 | PT-2 |
| PT-1 | WD-1 |



2 THIRD FLOOR PLAN FINISH PLAN
1/4" = 1'-0"



1 SECOND FLOOR PLAN FINISH PLAN
1/4" = 1'-0"

ROOM FLOOR FINISH LEGEND:

- | | |
|--------|------|
| CONC-1 | PT-2 |
| PT-1 | WD-1 |



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Client: BRESER DEVELOPMENT

Project: 1273 NIAGARA ST. RENOVATION

Project Address: 1273 NIAGARA ST. BUFFALO, NY 14213

Drawing History: # Date Description

Project Status: DD - NOT FOR CONSTRUCTION

Date: 4/11/25
Project Number: 24032
Sheet Title: SECOND & THIRD FLOOR FINISH PLANS

Sheet Number: **A803**