



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: TBD

ISSUED FOR: BID

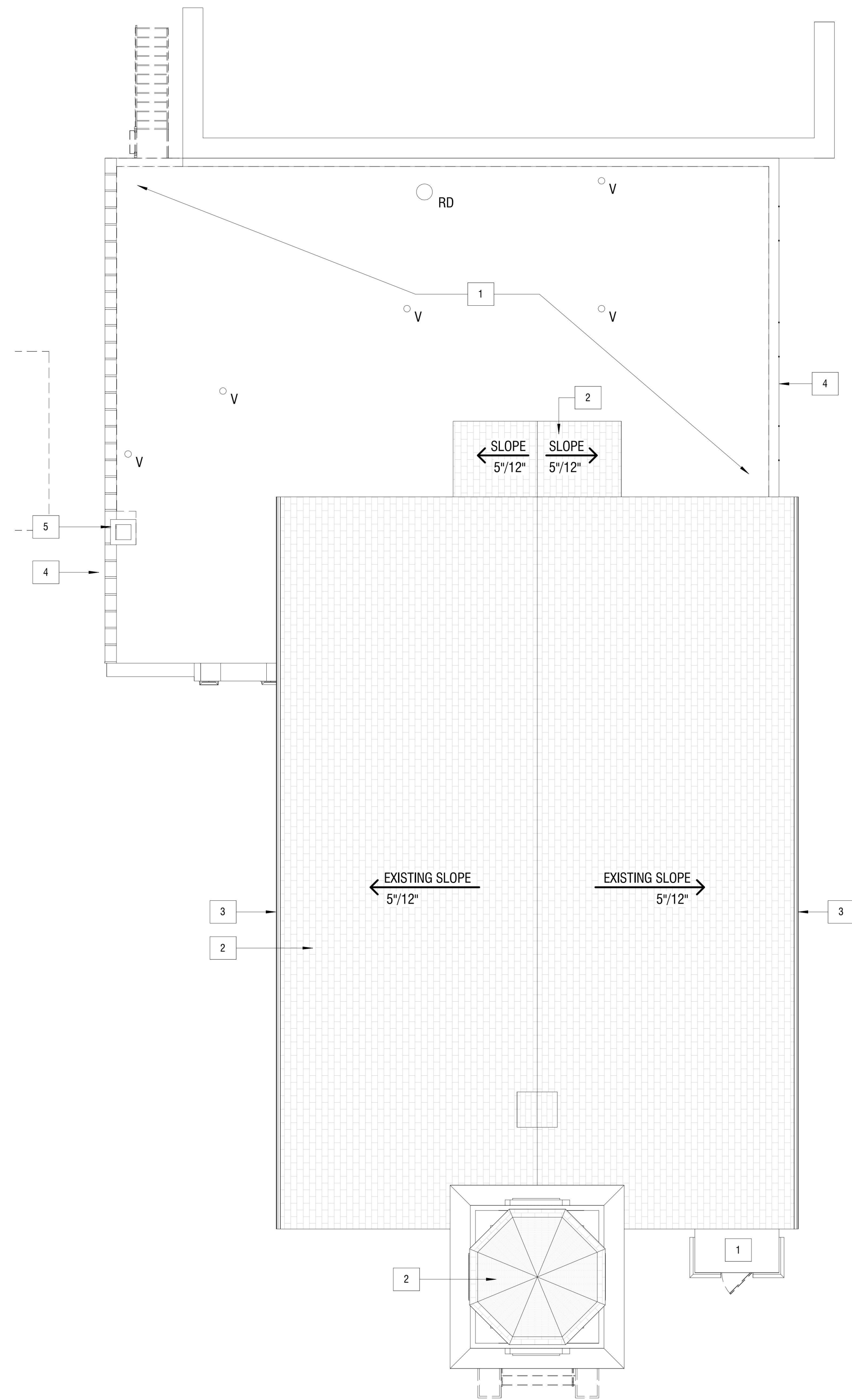
DATE: APRIL 11, 2024

DRAWING NAME:

**ROOF DEMOLITION PLAN**

DRAWING NUMBER:

**AD103**



**# DEMOLITION KEYNOTES:**

1. COMPONENTS OF THE ROOF SYSTEM HAS BEEN IDENTIFIED AS ASBESTOS CONTAINING MATERIAL AND ANY REMOVALS ARE TO BE COORDINATED WITH THE HAZARDOUS MATERIAL DRAWINGS. THE ENTIRE ROOF SYSTEM, ANY PIPE PENETRATIONS, ROOF DRAINS, AND EXISTING WOOD DECKING TO BE REMOVED AND PROPERLY DISPOSED OF IN THEIR ENTIRETY.
2. EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED DOWN TO EXISTING ROOF SHEATHING AND PROPERLY DISPOSED OF IN ITS ENTIRETY.
3. REMOVE AND PROPERLY DISPOSE OF ALL GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY.
4. EXISTING CAMELBACK COPING TO REMAIN TO THE FULLEST EXTENT POSSIBLE. CAREFULLY REMOVE CAMELBACK UNITS WHERE THE EXTERIOR WALL IS TO BE RECONSTRUCTED FOR REINSTALLATION.
5. EXISTING MASONRY CHIMNEY TO REMAIN.

1 DEMOLITION ROOF PLAN  
AD103 1/8" = 1'-0"





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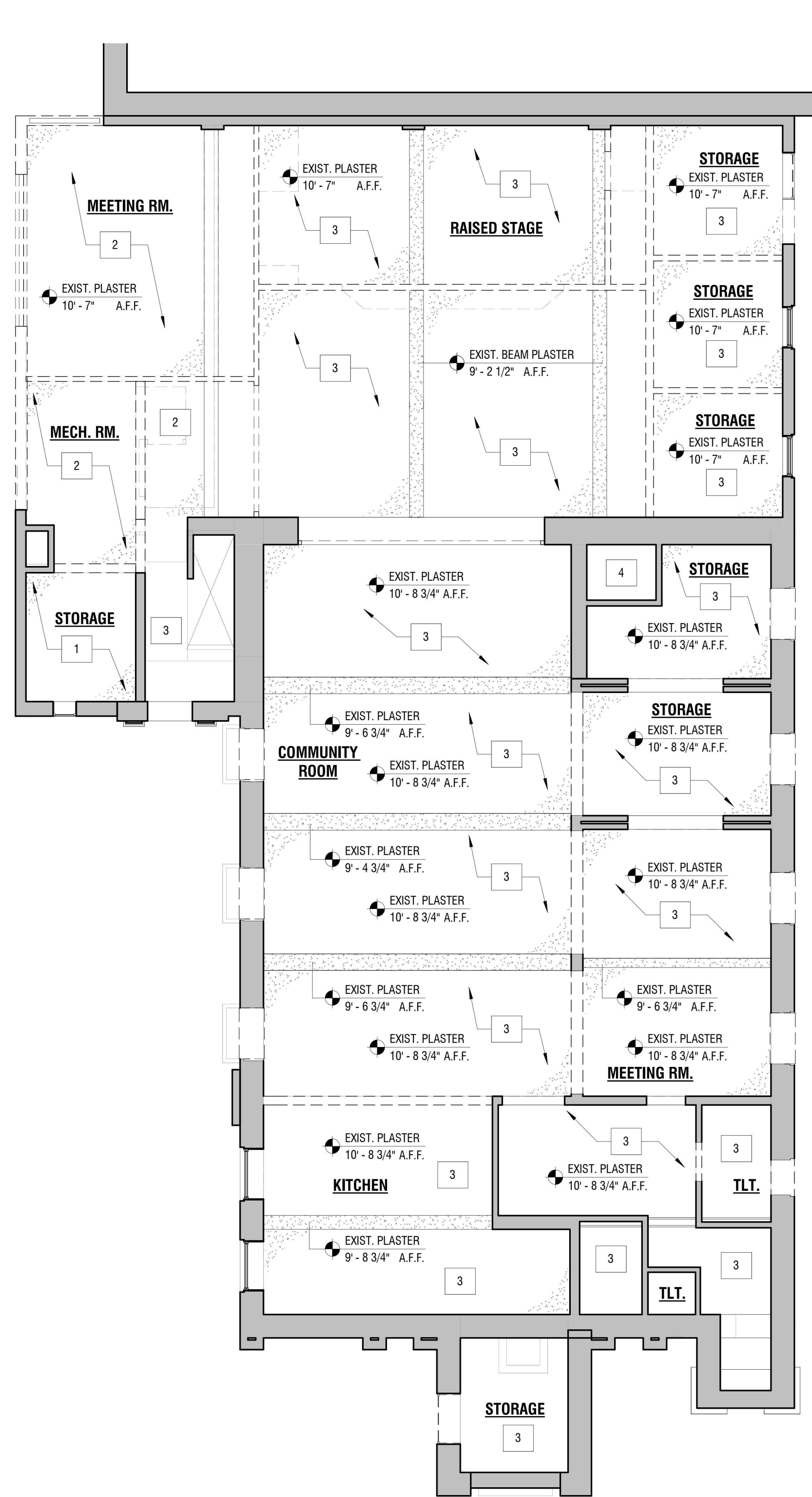
**REFLECTED CEILING  
DEMOLITION PLANS**

DRAWING NUMBER:

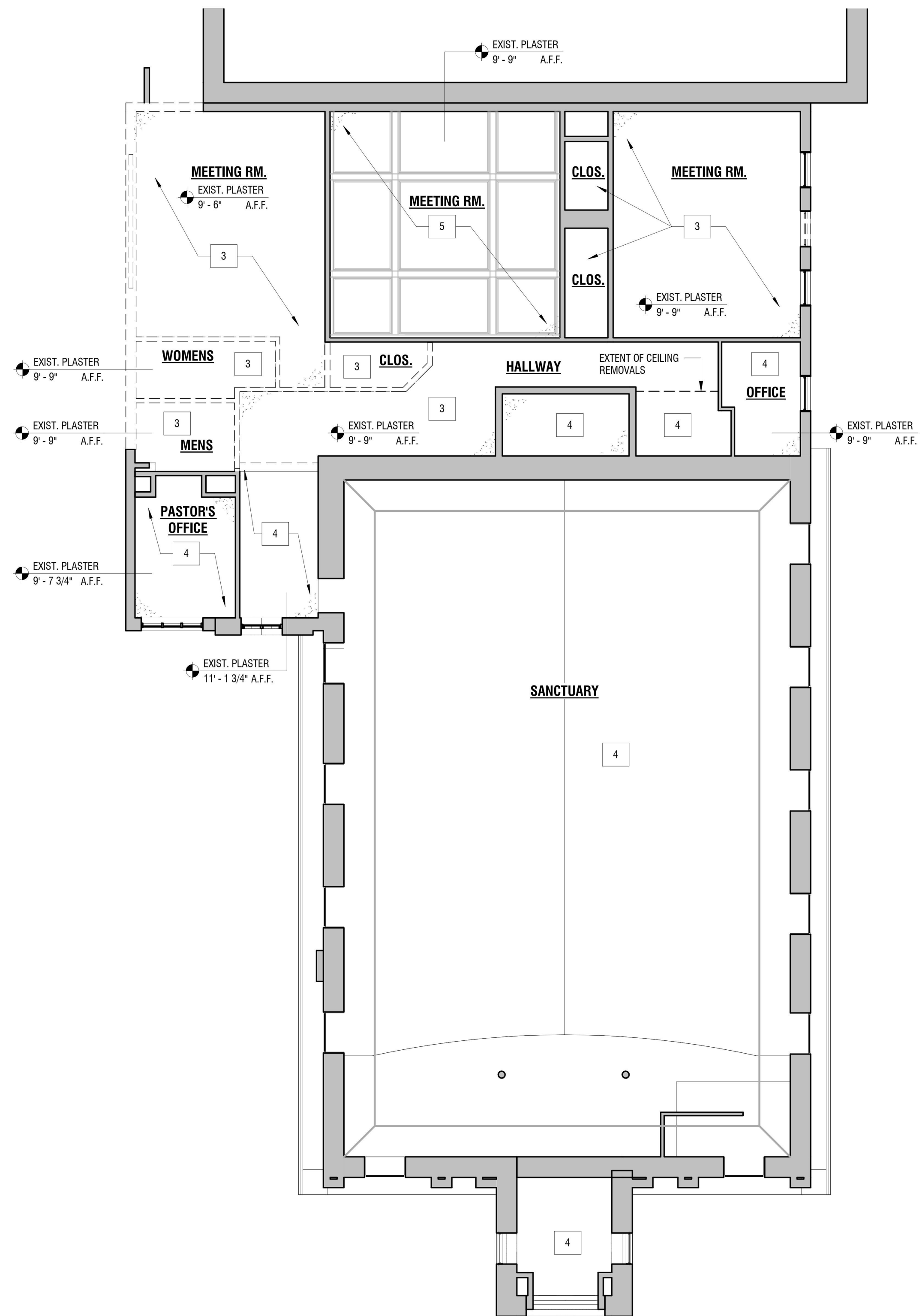
**AD111**

**# DEMOLITION KEYNOTES:**

- DEMOLISH AND PROPERLY DISPOSE OF EXISTING PLASTER AND LATH CEILING TO EXPOSE UNDERSIDE OF FLOOR JOIST FRAMING. COMPLETELY REMOVE EXISTING FASTENERS WHERE FLOOR FRAMING IS TO REMAIN. COORDINATE REMOVALS WITH STRUCTURAL DRAWINGS.
- DEMOLISH AND PROPERLY DISPOSE OF EXISTING GYPSUM BD. CEILING TO EXPOSE UNDERSIDE OF FLOOR JOIST FRAMING. COMPLETELY REMOVE EXISTING FASTENERS WHERE FLOOR FRAMING IS TO REMAIN. COORDINATE REMOVALS WITH STRUCTURAL DRAWINGS.
- DEMOLISH AND PROPERLY DISPOSE OF EXISTING PLASTER AND LATH CEILING TO EXPOSE FLOOR/ROOF FRAMING. COMPLETELY REMOVE EXISTING FASTENERS WHERE REQUIRED.
- EXISTING CEILING TO REMAIN. NO WORK IN THIS AREA/ROOM.
- CAREFULLY DISMANTLE COFFERED WOOD CEILING. STORE AND PROTECT FOR REINSTALLATION. AFTER COFFERED CEILING HAS BEEN REMOVED, DEMOLISH AND PROPERLY DISPOSE OF EXISTING PLASTER AND LATH CEILING TO EXPOSE ROOF FRAMING.



**1 LOWER LEVEL REFLECTED CEILING DEMOLITION PLAN**  
AD111 1/8" = 1'-0"



**3 MAIN LEVEL REFLECTED CEILING DEMOLITION PLAN**  
AD111 SCALE: 1/8" = 1'-0"



GENERAL ARCHITECTURAL NOTES

- 1. UNLESS OTHERWISE NOTED, ALL MASONRY DIMENSIONING IS NOMINAL TO FACE OF MASONRY...
2. ALL DIMENSIONS ARE TO THE OUTSIDE FINISH SURFACE OF WALLS OR TO COLUMN CENTERLINES.
3. ALL DIMENSIONS ARE FINISHES DIMENSIONS FROM FINISH FACE OF GYPSUM BOARD OR SCHEDULED WALL FINISH UNLESS OTHERWISE NOTED.
...
16. FIRST FLOOR LEVEL DATUM ELEVATION (0'-0") IS EQUAL TO ACTUAL ELEVATION (XX'-XX"). ARCHITECTURAL ELEVATIONS U.O.N. ARE TAKEN FROM FINISHED FIRST FLOOR LEVEL DATUM ELEVATION (0'-0").
...
18. TRUSS IDENTIFICATION SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH TITLE 19 NYCRR PART 1264 AND APPENDIX H OF THE FIRE CODE OF NEW YORK STATE 2010.

ARCHITECTURAL ABBREVIATIONS

Table with 3 columns (A, G, P) and 3 rows of abbreviations and their corresponding full names, such as Area, Gauge, Plastic Laminate, etc.

Table with 3 columns (J, L, M) and 3 rows of abbreviations and their corresponding full names, such as Janitor, Laboratory, Maintenance, etc.

Table with 3 columns (D, E, F) and 3 rows of abbreviations and their corresponding full names, such as Double, Demolition, Diameter, etc.

Table with 3 columns (G, H, I) and 3 rows of abbreviations and their corresponding full names, such as Each, Enclave, Elevation, etc.

Table with 3 columns (K, L, M) and 3 rows of abbreviations and their corresponding full names, such as Kiln, Label, Material, etc.

Table with 3 columns (N, O, P) and 3 rows of abbreviations and their corresponding full names, such as North, Noise Reduction, Nickel, etc.

Table with 3 columns (Q, R, S) and 3 rows of abbreviations and their corresponding full names, such as Quartz, Rubber, Resilient, etc.

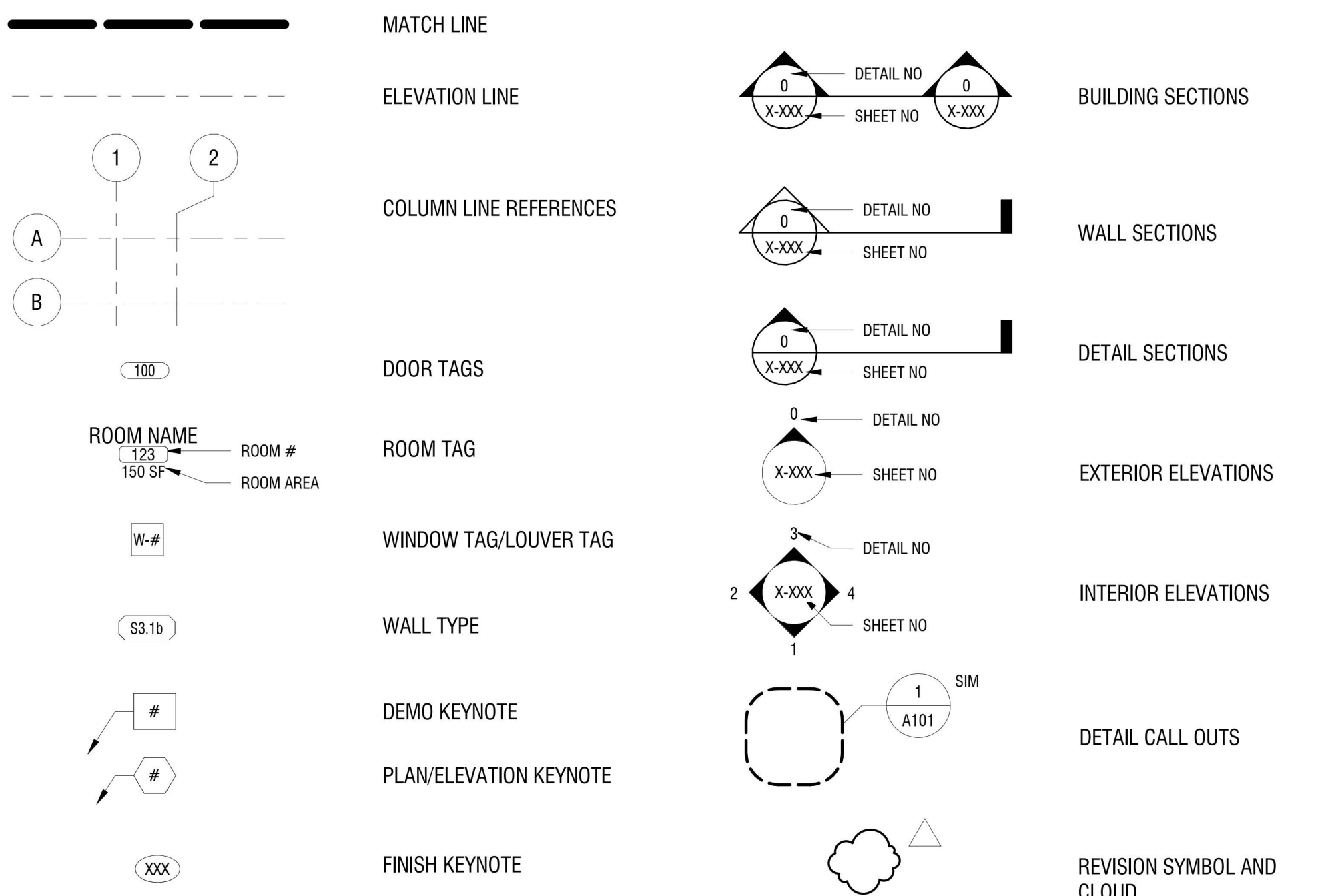
Table with 3 columns (T, U, V) and 3 rows of abbreviations and their corresponding full names, such as Top and Bottom, Unfinished, Vinyl, etc.

Table with 3 columns (W, X, Y) and 3 rows of abbreviations and their corresponding full names, such as With, Without, Wood, etc.

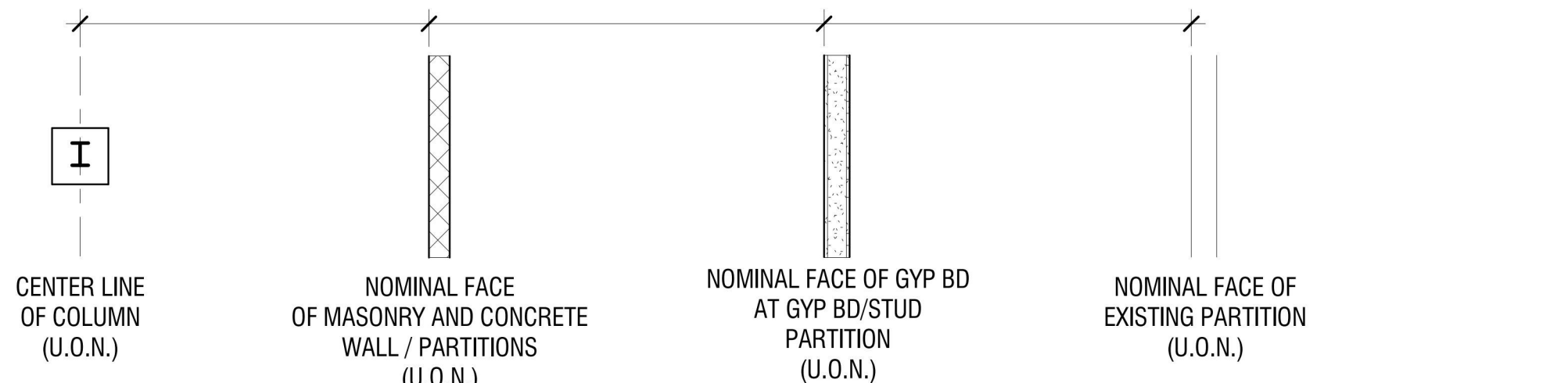
MATERIAL SYMBOLS

Table showing material symbols and their corresponding names: CONCRETE MASONRY UNITS (CMU), CONCRETE, BRICK, CEMENT, SAND, GROUT, PLASTER, OR GYPSUM WALL BOARD, STEEL, WOOD (FINISHED), WOOD (ROUGH), WOOD (BLOCKING), PARTICLE BOARD, PLYWOOD, RIGID INSULATION, BATT. OR LOOSE INSULATION, EARTH, CARPET, STONE, GRAVEL, OR POROUS FILL.

ARCHITECTURAL DRAWINGS SYMBOLS



TYPICAL PLAN DIMENSIONING



GENERAL REMOVAL NOTES:

- 1. DASHED LINES INDICATE ITEMS TO BE REMOVED.
2. ELEMENTS TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE, DUST AND DEBRIS.
3. DUST CONTROL SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
...
12. FOR ADDITIONAL REMOVAL INFORMATION REFER TO SECTIONS AND DETAILS.

GENERAL CONSTRUCTION NOTES:

- A. CONSTRUCTION SHALL CONFORM TO THE "NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE".
B. CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
C. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS.
...
10. THESE DRAWINGS DO NOT PURPORT TO SHOW ALL ITEMS AND PROCEDURES REQUIRED FOR A COMPLETE INSTALLATION.

LINE TYPES

Table showing line types and their corresponding descriptions: VISIBLE ITEMS, CENTER LINE OR COLUMN GRID, HIDDEN OR NOT IN CONTRACT, BREAK LINE, OVERHEAD.

WALL/ PARTITION DESIGNATIONS

Table showing wall/partition designations and their corresponding descriptions: BRICK FACE, C.M.U. WALL / PARTITION - SEE PARTITION TYPES, METAL STUD PARTITION - SEE PARTITION TYPES, EXISTING WALL CONSTRUCTION.



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Table with columns: NO., DATE, DESCRIPTION. Row 1: Revisions.

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DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

NOTES, SYMBOLS AND ABBREVIATIONS

DRAWING NUMBER:

A001



EXP: 07/31/2024

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**ACADEMIC INNOVATION  
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NIAGARA FALLS, NEW YORK 14305

**PARTITION TYPE LEGEND**



**MATERIAL DESIGNATION**

- S METAL STUDS @ 16" O.C., x REFER TO SPECS FOR GA./MIL THICKNESS
- M CONCRETE MASONRY UNITS (CMU)
- MS CONCRETE MASONRY UNITS SECURING (SECURITY CMU)
- F METAL STUDS @ 12" O.C./FURRING CHANNELS / HAT CHANNELS/ Z- FURRING CHANNELS x REFER TO SPECS FOR GA./MIL THICKNESS
- SH SHAFT ASSEMBLY, METAL C-STUDS
- T TEMPORARY BARRIERS, METAL STUDS x REFER TO SPECS FOR GA./MIL THICKNESS

**SIZE SUFFIX**

- 1 1/2" METAL STUDS, OR 7/8" / 1 1/2" HAT CHANNELS (SEE REMARKS)
- 2 2 1/2" METAL STUDS OR 2" / 2 1/2" Z FURRING CHANNELS (SEE REMARKS)
- 3 3 5/8" METAL STUDS
- 4 4" CONCRETE MASONRY UNIT (CMU) OR 4" METAL STUDS
- 6 6" CONCRETE MASONRY UNIT (CMU) OR 6" METAL STUDS
- 8 8" CONCRETE MASONRY UNIT (CMU) OR 8" METAL STUDS
- 10 10" CONCRETE MASONRY UNIT (CMU)
- 12 12" CONCRETE MASONRY UNIT (CMU)

**RATING SUFFIX**

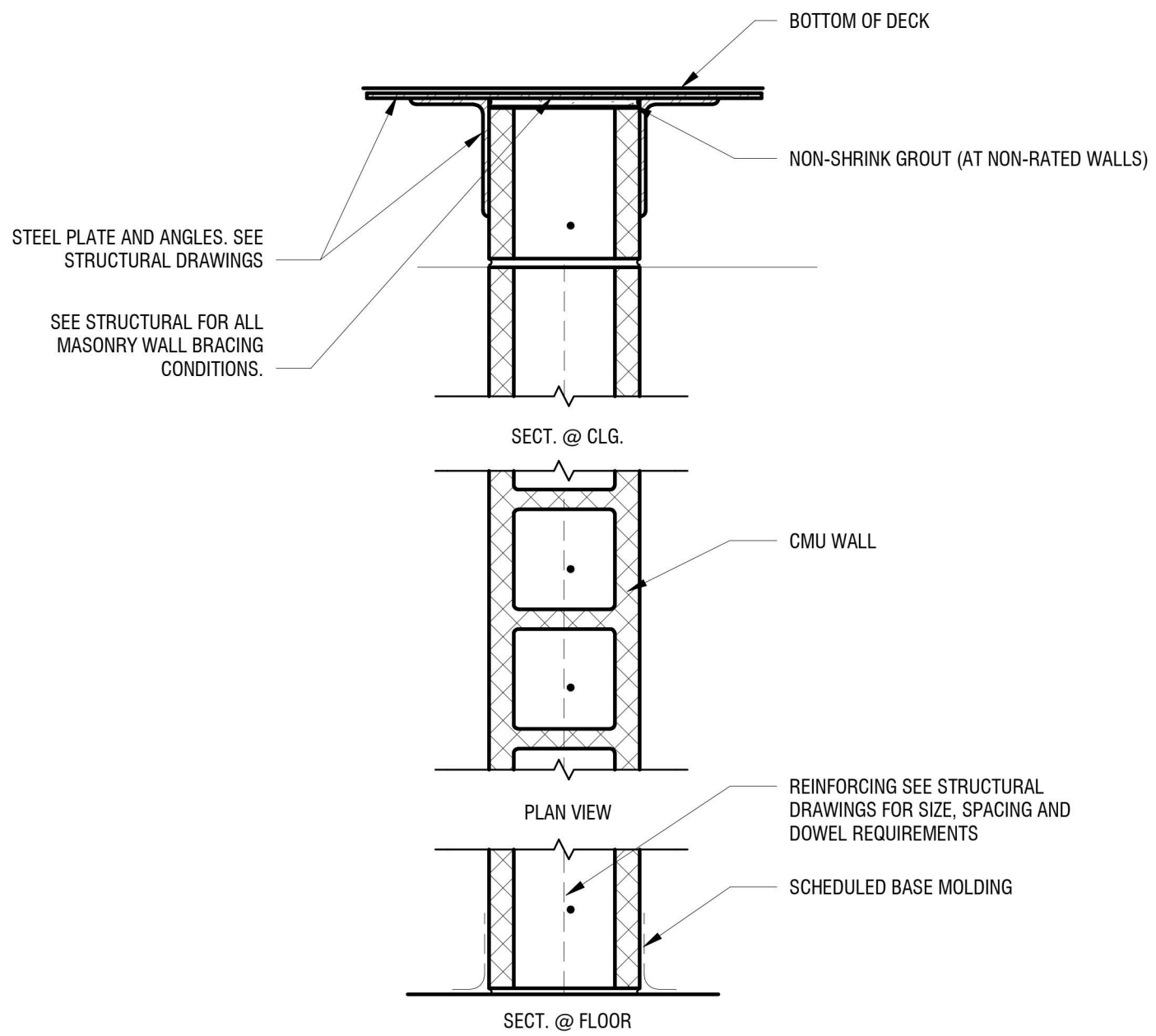
- 0 NON-RATED CMU OR METAL STUD PARTITION
- 1 1 HR RATED CMU OR METAL STUD PARTITION (PER UL DESIGN NO.)
- 2 2 HR RATED CMU OR METAL STUD PARTITION (PER UL DESIGN NO.)
- 3 3 HR RATED CMU OR METAL STUD PARTITION (PER UL DESIGN NO.)

**ACCESSORIES SUFFIX**

- a SOUND ATTENUATION FIBERGLASS BATT INSULATION, FRICTION FIT, FULL HEIGHT OF PARTITION
- b SOUND ATTENUATION FIBERGLASS BATT INSULATION, FRICTION FIT, FULL HEIGHT OF PARTITION; ACOUSTICAL SEALANT AT TOP OF PARTITION AT GYPSUM BOARD CEILING AND WOOD COFFER BEAMS.
- c GYPSUM WALL BOARD TO 8" ABOVE CEILING ON BOTH SIDES
- d (2) LAYERS OF GYPSUM WALL BOARD ON BOTH SIDES
- s SMOKE PARTITION

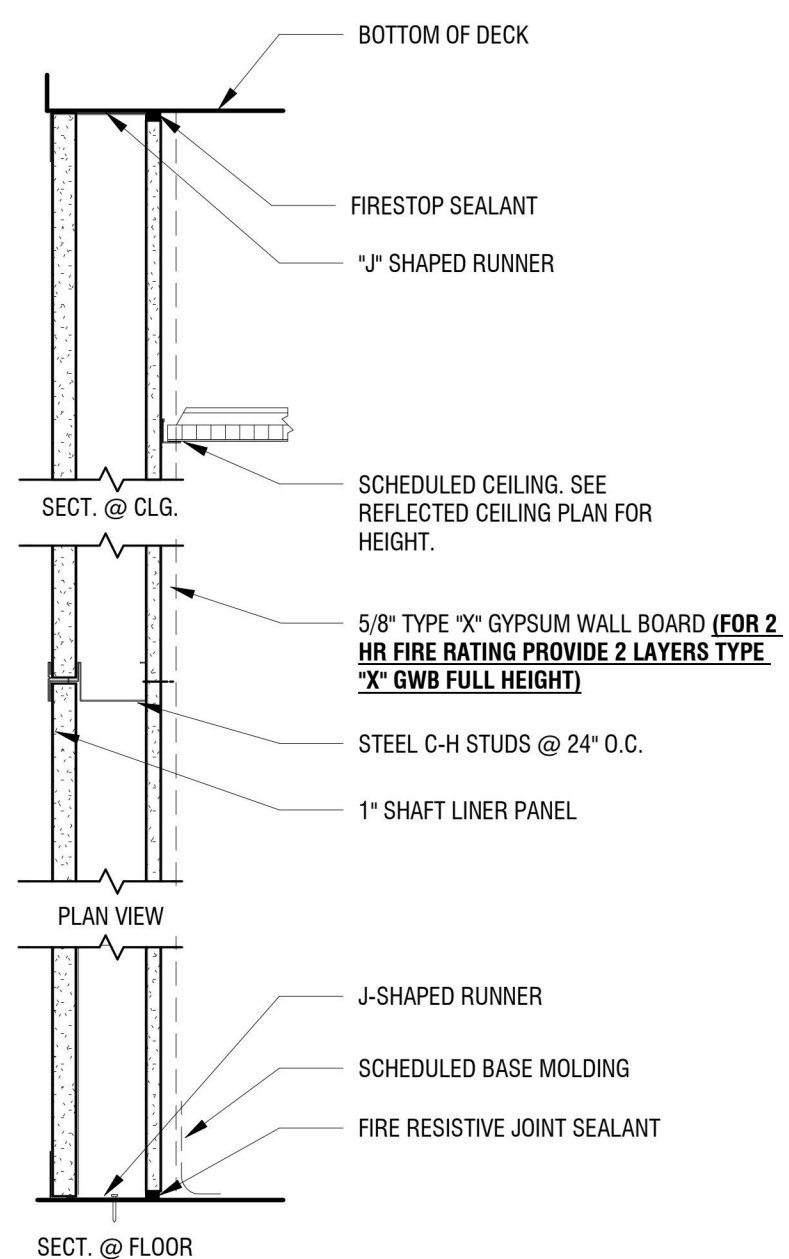
**GENERAL PARTITION NOTES**

- A. ALL PARTITION EXTEND TO BOTTOM OF CONCRETE FLOOR TO METAL DECK ABOVE UNLESS OTHERWISE INDICATED.
- B. FILL FLUTES IN METAL DECK ABOVE PARTITION WITH FIRE SAFING INSULATION AND FIRE STOP ENTIRE PERIMETER AT RATED PARTITIONS, AND EXTERIOR WALLS
- C. WITH A UL LISTED JOINT SYSTEM FIRESTOP ASSEMBLY.
- D. PROVIDE DEFLECTION TRACKS AT METAL STUD PARTITIONS THAT TERMINATE AT THE UNDERSIDE OF STRUCTURE/ METAL DECK ABOVE.
- E. ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION TO L/360 OF THE SPAN WITH UNIFORM 5 PSF HORIZONTAL LOADING.
- F. ALL PENETRATIONS IN FIRE RATED PARTITIONS TO BE FIRE STOPPED AND SEALED.
- G. ALL PARTITIONS SHALL BE SEALED TO PREVENT PASSAGE OF SMOKE.
- H. CONTRACTOR TO REFER TO CODE/LIFE SAFETY DRAWINGS FOR RATED PARTITIONS.
- I. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS AND AREAS TO RECEIVE WALL TILE. REFER TO SPECIFICATION IN PROJECT MANUAL.
- J. REFER TO STRUCTURAL DRAWINGS FOR MASONRY WALL REINFORCEMENT.
- K. PROVIDE DOUBLE FRAMING AT ALL DOOR, WINDOW AND CASED OPENINGS JAMBS AND HEAD CONDITIONS.
- L. FOR ALL PARTITIONS, COORDINATE AND PROVIDE BLOCKING FOR ALL, BUT NOT LIMITED TO WALL MOUNTED ARCHITECTURAL WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS AND ACCESSORIES, EQUIPMENT, HANDRAILS, HARDWARE AND SIMILAR MOUNTED ITEMS.



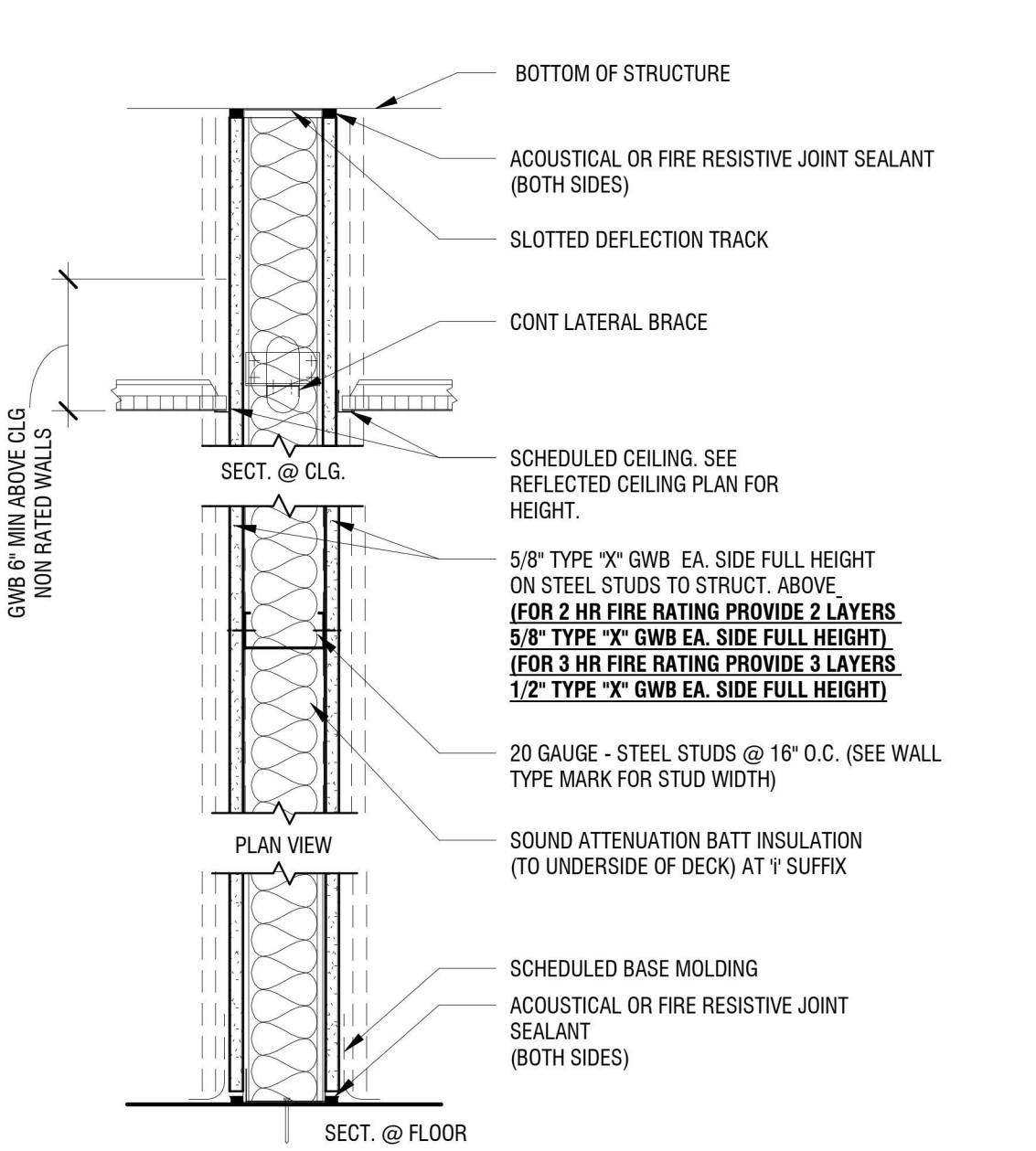
**WALL TYPE M (CONCRETE MASONRY UNITS)**

MARK	BLOCK SIZE	GAUGE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	STC
M4.0	4" NOMINAL	N/A	3 5/8"	N/A	NON-RATED	--
M6.0	6" NOMINAL	N/A	5 5/8"	N/A	NON-RATED	--
M6.1	6" NOMINAL	N/A	5 5/8"	UL 906	1 HR	--
M6.2	6" NOMINAL	N/A	5 5/8"	UL 906	2 HR	--
M8.0	8" NOMINAL	N/A	7 5/8"	N/A	NON-RATED	--
M8.1	8" NOMINAL	N/A	7 5/8"	UL U905	1 HR	--
M8.2	8" NOMINAL	N/A	7 5/8"	UL U905	2 HR	--
M12.0	12" NOMINAL	N/A	11 5/8"	N/A	NON-RATED	--



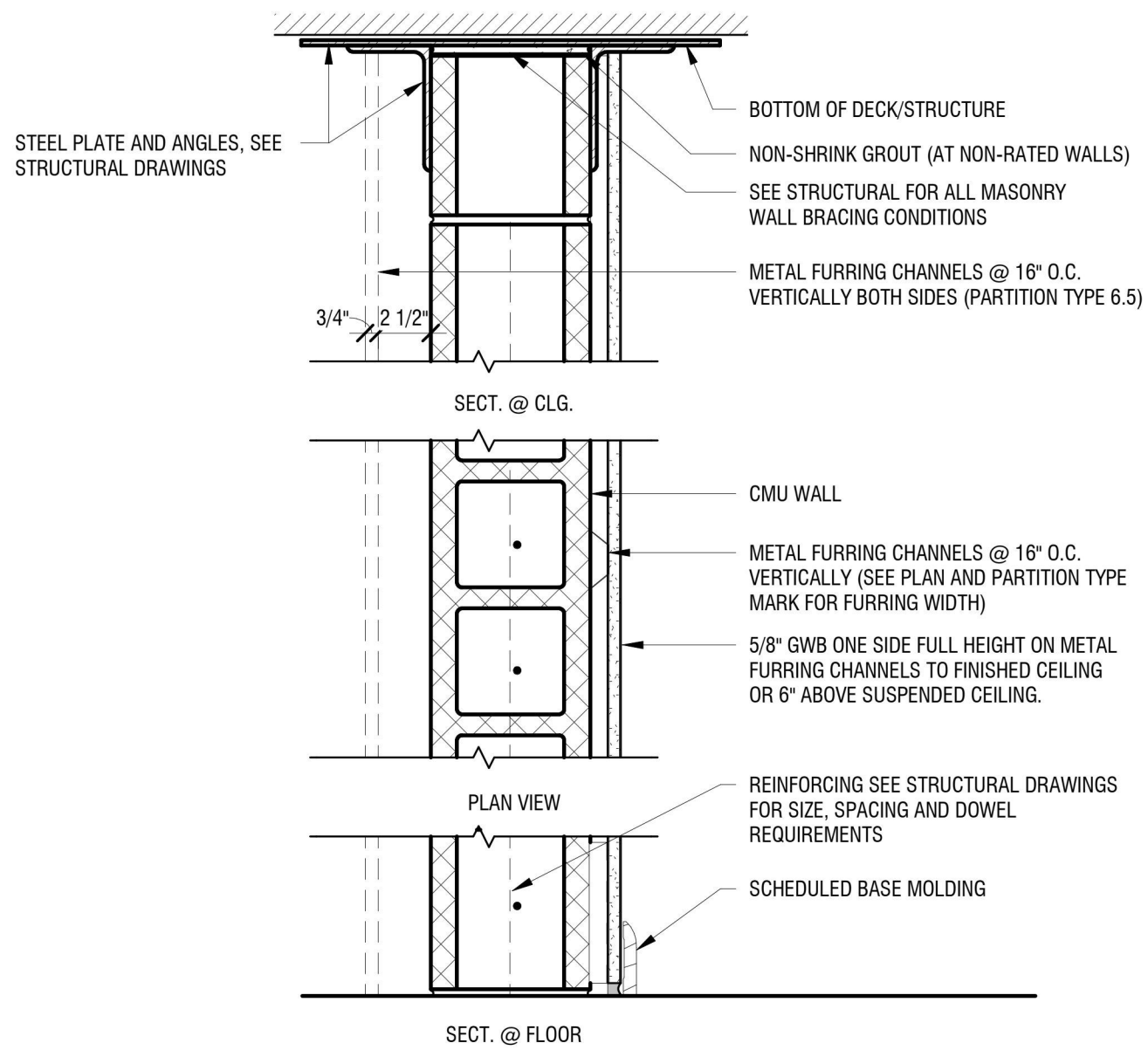
**WALL TYPE SH (SHAFT ASSEMBLY, METAL C STUDS)**

MARK	STUD SIZE	GAUGE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	STC
SH1.1	2 1/2" C-H	25 GA	3-1/8"	UL-U469	1 HR	--



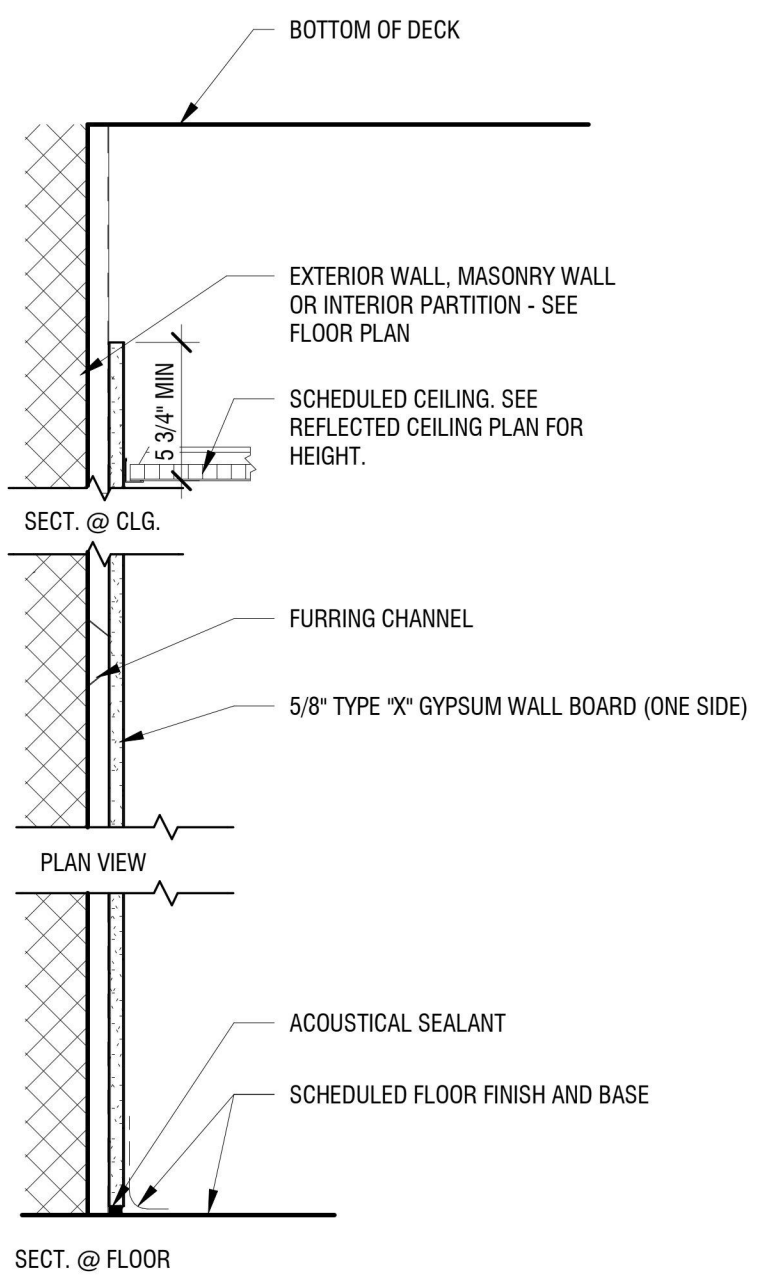
**WALL TYPE S (METAL STUD)**

MARK	STUD SIZE	GAUGE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	STC	GYPSUM LAYERS EACH SIDE
S3.0	3 5/8"	20 GA	4 7/8"	--	NON-RATED	--	1x 5/8" + 1x 5/8"
S3.0d	3 5/8"	20 GA	6 1/8"	--	NON-RATED	--	2x 5/8" + 2x 5/8"
S3.1	3 5/8"	20 GA	4 7/8"	UL U419	1 HR	--	1x 5/8" + 1x 5/8"
S3.2	3 5/8"	20 GA	6 1/8"	UL U419	2 HR	--	2x 5/8" + 2x 5/8"
S6.0	6"	20 GA	7 1/4"	--	NON-RATED	--	1x 5/8" + 1x 5/8"
S6.0a	6"	20 GA	7 1/4"	--	NON-RATED	--	1x 5/8" + 1x 5/8"
S6.0d	6"	20 GA	8 1/2"	--	NON-RATED	--	2x 5/8" + 2x 5/8"
S6.1	6"	20 GA	7 1/4"	UL U419	1 HR	--	1x 5/8" + 1x 5/8"
S6.2	6"	20 GA	8 1/2"	UL U419	2 HR	--	2x 5/8" + 2x 5/8"
S8.0	8"	20 GA	9 1/4"	--	NON-RATED	--	1x 5/8" + 1x 5/8"
S8.0a	8"	20 GA	9 1/4"	--	NON-RATED	--	1x 5/8" + 1x 5/8"



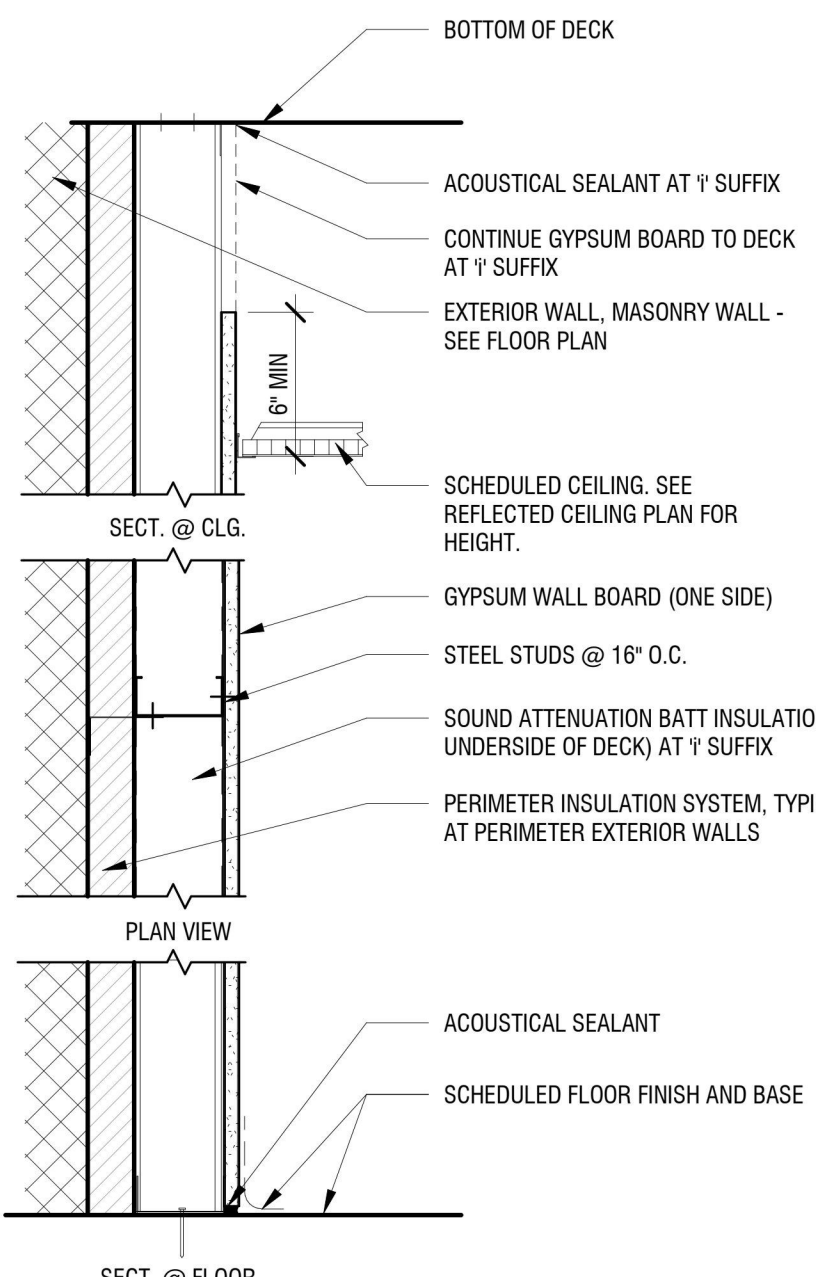
**WALL TYPE MF (CONCRETE MASONRY UNITS WITH FURRING)**

MARK	BLOCK SIZE	GAUGE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	FURRING/G.W.B
MF6.0	6" NOMINAL	N/A	7 1/8"	N/A	1-HR	7/8" HC / 5/8" G.W.B.
MF6.1	6" NOMINAL	N/A	8 3/4"	N/A	NON-RATED	2 1/2" MS / 5/8" G.W.B.
MF6.2	6" NOMINAL	N/A	8 3/4"	N/A	1-HR	2 1/2" MS / 5/8" G.W.B.
MF6.3	6" NOMINAL	N/A	9 7/8"	N/A	NON-RATED	3 5/8" MS / 5/8" G.W.B.
MF6.4	6" NOMINAL	N/A	9 7/8"	N/A	1-HR	3 5/8" MS / 5/8" G.W.B.
MF6.5	6" NOMINAL	N/A	10 1/4"	N/A	1-HR	7/8" HC / 5/8" G.W.B. 2 1/2" MS / 5/8" G.W.B.
MF8.0	8" NOMINAL	N/A	9 1/8"	N/A	NON-RATED	7/8" HC / 5/8" G.W.B.
MF8.1	8" NOMINAL	N/A	10 3/4"	N/A	NON-RATED	2 1/2" MS / 5/8" G.W.B.
MF8.2	8" NOMINAL	N/A	10 3/4"	N/A	1-HR	2 1/2" MS / 5/8" G.W.B.
MF8.3	8" NOMINAL	N/A	11 7/8"	N/A	NON-RATED	3 5/8" MS / 5/8" G.W.B.
MF8.4	8" NOMINAL	N/A	11 7/8"	N/A	1-HR	3 5/8" MS / 5/8" G.W.B.



**WALL TYPE F**

MARK	FURRING CHANNEL SIZE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	STC
F0.0	7/8"	1-1/2"	--	NON-RATED	--
F1.0	1 5/8"	2-1/4"	--	NON-RATED	--



**WALL TYPE F**

MARK	STUD SIZE	GAUGE	PARTITION WIDTH	FIRE TEST DESIGN NO.	FIRE RATING	STC
F2.0	2 1/2"	18 GA	3 1/8"	--	NON-RATED	--
F3.0	3 5/8"	18 GA	4 1/4"	--	NON-RATED	--
F3.0i	3 5/8"	18 GA	4 1/4"	--	NON-RATED	43-45
F6.0	6"	18 GA	6 5/8"	--	NON-RATED	--



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**LOWER LEVEL FLOOR  
PLAN**

DRAWING NUMBER:

**A101**

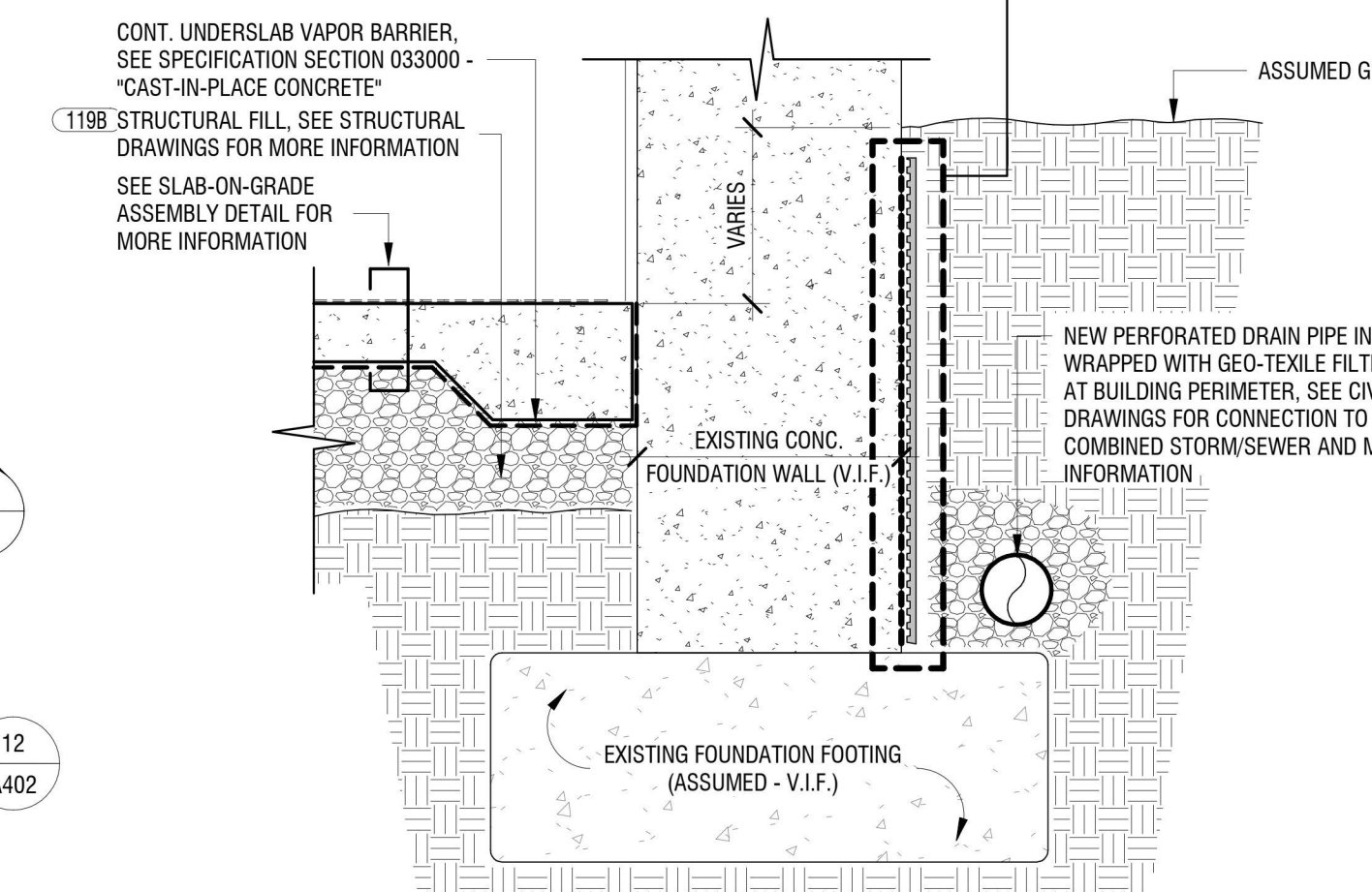
**GENERAL PLAN NOTES**

A. IMPORTANT: THIS PROJECT IS A HISTORIC REHABILITATION PROJECT. ALL SHPO / NPS GUIDELINES MUST BE FOLLOWED. IF THERE ARE QUESTIONS REGARDING PROCEDURES OR HISTORIC NATURE OF AN ELEMENT, PLEASE CONSULT WITH ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

**NEW CONSTRUCTION KEYNOTES:**

- NEW WOOD STAIRS WITH ADA COMPLIANT HANDRAILS. EXISTING WOOD LANDING TO REMAIN AND REPAIRED AS REQUIRED TO MAKE STRUCTURALLY SOUND AND TO ACCEPT NEW FLOOR FINISHES. SEE ARCHITECTURAL DETAILS FOR MORE INFORMATION.
- NEW VERTICAL PLATFORM LIFT IN MASONRY ENCLOSURE. SEE STRUCTURAL DRAWINGS FOR SHAFT CONSTRUCTION AND MORE INFORMATION. COORDINATE WITH MEP/PD DRAWINGS.
- REPURPOSED WOOD DOORS IN EXISTING WOOD CASED OPENING. SEE DOOR SCHEDULE AND DOOR DETAILS FOR MORE INFORMATION.
- ALIGN FACE OF NEW PARTITION WITH FACE OF EXISTING DROPPED BEAM. PROVIDE A SMOOTH AND SEAMLESS TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION.
- NEW WOOD STAIR WITH CODE COMPLIANT HANDRAILS. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR POWER AND DATA REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR INTERIOR ELEVATIONS AND MORE INFORMATION.
- NEW ALUMINUM SECURITY GRILLE TO BE INSTALLED WITHIN EXISTING MASONRY OPENING. SEE WINDOW TYPES AND DETAILS FOR MORE INFORMATION.
- EXISTING LOAD BEARING WOOD FRAMED WALL. COORDINATE ALL NEW THRU WALL PIPE PENETRATIONS WITH EXISTING WOOD STUD FRAMING. DO NOT CUT AND REMOVE ANY WOOD STUD FRAMING WITHOUT NOTIFYING ARCHITECT AND STRUCTURAL ENGINEER.
- NEW STRUCTURAL STEEL COLUMN FOR NEW STRUCTURAL STEEL BEAM TO SUPPORT EXISTING MAIN LEVEL FLOOR ABOVE. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- REINSTALL SALVAGED WOOD BASE CABINETRY UNIT FROM FORMER KITCHEN. INSTALL NEW SOLID SURFACE COUNTERTOP (SSR). PROVIDE IN-WALL 2x WOOD BLOCKING TO SECURE TO WALL. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION.
- REINSTALL SALVAGED WOOD DOOR PANELS, CASING, TRIM, AND ANY ADDITIONAL WOOD MATERIALS TO RECREATE FORMER KITCHEN PASS THRU. INSTALL A NEW SOLID SURFACE COUNTERTOP (SSR). REFER TO INTERIOR ELEVATIONS AND MILLWORK SECTIONS FOR MORE INFORMATION.
- UNDERSIDE OF WOOD SILL PLATE OF EXISTING WOOD WALL TO RECEIVE A CONTINUOUS FOAM SILL GASKET, OWENS CORNING PRO-PINK COMFORTSEAL OR APPROVED EQUAL. AFFIX TO SILL PLATE USING GALV. STAPLES AS REQUIRED FOR PROPER ATTACHMENT.
- REINSTALL ORGAN WIND SYSTEM ON NEW CONC. SLAB-ON-GRADE. UNDER EACH LEG OF BLOWER, PROVIDE MIN. ONE (1) 6" x 6" x 3/4" THICK NEOPRENE VIBRATION ISOLATION WAFFLE PAD BY MASON OR APPROVED EQUAL.

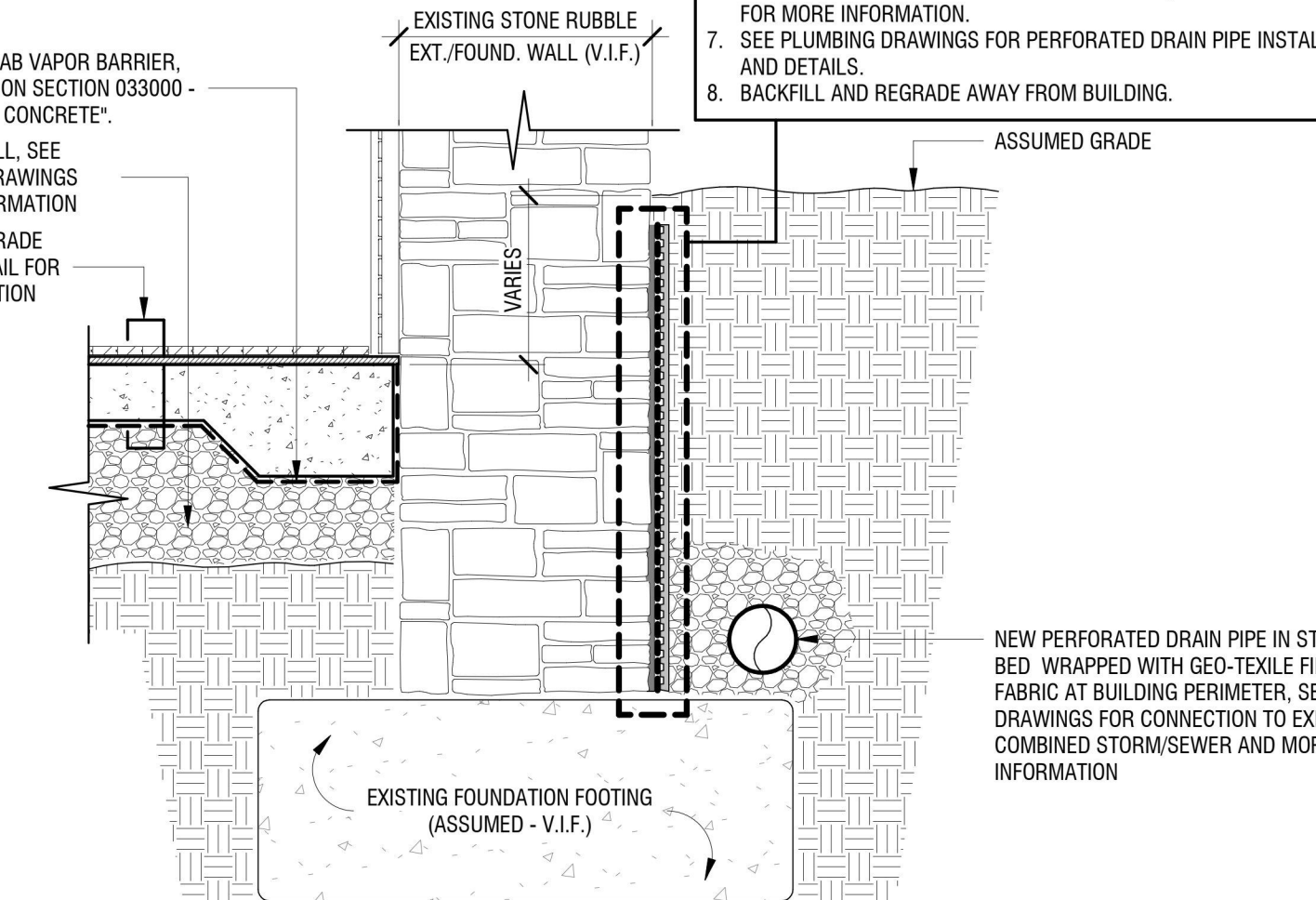
- CONCRETE FOUNDATION WALL WATERPROOFING PROCEDURE:**
- EXCAVATE APPROX. 12" BELOW BASEMENT FINISHED FLOOR LEVEL TO INSTALL WATERPROOFING PRODUCTS.
  - HIGH PRESSURE POWER WASH ENTIRE FOUNDATION WALL TO ALLOW FOR SOUND SURFACE.
  - FILL SMOOTH ANY DAMAGED AREAS WITH HYDRAULIC CEMENT.
  - INSTALL AN ELASTOMERIC WATERPROOFING MEMBRANE OVER CONC. WALL. SEE SPECIFICATIONS FOR MORE INFORMATION.
  - INSTALL A BELOW GRADE DIMPLED MEMBRANE. SEE SPECIFICATIONS FOR MORE INFORMATION.
  - SEE PLUMBING DRAWINGS FOR PERFORATED DRAIN PIPE INSTALLATION AND DETAILS.
  - BACKFILL AND REGRADE AWAY FROM BUILDING.



**CONC. FOUNDATION WATERPROOFING**

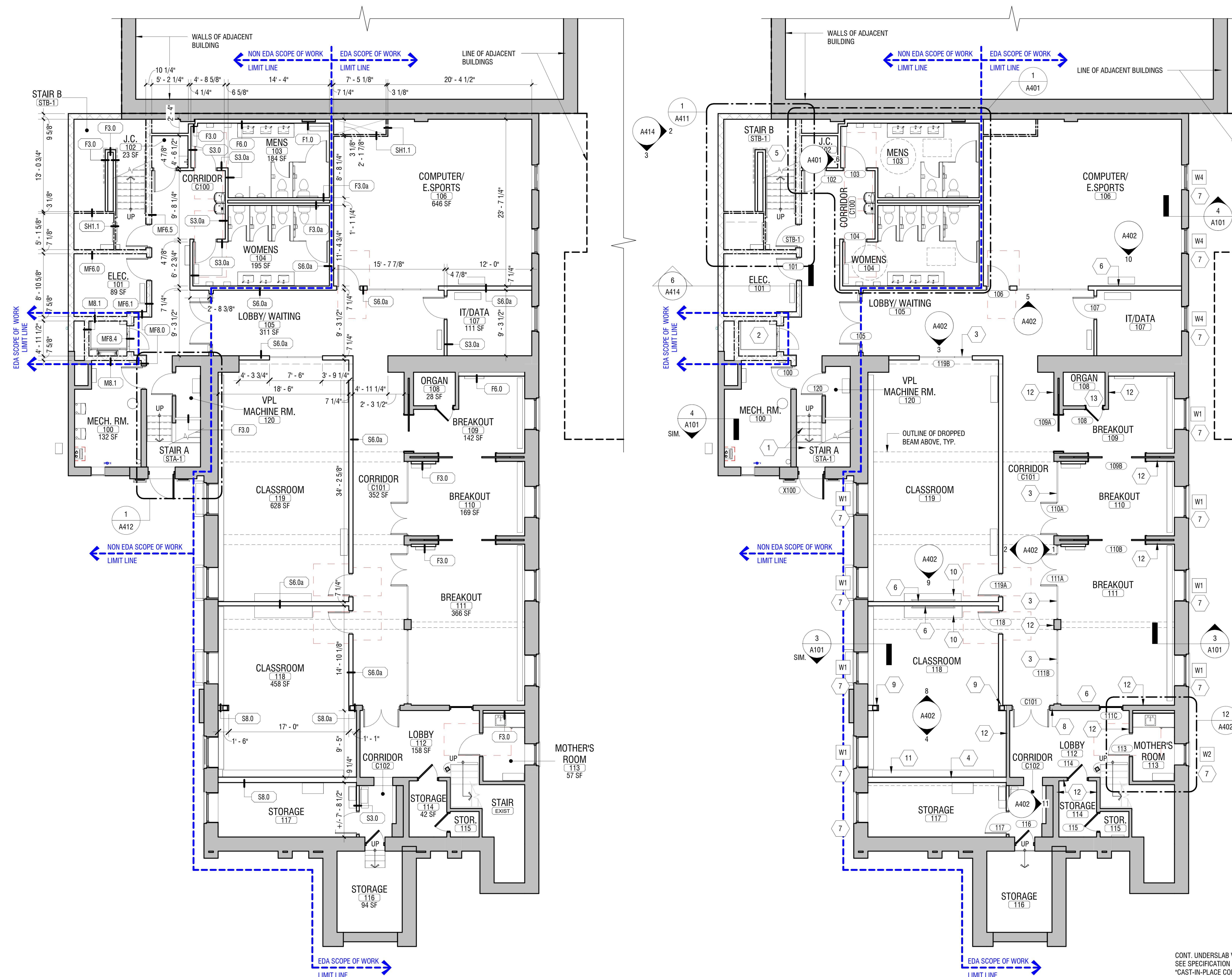
A101 SCALE: 3/4" = 1'-0"

- STONE RUBBLE FOUNDATION WALL WATERPROOFING PROCEDURE:**
- EXCAVATE APPROX. 12" BELOW BASEMENT FINISHED FLOOR LEVEL TO INSTALL WATERPROOFING PRODUCTS.
  - HIGH PRESSURE POWER WASH ENTIRE FOUNDATION WALL TO ALLOW FOR SOUND SURFACE.
  - FILL ANY DAMAGED AREAS WITH HYDRAULIC CEMENT.
  - APPLY TWO (2) LAYERS OF PARGE COATING OVER THE ENTIRE FOUNDATION WALL. PARGE COATING COMPRISED OF PORTLAND AND MASONRY CEMENT WITH A LIQUID BONDING ADMIXTURE BY EUCLID CHEMICAL AKKRO-77 OR APPROVED EQUAL.
  - INSTALL AN ELASTOMERIC WATERPROOFING MEMBRANE OVER PARGE COATING WITH ALL REQUIRED SYSTEM ACCESSORIES. SEE SPECIFICATIONS FOR MORE INFORMATION.
  - INSTALL A BELOW GRADE DIMPLED MEMBRANE. SEE SPECIFICATIONS FOR MORE INFORMATION.
  - SEE PLUMBING DRAWINGS FOR PERFORATED DRAIN PIPE INSTALLATION AND DETAILS.
  - BACKFILL AND REGRADE AWAY FROM BUILDING.



**STONE RUBBLE FOUNDATION WATERPROOFING**

A101 SCALE: 3/4" = 1'-0"

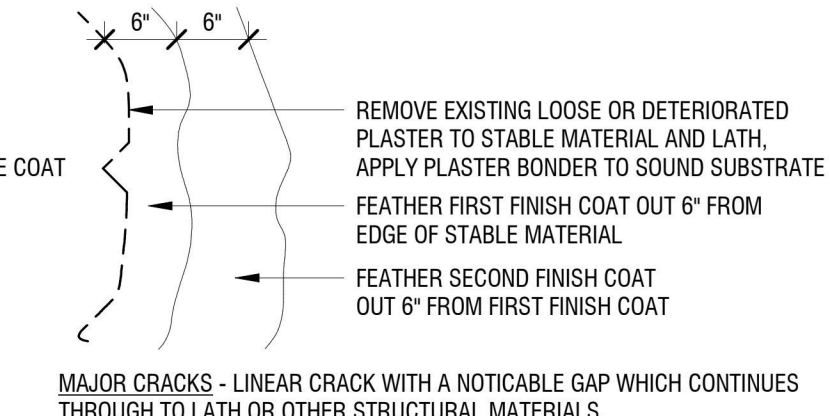
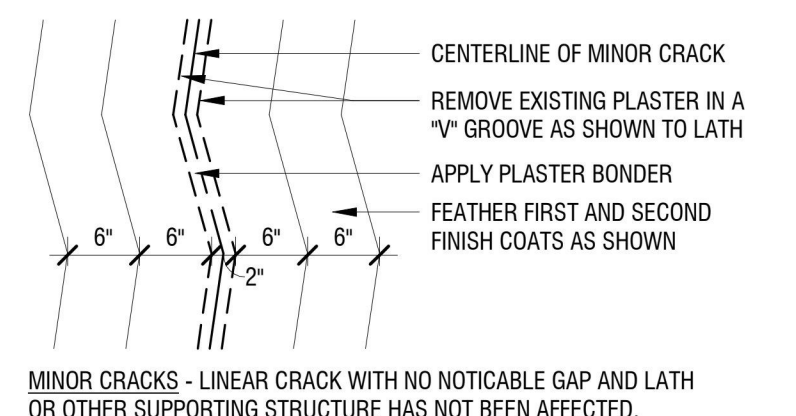
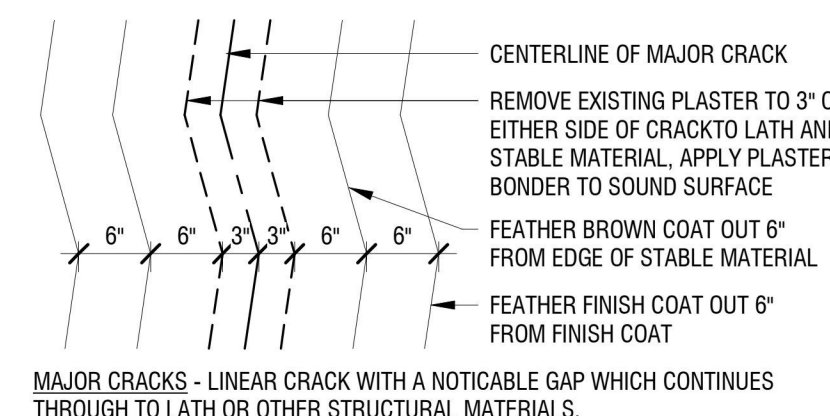


**2 LOWER LEVEL DIMENSION/PARTITION PLAN**  
A101 1/8" = 1'-0"

**1 LOWER LEVEL FLOOR PLAN**  
A101 1/8" = 1'-0"

**PLASTER REPAIR NOTES:**

- CERTAIN AREA OF MAJOR PLASTER DETERIORATION ARE INDICATED ON THE DRAWINGS. IT IS THE INTENT OF THIS CONTRACT TO REPAIR ALL PLASTER IMPERFECTIONS WHETHER INDICATED ON DRAWINGS OR NOT. THIS WORK SHALL BE PERFORMED UNDER THE BASE BID SCOPE OF WORK.
- ALL PLASTER PATCHING AND REPAIRS OF MAJOR CRACKS AND AREAS OF DETERIORATIONS PLUS SPACKLING OF NOIL, TACK, AND SMALL INDENTATIONS IN PLASTER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE BASE BID OF THIS CONTRACT.
- CONTRACTOR SHALL APPLY ONE COAT PRIMER AS SPECIFIED TO ALL NEW PLASTER PATCHED AREAS.
- REMOVE ALL TACKS, TAPE, POSTERS, ETC. ADHERED TO WALLS PRIOR TO PLASTER REPAIR.
- FINISH PLASTER AS REQUIRED BEHIND ALL CHALKBOARDS, TACKBOARDS, WARDROBES, AND ANY OTHER BUILT-IN FURNISHINGS SCHEDULED FOR DEMOLITION OR RELOCATION. REFER TO SPECIFICATION SECTION FOR ADDITIONAL INFORMATION.



**PLASTER REPAIR NOTES**  
3/4" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUB PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MAIN LEVEL FLOOR PLAN**

DRAWING NUMBER:

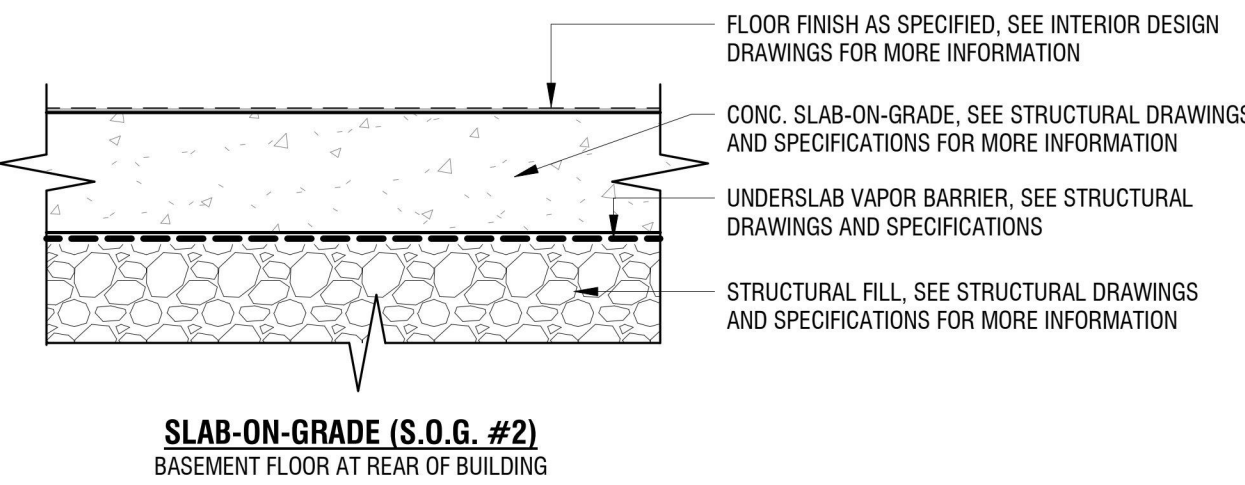
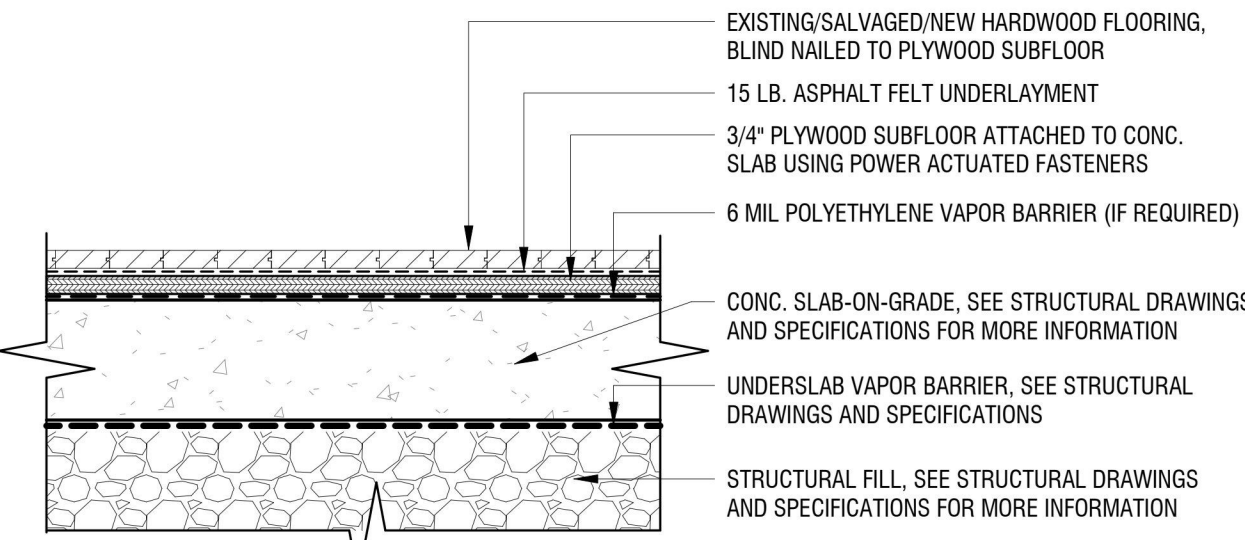
**A102**

**GENERAL PLAN NOTES**

- IMPORTANT: THIS PROJECT IS A HISTORIC REHABILITATION PROJECT. ALL SHPO / NPS GUIDELINES MUST BE FOLLOWED. IF THERE ARE QUESTIONS REGARDING PROCEDURES OR HISTORIC NATURE OF AN ELEMENT, PLEASE CONSULT WITH ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- REFER TO DRAWING A101 FOR PLASTER REPAIR NOTES.

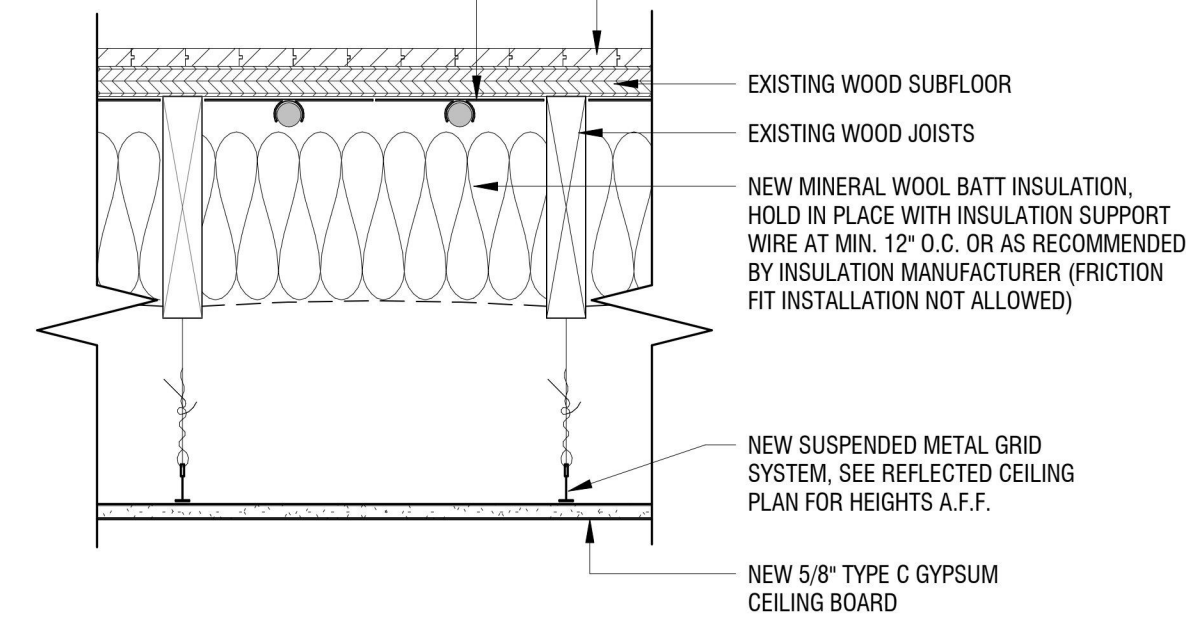
**NEW CONSTRUCTION KEYNOTES:**

- NEW WOOD STAIRS AND RAILING SYSTEM.
- NEW VERTICAL PLATFORM LIFT.
- NEW WOOD STAIR AND LANDING.
- EXISTING WOOD WINDOW TO RESTORED TO LIKE NEW CONDITION.
  - SCRAP AND SAND LOOSE PAINT FROM EXTERIOR FRAME. PREPARE FOR NEW PAINT FINISH. SEE INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION ON EXTERIOR PAINT SYSTEM.
  - SAND INTERIOR WOOD FRAME AND REPAIR WATER DAMAGED AREAS. PREPARE FOR NEW STAIN FINISH. SEE INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION ON INTERIOR FINISH SYSTEMS.
  - REGLAZE ENTIRE WINDOW UNIT.
  - REPLACE DAMAGED GLASS AS NECESSARY.
  - MAKE WINDOW OPERABLE WITH EXISTING HARDWARE OR REPLACE AS NECESSARY WITH NEW MATCHING COMPONENTS.
- EXISTING WOOD STAIRS TO BE REPAIRED AS NECESSARY TO MAKE STRUCTURALLY SOUND. INSTALL NEW WOOD HANDRAIL, WALL MOUNTED WITH WALL BRACKETS AS SELECTED BY ARCHITECT.
- NEW PLASTIC LAMINATE COUNTERTOP AND CABINETRY. SEE INTERIOR ELEVATIONS AND MILLWORK SECTIONS FOR MORE INFORMATION.
- NEW ALUMINUM WINDOW TO BE INSTALLED IN EXISTING MASONRY OPENING FOR EXISTING STAIN GLASS WINDOWS. SEE WINDOW TYPES AND DETAILS FOR MORE INFORMATION. PROVIDE AND INSTALL A FIXED ALUMINUM ROOF ACCESS LADDER. BASIS OF DESIGN: OKEEFES 500 - STANDARD DUTY CHANNEL RAIL ACCESS LADDER WITH SAFETY POST OR APPROVED EQUAL. PROVIDE IN-WALL SOLID BLOCKING TO PROPERLY SECURE LADDER BRACKETS TO WALL PER LADDER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. MILL FINISH AS EXTRUDED.
- NEW CONC. AND MASONRY STAIR WITH EXTENDED LANDING AND RAILING SYSTEM. SIDEWALLS TO BE CONSTRUCTED WITH SALVAGED MASONRY AND BLENDED NEW MASONRY PIECES. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
- NEW CONC. RAMP AND LANDING WITH CODE COMPLIANT GUARD/RAILING AND MESH INFILL PANEL SYSTEM. MECHANICALLY FASTEN BASE PLATES OF RAILING POSTS TO TOP OF CONC. REFER TO DRAWING A414 FOR MORE INFORMATION.
- NEW ELEVATED BRIDGE CONNECTOR WITH CODE COMPLIANT GUARD RAILING SYSTEM FOR NEW BUILDING SIDE ENTRANCE. TOP OF BRIDGE TO ALIGN WITH TOP OF EXISTING PARKING LOT RETAINING WALL AND NEW BUILDING ENTRY LEVEL, V.I.F. COORDINATE WITH STRUCTURAL AND CIVIL DRAWINGS.
- RELOCATED NONFUNCTIONAL FIREPLACE WITH WOOD SURROUND. PROVIDE AND INSTALL SURFACE MOUNTED 2x WOOD BLOCKING/CLEATS INBOARD OF EACH END OF FIREPLACE FOR CONCEALMENT AND SECUREMENT.
- NEW CODE COMPLIANT PIPE GUARD RAILING AND MESH INFILL PANEL SYSTEM MECHANICALLY FASTENED TO TOP OF EXISTING CONC. RETAINING WALL. REFER TO DRAWING A414 FOR MORE INFORMATION.
- PRIOR TO ANY NEW PARTITION INSTALLATIONS, THE EXISTING HARDWOOD FLOORING TO BE SANDED AND REFINISHED. PATCH AND BLEND IN NEW HARDWOOD FLOORING TO HAVE SEAMLESS APPEARANCE. NEW STAIN TO MATCH EXISTING, V.I.F.
- RECONSTRUCT BASED PLATFORM TO MATCH EXISTING ADJACENT PLATFORM. PATCH AND BLEND IN NEW HARDWOOD FLOORING TO HAVE SEAMLESS APPEARANCE. NEW STAIN TO MATCH EXISTING, V.I.F.
- PATCH AND BLEND IN NEW HARDWOOD FLOORING WITH EXISTING TO HAVE SEAMLESS APPEARANCE. NEW STAIN TO MATCH EXISTING, V.I.F.

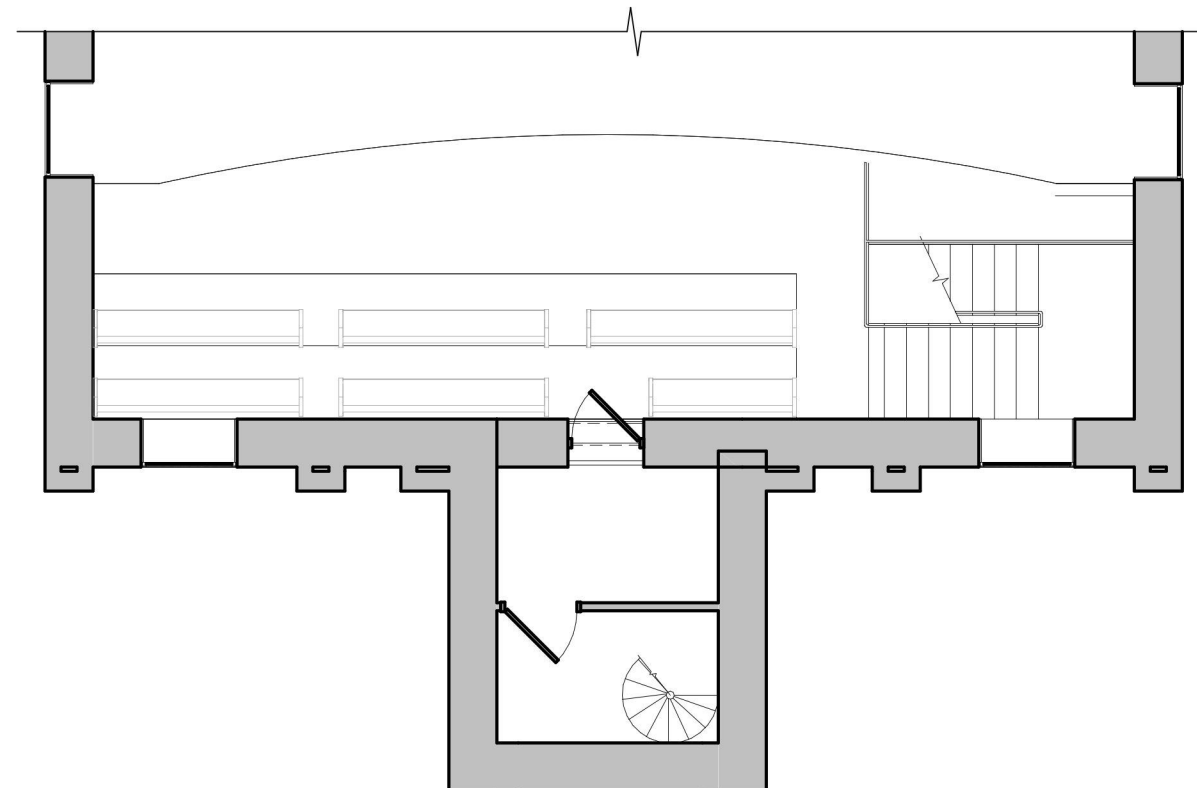


**4 SLAB-ON-GRADE ASSEMBLIES**  
SCALE: 1 1/2" = 1'-0"

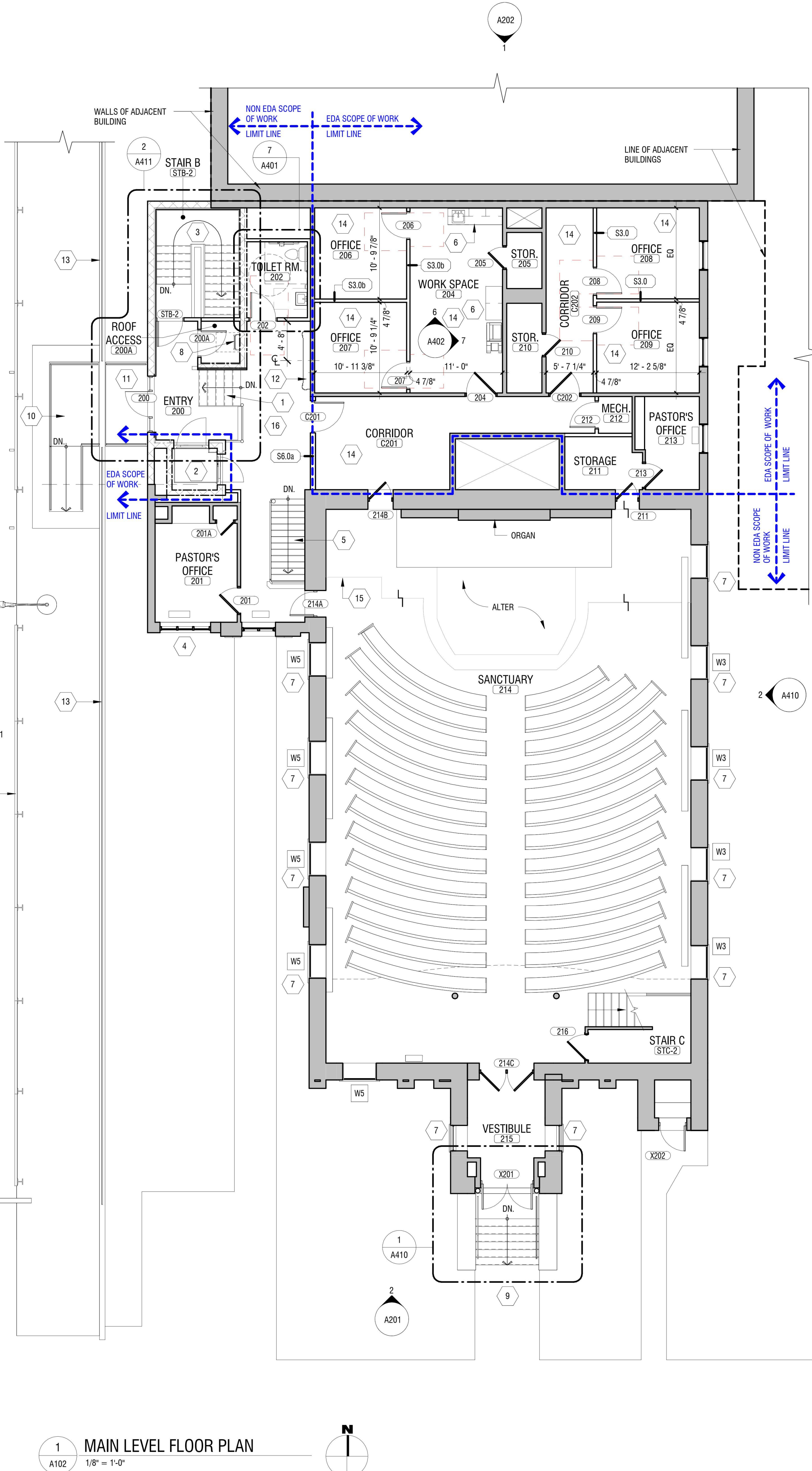
ASSEMBLY NOTE:  
1 HOUR RATING PER 2020 BCNYS, SECTION 722 - CALCULATED FIRE RESISTANCE, TABLES 722.6.2(1) AND 722.6.2(2).



**3 FLOOR/CEILING ASSEMBLY**  
SCALE: 1 1/2" = 1'-0"



**2 SANCTUARY BALCONY PLAN**  
SCALE: 1/8" = 1'-0"



**1 MAIN LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**ROOF PLAN**

DRAWING NUMBER:

**A103**

**ROOF RENOVATION LEGEND**

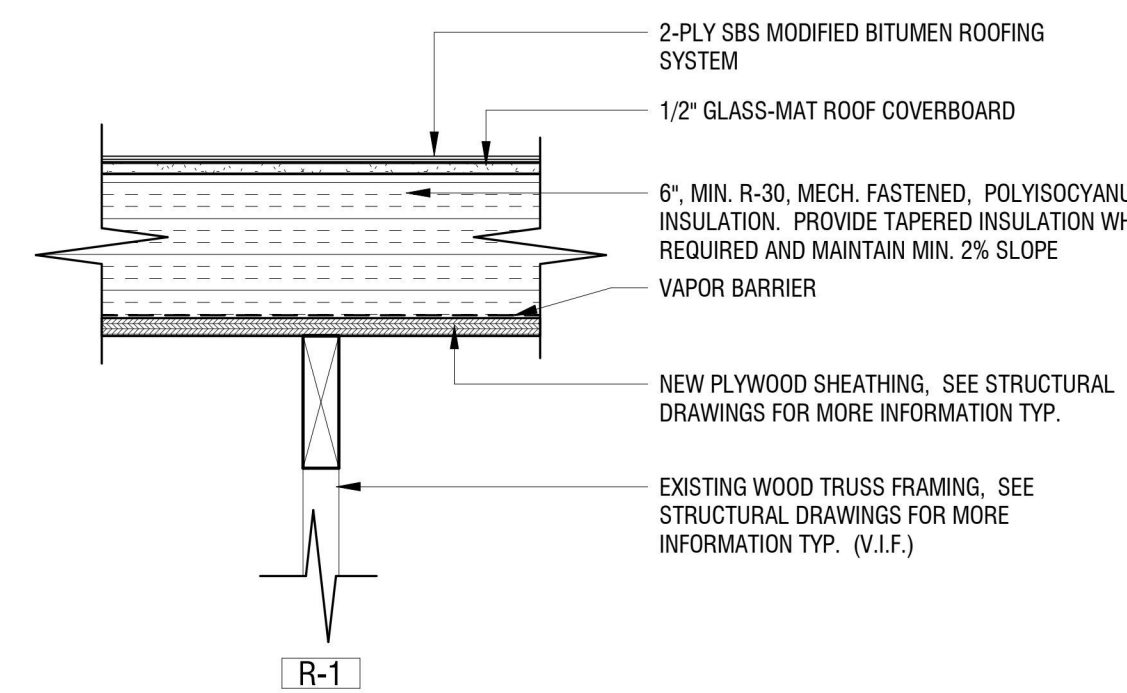
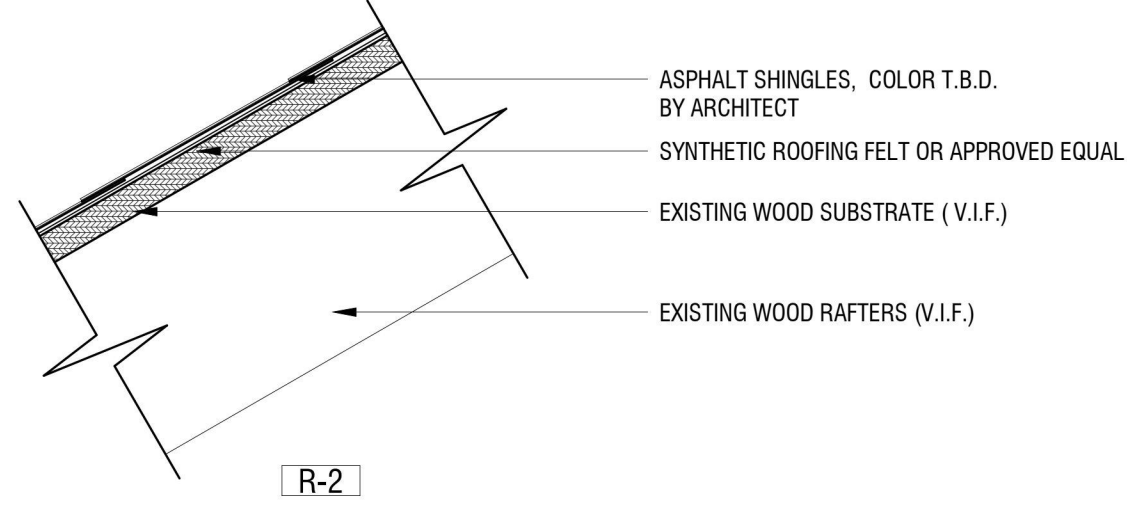
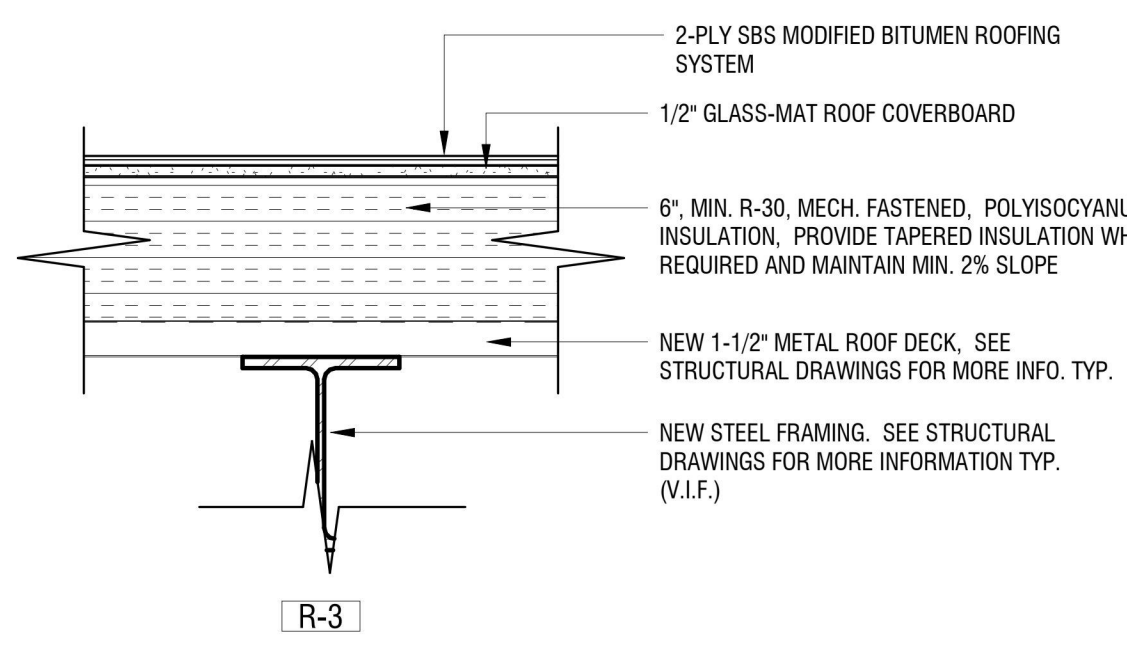
- EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED AND REPLACED WITH NEW ASPHALT SHINGLES SPECIFIED.
- NEW EPDM ROOF MEMBRANE SYSTEM INSTALLATION.
- PROVIDE ROOF INFILL. SEE ROOF INFILL DETAIL.
- NEW ROOF VENT. SEE ROOF DETAILS.
- NEW ROOF DRAIN. SEE ROOF DETAILS.

**ROOF RENOVATION NOTES:**

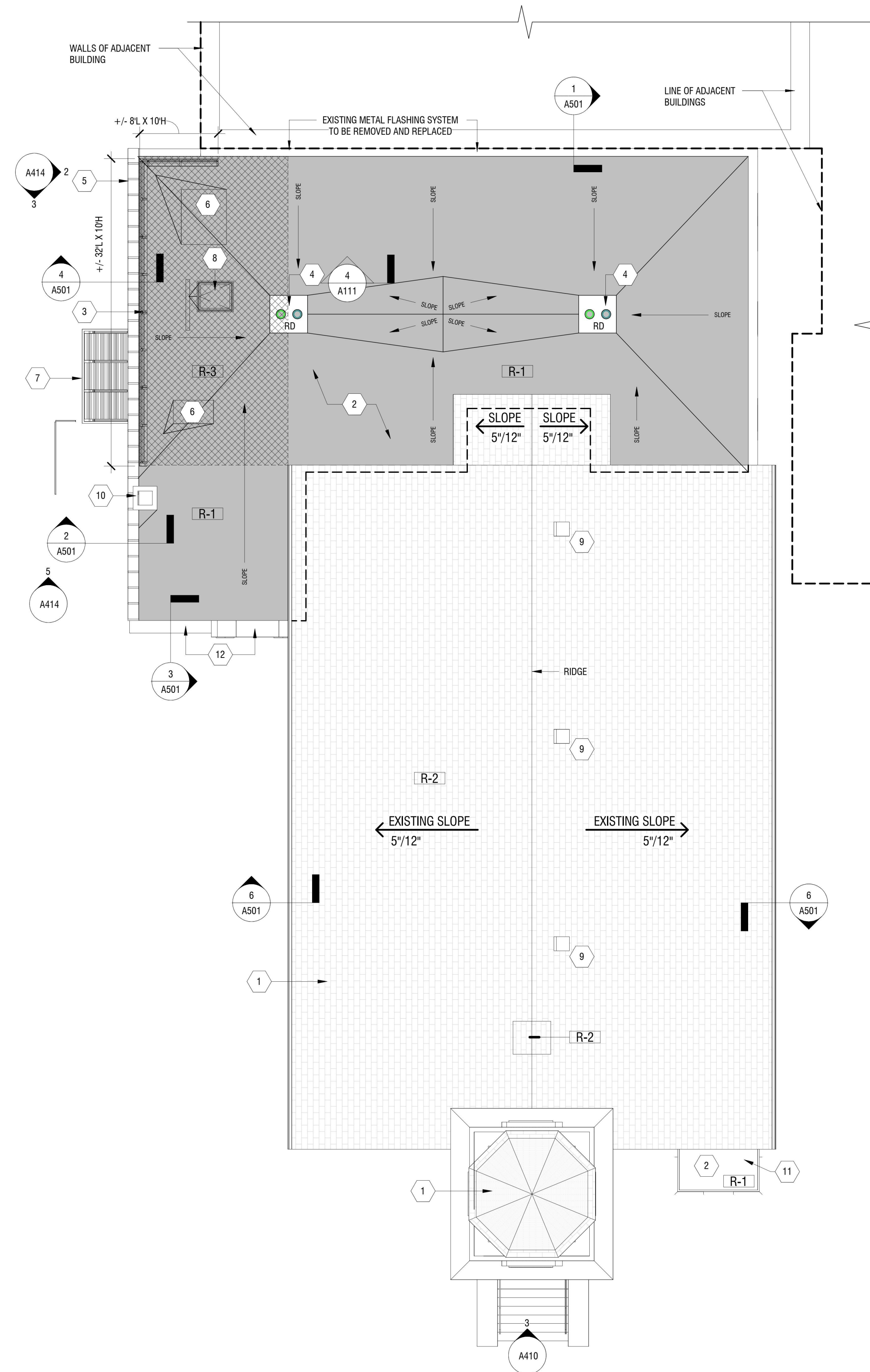
- A. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS AND ARE NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTORS FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- B. WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTORS WORK, IT SHALL BE REPAIRED AND/OR REPLACED WITH SIMILAR OR LIKE MATERIALS, SUBJECT TO ARCHITECTS APPROVAL AND WITHOUT COMPENSATION.
- C. ALL WORK INDICATED ON THIS DRAWING SHALL BE DONE UNDER THE ROOFING CONTRACT UNLESS OTHERWISE NOTED.
- D. G.C. TO PROVIDE ROOF PENETRATIONS REQUIRED TO ACCOMMODATE HVAC EQUIPMENT. COORDINATE EXACT LOCATION OF PENETRATIONS WITH OTHER PRIMES AND ASSIST WITH SETTING OF ALL HVAC EQUIPMENT ROOF CURBS. G.C. SHALL BE RESPONSIBLE FOR TEMPORARY CAO OF ALL ROOF PENETRATIONS AND FOR FLASHING ALL EQUIPMENT CURBS. HVAC CONTRACTOR SHALL REMOVE AND DISPOSE OF TEMPORARY CAP WHEN EQUIPMENT IS SET IN PLACE.
- E. ALL PENETRATIONS ARE THE RESPONSIBILITY OF THE G.C. COORDINATE ALL 8" x 8" OR LARGER PENETRATION LOCATIONS. LINTELS WILL BE REQUIRED FOR ALL PENETRATIONS THROUGH MASONRY WALLS 1'-4" AND GREATER HORIZONTALLY. PENETRATIONS AND LINTEL LOCATIONS TO BE COORDINATED AND DOCUMENTED ON COORDINATION DRAWINGS.
- F. G.C. TO PROVIDE POSITIVE DRAINAGE TO ALL DRAINS MINIMUM OF 1/4" OR AS REQUIRED BY ROOF SYSTEM MANUFACTURER.
- G. HVAC CONTRACTOR TO LOCATE AND SET ROOF CURBS. G.C. TO PROVIDE SUPPORT FRAMING. G.C. TO PROVIDE ROOF OPENING AND FLASHING OF THE CURB SYSTEM.
- H. THE CONTRACTOR SHALL HAVE A LICENSED ELECTRICIAN CONNECT AS REQUIRED ALL ELECTRICAL CONNECTIONS TO ENSURE PROPER WORKING ORDER. REFER TO M.E.P. DRAWINGS.
- I. WHERE NEW REGLET FLASHING IS CALLED TO BE PROVIDED, THE CONTRACTOR SHALL RAKE THE EXISTING MASONRY JOINT TO A DEPTH OF 1-1/2" AND PROVIDE FLASHING AND POINT JOINT WITH NON-SHRINK EPOXY GROUT.
- J. G.C. TO PROVIDE NEW STRUCTURAL FRAMING AND DECKING TO ACCOMMODATE ROOF TOP UNITS. REFER TO AND COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS.
- K. IF PRESENT, EXISTING WEEP HOLE OPENINGS ARE TO BE CLEAR OF DEBRIS OR CAULK TO ENSURE ADEQUATE DRAINAGE THROUGHOUT.
- L. ALL PENETRATIONS WILL UTILIZE A PIPE BOOT FOR A WEATHER RESISTANT ROOF PENETRATION.
- M. PLUMBING CONTRACTOR SHALL ARRANGE TO HAVE ALL ROOF DRAIN CONDUCTORS CLEANED OUT AND VERIFY THAT THEY ARE NOT PLUGGED BOTH PRE-ROOF DEMOLITION AND AGAIN AFTER ROOF HAS BEEN RECONSTRUCTED. G.C. TO COORDINATE WITH PLUMBING CONTRACTOR.
- N. MECHANICAL CONTRACTOR TO PROVIDE AND SET ROOF CURBS. G.C. TO PROVIDE SUPPORT STEEL AND FLASHING OF THE CURB SYSTEM. G.C. SHALL ASSIST WITH SETTING ALL HVAC EQUIPMENT ROOF CURBS. G.C. SHALL BE RESPONSIBLE FOR TEMPORARY CAPPING OF ALL ROOF PENETRATIONS. G.C. SHALL BE RESPONSIBLE FOR FLASHING ALL EQUIPMENT CURBS. HVAC CONTRACTOR SHALL REMOVE AND DISPOSE OF TEMPORARY CAP WHEN EQUIPMENT IS SET IN PLACE.
- O. CONTRACTOR TO PROVIDE FASTENERS AS RECOMMENDED BY ROOFING MANUFACTURER AND PROVIDE PULL TESTS ON FASTENERS FOR NEW ROOFING SYSTEM.
- P. G.C. IS RESPONSIBLE FOR ALL ROOF DECK REPAIRS.
- Q. G.C. TO PROVIDE METAL TERM BARS WITH FASTENERS AT 8" O.C. AT ALL EXPOSED WALL MEMBRANES AND FLASHINGS. TYPICAL.
- R. ROOF TAGS ON ROOF PLAN ARE PROVIDED FOR CONTRACTOR REFERENCE AND ALL ARE TYPICAL. CONTRACTOR TO VERIFY ALL CONDITIONS.
- S. AT ALL ROOF DRAIN REPLACEMENT LOCATIONS, CONTRACTOR TO PROTECT ALL CEILINGS BELOW FROM ANY ROOF DEBRIS. ANY AND ALL ROOF DEBRIS THAT ENDS UP ON THE CEILINGS IS TO BE CLEANED IN ITS ENTIRETY. CONTRACTOR MAY REMOVE THE CEILING TILES UNDER THESE LOCATIONS AS NECESSARY TO AVOID ANY DAMAGE TO EXISTING CEILINGS AND CATCH ALL ROOF DEBRIS FROM CONSTRUCTION.
- T. THE G.C. TO PROVIDE ALL NECESSARY ROOF LEAK REPAIR FOR DURATION OF ROOFING WORK FROM START TO FINISH, REGARDLESS OF CAUSE.
- U. THE G.C. SHALL PROVIDE ALL DUMPSTER SERVICE FOR THE ROOFING WORK.
- V. G.C. TO PROVIDE 4" COUNTERFLASHING ATTACHED WITH A REGLET SYSTEM AT ALL EXISTING AND NEW TERM BAR LOCATIONS. VERIFY ALL LOCATIONS IN FIELD.

**# NEW CONSTRUCTION KEYNOTES:**

1. NEW ASPHALT SHINGLE ROOF SYSTEM. SEE ROOF TYPE, SPECIFICATIONS, AND DETAILS FOR MORE INFORMATION.
2. NEW ROOFING SYSTEM. INSTALL ROOF CRICKETS AT ALL EQUIPMENT/HATCH CURBS/PENETRATIONS AS REQUIRED PER ROOF MANUF. SPECIFICATIONS. SEE ROOF TYPE, SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.
3. FABRICATE AND INSTALL ROOFTOP EQUIPMENT SCREEN IN SIZE REQUIRED TO SCREEN EQUIPMENT FROM PEDESTRIAN VIEW. PROVIDE WITH METAL PANEL, SCREEN DESIGN AND FINISH T.B.D. MOUNTED TO GALVANIZED METAL STRUCTURE, FASTENED TO ROOF STRUCTURE TO MEET DESIGN LOADS. BASIS OF DESIGN: CASCADE ROOFTOP SCREENS.
4. NEW COMBINATION ROOF DRAIN. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
5. EXISTING CAMELBACK ROOF CAPS TO BE CAREFULLY REMOVED, STORED AND PREPPED FOR REINSTALLATION. PROVIDE NEW PARAPET CAP FLASHING AND TIE-IN NEW ROOF MEMBRANE SYSTEM. INSTALL DOWEL SUPPORTS AS REQUIRED FOR RE-INSTALLATION OF CAMELBACK ROOF CAPS. REPLACE ANY DAMAGED ROOF CAPS IN-KIND. REFER TO DETAILS FOR MORE INFORMATION.
6. NEW HVAC EQUIPMENT. COORDINATE WITH MECHANICAL DRAWINGS.
7. NEW ALUMINUM CANOPY. SEE SECTIONS AND DETAILS FOR MORE INFORMATION. COORDINATE WITH STRUCTURAL DRAWINGS. DOWNSPOUT TO THE DIRECTLY INTO NEW UNDERGROUND STORM DRAINAGE. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
8. NEW INSULATED ALUMINUM ROOF ACCESS HATCH WITH LADDER. REFER TO ROOF ACCESS HATCH DETAIL FOR MORE INFORMATION.
9. NEW ONE PIECE BLACK ALUMINUM AIR BOX VENT SLANT BACK ROOF LOUVER. INSTALL OVER EXISTING OPENINGS IN ROOF SHEATHING.
10. NEW CUSTOM CHIMNEY CAP. SEE EXTERIOR ELEVATIONS FOR MORE INFORMATION.
11. INSTALL NEW ROOF DRAIN TO EXISTING CAST IRON PIPING. COORDINATE WITH PLUMBING DRAWINGS.
12. JOINTS ON ALL SIDES OF EXISTING STONE CAPS TO BE RAKED OUT AND NEW BACKER ROD AND CONT. SEALANT INSTALLED, TYP.



**2 ROOF TYPES**  
A103 1 1/2" = 1'-0"



**1 ROOF PLAN**  
A103 1/8" = 1'-0"





CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369



HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**REFLECTED CEILING  
PLANS**

DRAWING NUMBER:

**A111**

**GENERAL CEILING NOTES**

- REFER TO FLOOR/CEILING DETAIL #3 ON DRAWING A102 FOR NEW SUSPENDED CEILING SYSTEM INSTALLATION TO UNDERSIDE OF EXISTING MAIN LEVEL FLOOR CONSTRUCTION.
- REFER TO INTERIORS, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS FOR ANY ADDITIONAL CEILING AND WALL MOUNTED ITEMS NOT SHOWN.
- PROVIDE ACT-1 IN ALL LOCATIONS WHERE ACOUSTICAL CEILING PANEL IS SHOWN UNLESS OTHERWISE NOTED. ALL GYPSUM BOARD CEILINGS TO BE FRAMED WITH 3/8" 20 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- SOFFIT AND GYPSUM WALLBOARD CEILING PAINT COLORS AND FINISHES ARE INDICATED ON REFLECTED CEILING PLANS OR INTERIOR DRAWINGS. PROVIDE FINISH TO ALL VISIBLE FACES OF SOFFITS UNLESS NOTED OTHERWISE.
- ALL GYPSUM BOARD OR PLASTER CEILINGS TO BE PAINTED PT-3, UNLESS NOTED OTHERWISE.
- ANY EXISTING TO REMAIN CEILING TO BE CLEANED AND PAINTED AS NECESSARY.
- REFER TO PLASTER REPAIR NOTES ON A102 IF EXISTING PLASTER CEILINGS TO REMAIN REQUIRE REPAIR.

**NEW CONSTRUCTION KEYNOTES:**

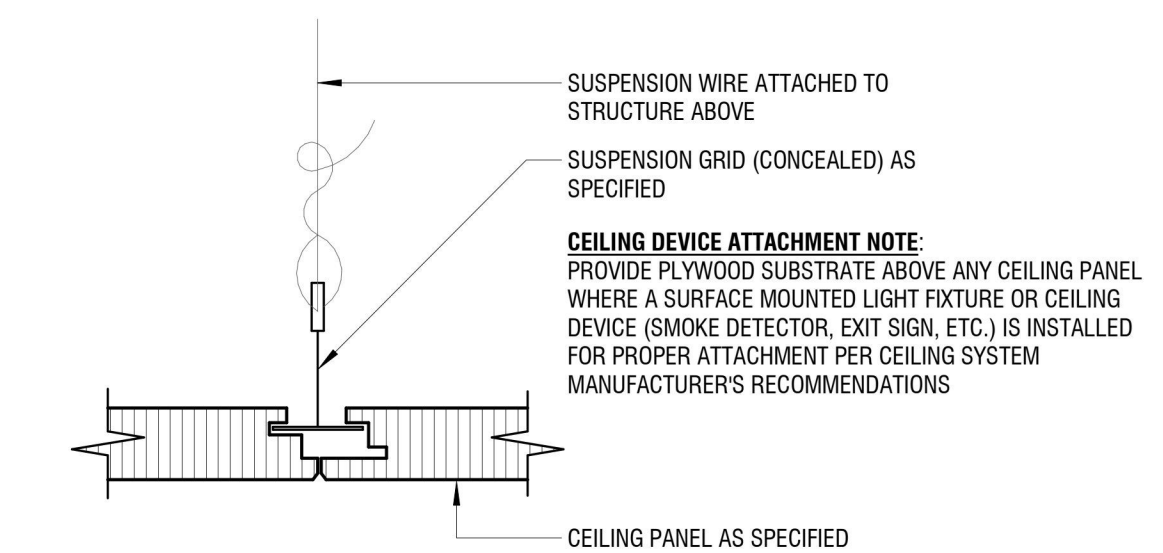
- EXISTING PLASTER CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED FOR NEW PAINT FINISH.
- NEW 5/8" TYPE C GYPSUM BD. ATTACHED DIRECTLY TO UNDERSIDE OF EXISTING WOOD FLOOR JOISTS.
- AFTER INSTALLATION OF GYPSUM BD. TO UNDERSIDE OF FLOOR STRUCTURE, INSTALL A LOWER SUSPENDED GYPSUM BD. CEILING SYSTEM AT HEIGHT SHOWN ON PLAN.
- NEW 5/8" TYPE C GYPSUM BD. ATTACHED DIRECTLY TO UNDERSIDE OF EXISTING AND NEW WOOD ROOF TRUSS FRAMING.
- REINSTALL COFFERED CEILING IN ORIGINAL LOCATION PRIOR TO NEW PARTITION INSTALLATION.

**CEILING TYPE INDICATIONS**

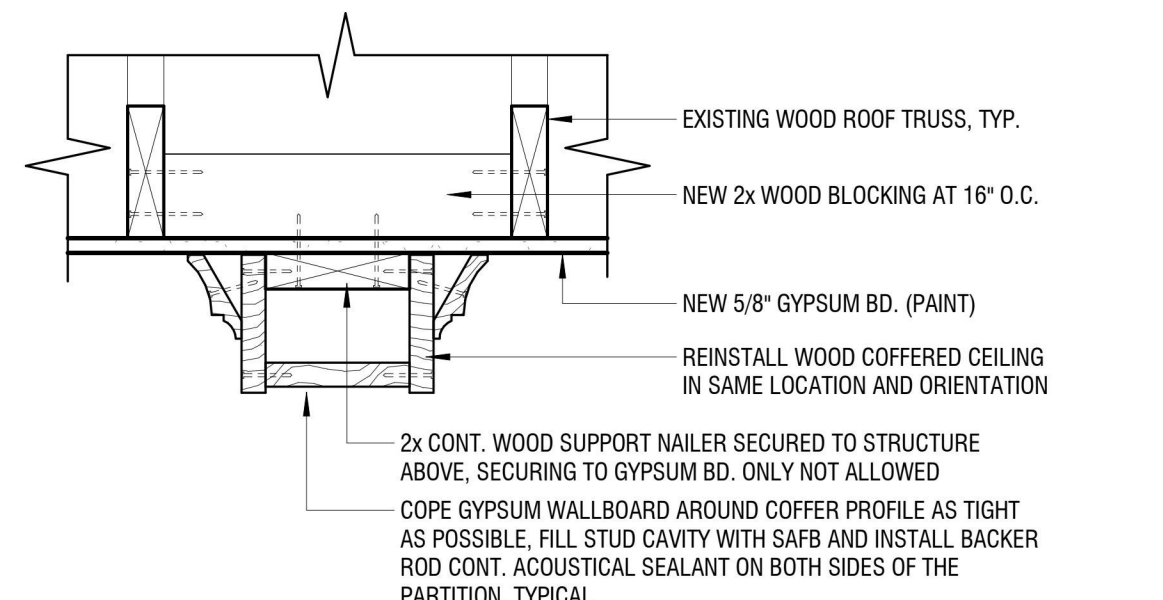
- 2 x 4 ACOUSTICAL CEILING PANELS (ACT-1) WITH CONCEALED SUSPENDED GRID SYSTEM SEE CEILING DETAIL #3 THIS SHEET
- 2 x 2 ACOUSTICAL CEILING PANELS (ACT-2) WITH EXPOSED SUSPENDED GRID SYSTEM
- GYPSUM BOARD - PAINTED
- INDICATE OPENING THROUGH FLOOR/CEILING/ROOF
- N.C. NO CEILING
- ETR. EXISTING TO REMAIN

**LEGEND**

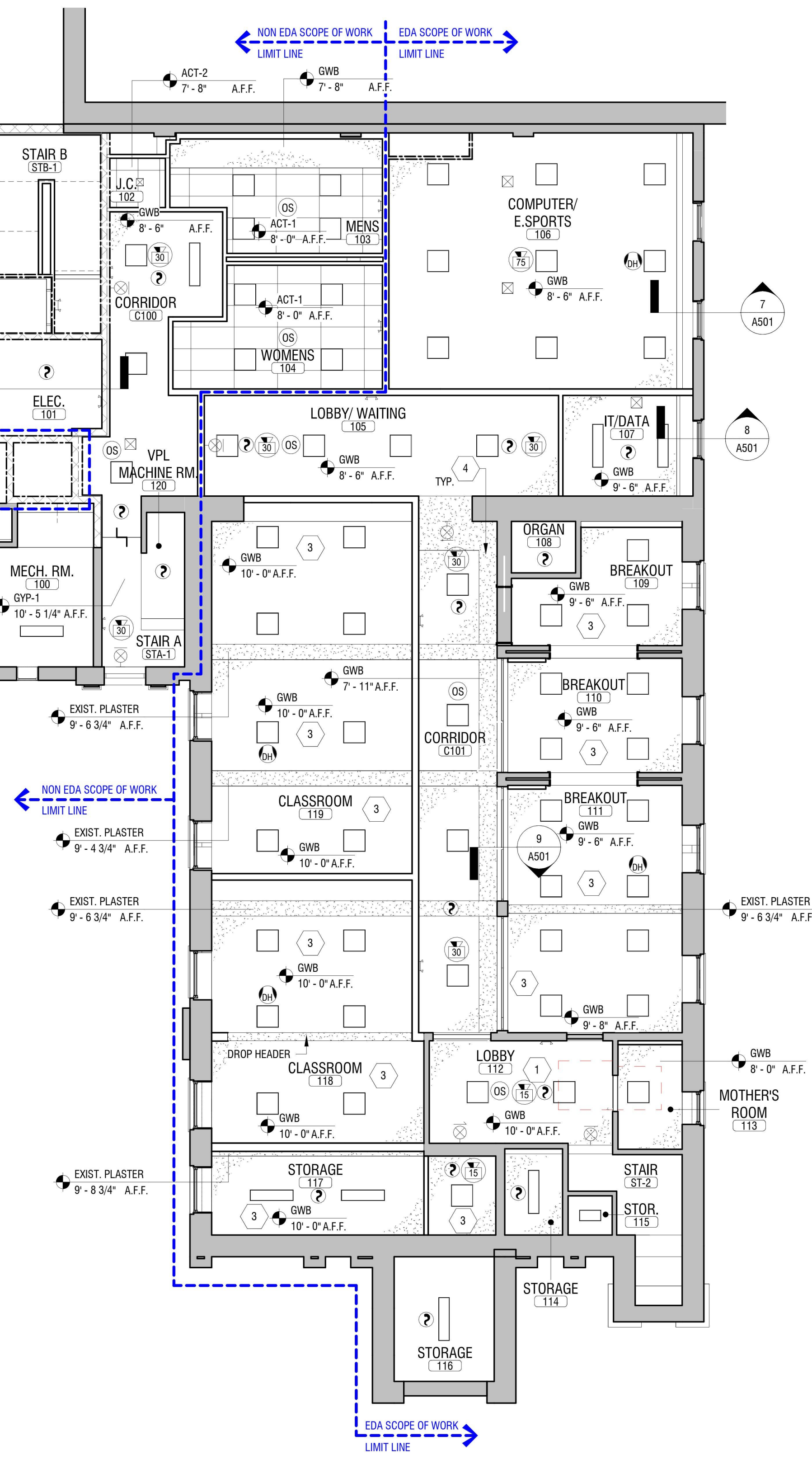
- LIGHTING - RECESSED CEILING FIXTURE (REFER TO ELECTRICAL DRAWINGS FOR TYPE)
- LIGHTING - PENDENT FIXTURE (REFER TO ELECTRICAL DRAWINGS FOR TYPE)
- LIGHTING - SURFACE MOUNTED (REFER TO ELECTRICAL)
- LIGHTING - SURFACE MOUNTED (REFER TO ELECTRICAL)
- LIGHTING - RECESSED CAN FIXTURE (LETTER DESIGNATION TYPE)
- SMOKE DETECTOR - CEILING MOUNTED (REFER TO FIRE PROTECTION)
- HEAT DETECTOR - CEILING MOUNTED (REFER TO FIRE PROTECTION)
- HVAC SUPPLY (REFER TO MECHANICAL)
- HVAC RETURN (REFER TO MECHANICAL)
- CONCEALED SPRINKLER HEAD (REFER TO FIRE PROTECTION)
- SINGLE FACE EXIT SIGN (REFER TO ELECTRICAL)
- DOUBLE FACE EXIT SIGN (REFER TO ELECTRICAL)
- SECURITY CAMERA (REFER TO ELECTRICAL)
- CEILING FINISH TAG. REFER TO INTERIOR DWGS FOR COLOR AND FINISH LEGEND



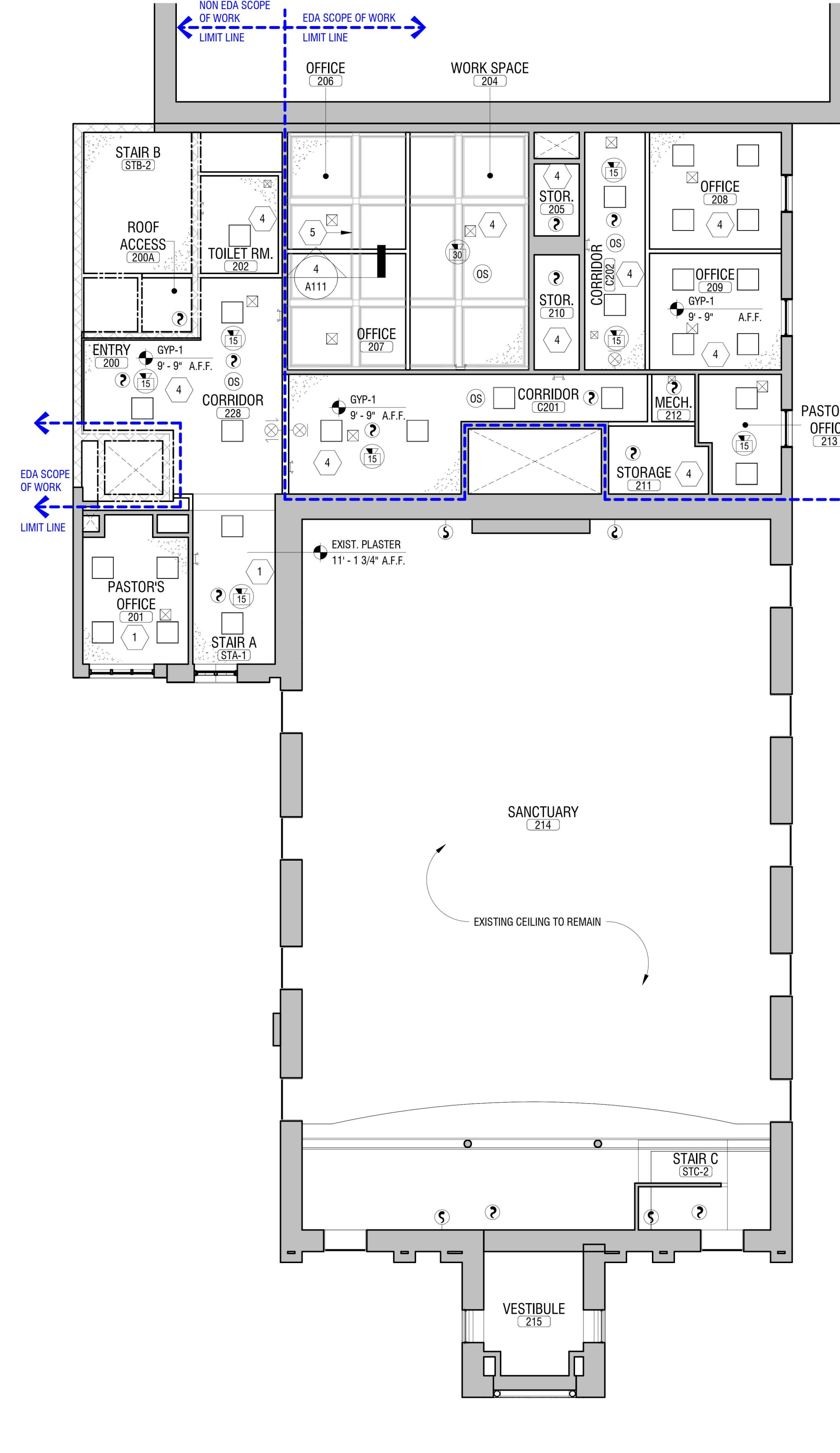
**3 CEILING PANEL DETAIL**  
A111 SCALE: 6" = 1'-0"



**4 TYP. COFFERED CEILING DETAIL**  
A111 SCALE: 1 1/2" = 1'-0"



**1 LOWER LEVEL REFLECTED CEILING PLAN**  
A111 1/8" = 1'-0"



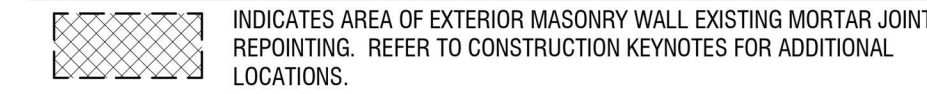
**2 MAIN LEVEL REFLECTED CEILING PLAN**  
A111 SCALE: 1/8" = 1'-0"



**# MASONRY REPAIR KEYNOTES:**

- A. 30% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- B. 65% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- C. 90% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- D. 50% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.

**ELEVATION LEGEND:**



**EXTERIOR ELEVATIONS GENERAL NOTES:**

- A. AT ALL MASONRY CONTROL JOINTS AND RELIEVING ANGLE JOINTS - REMOVE AND RESEAL EXISTING WITH CONT. BACKER ROD AND SEALANT.
- B. AT ALL EXTERIOR DOORS AND WINDOWS THAT ARE EXISTING TO REMAIN, REMOVE INTERIOR AND EXTERIOR PERIMETER SEALANT. CLEAN AND PROVIDE NEW PERIMETER SEALANT.
- C. AT EXISTING EXTERIOR STONE SILLS, REMOVE EXTERIOR PERIMETER SEALANT, CLEAN AND PROVIDE NEW BACKER ROD AND PERIMETER SEALANT.
- D. PATCH / INFILL ALL ABANDONED MECHANICAL / ELECTRICAL / PLUMBING EXISTING MASONRY WALL OPENINGS.
  - a. GROUT SOLID OPENINGS LESS THAN 2" DIAMETER.
- E. PROPERLY REMOVE ALL EXISTING VEGETATION AND TREES ON OR AGAINST EXISTING FACADES.
- F. SECURITY GRILLES FOR BASEMENT WINDOWS NOT SHOWN ON ELEVATIONS FOR CLARITY. REFER TO WINDOW TYPES AND DETAILS FOR MORE INFORMATION.

**MASONRY REPAIR/REPOINTING NOTES:**

- CHURCH MASONRY FACADE:**
- A. REMOVE ALL VEGETATION AND TREES AND CLEAN MASONRY WITH APPROVED CLEANERS FOR HISTORIC MASONRY.
  - B. REMOVAL OF MORTAR FOR THE LIMESTONE FACADE AND BRICK CHIMNEY.
  - C. REPOINT THE MORTAR AND INSTALL CONT. SEALANT WHERE REQUIRED FOR THE LIMESTONE FACADE AND BRICK CHIMNEY.
  - D. REFER TO SPECIFICATION SECTION 04 0323 - HISTORIC BRICK UNIT MASONRY REPOINTING FOR HISTORIC TREATMENT WORK CONSISTING OF REPOINTING BRICK MASONRY WITH MORTAR AND SEALANTS.
  - E. REFER TO SPECIFICATION SECTION 04 0343 - HISTORIC STONE MASONRY REPOINTING FOR HISTORIC TREATMENT WORK CONSISTING OF REPOINTING STONE MASONRY JOINTS WITH MORTAR AND SEALANTS.
  - F. REFER TO SPECIFICATION SECTION 07 1900 - WATER REPELLENTS FOR LIMESTONE AND MASONRY SURFACES.
  - G. CUT BACK OR REMOVE DETERIORATING MORTAR FROM JOINTS WITH NEW MORTAR. REPOINTING OVER EXISTING MORTAR IS NOT RECOMMENDED.
  - H. CARE TO BE TAKEN TO NOT DAMAGE EXISTING MASONRY WHILE ATTEMPTING TO REMOVE EXISTING MORTAR.

- NORTH ADDITION MASONRY FACADE:**
- A. REPAIR AND CORRECTIVE WORK TO THE DAMAGED EXTERIOR WALL ON THE WEST ELEVATION.
  - B. MORTAR REMOVAL AND REPOINTING WORK.
  - C. REMOVE ALL VEGETATION PRESENT ON THE EXISTING EAST AND WEST ELEVATIONS.
  - D. EXISTING PAINTED MASONRY TO REMAIN.
  - E. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF NEW EXTERIOR WALL CONSTRUCTION AND EXISTING EXTERIOR WALL SECTIONS TO REMAIN AND REPAIRED.
  - F. REFER TO ARCHITECTURAL DRAWINGS FOR ELASTOMERIC COATING TO MATCH EXISTING MASONRY COATING/FINISH.
  - G. CUT BACK OR REMOVE DETERIORATING MORTAR FROM JOINTS WITH NEW MORTAR. REPOINTING OVER EXISTING MORTAR IS NOT RECOMMENDED.
  - H. CARE TO BE TAKEN TO NOT DAMAGE EXISTING MASONRY WHILE ATTEMPTING TO REMOVE EXISTING MORTAR.

**# NEW CONSTRUCTION KEYNOTES:**

- 1. NEW ALUMINUM CANOPY. SEE SECTIONS AND DETAILS FOR MORE INFORMATION. COORDINATE WITH STRUCTURAL DRAWINGS.
- 2. NEW CONNECTOR BRIDGE WITH CODE COMPLIANT GUARDRAILS. SEE STRUCTURAL DRAWINGS FOR BRIDGE CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR GUARDRAIL DETAILS.
- 3. REPAIR AND REPLACE EXISTING ALUMINUM FLASHING/CAP AS REQUIRED.
- 4. NEW ARCHITECTURAL ASPHALT ROOF SHINGLE SYSTEM. SEE ROOF PLAN, DETAILS, AND SPECIFICATIONS FOR MORE INFORMATION.
- 5. NEW CONC. MASONRY STAIRS AND LANDING WITH DECORATIVE ADA COMPLIANT HAND/GUARD RAILING SYSTEM. REFER TO ENLARGED ELEVATIONS AND A410 FOR MORE INFORMATION.
- 6. AT EXISTING LIMESTONE FACADE, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER REPELLENT TO ENTIRETY OF SURFACE. BASIS OF DESIGN: PROSOOD NATURAL STONE TREATMENT.
- 7. TYPICAL ALL EXISTING WOOD CAPITALS, CAREFULLY REMOVE TO SAND, PATCH, REPAIR, AND PREPARE FOR NEW PAINT FINISH. REINSTALL IN EXISTING LOCATION. IF REQUIRED, PROVIDE NEW WOOD LOCKING, SHIMMING, ETC. FOR ATTACHMENT. APPLY CONT. EXTERIOR GRADE SEALANT WHERE WOOD CAPITAL MEETS STONE.
- 8. INSPECT EXPOSED SECTION OF WOOD FASCIA FOR DECAY AND DETERIORATION. REPLACE WOOD IN KIND AS REQUIRED. INSTALL NEW 3/32" MIN. ALUMINUM BRAKE METAL OVER FASCIA. COLOR TO MATCH EXISTING (V.L.F.)
- 9. AT EXISTING BRICK CHIMNEY, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER REPELLENT TO ENTIRETY OF SURFACE. BASIS OF DESIGN: PROSOOD NATURAL STONE TREATMENT. PROVIDE CONTINUOUS CAULK JOINT BETWEEN BRICK AND LIMESTONE FACADE.
- 10. FABRICATE AND INSTALL ROOFTOP EQUIPMENT SCREEN IN SIZE REQUIRED TO SCREEN EQUIPMENT FROM PEDESTRIAN VIEW. PROVIDE WITH METAL PANEL SCREEN (DESIGN AND FINISH T.B.D.) MOUNTED TO GALVANIZED METAL STRUCTURE, FASTENED TO ROOF STRUCTURE TO MEET DESIGN LOADS. BASIS OF DESIGN: CASCADE ROOFTOP SCREENS.
- 11. EXTERIOR WALL TO BE REBUILT WITH NEW MASONRY CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. INSTALLATION OF A 1" VERTICAL CONTROL JOINT CONSISTING OF BACKER ROD AND CONTINUOUS SEALANT BETWEEN NEW AND EXISTING MASONRY.
- 12. AT EXISTING EXTERIOR MASONRY WALLS, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER BASED, HIGH BUILD ELASTOMERIC COATING TO ENTIRETY OF SURFACE. BASIS OF DESIGN: MASTERSEAL EL 750.
- 13. AT STONE PARAPET CAPS, PLASTER CAPS, AND LIMESTONE BANDS, RAKE OUT EXISTING JOINTS APPROX. 1/2", CLEAN, AND MAKE READY FOR NEW SEALANT SYSTEM. PROVIDE NEW BACKER ROD AND CONTINUOUS SEALANT ON ALL FACES OF STONE PIECES, INCLUDING SKYWARD FACES WHERE APPLICABLE. REFER TO SECTION DETAILS FOR MORE INFORMATION ON LOCATIONS WHERE STONE PARAPET CAPS ARE BEING REMOVED AND REINSTALLED.
- 14. CUSTOM GALVANIZED STEEL CHIMNEY CAP. TOP MOUNT INSTALLATION OVER EXISTING MASONRY CHIMNEY. CHIMNEY CAP CONSTRUCTION TO BE A HIP ROOF TOP, DIAMOND PATTERN MESH INFILL PANELS, MIN. 2" SKIRT ALL AROUND, AND ONE FLUE HOLE. FIELD VERIFY SIZE OF EXISTING CHIMNEY FOR A TOP MOUNT INSTALLATION.
- 15. REPLACE THREE (3) EXISTING BOX VENTS WITH NEW ONE PIECE BLACK ALUMINUM AIR BOX VENT SLANT BACK ROOF LOUVER. INSTALL OVER EXISTING OPENINGS IN ROOF SHEATHING. MODIFY OPENING AS REQUIRED TO ACCEPT VENT INSTALLATION.
- 16. INFILL EXISTING MASONRY OPENING WITH SALVAGED MASONRY UNITS FROM WEST EXTERIOR WALL DEMOLITION. PROVIDE AND INSTALL NEW CONC. MASONRY UNIT BACKUP BEHIND SALVAGED UNITS. MATCH THICKNESS.
- 17. SCRAPE LOOSE PAINT, SAND SMOOTH, AND PREPARE FOR NEW PAINT FINISH. INSTALL BLACK ALUMINUM WIRE MESH INSECT SCREENING ON INTERIOR SIDE OF LOUVER. 0.011" DIA. WIRE WITH PLAIN WEAVE/CRIMP.
- 18. 3/8" WIDE CONT. VERTICAL CONTROL JOINT. INSTALL CONT. FOAM BACKER ROD AND SEALANT ON BOTH SIDES OF WALL WITH MINERAL WOOL FILLER.
- 19. EXISTING RECESSED ELECTRICAL JUNCTION BOXES TO BE REMOVED AND PROPERLY DISPOSED OF IN THEIR ENTIRETY. REPLACE WITH NEW EXTERIOR RATED JUNCTION BOXES FOR SPECIFIED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 20. NEW CODE COMPLIANT RAILING SYSTEM WITH MESH INFILL PANELS INSTALLED ALONG THE TOP OF THE EXISTING CONC. RETAINING WALL. REFER TO ELEVATIONS AND DETAILS FOR MORE INFORMATION.
- 21. NEW CODE COMPLIANT RAMP AND LANDING WITH HANDRAIL SYSTEM. REFER TO ELEVATIONS AND DETAILS FOR MORE INFORMATION.

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Buffalo, NY 14202  
716-551-6281  
labellapp.com



EXP: 07/31/2024  
CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: TBD

ISSUED FOR: BID

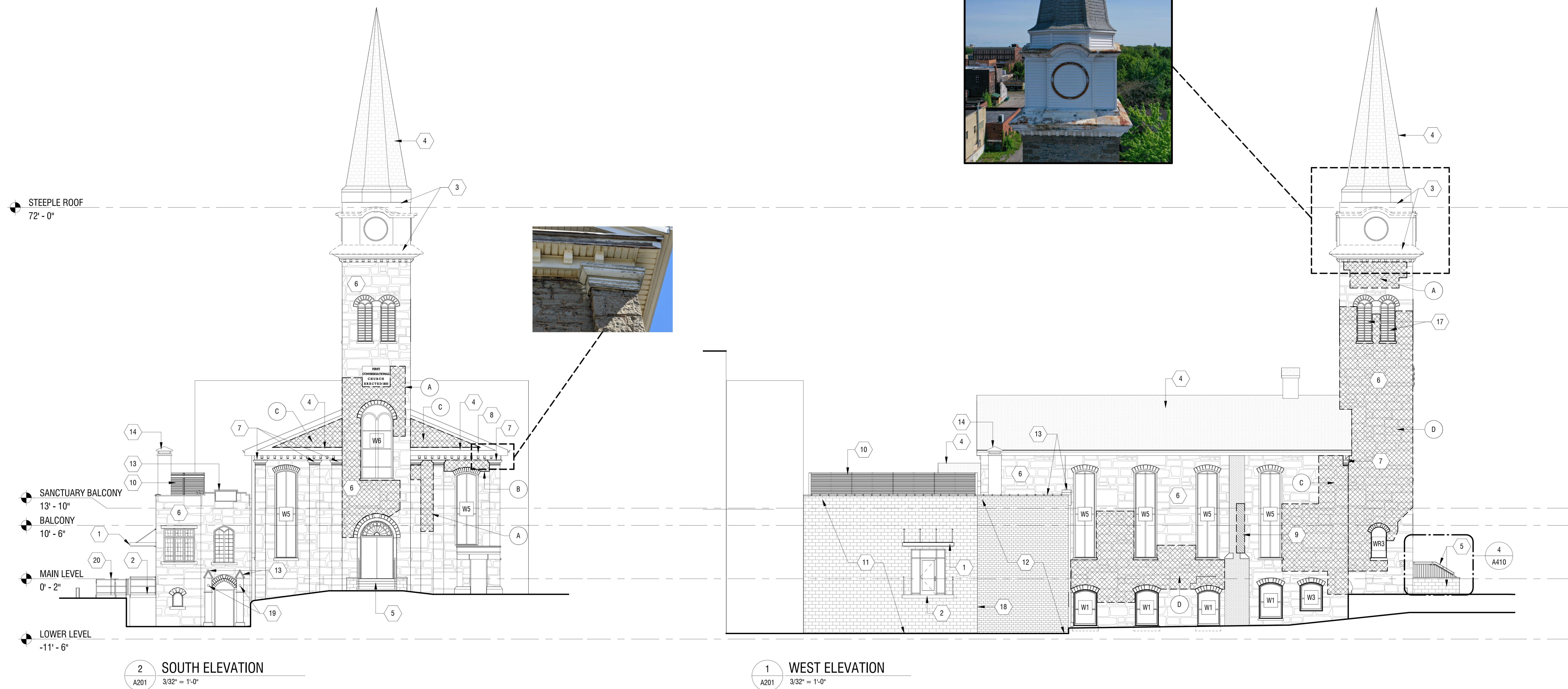
DATE: APRIL 11, 2024

DRAWING NUMBER:

**EXTERIOR ELEVATIONS**

DRAWING NUMBER:

**A201**





CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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**ACADEMIC INNOVATION  
HUB - WORK FORCE  
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822 CLEVELAND AVENUE  
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ISSUED FOR: BID

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DRAWING NUMBER:

**EXTERIOR ELEVATIONS**

DRAWING NUMBER:

**A202**

**# MASONRY REPAIR KEYNOTES:**

- A. 30% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- B. 65% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- C. 90% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.
- D. 50% OF HATCHED AREA SHOWN TO HAVE LOOSE, DETERIORATED, AND/OR EXCESSIVE MORTAR TO BE REMOVED AND REPOINTED WITH NEW MORTAR.

**ELEVATION LEGEND:**

INDICATES AREA OF EXTERIOR MASONRY WALL EXISTING MORTAR JOINT REPOINTING. REFER TO CONSTRUCTION KEYNOTES FOR ADDITIONAL LOCATIONS.

**EXTERIOR ELEVATIONS GENERAL NOTES:**

- A. AT ALL MASONRY CONTROL JOINTS AND RELIEVING ANGLE JOINTS - REMOVE AND RESEAL EXISTING WITH CONT. BACKER ROD AND SEALANT.
- B. AT ALL EXTERIOR DOORS AND WINDOWS THAT ARE EXISTING TO REMAIN, REMOVE INTERIOR AND EXTERIOR PERIMETER SEALANT. CLEAN AND PROVIDE NEW PERIMETER SEALANT.
- C. AT EXISTING EXTERIOR STONE SILLS, REMOVE EXTERIOR PERIMETER SEALANT, CLEAN AND PROVIDE NEW BACKER ROD AND PERIMETER SEALANT.
- D. PATCH / INFILL ALL ABANDONED MECHANICAL / ELECTRICAL / PLUMBING EXISTING MASONRY WALL OPENINGS.
  - a. GROUT SOLID OPENINGS LESS THAN 2" DIAMETER.
- E. PROPERLY REMOVE ALL EXISTING VEGETATION AND TREES ON OR AGAINST EXISTING FACADES.
- F. SECURITY GRILLES FOR BASEMENT WINDOWS NOT SHOWN ON ELEVATIONS FOR CLARITY. REFER TO WINDOW TYPES AND DETAILS FOR MORE INFORMATION.

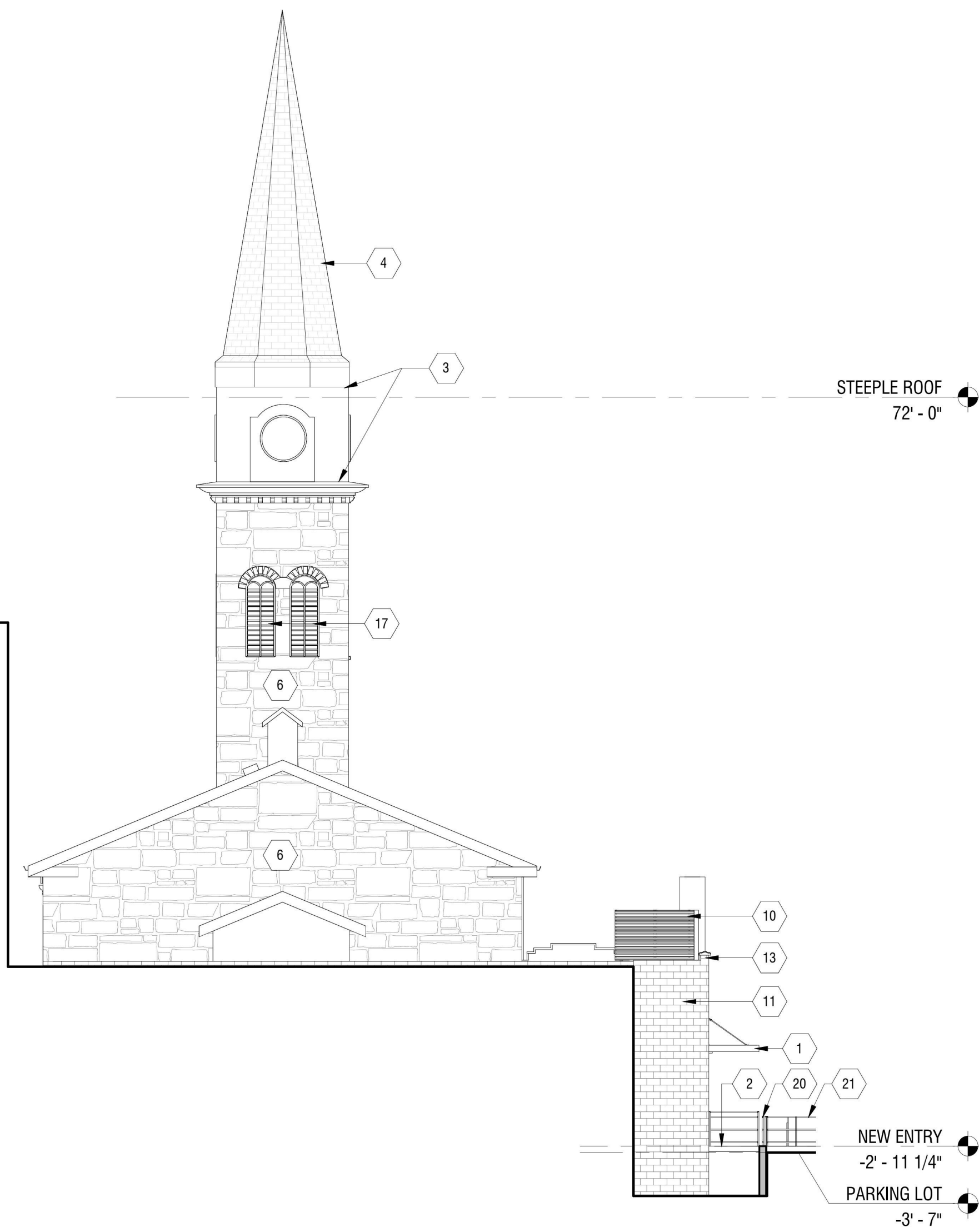
**MASONRY REPAIR/REPOINTING NOTES:**

- CHURCH MASONRY FACADE:**
- A. REMOVE ALL VEGETATION AND TREES AND CLEAN MASONRY WITH APPROVED CLEANERS FOR HISTORIC MASONRY.
  - B. REMOVAL OF MORTAR FOR THE LIMESTONE FACADE AND BRICK CHIMNEY.
  - C. REPOINT THE MORTAR AND INSTALL CONT. SEALANT WHERE REQUIRED FOR THE LIMESTONE FACADE AND BRICK CHIMNEY.
  - D. REFER TO SPECIFICATION SECTION 04 0323 - HISTORIC BRICK UNIT MASONRY REPOINTING FOR HISTORIC TREATMENT WORK CONSISTING OF REPOINTING BRICK MASONRY WITH MORTAR AND SEALANTS.
  - E. REFER TO SPECIFICATION SECTION 04 0343 - HISTORIC STONE MASONRY REPOINTING FOR HISTORIC TREATMENT WORK CONSISTING OF REPOINTING STONE MASONRY JOINTS WITH MORTAR AND SEALANTS.
  - F. REFER TO SPECIFICATION SECTION 07 1900 - WATER REPELLENTS FOR LIMESTONE AND MASONRY SURFACES.
  - G. CUT BACK OR REMOVE DETERIORATING MORTAR FROM JOINTS WITH NEW MORTAR. REPOINTING OVER EXISTING MORTAR IS NOT RECOMMENDED.
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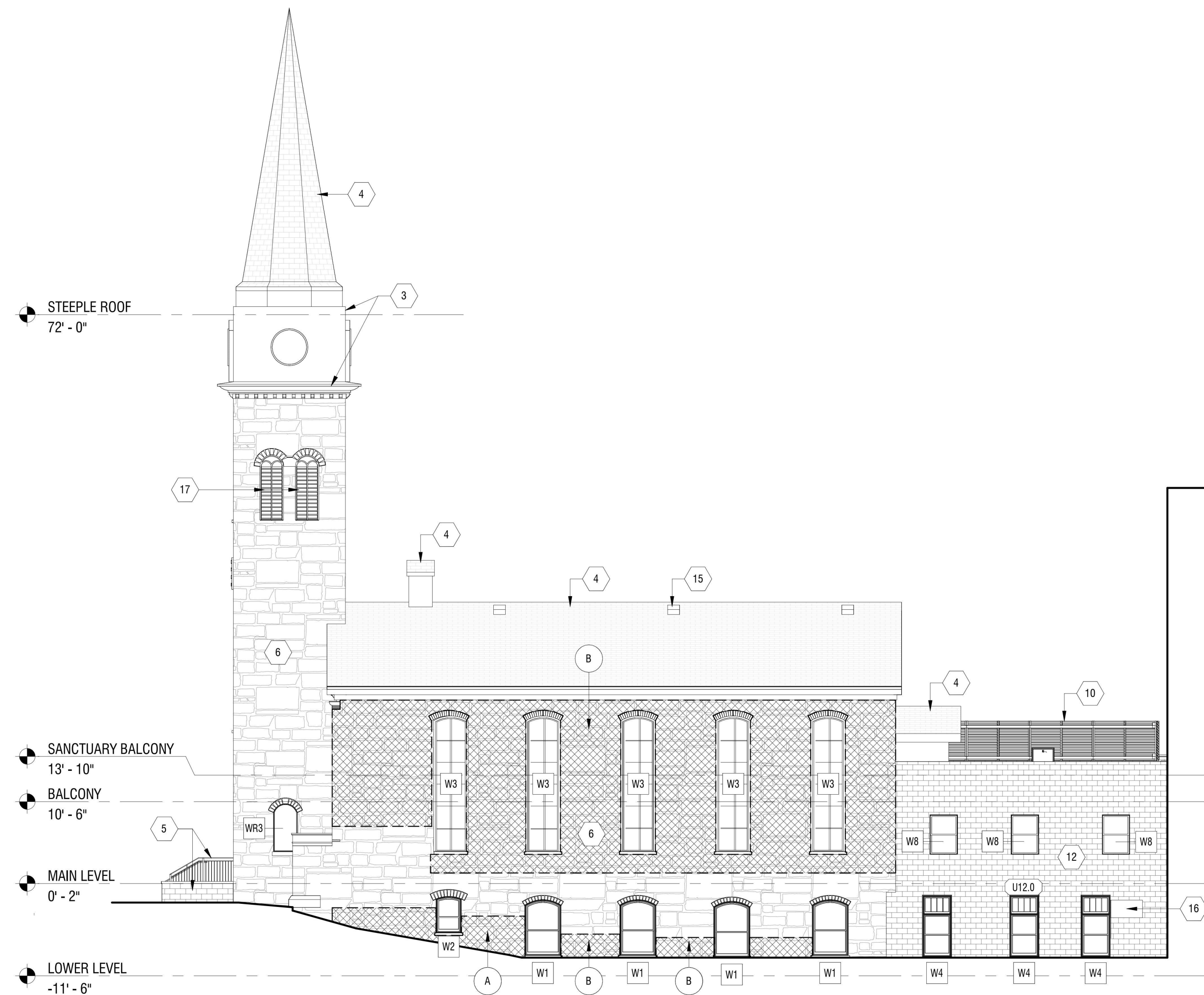
- NORTH ADDITION MASONRY FACADE:**
- A. REPAIR AND CORRECTIVE WORK TO THE DAMAGED EXTERIOR WALL ON THE WEST ELEVATION.
  - B. MORTAR REMOVAL AND REPOINTING WORK.
  - C. REMOVE ALL VEGETATION PRESENT ON THE EXISTING EAST AND WEST ELEVATIONS.
  - D. EXISTING PAINTED MASONRY TO REMAIN.
  - E. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF NEW EXTERIOR WALL CONSTRUCTION AND EXISTING EXTERIOR WALL SECTIONS TO REMAIN AND REPAIRED.
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**# NEW CONSTRUCTION KEYNOTES:**

- 1. NEW ALUMINUM CANOPY. SEE SECTIONS AND DETAILS FOR MORE INFORMATION. COORDINATE WITH STRUCTURAL DRAWINGS.
- 2. NEW CONNECTOR BRIDGE WITH CODE COMPLIANT GUARDRAILS. SEE STRUCTURAL DRAWINGS FOR BRIDGE CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR GUARDRAIL DETAILS.
- 3. REPAIR AND REPLACE EXISTING ALUMINUM FLASHING/CAP AS REQUIRED.
- 4. NEW ARCHITECTURAL ASPHALT ROOF SHINGLE SYSTEM. SEE ROOF PLAN, DETAILS, AND SPECIFICATIONS FOR MORE INFORMATION.
- 5. NEW CONC. MASONRY STAIRS AND LANDING WITH DECORATIVE ADA COMPLIANT HAND/GUARD RAILING SYSTEM. REFER TO ENLARGED ELEVATIONS AND A410 FOR MORE INFORMATION.
- 6. AT EXISTING LIMESTONE FACADE, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER REPELLENT TO ENTIRETY OF SURFACE, BASIS OF DESIGN: PROSOCO NATURAL STONE TREATMENT. TYPICAL ALL EXISTING WOOD CAPITALS, CAREFULLY REMOVE TO SAND, PATCH, REPAIR, AND PREPARE FOR NEW PAINT FINISH. REINSTALL IN EXISTING LOCATION, IF REQUIRED. PROVIDE NEW WOOD BLOCKING, SHIMMING, ETC. FOR ATTACHMENT. APPLY CONT. EXTERIOR GRADE SEALANT WHERE WOOD CAPITAL MEETS STONE.
- 8. INSPECT EXPOSED SECTION OF WOOD FASCIA FOR DECAY AND DETERIORATION. REPLACE WOOD IN KIND AS REQUIRED. INSTALL NEW .032" MIN. ALUMINUM BRAKE METAL OVER FASCIA. COLOR TO MATCH EXISTING (V.I.F.)
- 9. AT EXISTING BRICK CHIMNEY, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER REPELLENT TO ENTIRETY OF SURFACE, BASIS OF DESIGN: PROSOCO NATURAL STONE TREATMENT. PROVIDE CONTINUOUS CAULK JOINT BETWEEN BRICK AND LIMESTONE FACADE.
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- 12. AT EXISTING EXTERIOR MASONRY WALLS, REMOVE ALL VEGETATION AND WASH TO REMOVE GRAFFITI AND ENVIRONMENTAL STAINING. REPAIR AND REPOINT ALL DAMAGED/LOOSE/MISSING MORTAR JOINTS. APPLY WATER BASED, HIGH BUILD ELASTOMERIC COATING TO ENTIRETY OF SURFACE, BASIS OF DESIGN: MASTERSEAL EL 750.
- 13. AT STONE PARAPET CAPS, PLASTER CAPS, AND LIMESTONE BANDS, RAKE OUT EXISTING JOINTS APPROX. 1/2", CLEAN, AND MAKE READY FOR NEW SEALANT SYSTEM. PROVIDE NEW BACKER ROD AND CONTINUOUS SEALANT ON ALL FACES OF STONE PIECES, INCLUDING SKYWARD FACES WHERE APPLICABLE. REFER TO SECTION DETAILS FOR MORE INFORMATION ON LOCATIONS WHERE STONE PARAPET CAPS ARE BEING REMOVED AND REINSTALLED.
- 14. CUSTOM GALVANIZED STEEL CHIMNEY CAP. TOP MOUNT INSTALLATION OVER EXISTING MASONRY CHIMNEY. CHIMNEY CAP CONSTRUCTION TO BE A HIP ROOF. TOP DIAMOND PATTERN MESH INFILL PANELS. MIN. 2" SKIRT ALL AROUND, AND ONE FLUE HOLE. FIELD VERIFY SIZE OF EXISTING CHIMNEY FOR A TOP MOUNT INSTALLATION.
- 15. REPLACE THREE (3) EXISTING BOX VENTS WITH NEW ONE PIECE BLACK ALUMINUM AIR BOX VENT SLANT BACK ROOF LOUVER. INSTALL OVER EXISTING OPENINGS IN ROOF SHEATHING. MODIFY OPENING AS REQUIRED TO ACCEPT VENT INSTALLATION.
- 16. INFILL EXISTING MASONRY OPENING WITH SALVAGED MASONRY UNITS FROM WEST EXTERIOR WALL. DEMOLITION, PROVIDE AND INSTALL NEW CONC. MASONRY UNIT BACKUP BEHIND SALVAGED UNITS. MATCH THICKNESS. PLASTER WALL FINISH TO REMAIN. VERIFY ALL CONSTRUCTION IN FIELD.
- 17. SCRAPE LOOSE PAINT, SAND SMOOTH, AND PREPARE FOR NEW PAINT FINISH. INSTALL BLACK ALUMINUM WIRE MESH INSECT SCREENING ON INTERIOR SIDE OF LOUVER. 0.011" DIA. WIRE WITH PLAN WEAVE/CRIMP.
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- 19. EXISTING RECESSED ELECTRICAL JUNCTION BOXES TO BE REMOVED AND PROPERLY DISPOSED OF IN THEIR ENTIRETY. REPLACE WITH NEW EXTERIOR RATED JUNCTION BOXES FOR SPECIFIED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 20. NEW CODE COMPLIANT RAILING SYSTEM WITH MESH INFILL PANELS INSTALLED ALONG THE TOP OF THE EXISTING CONC. RETAINING WALL. REFER TO ELEVATIONS AND DETAILS FOR MORE INFORMATION.
- 21. NEW CODE COMPLIANT RAMP AND LANDINGS WITH HANDRAIL SYSTEM. REFER TO ELEVATIONS AND DETAILS FOR MORE INFORMATION.



**1 NORTH ELEVATION**  
A202 3/32" = 1'-0"



**2 EAST ELEVATION**  
A202 3/32" = 1'-0"



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: TBD

ISSUED FOR: BID

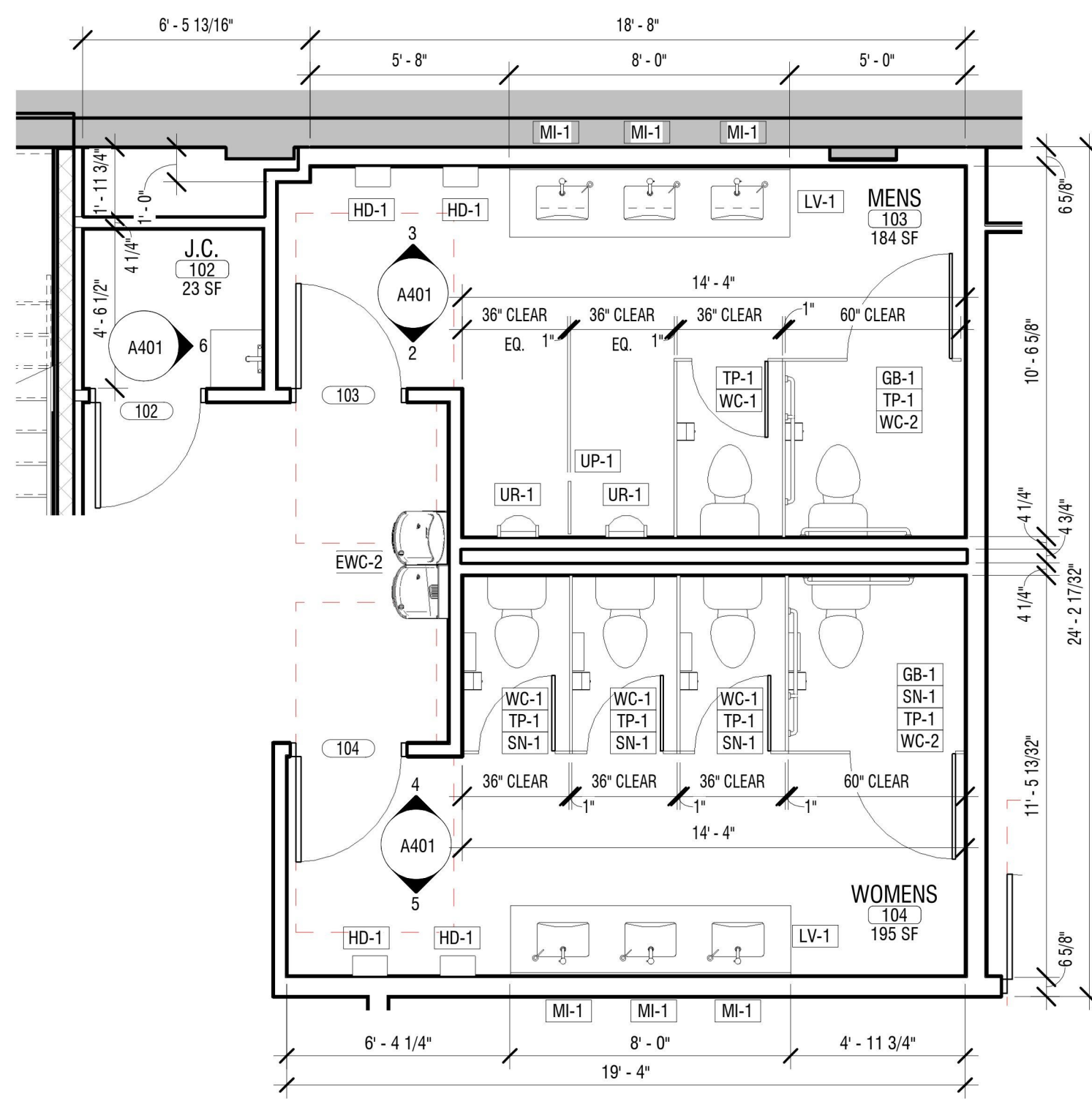
DATE: APRIL 11, 2024

DRAWING NAME:

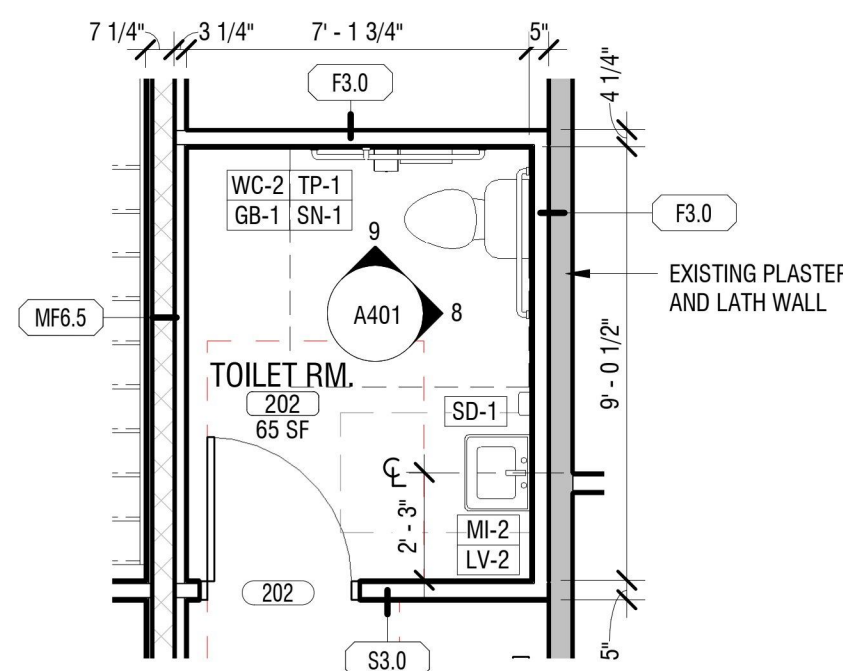
**ENLARGED TOILET ROOM  
PLANS AND INTERIOR  
ELEVATIONS**

DRAWING NUMBER:

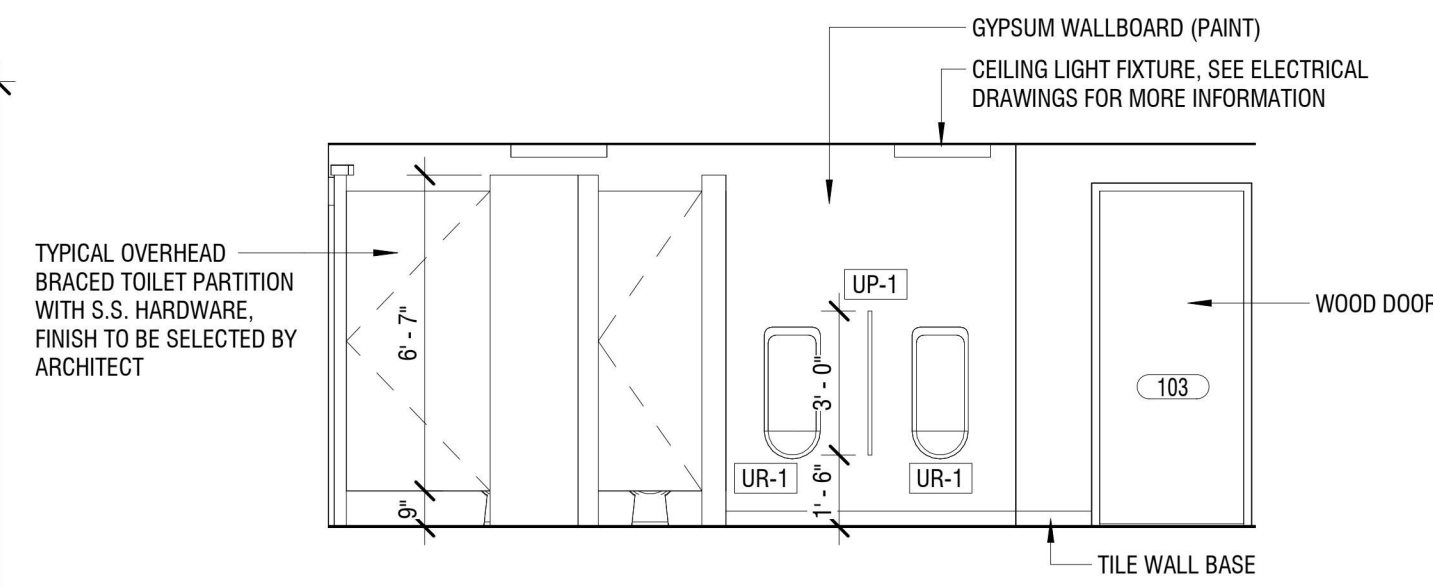
**A401**



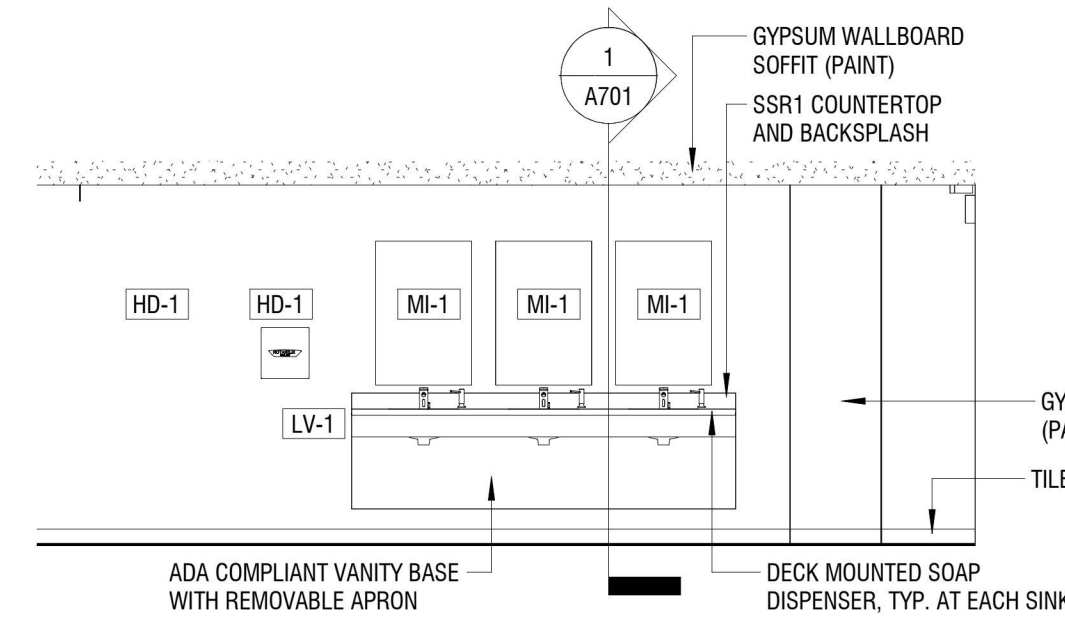
**1 ENLARGED PLAN - TOILET ROOMS 103 & 104**  
A401 1/4" = 1'-0"



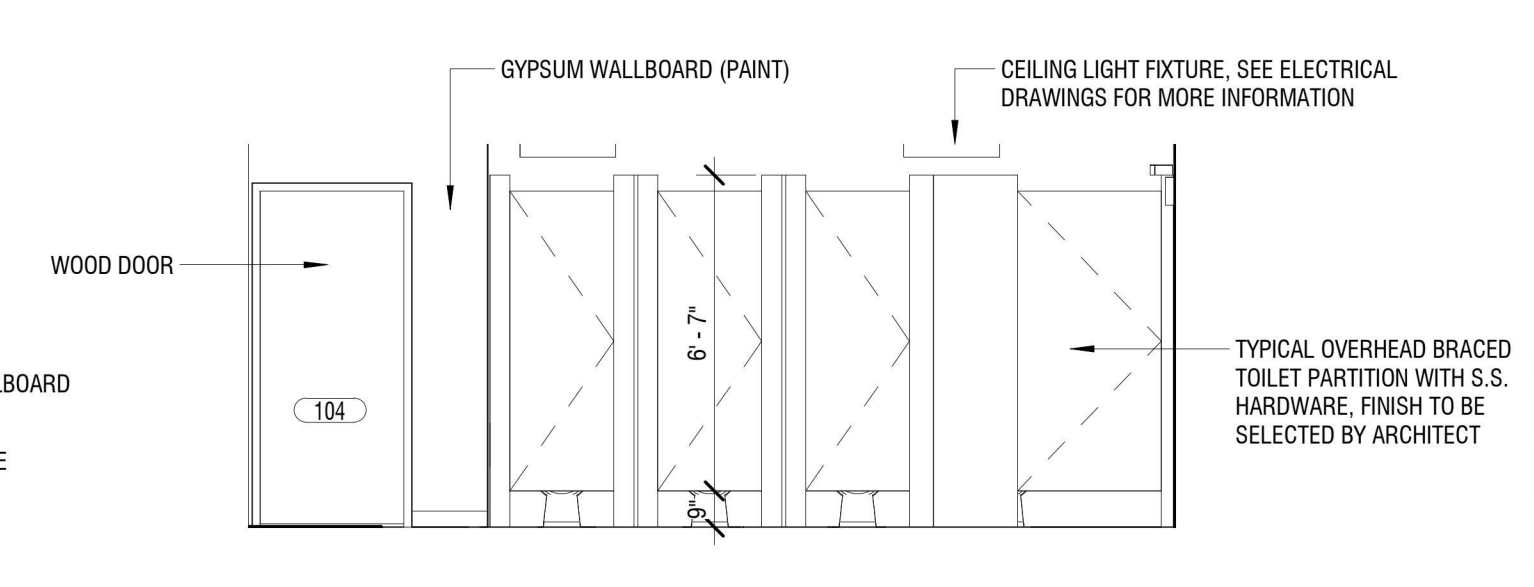
**7 ENLARGED PLAN - TOILET ROOM**  
A401 1/4" = 1'-0"



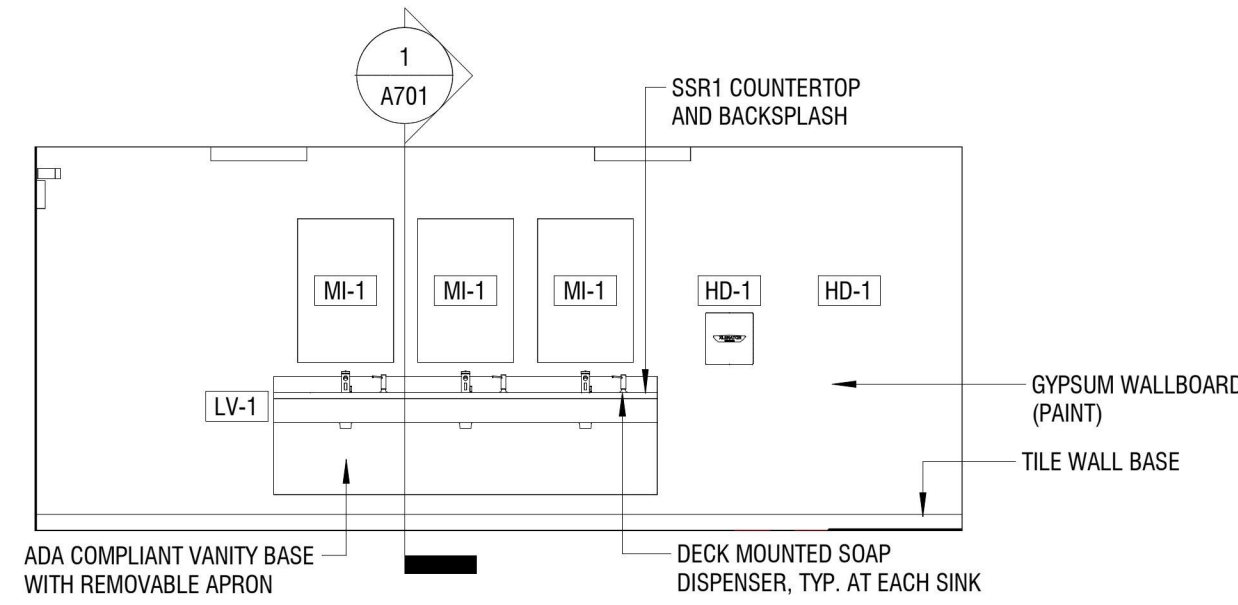
**2 INTERIOR ELEVATION - MEN'S 103**  
A401 1/4" = 1'-0"



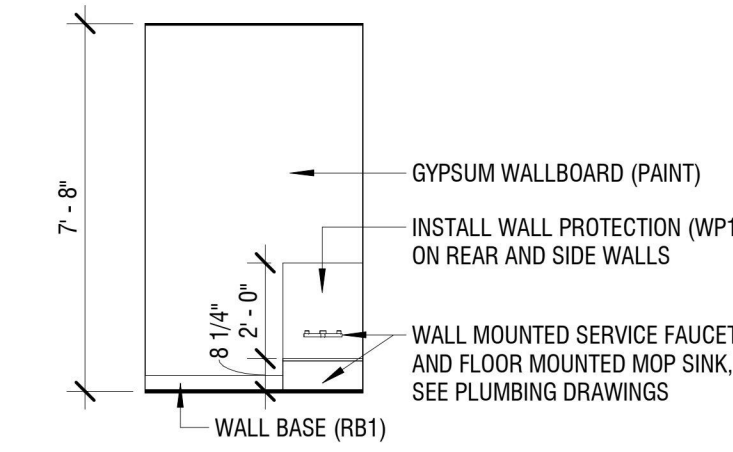
**3 INTERIOR ELEVATION - MEN'S 103**  
A401 1/4" = 1'-0"



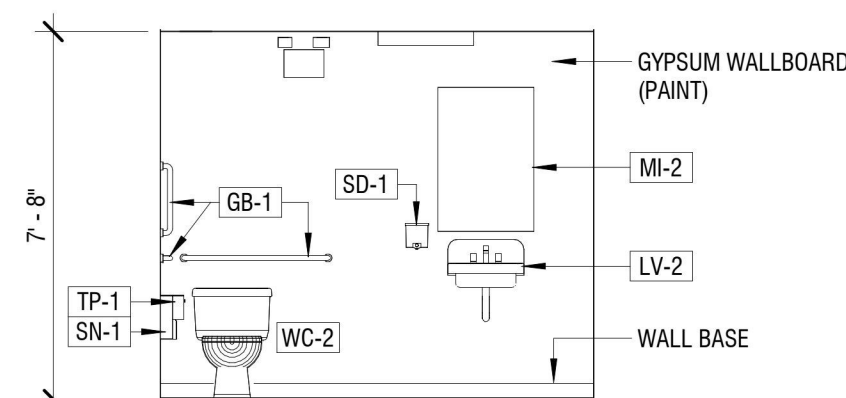
**4 INTERIOR ELEVATION - WOMEN'S 104**  
A401 1/4" = 1'-0"



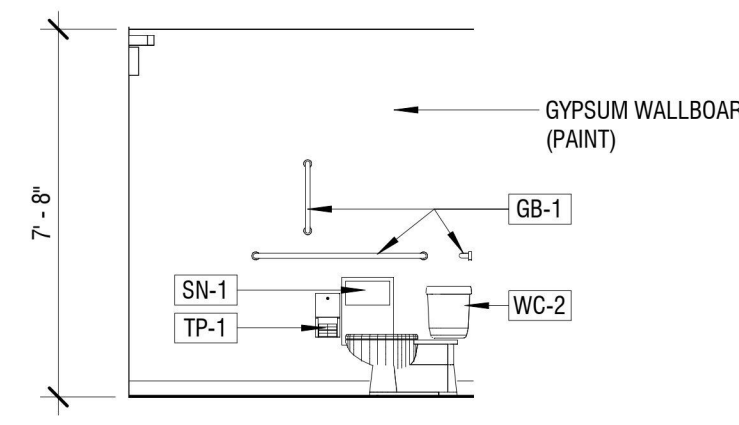
**5 INTERIOR ELEVATION - WOMEN'S 104**  
A401 1/4" = 1'-0"



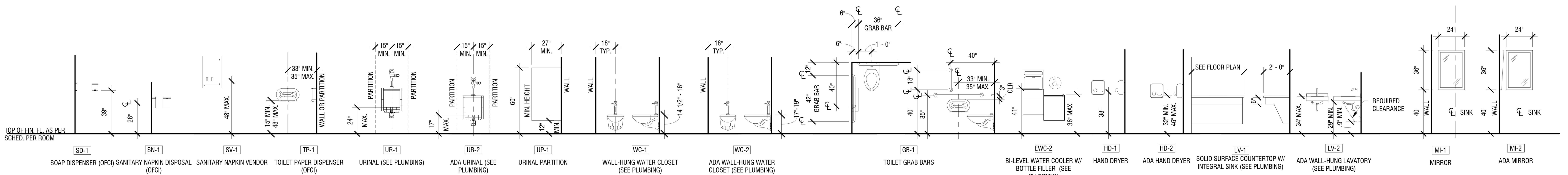
**6 JANITOR'S CLOSET 102**  
A401 1/4" = 1'-0"



**8 INTERIOR ELEVATION - TOILET ROOM**  
A401 1/4" = 1'-0"



**9 INTERIOR ELEVATION - TOILET ROOM**  
A401 1/4" = 1'-0"



**TOILET ROOM FIXTURES/ACCESSORIES - TYPICAL MOUNTING HEIGHTS**

OFCI = OWNER FURNISHED, CONTRACTOR INSTALLED



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

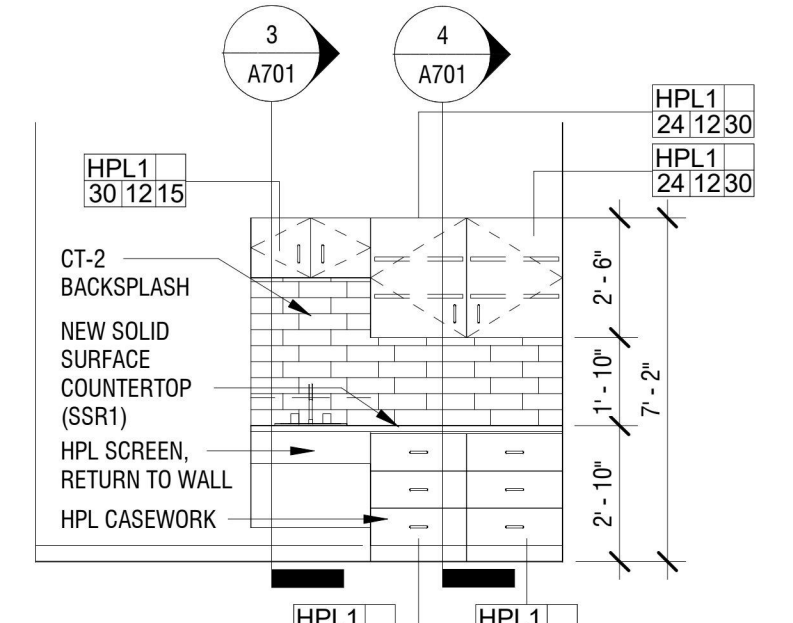
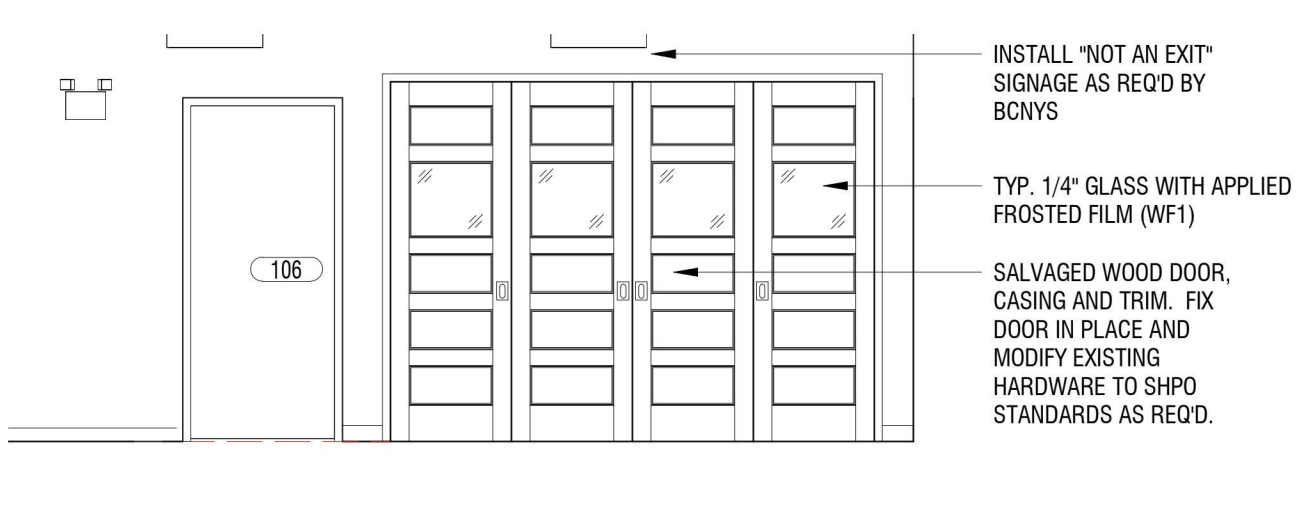
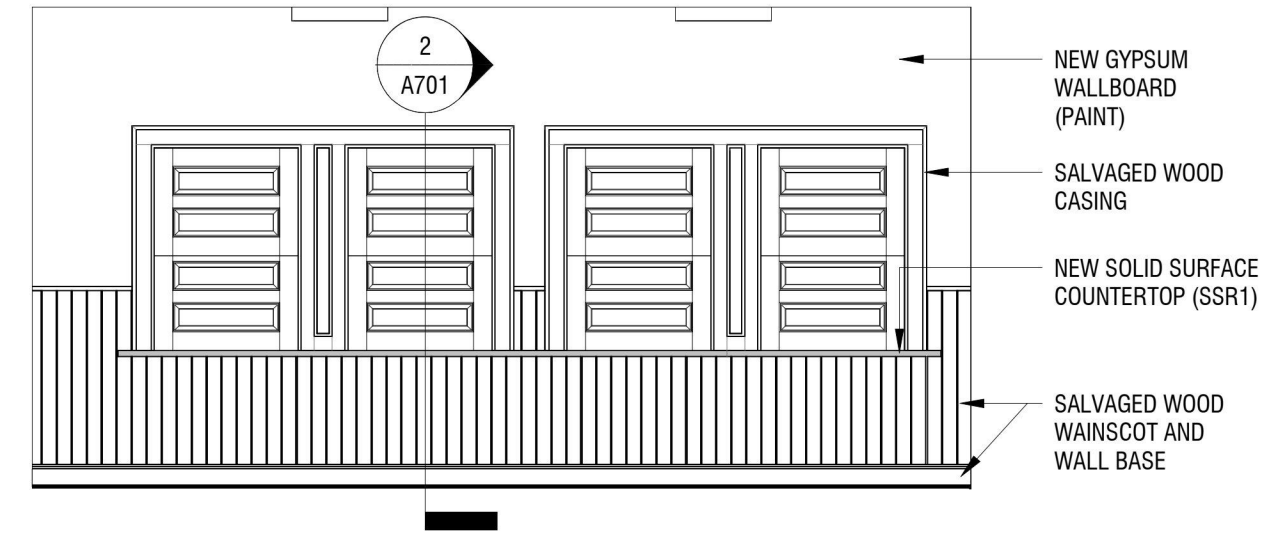
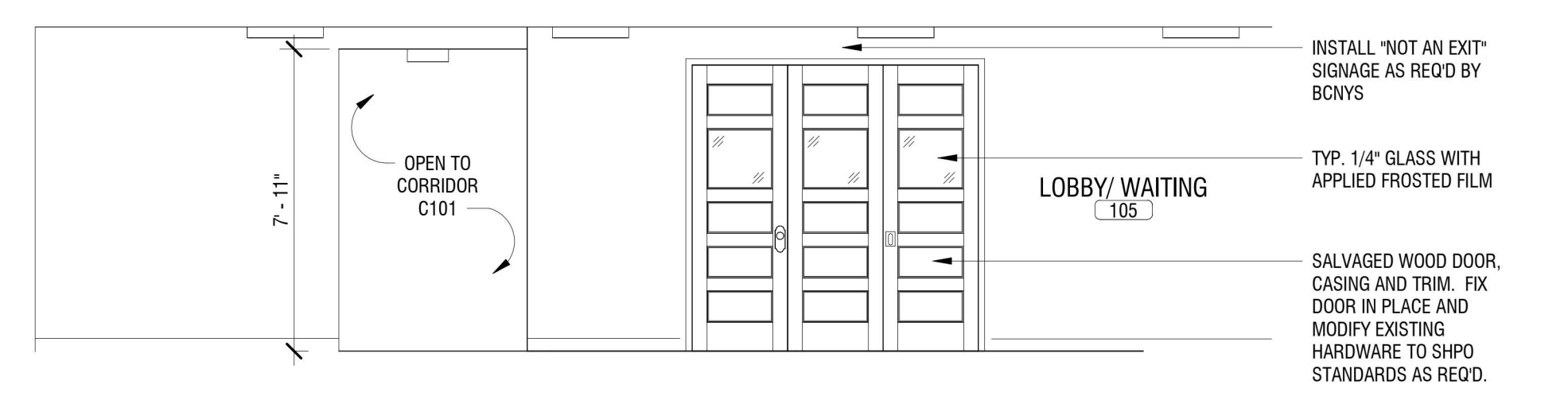
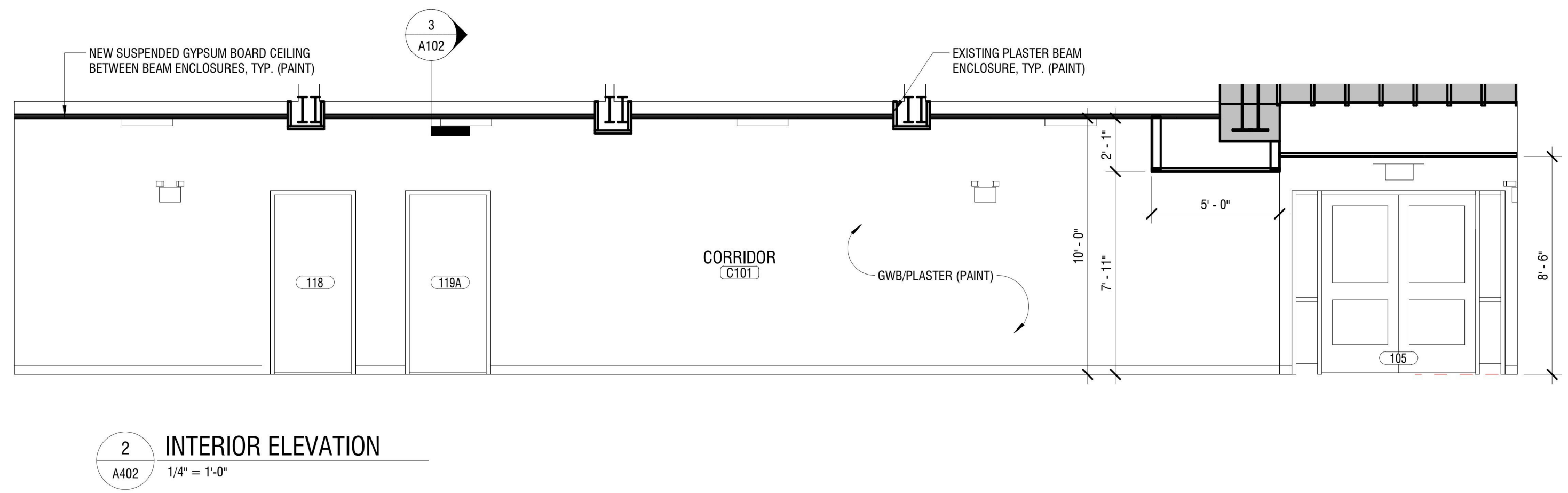
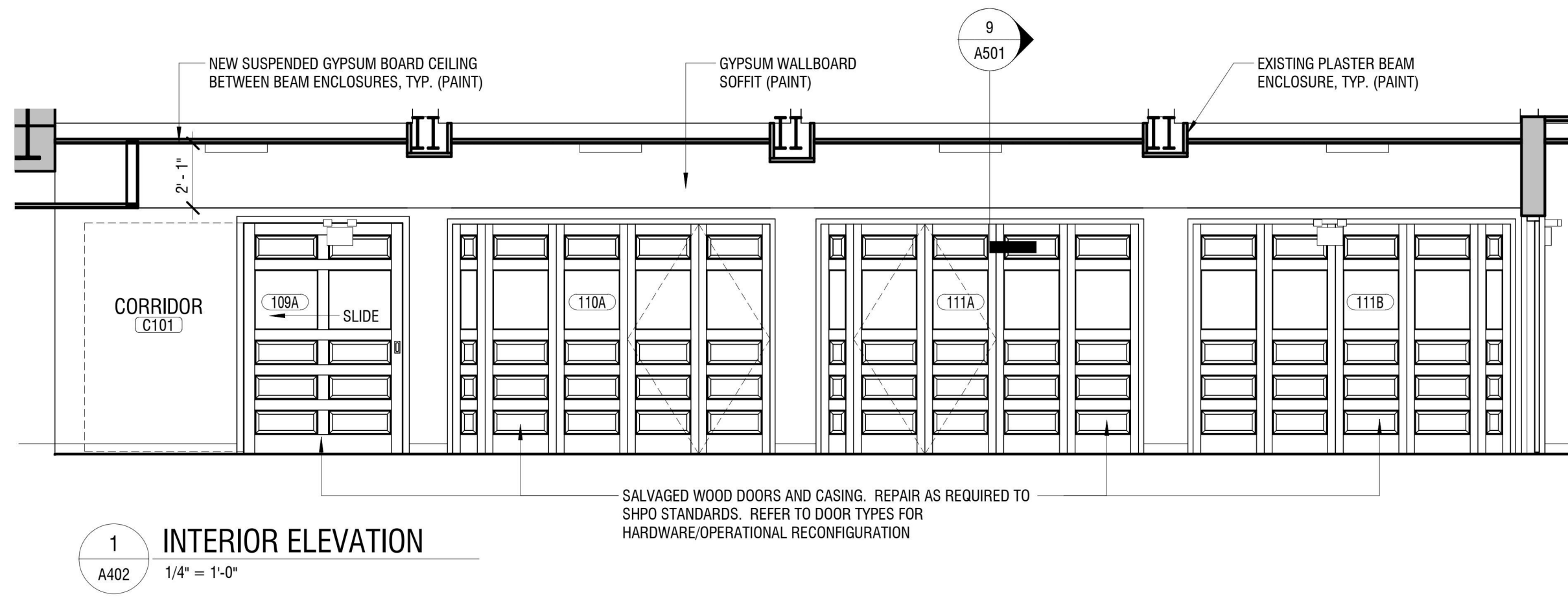
DATE: APRIL 11, 2024

DRAWING NAME:

**ENLARGED PLANS AND  
INTERIOR ELEVATIONS**

DRAWING NUMBER:

**A402**



1 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

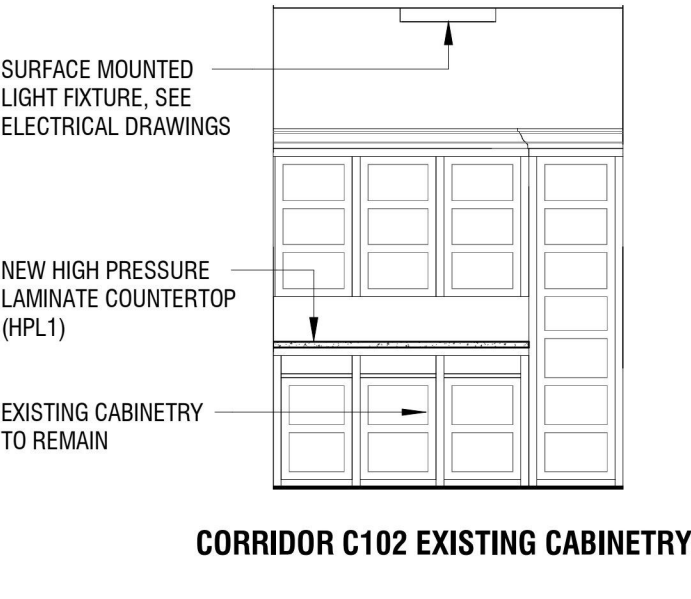
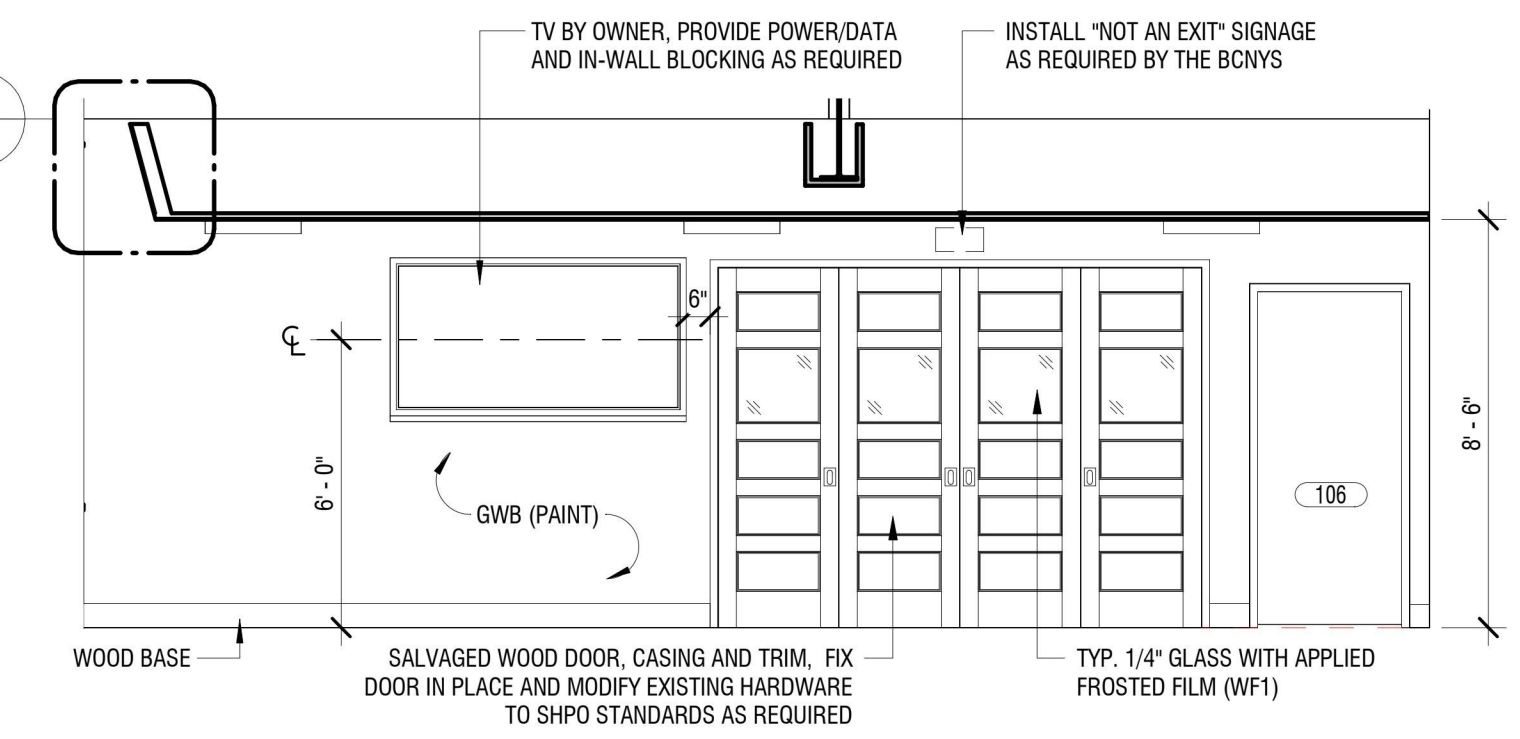
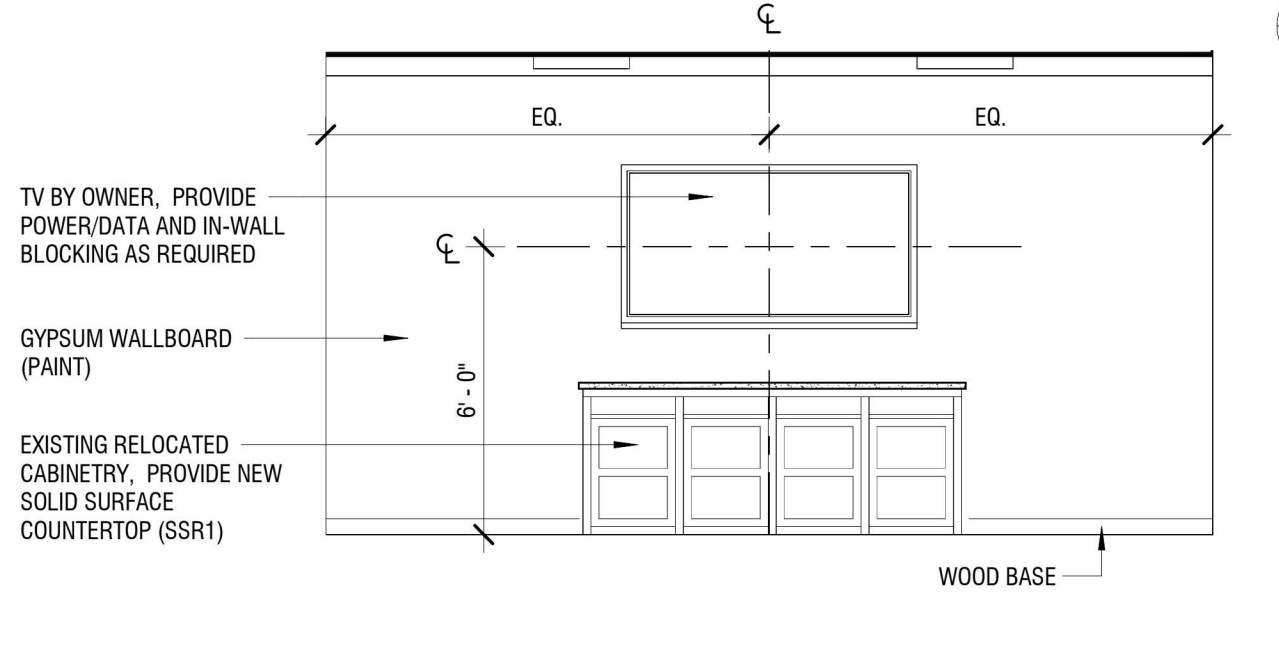
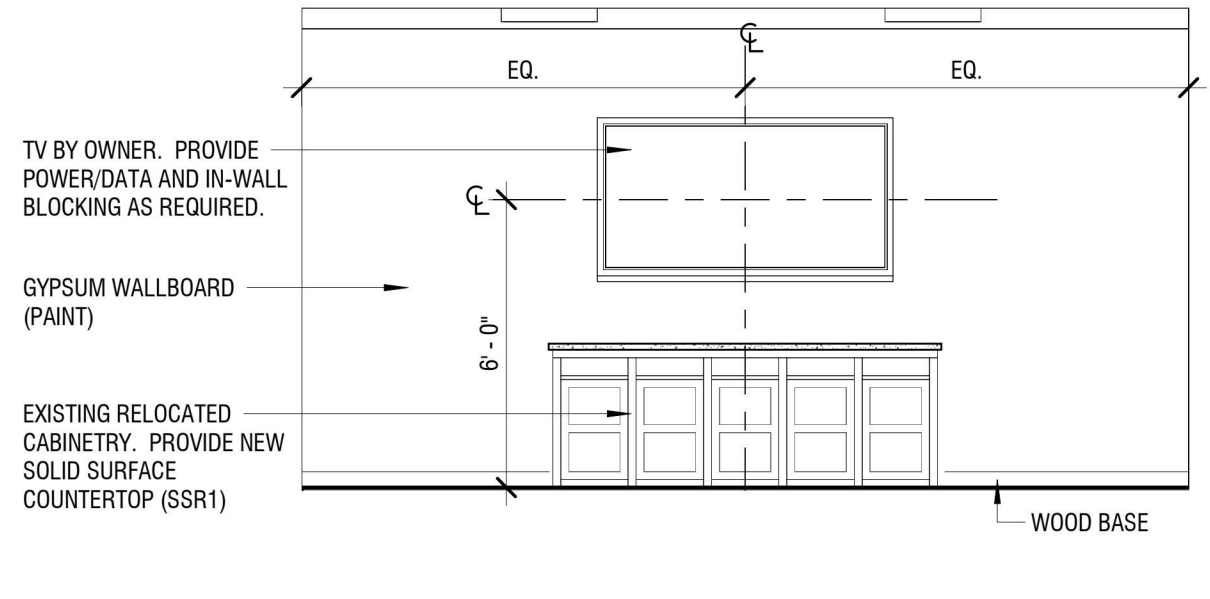
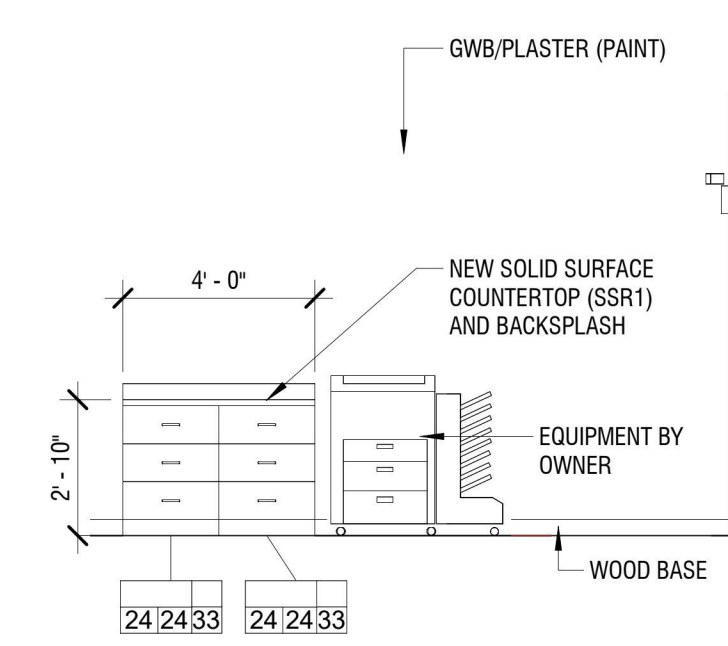
2 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

3 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

4 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

5 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

6 INTERIOR ELEVATION  
A402 1/4" = 1'-0"



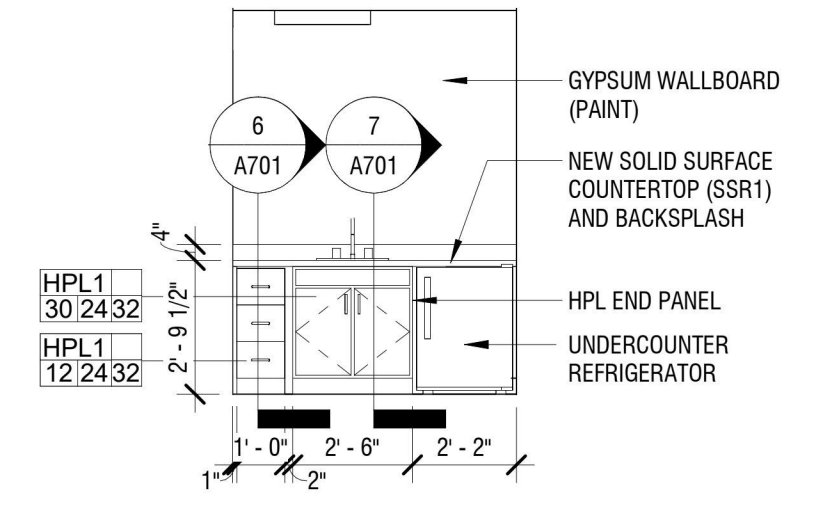
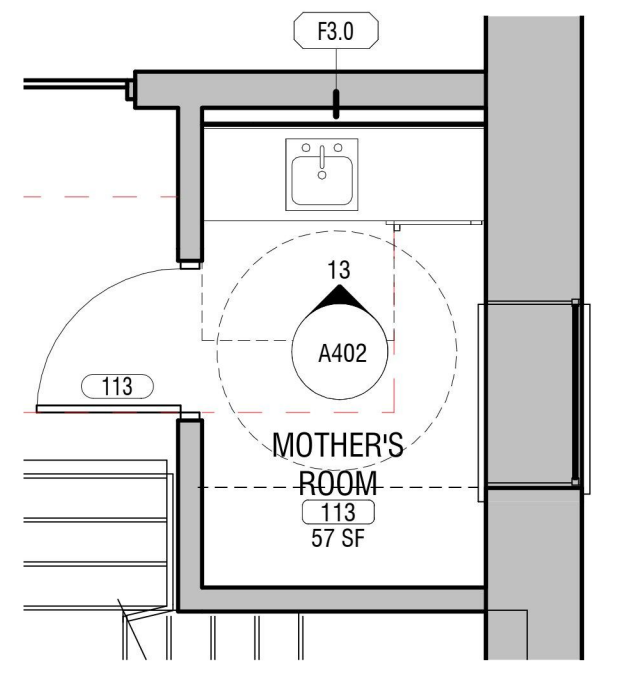
7 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

8 CLASSROOM 118 TV WALL  
A402 1/4" = 1'-0"

9 CLASSROOM 119 TV WALL  
A402 1/4" = 1'-0"

10 COMPUTER/E.SPORTS 106 TV WALL  
A402 1/4" = 1'-0"

11 INTERIOR ELEVATION  
A402 1/4" = 1'-0"

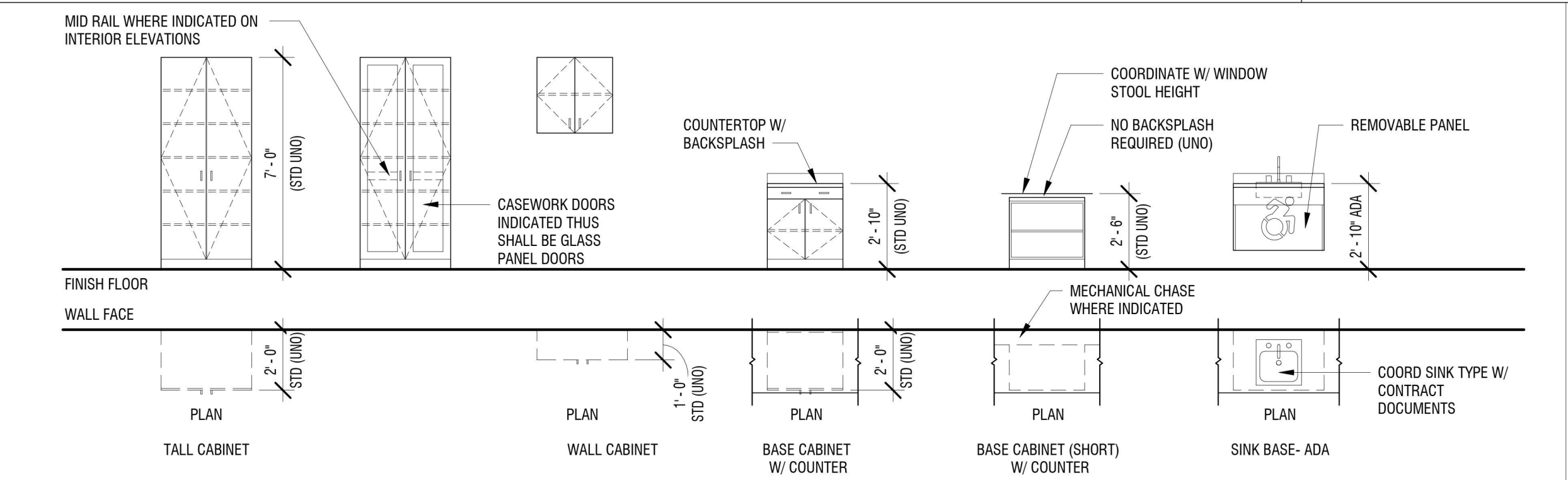


12 ENLARGED PLAN - MOTHER'S ROOM 113  
A402 1/4" = 1'-0"

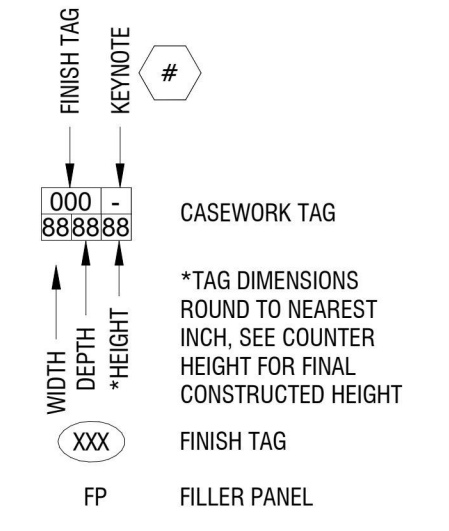
13 INTERIOR ELEVATION - MOTHER'S ROOM 113  
A402 1/4" = 1'-0"

**CASEWORK GENERAL NOTES**

- REFER TO DIV 06 MILLWORK SPECIFICATIONS FOR PRODUCT INFORMATION ON CASEWORK HARDWARE AND FINISHES.
- CASEWORK SHELVES TO BE 3/4" THICKNESS FOR SPANS 24" AND UNDER, 1" THICKNESS FOR SPANS GREATER THAN 24".
- STANDARD DEPTH FOR BASE CABINETS AND TALL CABINETS SHALL BE 24" UNLESS OTHERWISE NOTED. STANDARD DEPTH FOR WALL/UPPER CABINETS SHALL BE 12" UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR TO PROVIDE BLOCKING IN WALL FOR MOUNTING AND FASTENING OF CABINETS.
- PROVIDE FINISHED END PANELS AT EXPOSED SIDES OF CABINETS TO MATCH ADJACENT CABINETS. PROVIDE FILLER PANELS ABUTTING WALL SURFACES WHERE CABINETS DO NOT FILL EXTENTS, TYP.
- ALL SHELVES TO BE ADJUSTABLE IN HEIGHT UNLESS OTHERWISE NOTED.
- COORDINATE MILLWORK WITH ALL PLUMBING, MECHANICAL AND ELECTRICAL REQUIREMENTS.
- THE DEPTH OF ALL COUNTERTOPS SHALL BE 1" GREATER THAN OVERALL DEPTH OF BASE CABINET, U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL ROOM DIMENSIONS PRIOR TO SUBMITTING SHOP DRAWINGS AND PRIOR TO CABINET INSTALLATION.



**INT. ELEV. KEY**





EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

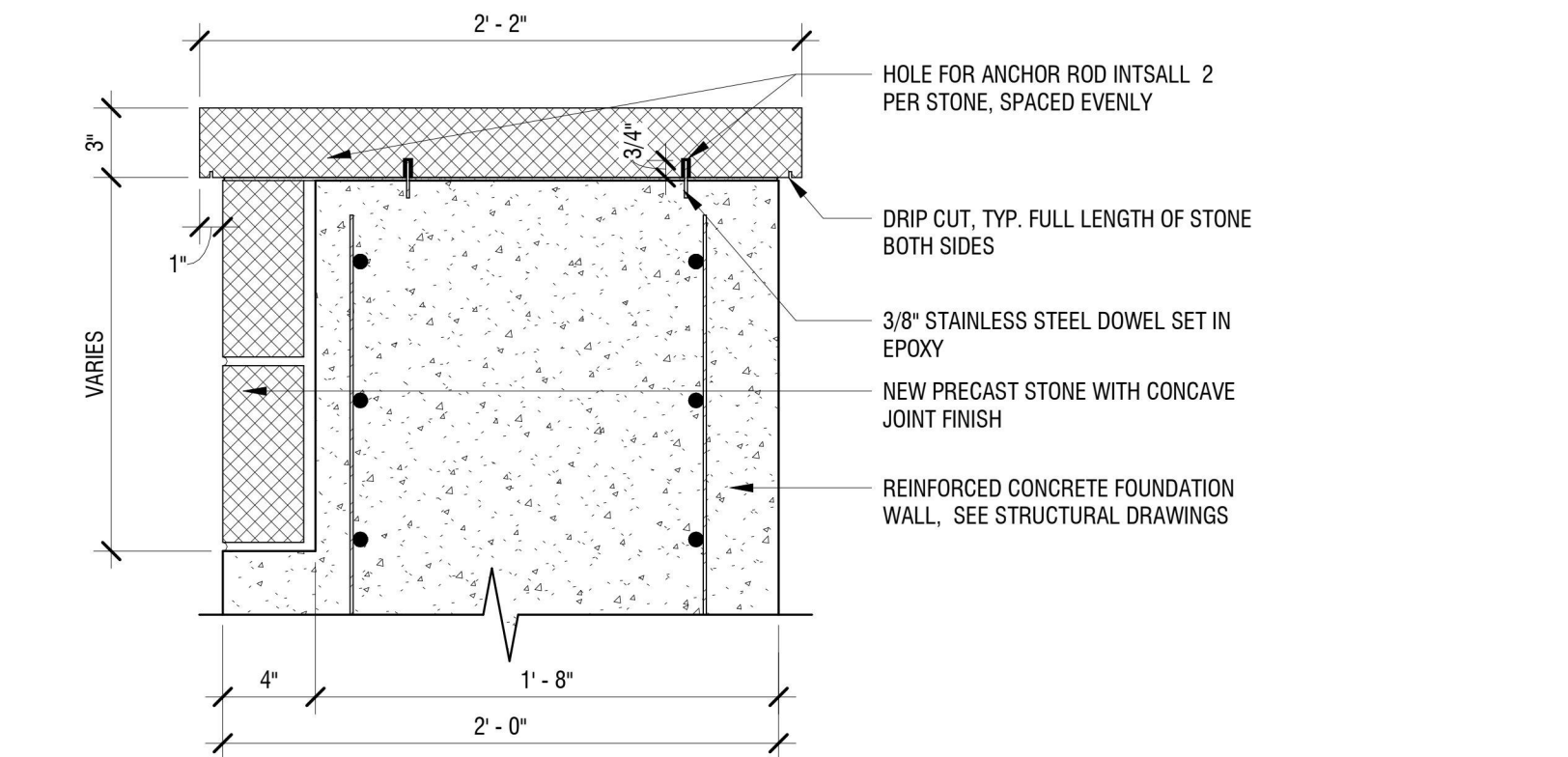
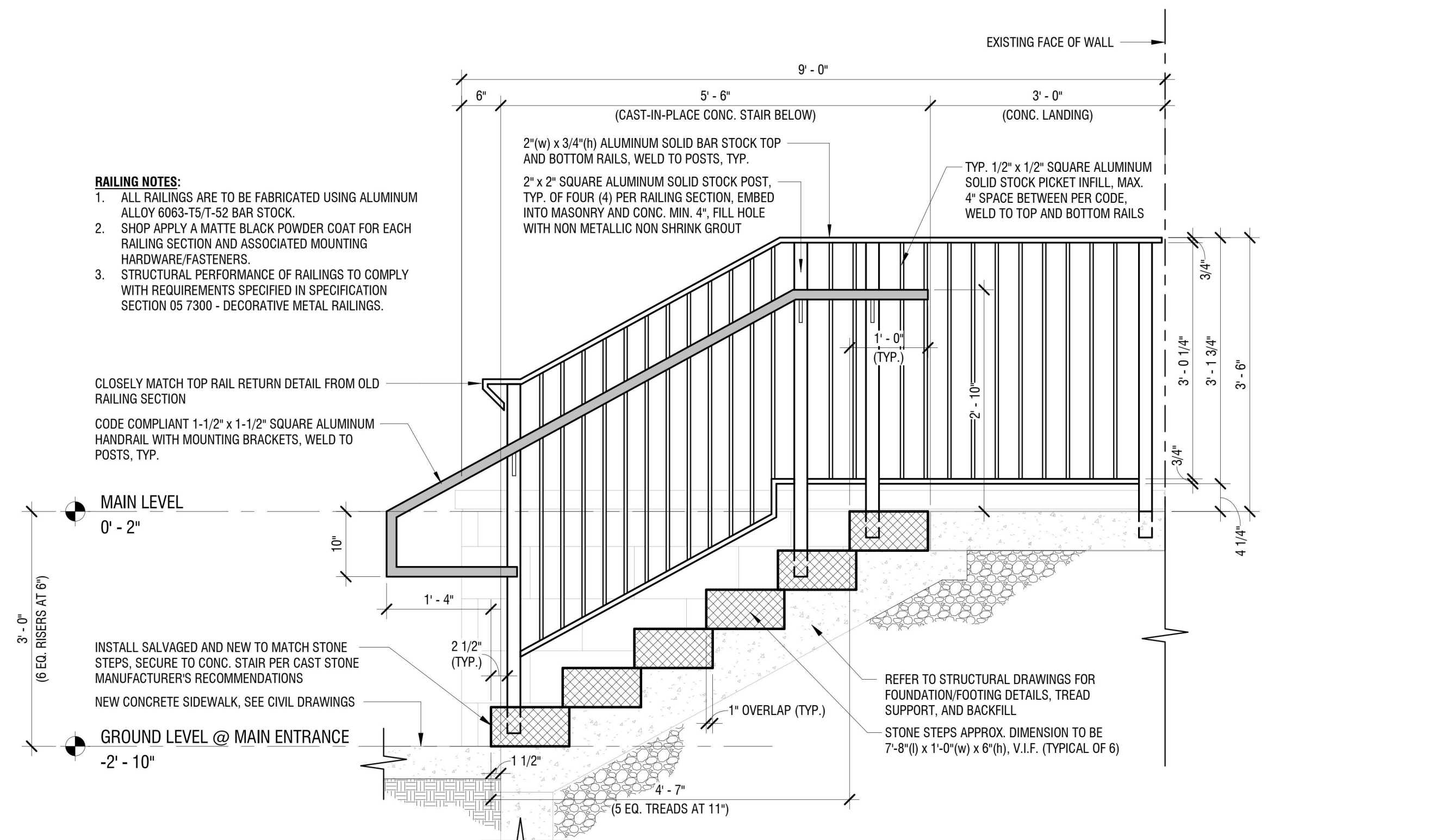
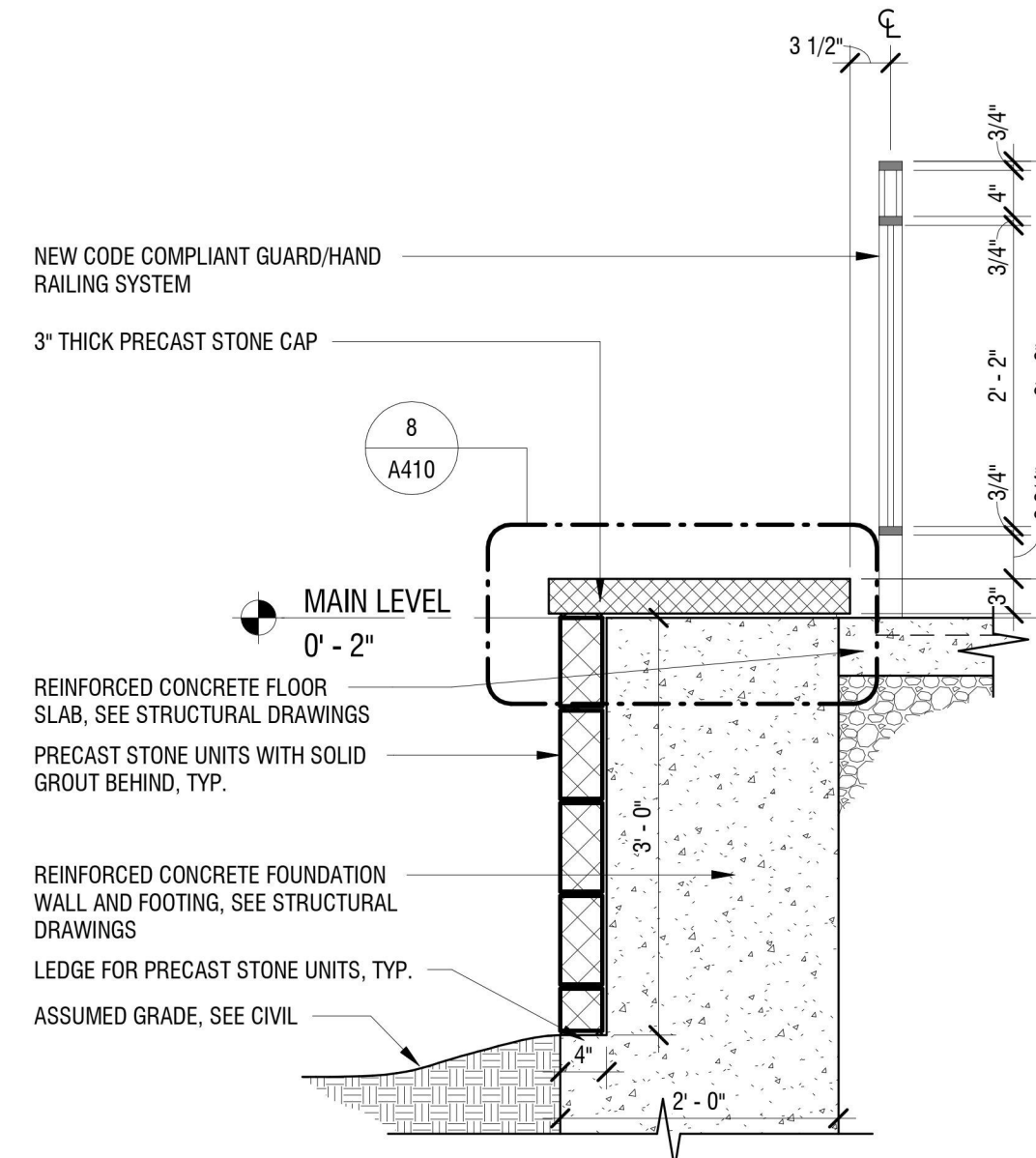
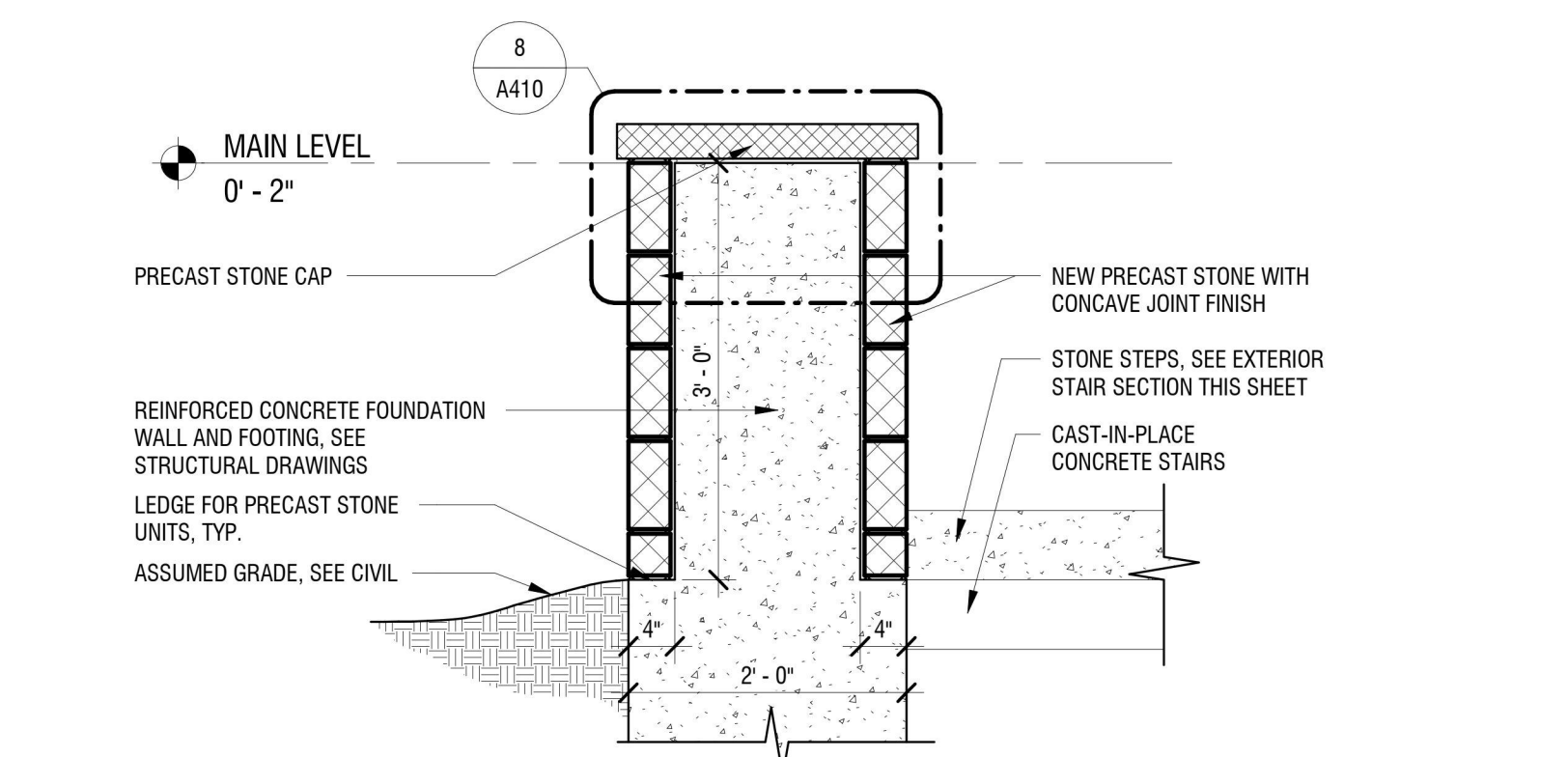
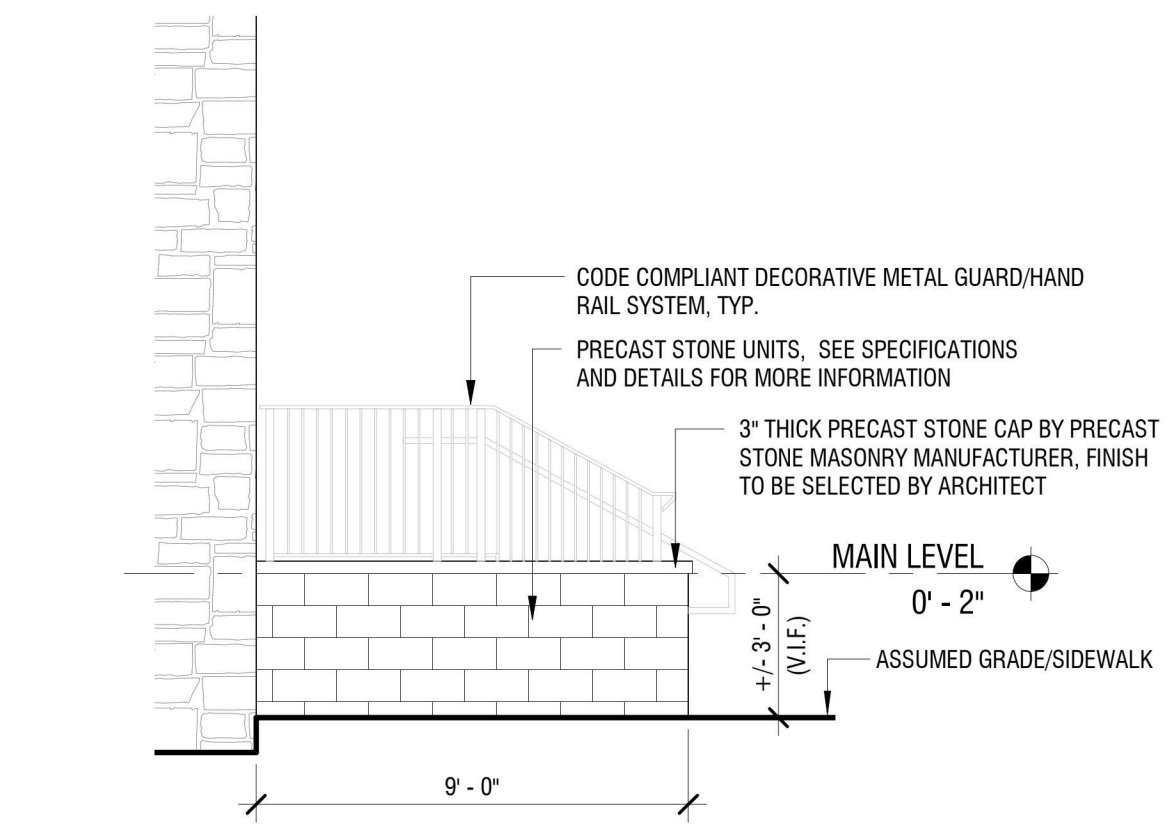
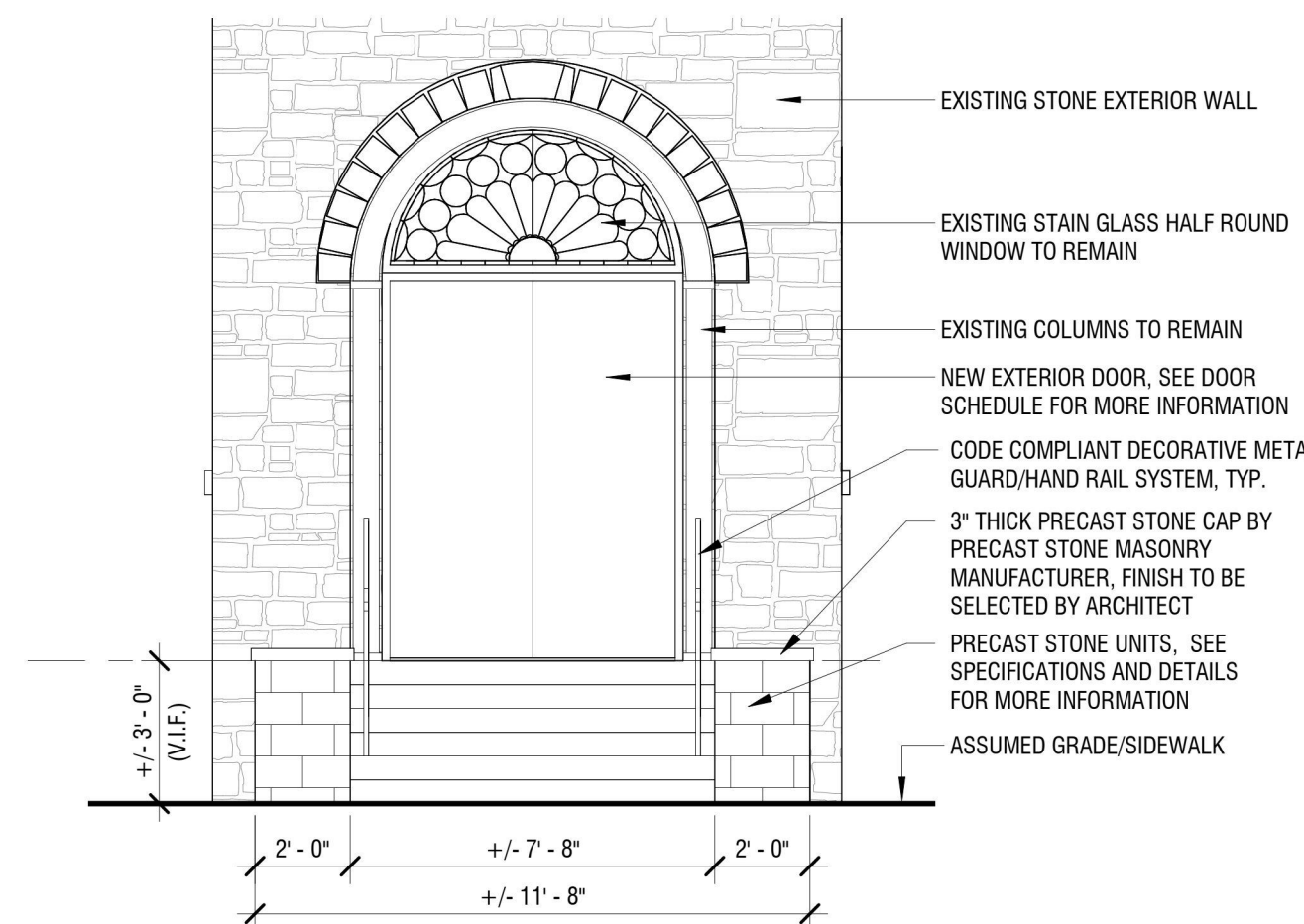
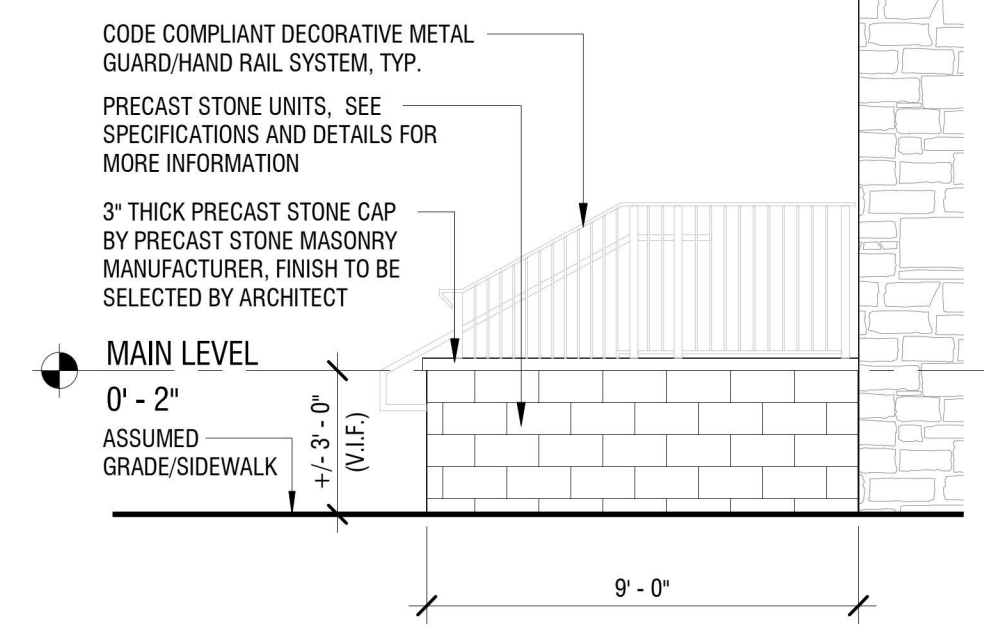
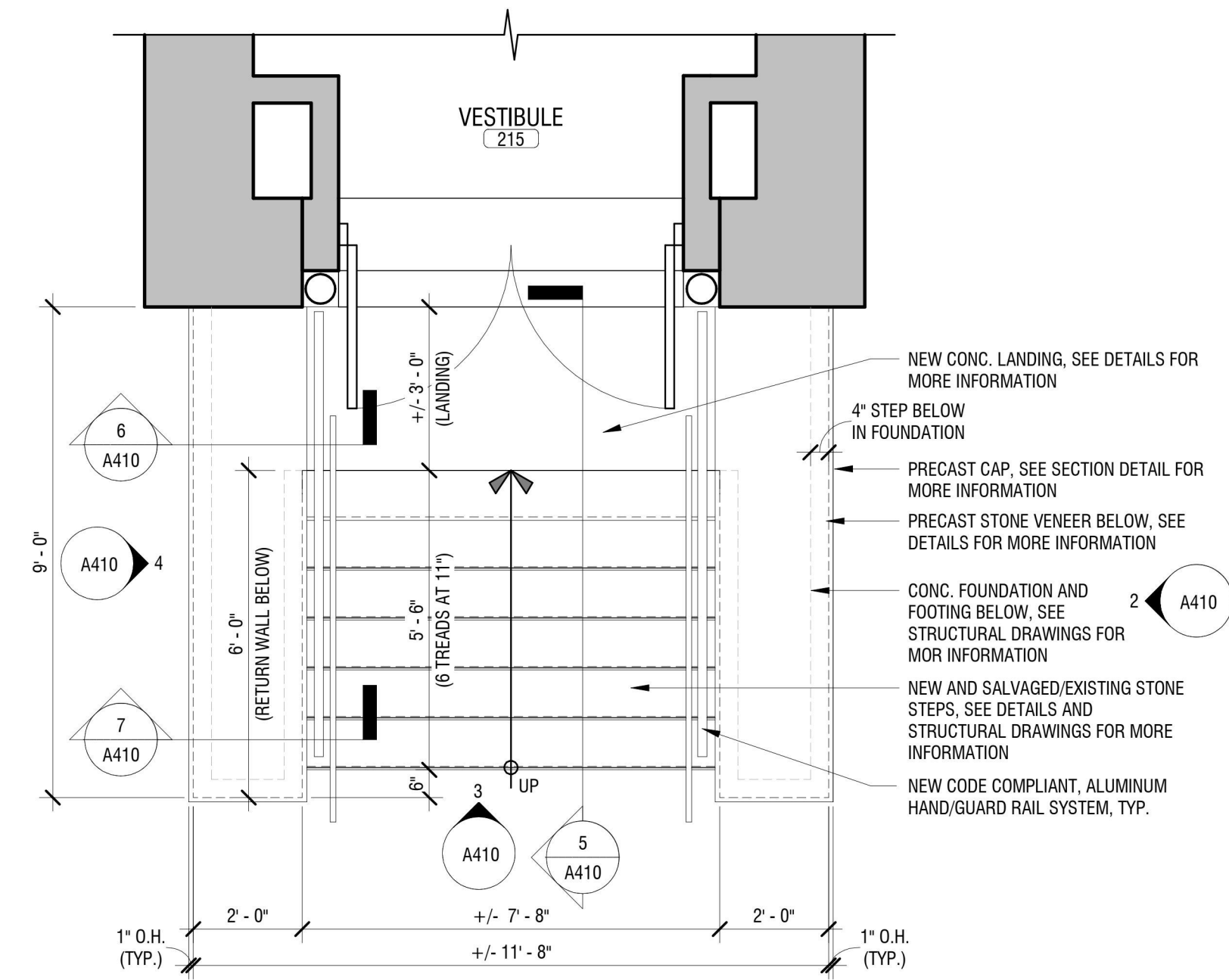
DATE: APRIL 11, 2024

DRAWING NAME:

**MAIN ENTRANCE EXTERIOR  
STAIR**

DRAWING NUMBER:

**A410**





CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

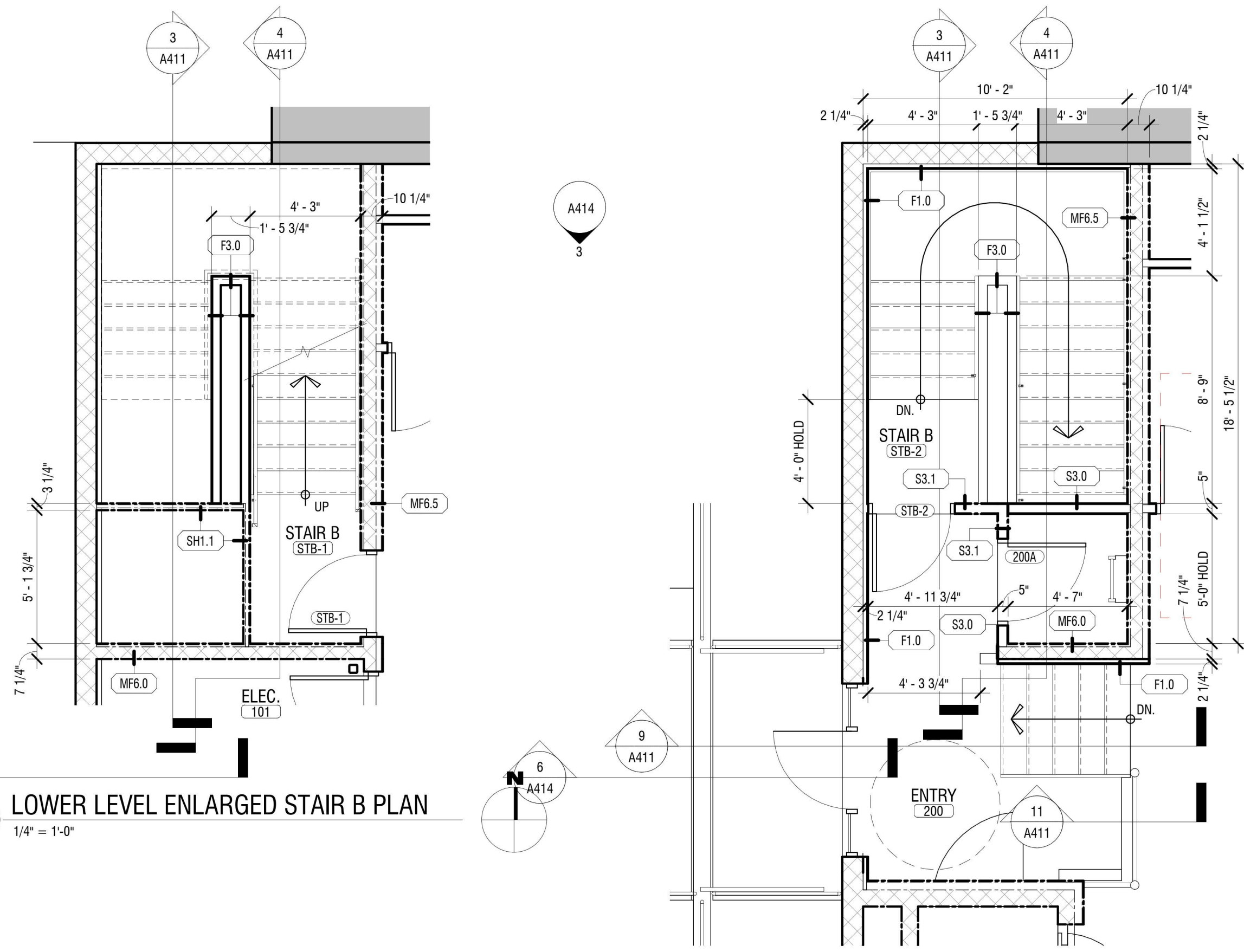
DATE: APRIL 11, 2024

DRAWING NAME:

**ENLARGED STAIR PLANS,  
SECTIONS, AND DETAILS**

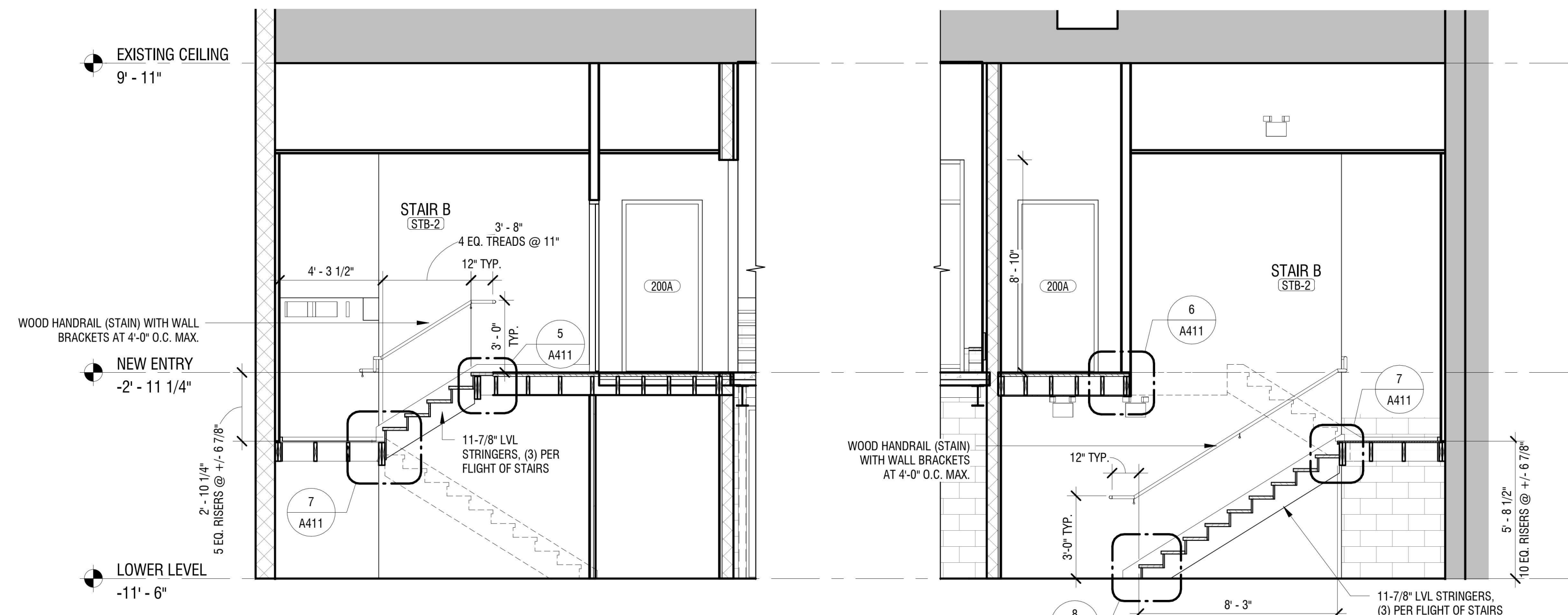
DRAWING NUMBER:

**A411**



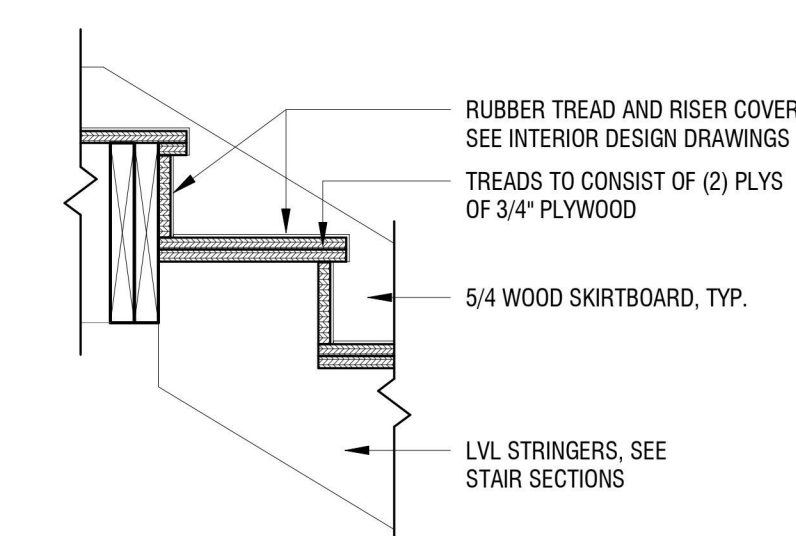
**1 LOWER LEVEL ENLARGED STAIR B PLAN**  
A411 1/4" = 1'-0"

**2 MAIN LEVEL ENLARGED STAIR B PLAN**  
A411 1/4" = 1'-0"

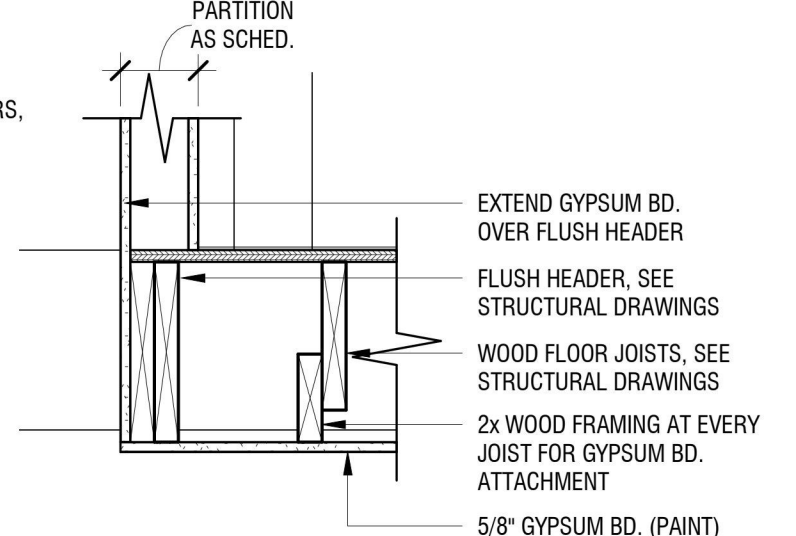


**3 SECTION THRU STAIR B**  
A411 1/4" = 1'-0"

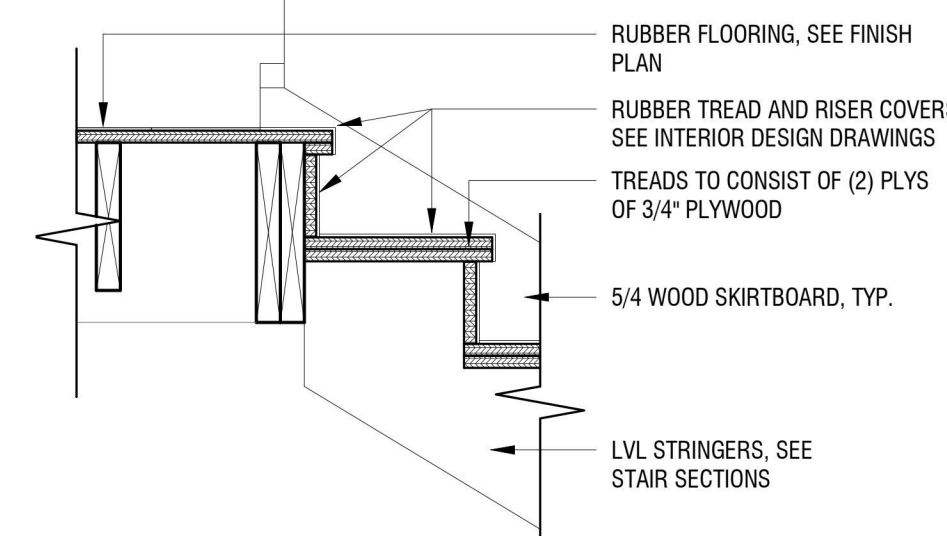
**4 SECTION THRU STAIR B**  
A411 1/4" = 1'-0"



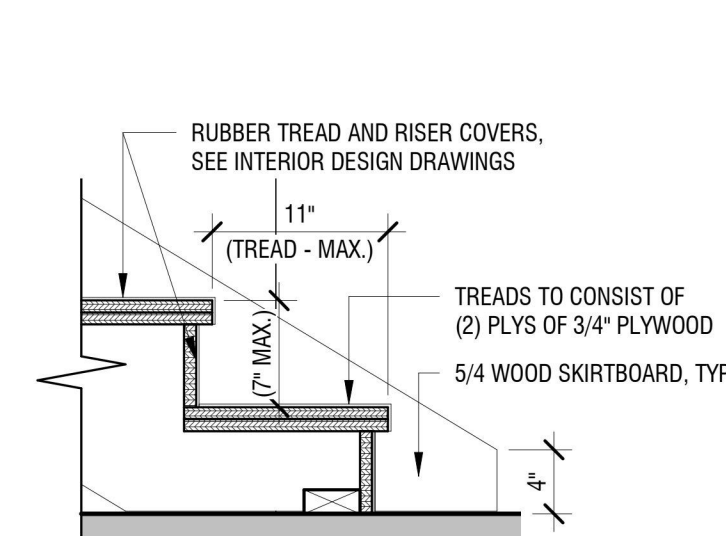
**5 STAIR/LANDING CONNECTION DETAIL**  
A411 1" = 1'-0"



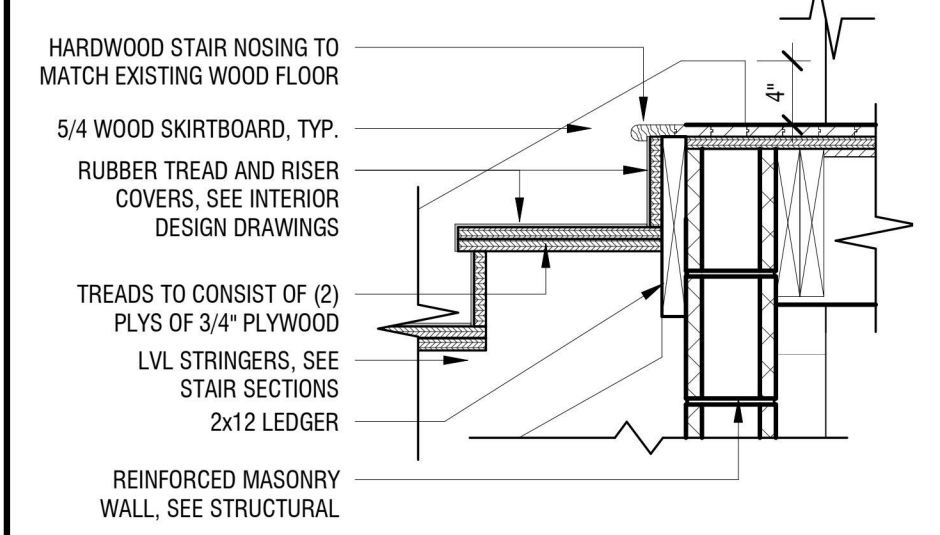
**6 STAIR DETAIL**  
A411 1" = 1'-0"



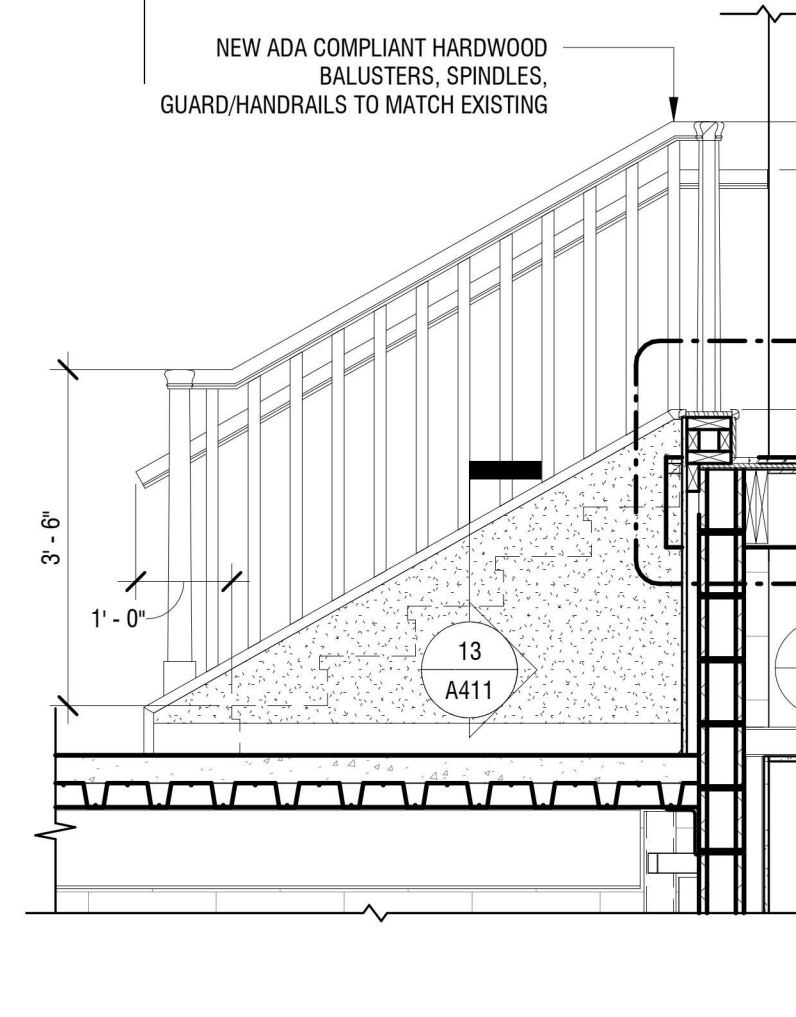
**7 STAIR/LANDING CONNECTION DETAIL**  
A411 1" = 1'-0"



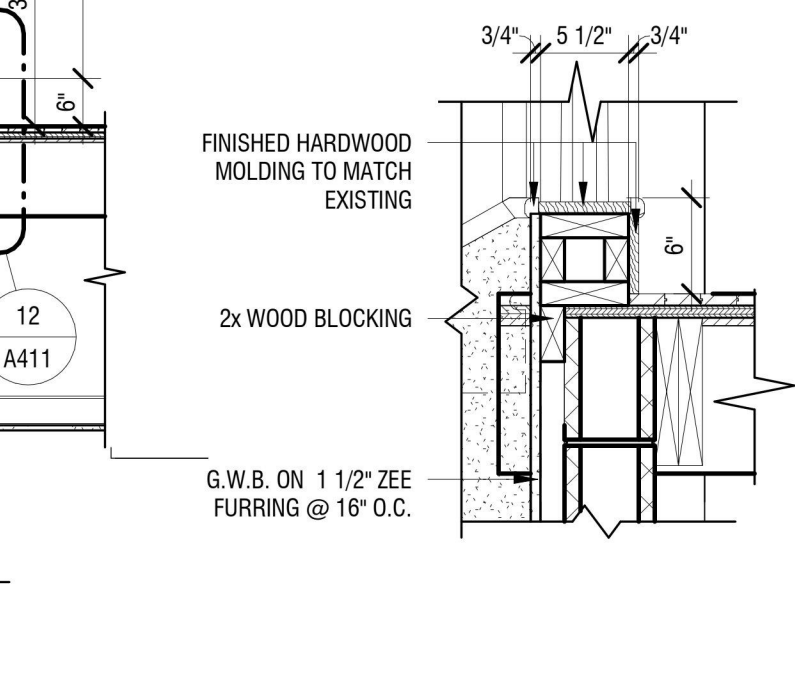
**8 B.O. STAIR DETAIL**  
A411 1" = 1'-0"



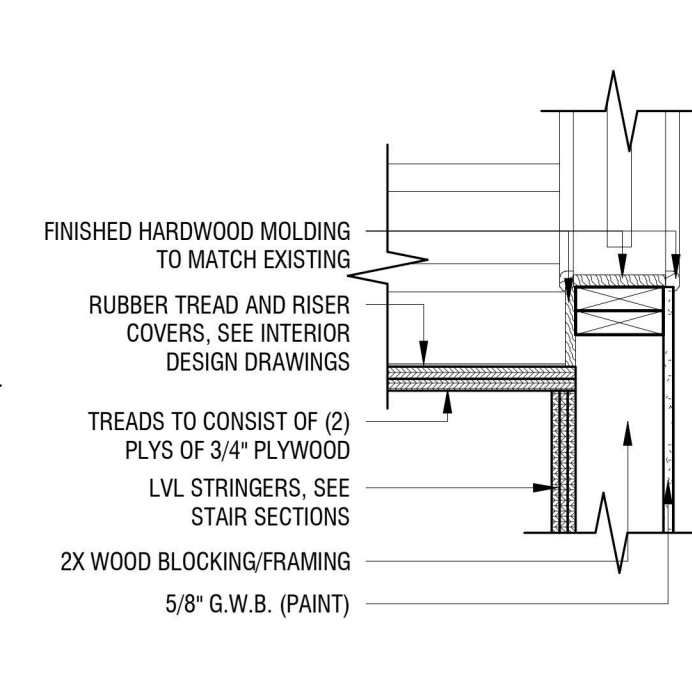
**10 STAIR/LANDING DETAIL**  
A411 1" = 1'-0"



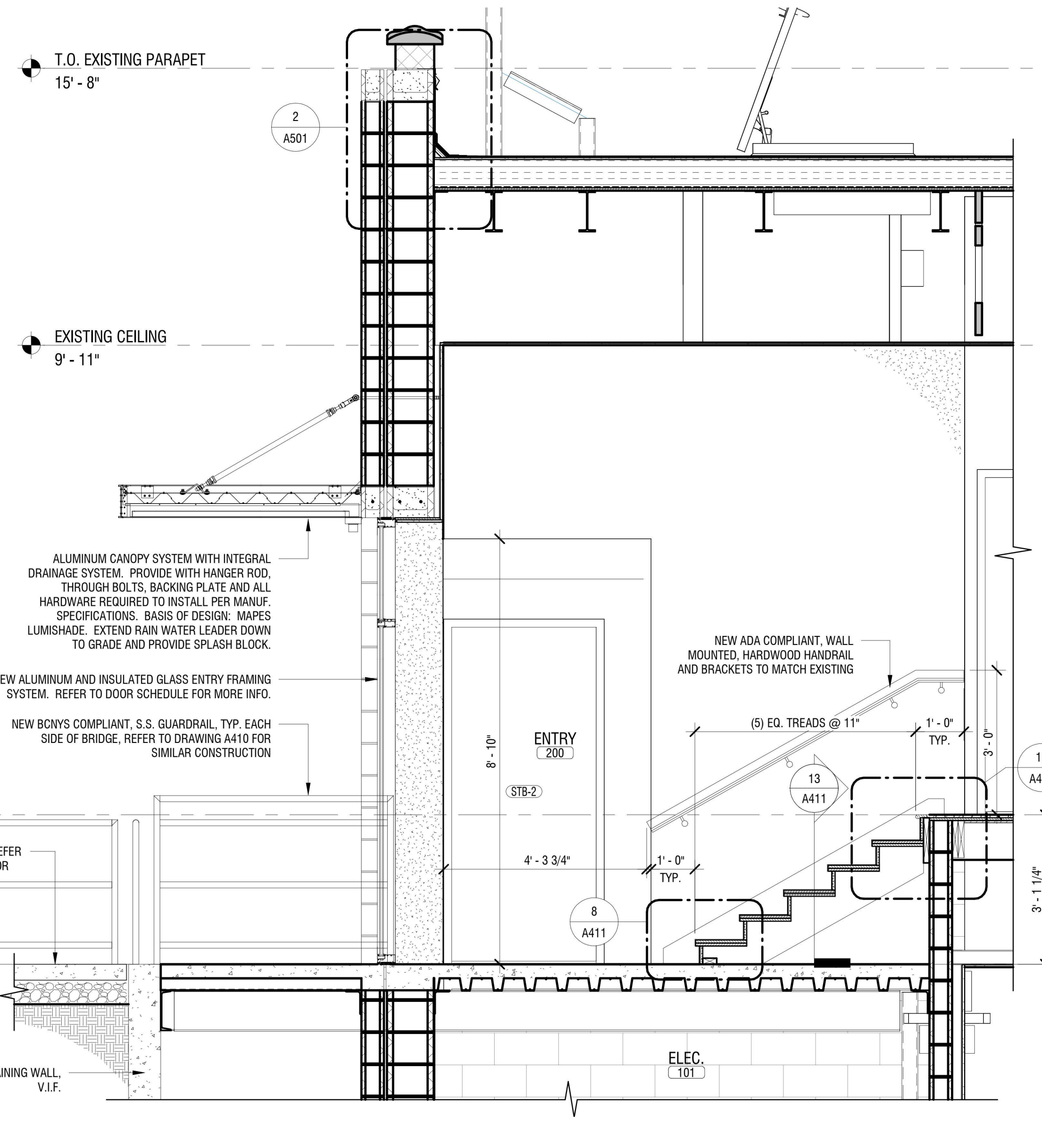
**11 SECTION**  
A411 1/2" = 1'-0"



**12 CURB DETAIL**  
A411 1" = 1'-0"



**13 SECTION DETAIL**  
A411 1" = 1'-0"



**9 SECTION THRU NEW ENTRY STAIR**  
A411 1/2" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

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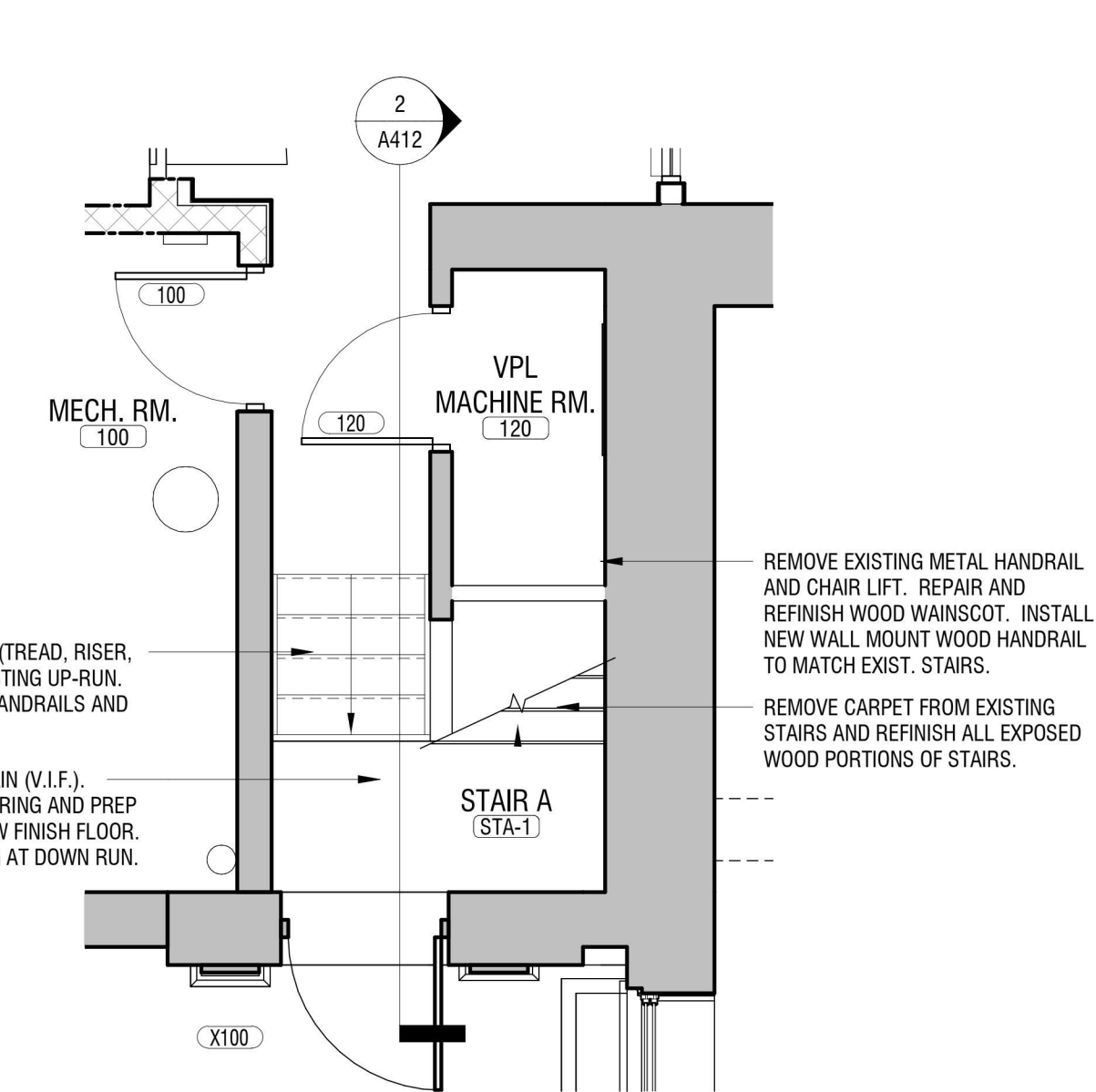
DATE: APRIL 11, 2024

DRAWING NAME:

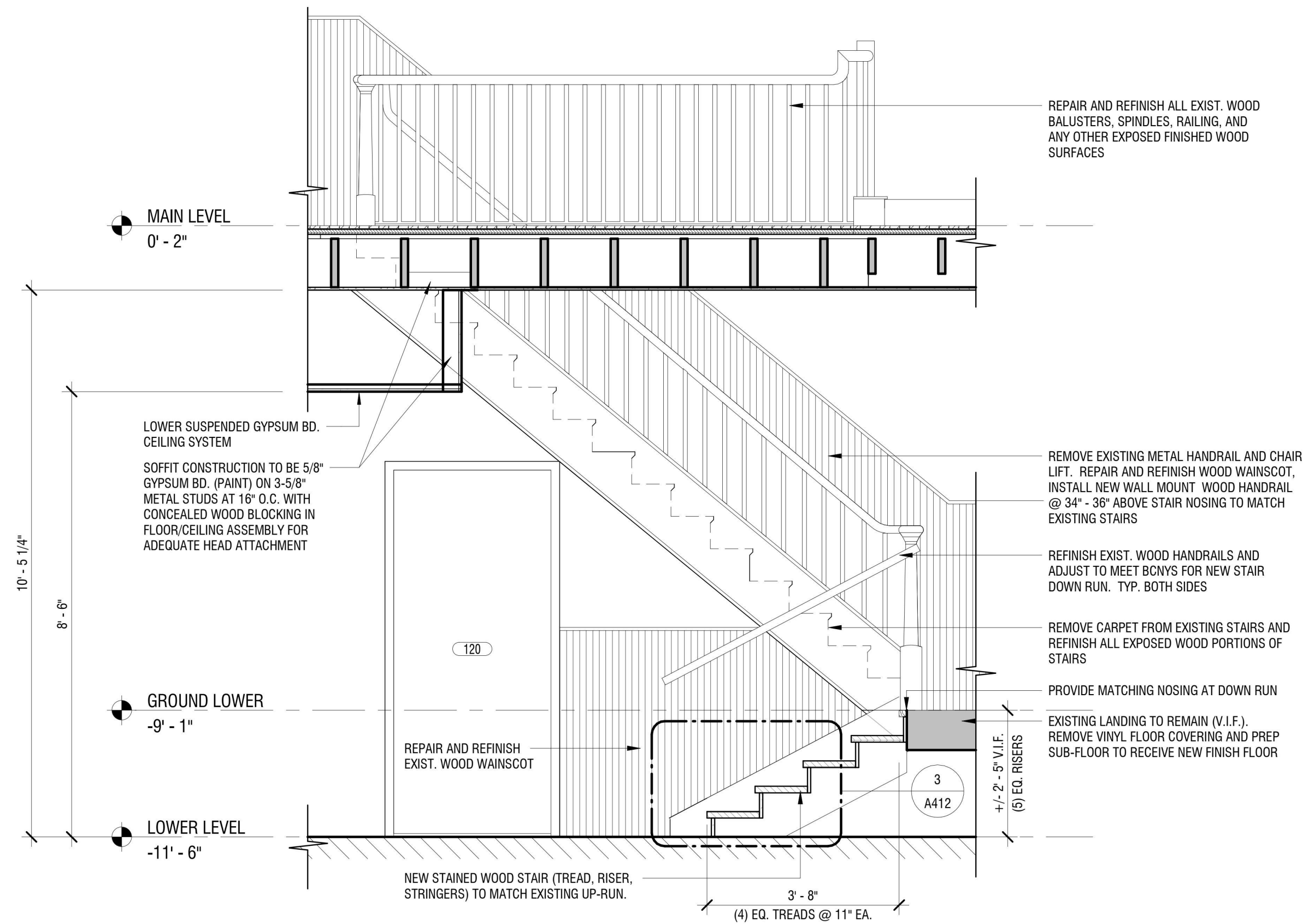
**ENLARGED STAIR PLANS,  
SECTIONS, AND DETAILS**

DRAWING NUMBER:

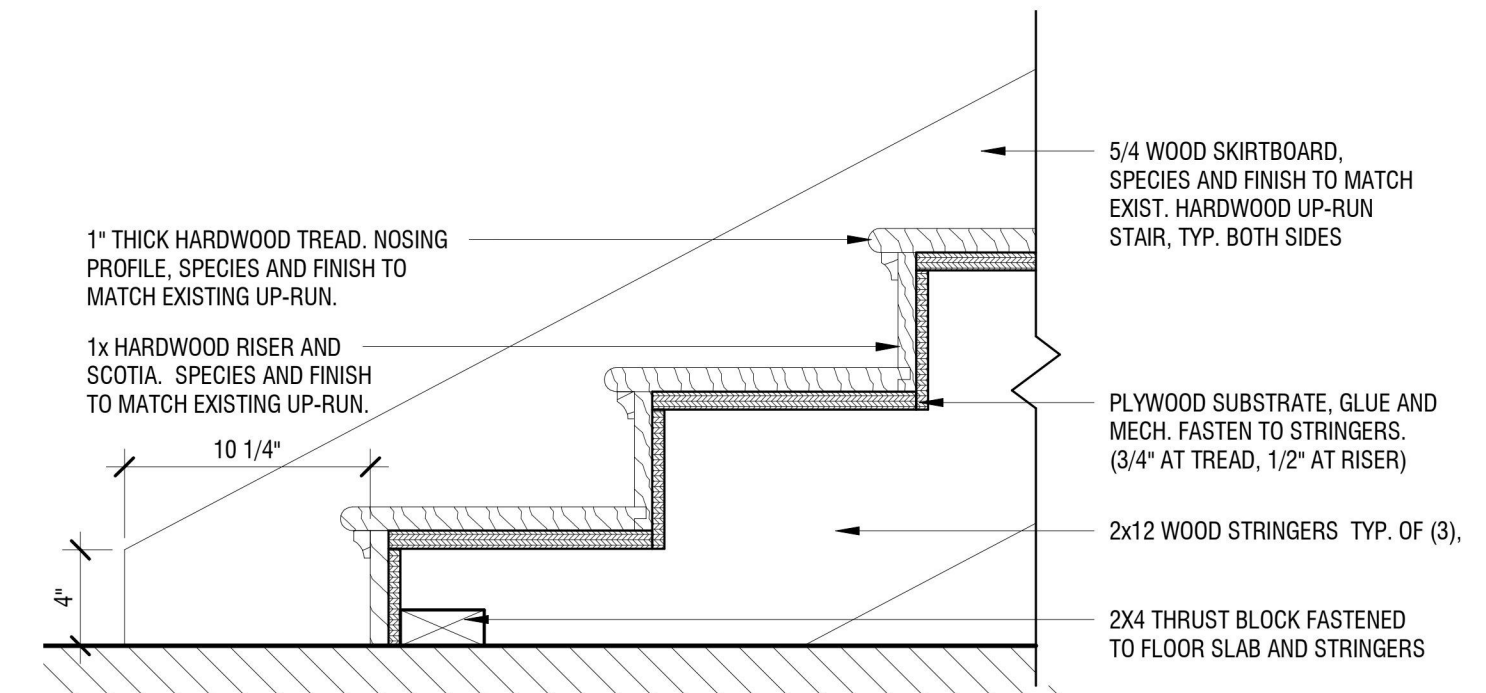
**A412**



**1 ENLARGED PLAN - STAIR A**  
1/4" = 1'-0"



**2 STAIR SECTION**  
1/2" = 1'-0"



**3 TYP. HARDWOOD STAIR DETAIL**  
1 1/2" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-WY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
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DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
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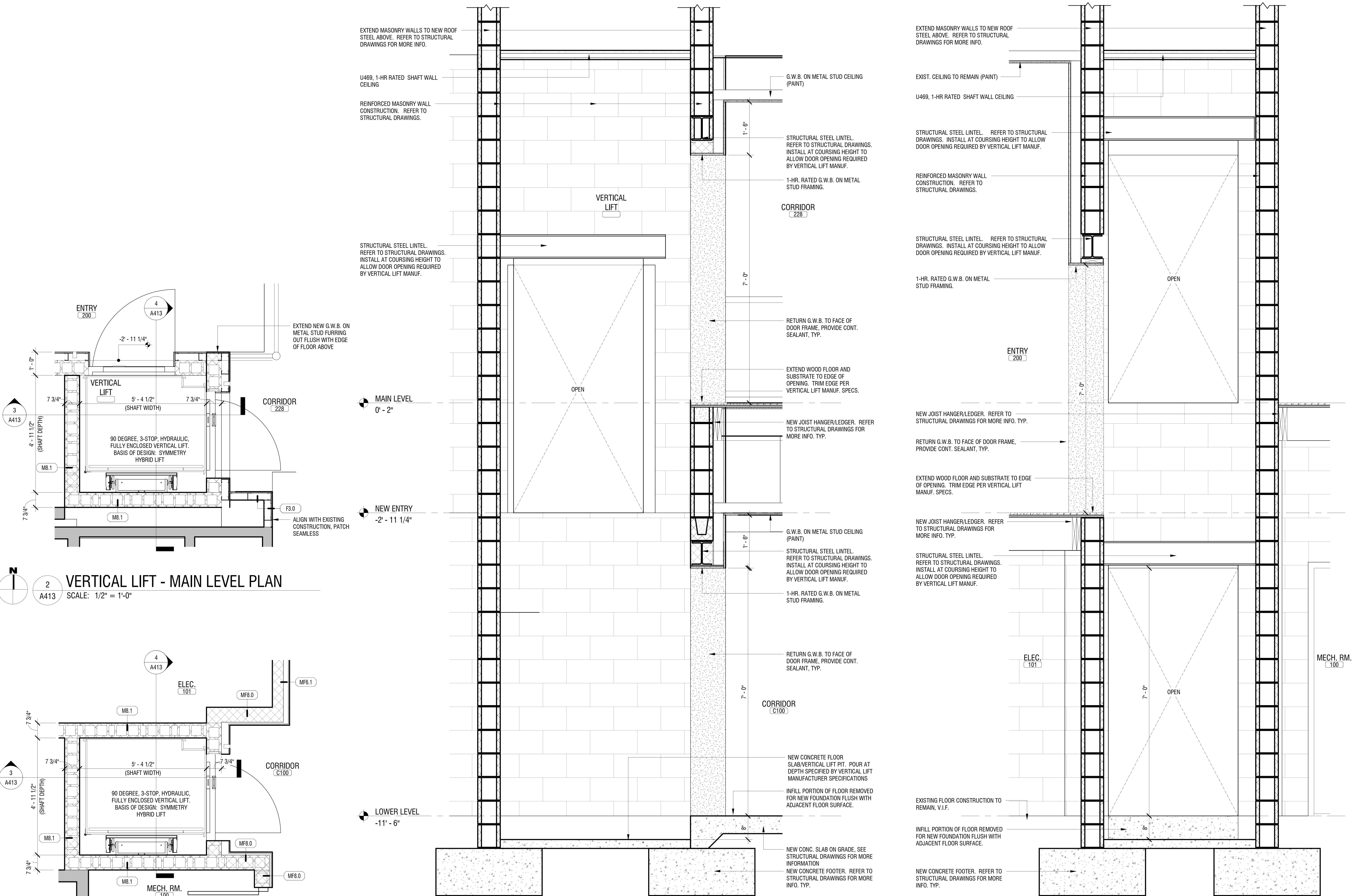
DATE: APRIL 11, 2024

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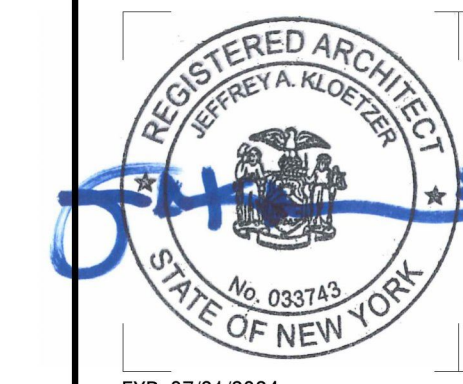
**VERTICAL LIFT PLANS AND  
SECTION DETAILS**

DRAWING NUMBER:

**A413**







EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

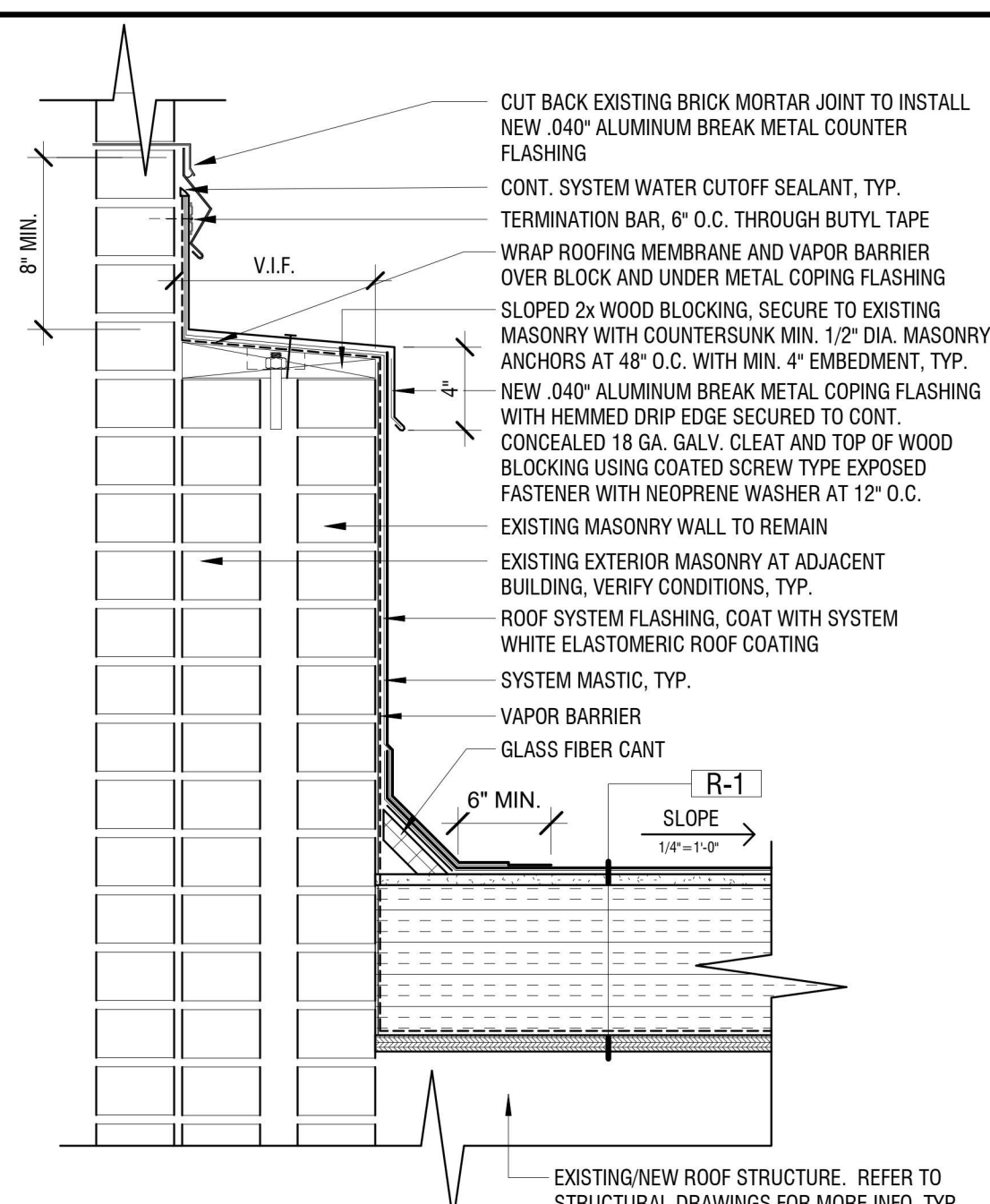
DATE: APRIL 11, 2024

DRAWING NAME:

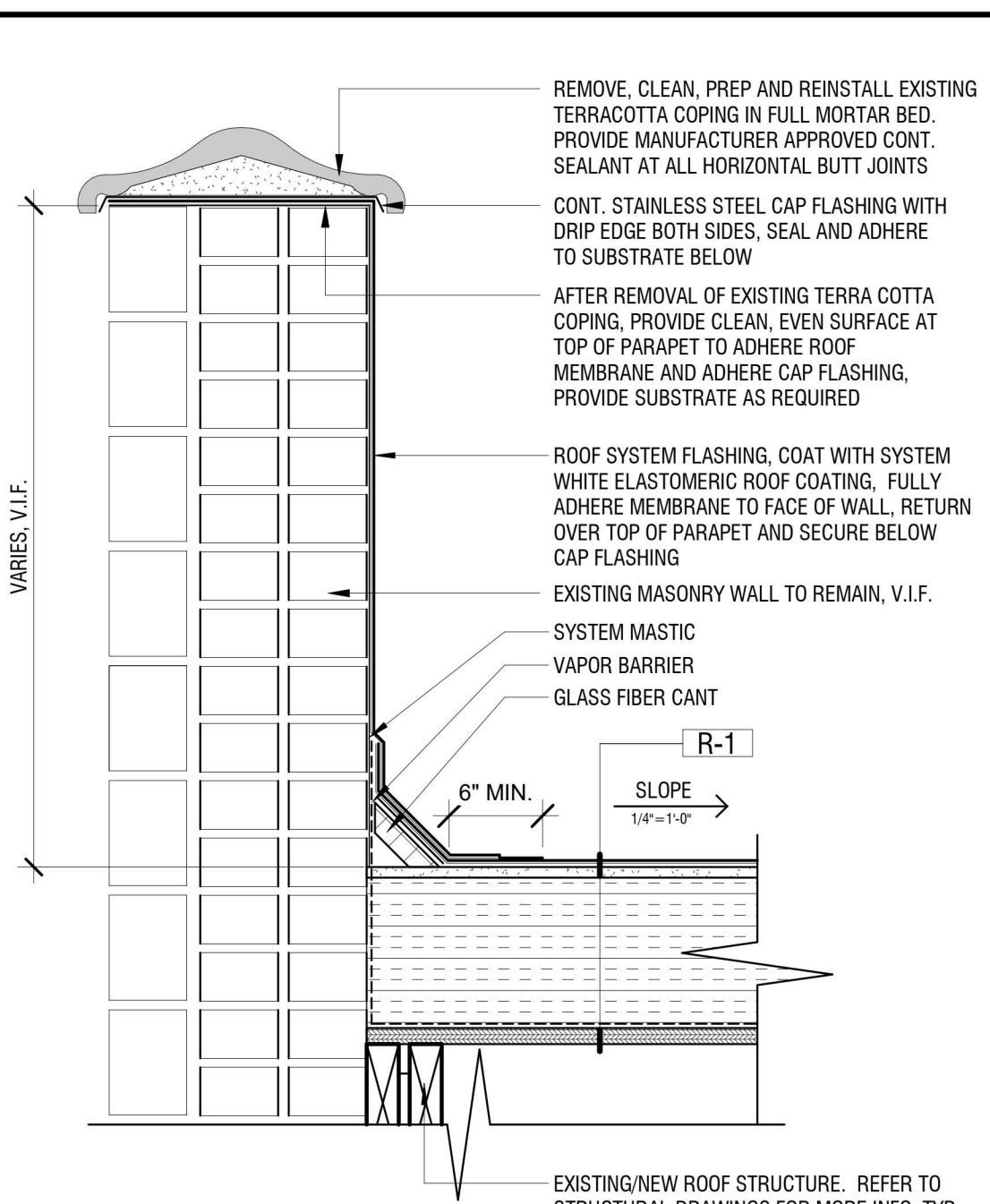
**CEILING AND ROOF  
DETAILS**

DRAWING NUMBER:

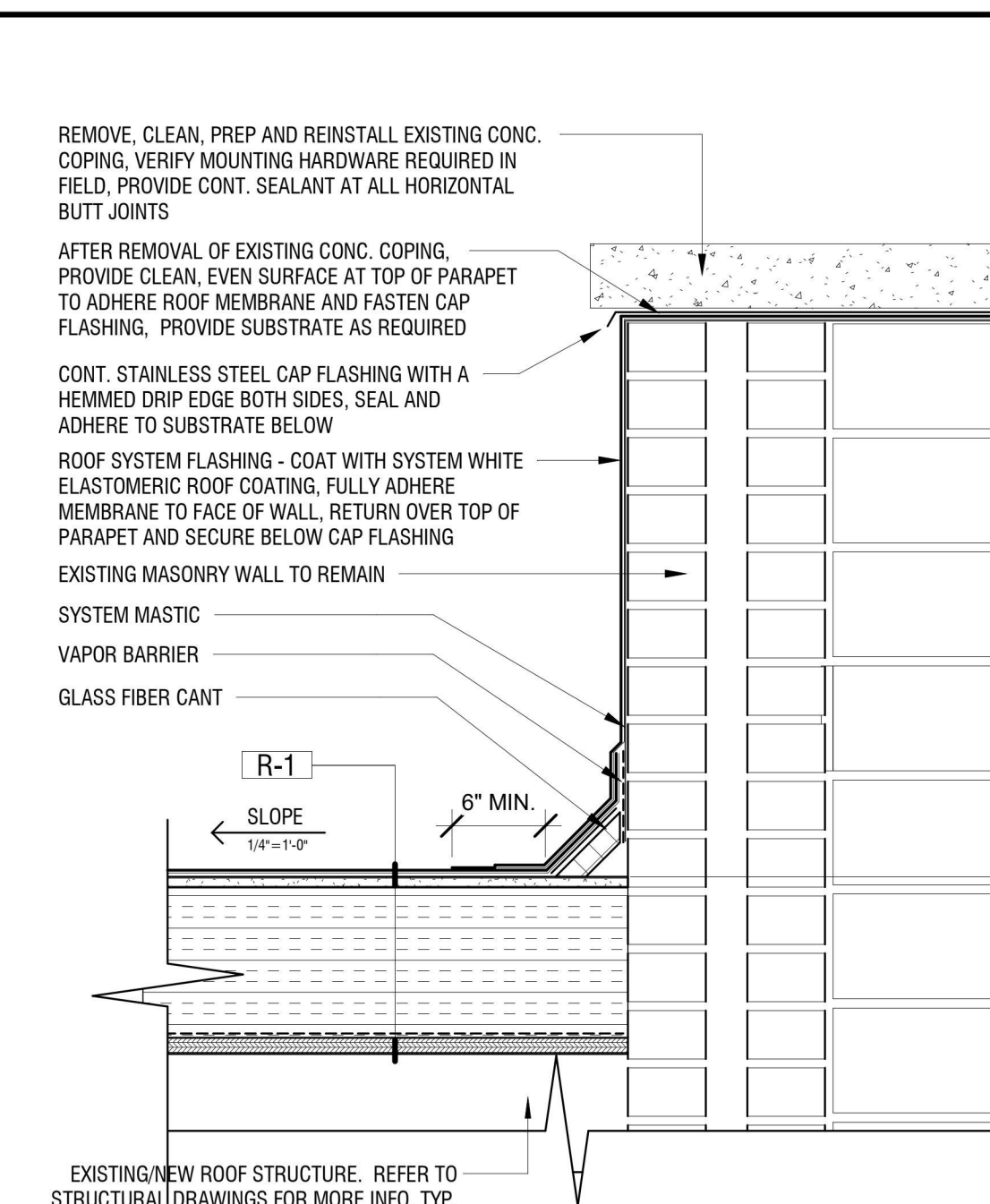
**A501**



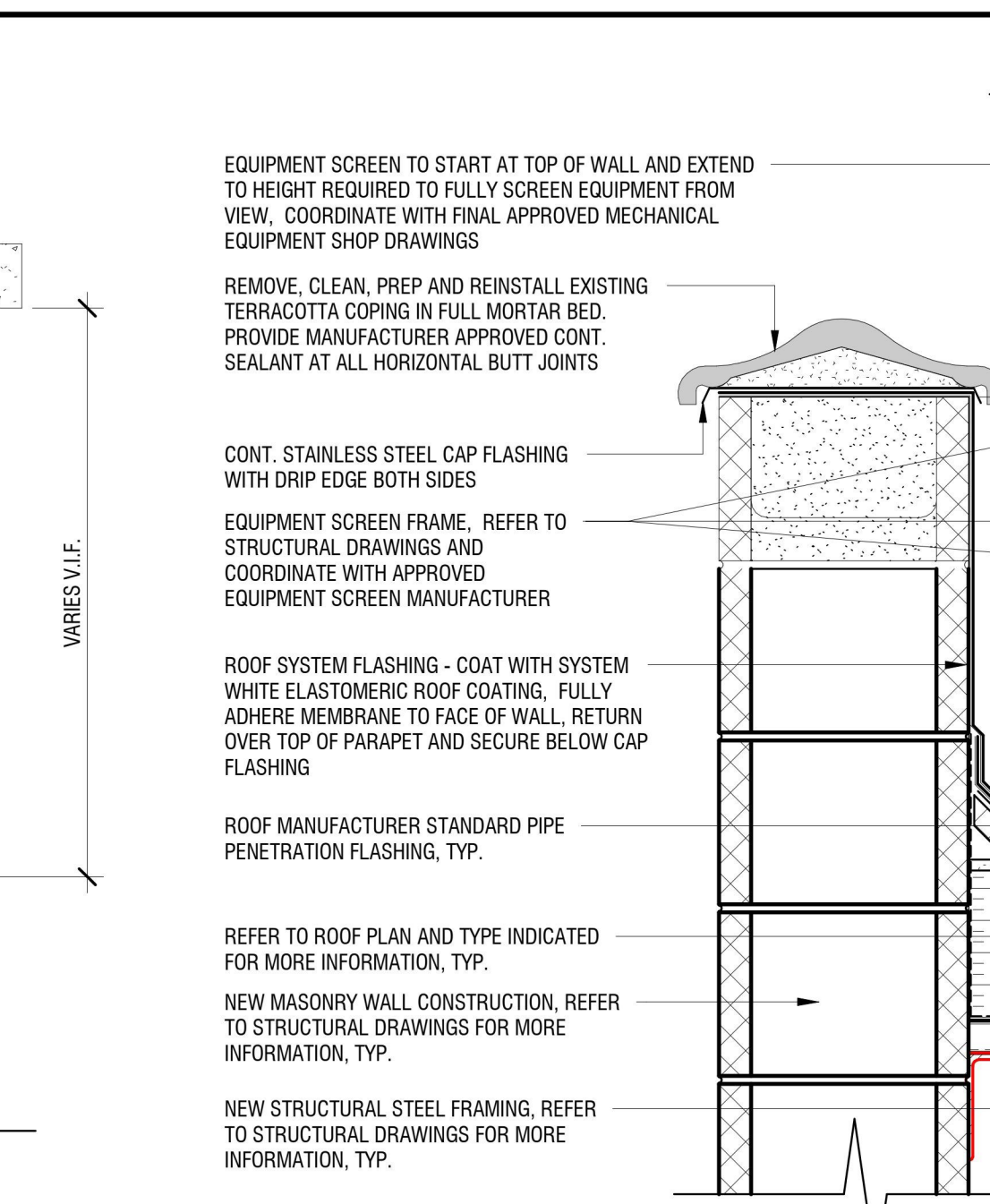
**1 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



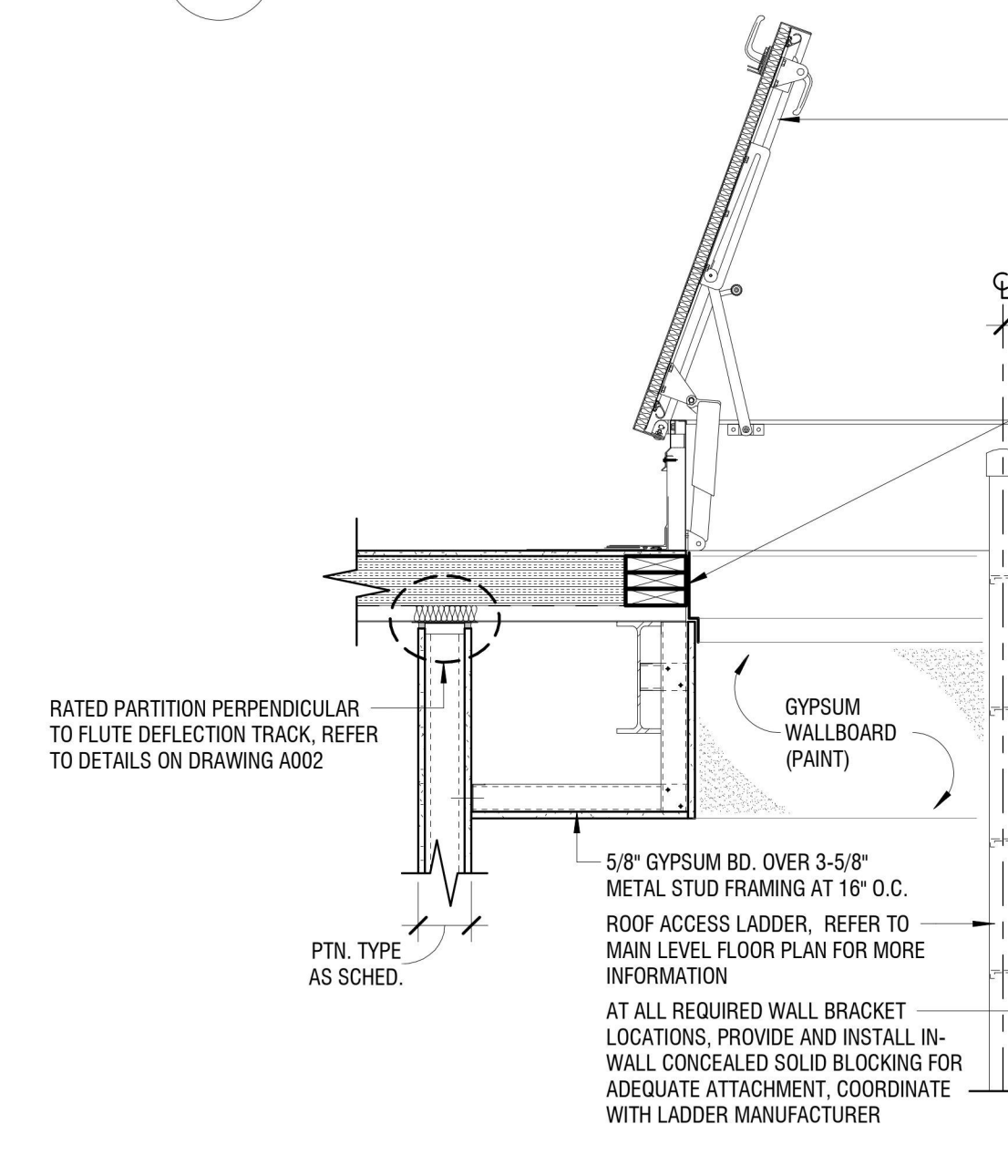
**2 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



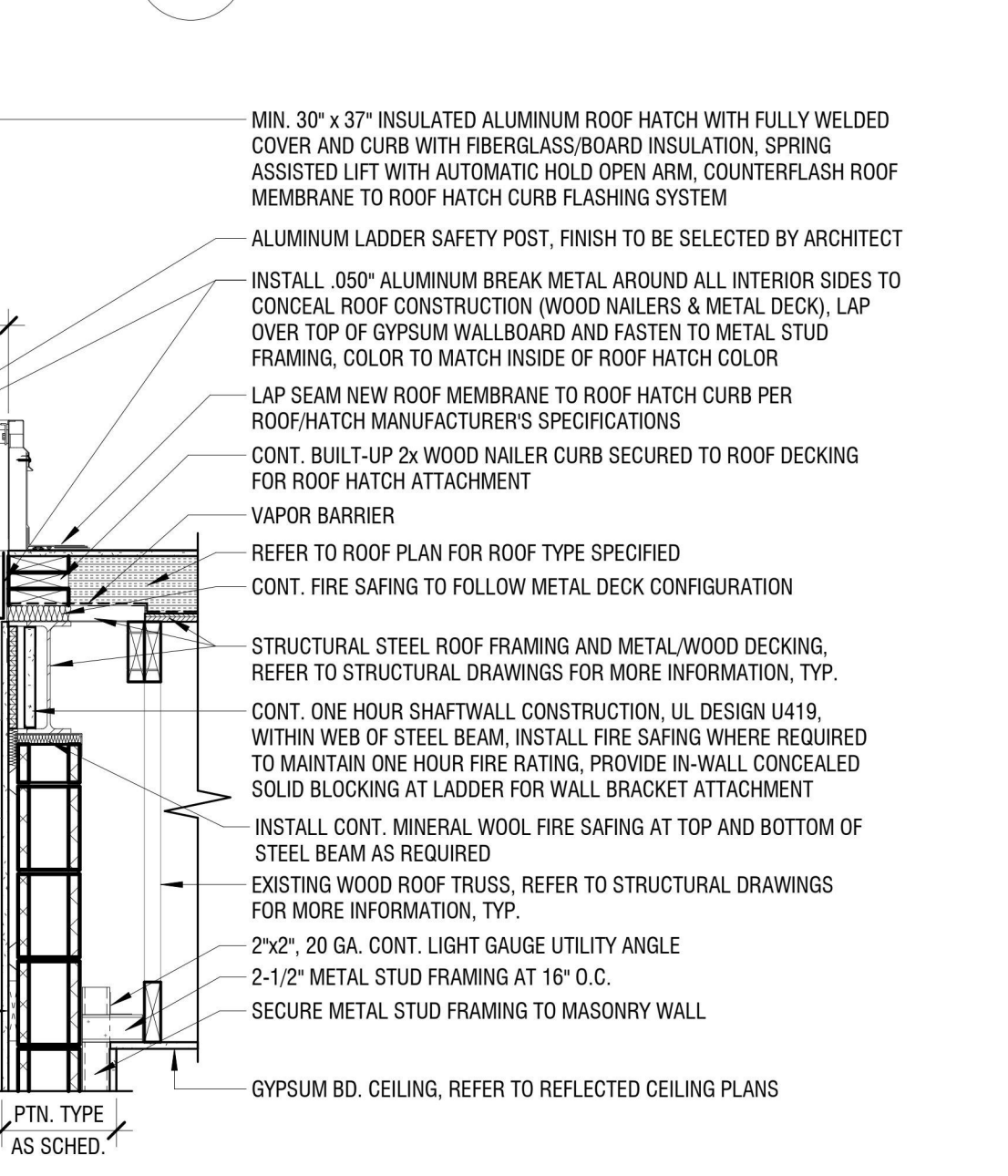
**3 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



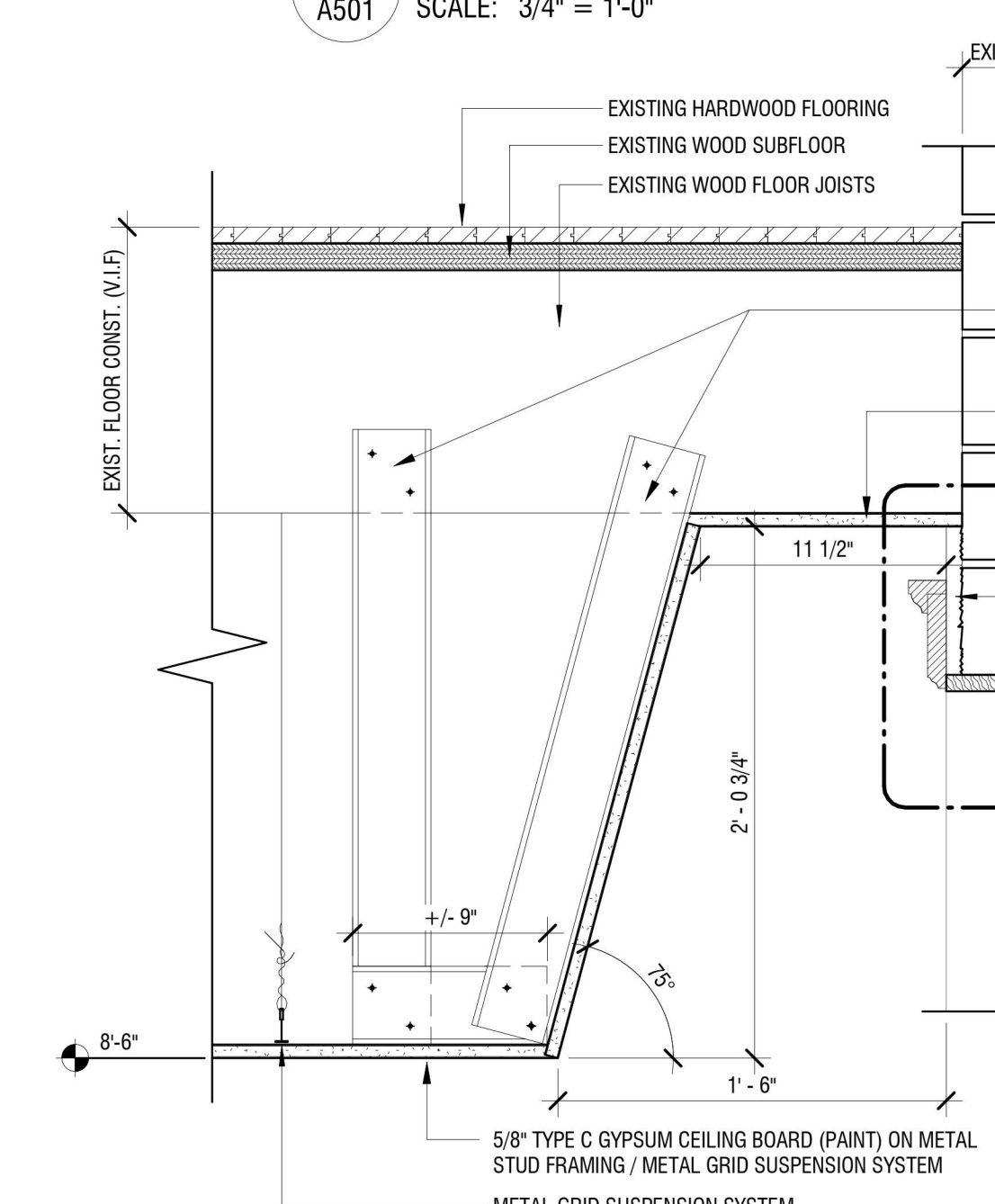
**4 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



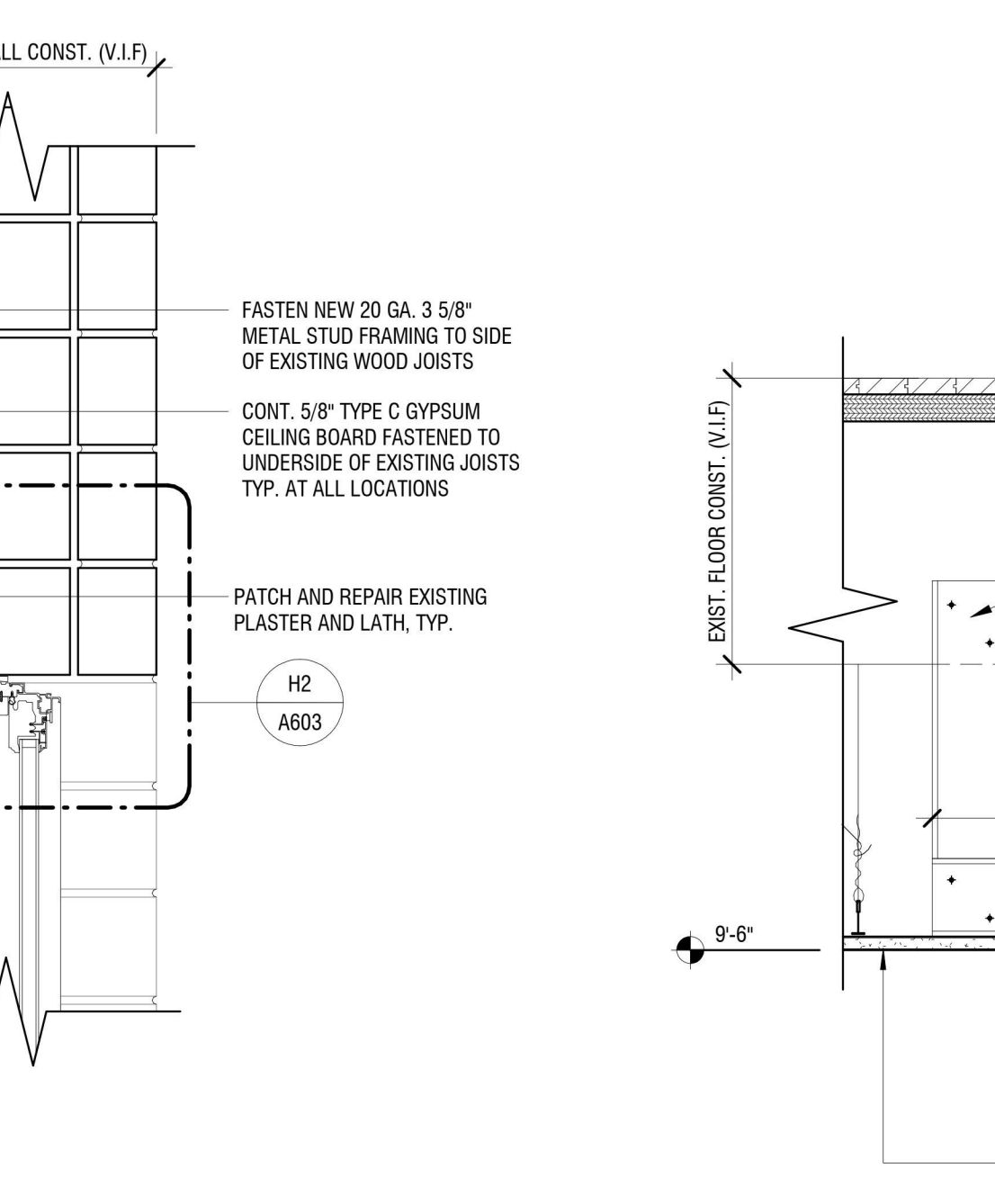
**5 ROOF ACCESS HATCH/LADDER DETAIL**  
A501 SCALE: 3/4" = 1'-0"



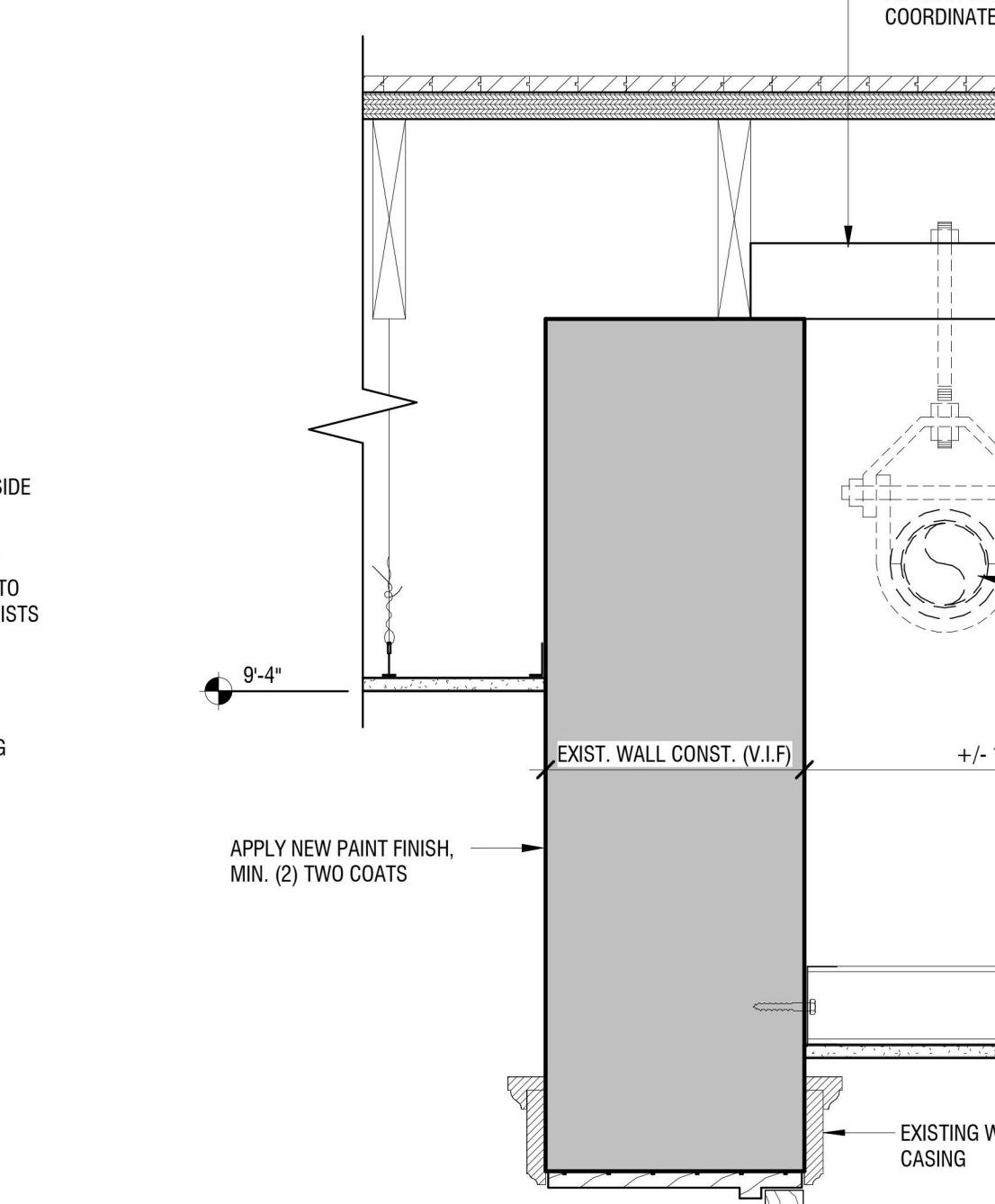
**6 ROOF EDGE DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



**7 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"

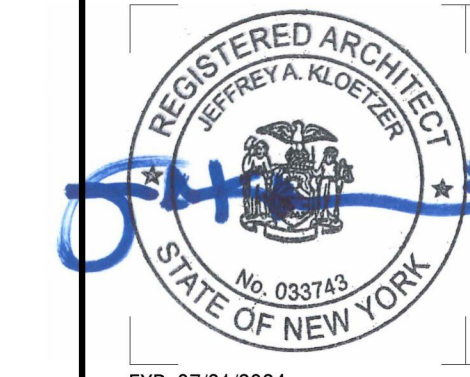


**8 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"



**9 SECTION DETAIL**  
A501 SCALE: 1 1/2" = 1'-0"

**SOFFIT NOTES:**  
A. BOTTOM OF SOFFIT ELEVATION SHOWN IS MINIMUM HEIGHT ABOVE FINISHED FLOOR DUE TO EXISTING DOOR CASING, V.I.F. HOWEVER, IF M, P, AND FP INSTALLATIONS ALLOW, RAISE BOTTOM OF SOFFIT AS HIGH AS POSSIBLE. NOTIFY ARCHITECT OF ANY DISCREPANCIES.  
B. NOT ALL PIPING SHOWN IN SOFFIT FOR CLARITY.



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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822 CLEVELAND AVENUE  
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REVIEWED BY: JAK		
ISSUED FOR: BID		
DATE: APRIL 11, 2024		
DRAWING NAME:		

**DOOR SCHEDULE, DOOR  
FRAMES AND TYPES**

DRAWING NUMBER:

**A601**

**DOOR SCHEDULE**

NO.	TYPE	DOOR					FRAME					THRESHOLD	GLAZING	RATING	HARDWARE	COMMENTS	NO.	
		WIDTH	HEIGHT	THICKNESS	UNDERCUT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD							JAMB
100	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H7	J9	--	--	--	HW-1		100
101	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H7	J9	--	--	--	HW-1		101
102	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-2		102
103	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-3		103
104	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-3		104
105	WR-2	6'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-B	WOOD/GLASS	STAIN	H1 (SIM.)	J1 (SIM.)	--	G-1	--	HW-6		105
106	WR-4	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-2		106
107	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-2		107
108	EXISTING	2'-4"	6'-8"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR	7	108
109A	WD-3 (EXISTING)	4'-0"	7'-6"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		109A
109B	WD-7 (EXISTING)	8'-0"	7'-6"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		109B
110A	WD-4 (EXISTING)	3'-0"	7'-0"	1 3/4"	3/4"	WOOD/GLASS	STAIN	EXISTING	WOOD	STAIN	H4, H5	J4, J5, J6, J7	S-2, S-3	G-2	--	HW-8	3, 4	110A
110B	WD-7 (EXISTING)	8'-0"	7'-6"	1 3/4"	3/4"	WOOD	STAIN PAINT	EXISTING	WOOD	STAIN PAINT	--	--	--	--	--	ETR		110B
111A	WD-5 (EXISTING)	10'-6 1/2"	7'-6"	1 3/4"	3/4"	WOOD/GLASS	STAIN	WOOD	WOOD	STAIN	H4, H5	J4, J5, J7	S-2, S-3	G-2	--	HW-8	3, 4	111A
111B	WD-6	10'-6 1/2"	7'-6"	1 3/4"	3/4"	WOOD/GLASS	STAIN	EXISTING	WOOD	STAIN	H4	J4	S-2	G-2	--	ETR		111B
111C	EXISTING	3'-0"	7'-6"	1 3/4"	3/4"	WOOD/GLASS	EXISTING	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR	5	111C
113	WR-3	3'-0"	7'-6"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	--	--	--	--	--	HW-9		113
114	EXISTING	2'-8"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	HW-10		114
115	EXISTING	2'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	HW-10		115
116	EXISTING	2'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	HW-10		116
117	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-2		117
118	WR-4	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-7		118
119A	WR-4	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-7		119A
119B	WD-1	7'-6"	7'-6"	1 3/4"	3/4"	WOOD	WOOD	EXISTING	WOOD	STAIN	--	--	--	--	--		3, 4	119B
120	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H7	J9	--	--	--	HW-2		120
C101	EXISTING	5'-0"	7'-6"	1 3/4"	3/4"	WOOD/GLASS	STAIN	EXISTING	WOOD	STAIN	--	--	--	G-2	--	HW-14	6	C101
STB-1	WR-1R	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	45 MIN.	HW-4		STB-1
VPL-LL	HM-1	3'-0"	6'-8"	1 3/4"	0"	HM	PAINT	HM-A	HM	PAINT	--	J10, J11	--	G-3	--	HW-5	1	VPL-LL
X100	HM-2	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	HM-C	HM	STAIN	H8	J12 (SIM.)	--	--	--	HW-12		X100
NEW ENTRY																		
200A	WR-1R	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	45 MIN.	HW-2		200A
STB-2	WR-1R	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	45 MIN.	HW-4		STB-2
VPL-ENTRY	HM-1	3'-0"	6'-8"	1 3/4"	0"	HM	PAINT	HM-A	HM	PAINT	--	J10, J11	--	G-3	45 MIN.	HW-5	1	VPL-ENTRY
MAIN LEVEL																		
200	FG-1	3'-0"	7'-0"	1 3/4"	3/4"	ALUM.	ANOD.	AL-A	ALUM.	ANOD.	H6	J8	S4	IGU-1	--	HW-13		200
201	EXISTING	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	--	--	--	--	--	HW-10		201
201A	EXISTING	2'-0"	7'-0"	1 3/4"	3/4"	EXISTING	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		201A
202	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-9		202
204	EXISTING	3'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		204
205	EXISTING	2'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		205
206	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-14		206
207	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-14		207
208	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-14		208
209	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-14		209
210	EXISTING	2'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		210
211	EXISTING	2'-6"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		211
212	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-2		212
213	EXISTING	2'-10"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	--	--	--	--	--	ETR		213
214A	EXISTING	2'-10"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	H3	J3	S1	--	--	HW-15		214A
214B	EXISTING	2'-8"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		214B
214C	EXISTING	6'-2"	7'-0"	1 3/4"	3/4"	WOOD	WOOD	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		214C
216	EXISTING	3'-0"	6'-8"	1 3/4"	3/4"	WOOD	PAINT	EXISTING	WOOD	PAINT	--	--	--	--	--	HW-16	2	216
C201	WR-1	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	WD-A	WOOD	STAIN	H1	J1	--	--	--	HW-16		C201
C202	EXISTING	2'-8"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	EXISTING	WOOD	STAIN	--	--	--	--	--	ETR		C202
VPL-ML	HM-1	3'-0"	6'-8"	1 3/4"	0"	HM	PAINT	HM-A	HM	PAINT	--	J10, J11	--	G-3	45 MIN.	HW-5	1	VPL-ML
X201	EXISTING	6'-0"	8'-0"	2"	3/4"	WOOD	PAINT	EXISTING	WOOD	PAINT	--	--	--	--	--	HW-17		X201
X202	HM-2	3'-0"	7'-0"	1 3/4"	3/4"	WOOD	STAIN	HM-B	HM	STAIN	--	J12	--	--	--	HW-18		X202

**DOOR AND FRAME NOTES**

- PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR ALL DOORS AND HARDWARE FOR APPROVAL PRIOR TO WORK EFFORTS. ALL HOLLOW METAL DOORS AND FRAMES SHALL BE MANUFACTURED BY AN SDI APPROVED MANUFACTURER.
- ALL HOLLOW METAL DOORS AND FRAMES SHALL HAVE A BAKED-ON PRIMER FINISH.
- ALL DOORS AND FRAMES SHALL BE REINFORCED AND PREPARED FOR HARDWARE.
- COORDINATE WIDTH, HEIGHT, RATINGS, AND ACCESSORIES WITH DOOR SCHEDULE AND OWNER.
- COORDINATE ALL DOOR HEIGHTS AND CLEARANCES WITH EXISTING/NEW FLOOR FINISHES PRIOR TO ORDERING.
- ALL FRAMES FOR FIRE RATED DOORS SHALL BE FIRE RATED TO MATCH DOOR.
- VERIFY ALL FRAME DEPTHS WITH PARTITION AND WALL TYPES. PROVIDE WRAP AROUND FRAMES AT ALL STUD FRAMED PARTITIONS.
- PROVIDE BACK BOXES FOR ALL HARDWARE ITEMS INCLUDING ELECTRICAL.
- PROVIDE DOOR MARKINGS ON GLASS DOORS PER NYS DEPT. OF LABOR INDUSTRIAL CODE RULE NO. 47.
- CONTRACTOR TO COORDINATE ANY SPECIALTY DOORS, FRAMES AND/OR HARDWARE REQUIREMENTS WITH OWNER IN FIELD PRIOR TO CONSTRUCTION.

**DOOR HARDWARE NOTES**

- ALL DOOR HARDWARE SHALL BE COMPLIANT WITH THE LATEST ADA, IEC/ANSI AND IBC STANDARDS AND CODES.
- ANY HARDWARE ITEM NOT SPECIFICALLY CALLED OUT, BUT REQUIRED TO MAKE ANY ASSEMBLY OPERATIONAL, SHALL BE INCLUDED BY THE HARDWARE SUPPLIER IN THEIR BASE BID.
- ALL HARDWARE SHALL HAVE OWNERS STANDARD FINISH. COORDINATE WITH OWNER.
- CONTRACTORS SHALL COORDINATE ANY SPECIALTY DOORS, FRAMES, AND/OR HARDWARE REQUIREMENTS WITH THE OWNER IN FIELD PRIOR TO CONSTRUCTION.
- VERIFY ALL DOOR HARDWARE FUNCTIONS WITH OWNER AND/OR OWNERS REPRESENTATIVE PRIOR TO ORDERING.
- APPROXIMATELY (6) MONTHS AFTER THE ACCEPTANCE OF HARDWARE, THE INSTALLER WITH MANUFACTURERS REP SHALL RETURN TO PROJECT AND RE-ADJUST HARDWARE TO RESTORE PROPER FUNCTION OF DOORS AND HARDWARE. CONSULT AND INSTRUCT OWNERS PERSONNEL IN RECOMMENDED ADDITIONS TO MAINTENANCE PROCEDURES. REPLACE HARDWARE THAT MAY HAVE FAILED DUE TO PREDICTABLE PROBLEMS OF SUBSTANTIAL NATURE IN HARDWARE PERFORMANCE.
- COORDINATE ALL NEW DOORS WITH OWNERS KEYING REQUIREMENTS.
- PROVIDE ARCHITECT WITH DOOR AND HARDWARE SUBMITTAL PACKAGE FOR REVIEW PRIOR TO WORK EFFORTS.
- ALL DOOR HARDWARE TO MATCH BUILDING STANDARD INCLUDING PERIOD/STYLE, FIT AND FINISH; AND IS TO BE SUBJECT TO SHPO STANDARDS AND APPROVAL.

**DOOR SCHEDULE COMMENTS**

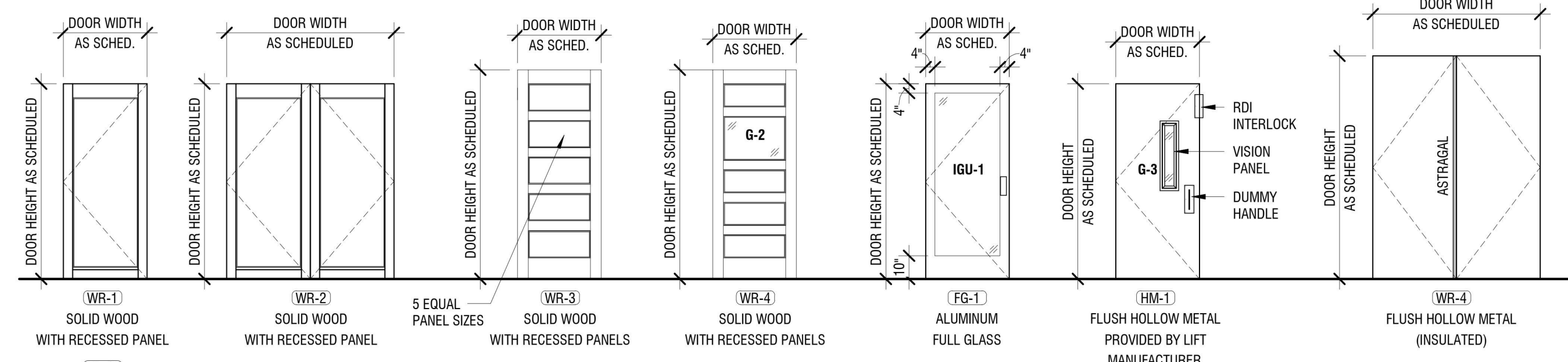
- VERTICAL PLATFORM LIFT DOOR, DOOR FRAME, AND DOOR HARDWARE TO BE PROVIDED AND INSTALLED BY LIFT MANUFACTURER.
- SALVAGED WOOD DOOR AND FRAME FROM MAIN LEVEL MEETING ROOM. RECONSTRUCT IN NEW PARTITION AS SHOWN IN PLAN.
- SALVAGED WOOD DOORS RECONFIGURED IN EXISTING WOOD CAVED OPENINGS. SEE EXISTING DOOR TYPES THIS SHEET FOR MORE INFORMATION.
- ALL EXISTING GLAZING IN EACH DOOR LEAF TO BE CAREFULLY REMOVED AND REPLACED WITH NEW GLASS AND APPLIED FROSTED FILM. CAREFULLY REMOVE WOOD GLAZING STOPS AND PUSH POINTS FOR REINSTALLATION. SEE GLAZING SCHEDULE AND COLOR AND FINISH LEGEND ON INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION.
- WOOD DOOR AND ASSOCIATED CASING/TRIM TO REMAIN. DOOR TO BE PINNED SHUT. APPLY FROSTED FILM ON LOBBY SIDE. SEE COLOR AND FINISH LEGEND ON INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION.
- DOORS TO BE MIRRORED TO SWING INTO LOBBY. AUGMENT WOOD FRAME AS REQUIRED.
- PROVIDE AND INSTALL A SOUNDPROOFING DOOR SEAL KIT.

**GLAZING SCHEDULE**

TYPE	DESCRIPTION
IGU-1	1" INSULATED GLASS UNIT • OUTBOARD LITE: 1/4" CLEAR TEMPERED GLASS WITH GUARDIAN GLASS SUNGUARD • SNX 6/27 ON SURFACE #3 • AIRSPACE: 1/2", 5% AIR / 95% ARGON FILLED • INBOARD LITE: 1/4" CLEAR TEMPERED GLASS
IGU-2	INSULATED GLASS UNIT BY WINDOW MANUFACTURER • BASIS OF DESIGN: MARVIN WINDOWS (U-VALUE = 0.26 / SHGC = 0.29) • CLEAR GLASS (INTERIOR AND EXTERIOR), 100% ARGON FILLED AIRSPACE WITH LOW-E COATINGS
G-1	1/2" CLEAR GLASS, TEMPERED
G-2	1/4" CLEAR GLASS
G-3	1/4" CLEAR FIRE RATED GLASS
G-4	1/4" CLEAR ACRYLIC (NON-GLARE) - PROTECTION GLAZING

NOTES:  
A. PROVIDE TEMPERED GLASS AT ALL LOCATIONS WITHIN 18 INCHES OF FLOOR, ALL DOORS, AND WITHIN THREE (3) FEET OF ALL DOORS. TYPICAL.  
B. PROVIDE INSULATED GLASS UNIT SAMPLES TO ARCHITECT FOR APPROVAL.  
C. INTERIOR WINDOW / DOOR ASSEMBLY GLAZING SIZES TO COMPLY WITH NFPA 80 OR ASTM E119.

**NEW DOORS**



**EXISTING WOOD DOORS**



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
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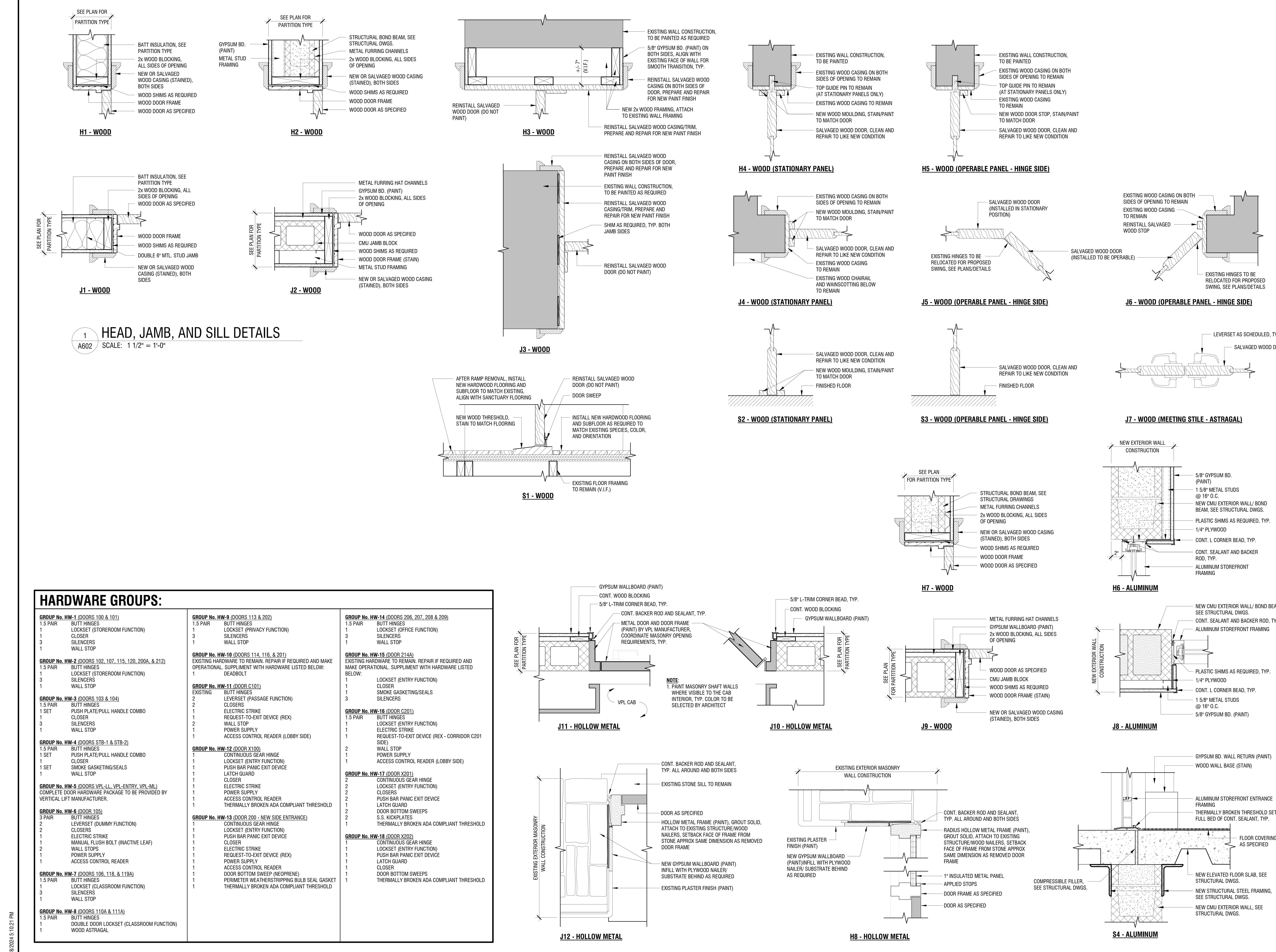
DATE: APRIL 11, 2024

DRAWING NAME:

**DOOR DETAILS**

DRAWING NUMBER:

**A602**



**1 HEAD, JAMB, AND SILL DETAILS**  
A602 SCALE: 1 1/2" = 1'-0"

**HARDWARE GROUPS:**

<p><b>GROUP No. HW-1 (DOORS 100 &amp; 101)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (STOREROOM FUNCTION)</li> <li>1 CLOSER</li> <li>3 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-2 (DOORS 102, 107, 115, 120, 200A, &amp; 212)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (STOREROOM FUNCTION)</li> <li>1 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-3 (DOORS 103 &amp; 104)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 SET PUSH PLATE/PULL HANDLE COMBO</li> <li>1 CLOSER</li> <li>3 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-4 (DOORS STB-1 &amp; STB-2)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 SET PUSH PLATE/PULL HANDLE COMBO</li> <li>1 CLOSER</li> <li>1 SMOKE GASKETING/SEALS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-5 (DOORS VPL-LL, VPL-ENTRY, VPL-ML)</b></p> <p>COMPLETE DOOR HARDWARE PACKAGE TO BE PROVIDED BY VERTICAL LIFT MANUFACTURER.</p> <p><b>GROUP No. HW-6 (DOOR 105)</b></p> <ul style="list-style-type: none"> <li>3 PAIR BUTT HINGES</li> <li>2 CONTINUOUS GEAR HINGE</li> <li>2 CLOSERS</li> <li>2 ELECTRIC STRIKE</li> <li>1 MANUAL FLUSH BOLT (INACTIVE LEAF)</li> <li>1 WALL STOP</li> <li>1 POWER SUPPLY</li> <li>1 ACCESS CONTROL READER</li> </ul> <p><b>GROUP No. HW-7 (DOORS 106, 118, &amp; 119A)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (CLASSROOM FUNCTION)</li> <li>3 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-8 (DOORS 110A &amp; 111A)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 DOUBLE DOOR LOCKSET (CLASSROOM FUNCTION)</li> <li>1 WOOD ASTRAGAL</li> </ul>	<p><b>GROUP No. HW-9 (DOORS 113 &amp; 202)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (PRIVACY FUNCTION)</li> <li>3 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-10 (DOORS 114, 116, &amp; 201)</b></p> <p>EXISTING HARDWARE TO REMAIN. REPAIR IF REQUIRED AND MAKE OPERATIONAL. SUPPLEMENT WITH HARDWARE LISTED BELOW:</p> <ul style="list-style-type: none"> <li>1 DEADBOLT</li> </ul> <p><b>GROUP No. HW-11 (DOOR C101)</b></p> <p>EXISTING</p> <ul style="list-style-type: none"> <li>2 BUTT HINGES</li> <li>2 LEVERSET (PASSAGE FUNCTION)</li> <li>1 CLOSERS</li> <li>1 ELECTRIC STRIKE</li> <li>1 REQUEST-TO-EXIT DEVICE (REX)</li> <li>2 WALL STOP</li> <li>1 POWER SUPPLY</li> <li>1 ACCESS CONTROL READER (LOBBY SIDE)</li> </ul> <p><b>GROUP No. HW-12 (DOOR X100)</b></p> <ul style="list-style-type: none"> <li>1 CONTINUOUS GEAR HINGE</li> <li>1 LOCKSET (ENTRY FUNCTION)</li> <li>1 PUSH BAR PANIC EXIT DEVICE</li> <li>1 LATCH GUARD</li> <li>1 CLOSER</li> <li>1 ELECTRIC STRIKE</li> <li>1 POWER SUPPLY</li> <li>1 ACCESS CONTROL READER</li> <li>1 THERMALLY BROKEN ADA COMPLIANT THRESHOLD</li> </ul> <p><b>GROUP No. HW-13 (DOOR 200 - NEW SIDE ENTRANCE)</b></p> <ul style="list-style-type: none"> <li>1 CONTINUOUS GEAR HINGE</li> <li>1 LOCKSET (ENTRY FUNCTION)</li> <li>1 PUSH BAR PANIC EXIT DEVICE</li> <li>1 CLOSER</li> <li>1 ELECTRIC STRIKE</li> <li>1 REQUEST-TO-EXIT DEVICE (REX)</li> <li>1 POWER SUPPLY</li> <li>1 ACCESS CONTROL READER</li> <li>1 DOOR BOTTOM SWEEP (NEOPRENE)</li> <li>1 PERIMETER WEATHERSTRIPPING BULB SEAL GASKET</li> <li>1 THERMALLY BROKEN ADA COMPLIANT THRESHOLD</li> </ul>	<p><b>GROUP No. HW-14 (DOORS 206, 207, 208 &amp; 209)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (OFFICE FUNCTION)</li> <li>3 SILENCERS</li> <li>1 WALL STOP</li> </ul> <p><b>GROUP No. HW-15 (DOOR 214A)</b></p> <p>EXISTING HARDWARE TO REMAIN. REPAIR IF REQUIRED AND MAKE OPERATIONAL. SUPPLEMENT WITH HARDWARE LISTED BELOW:</p> <ul style="list-style-type: none"> <li>1 LOCKSET (ENTRY FUNCTION)</li> <li>1 CLOSER</li> <li>1 SMOKE GASKETING/SEALS</li> <li>3 SILENCERS</li> </ul> <p><b>GROUP No. HW-16 (DOOR C201)</b></p> <ul style="list-style-type: none"> <li>1.5 PAIR BUTT HINGES</li> <li>1 LOCKSET (ENTRY FUNCTION)</li> <li>1 ELECTRIC STRIKE</li> <li>1 REQUEST-TO-EXIT DEVICE (REX - CORRIDOR C201 SIDE)</li> <li>2 WALL STOP</li> <li>1 POWER SUPPLY</li> <li>1 ACCESS CONTROL READER (LOBBY SIDE)</li> </ul> <p><b>GROUP No. HW-17 (DOOR X201)</b></p> <ul style="list-style-type: none"> <li>2 CONTINUOUS GEAR HINGE</li> <li>2 LOCKSET (ENTRY FUNCTION)</li> <li>2 CLOSERS</li> <li>2 PUSH BAR PANIC EXIT DEVICE</li> <li>1 LATCH GUARD</li> <li>2 DOOR BOTTOM SWEEPS</li> <li>2 S.S. KICKPLATES</li> <li>1 THERMALLY BROKEN ADA COMPLIANT THRESHOLD</li> </ul> <p><b>GROUP No. HW-18 (DOOR X202)</b></p> <ul style="list-style-type: none"> <li>1 CONTINUOUS GEAR HINGE</li> <li>1 LOCKSET (ENTRY FUNCTION)</li> <li>1 CLOSERS</li> <li>1 PUSH BAR PANIC EXIT DEVICE</li> <li>1 LATCH GUARD</li> <li>1 CLOSER</li> <li>1 DOOR BOTTOM SWEEPS</li> <li>1 THERMALLY BROKEN ADA COMPLIANT THRESHOLD</li> </ul>
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EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

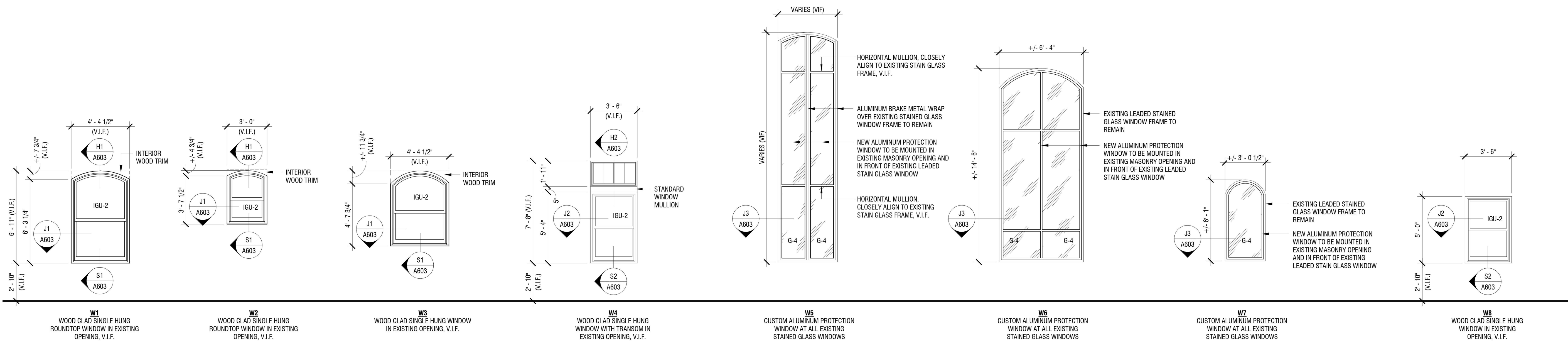
DATE: APRIL 11, 2024

DRAWING NAME:

**WINDOW TYPES AND  
DETAILS**

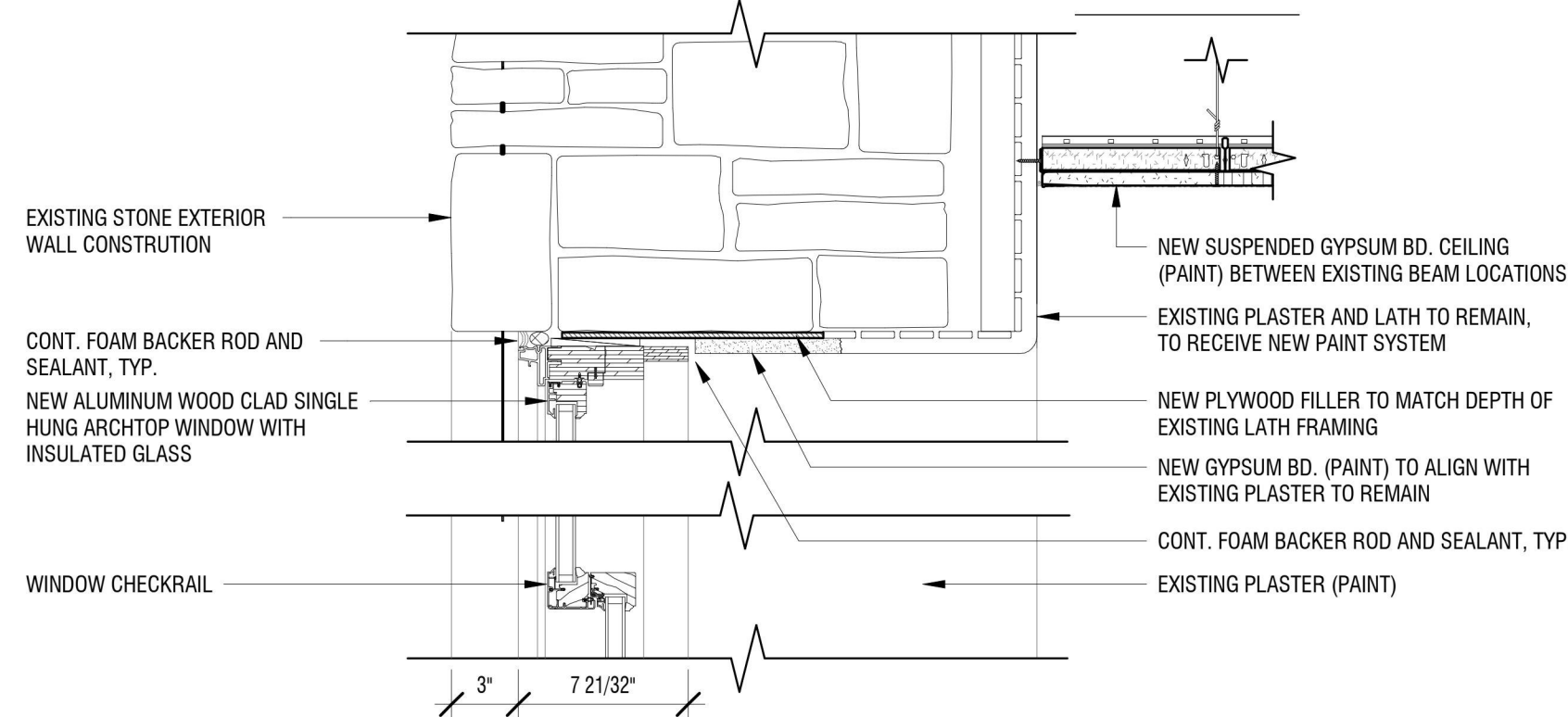
DRAWING NUMBER:

**A603**

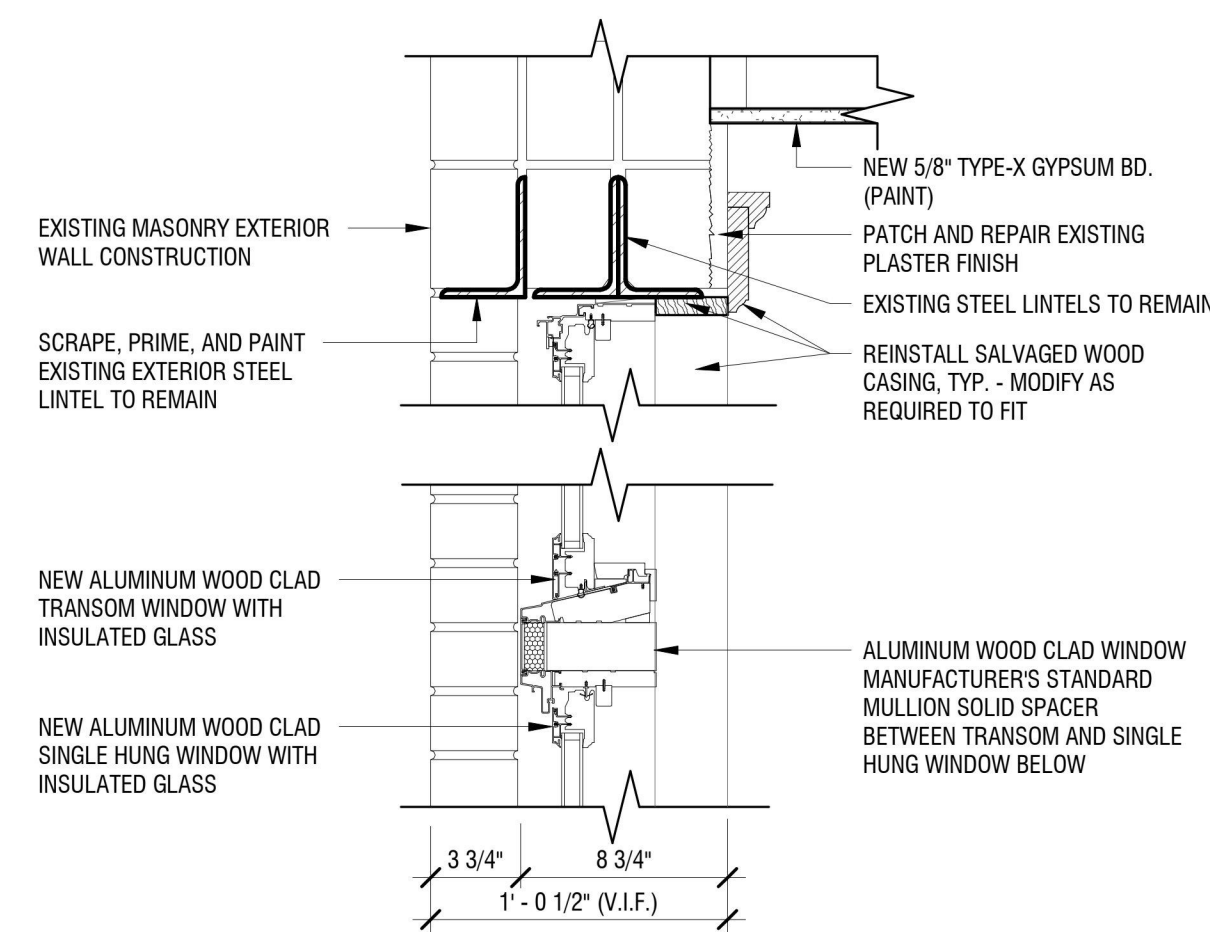


**1 NEW WINDOW TYPES**  
A603 1/4" = 1'-0"

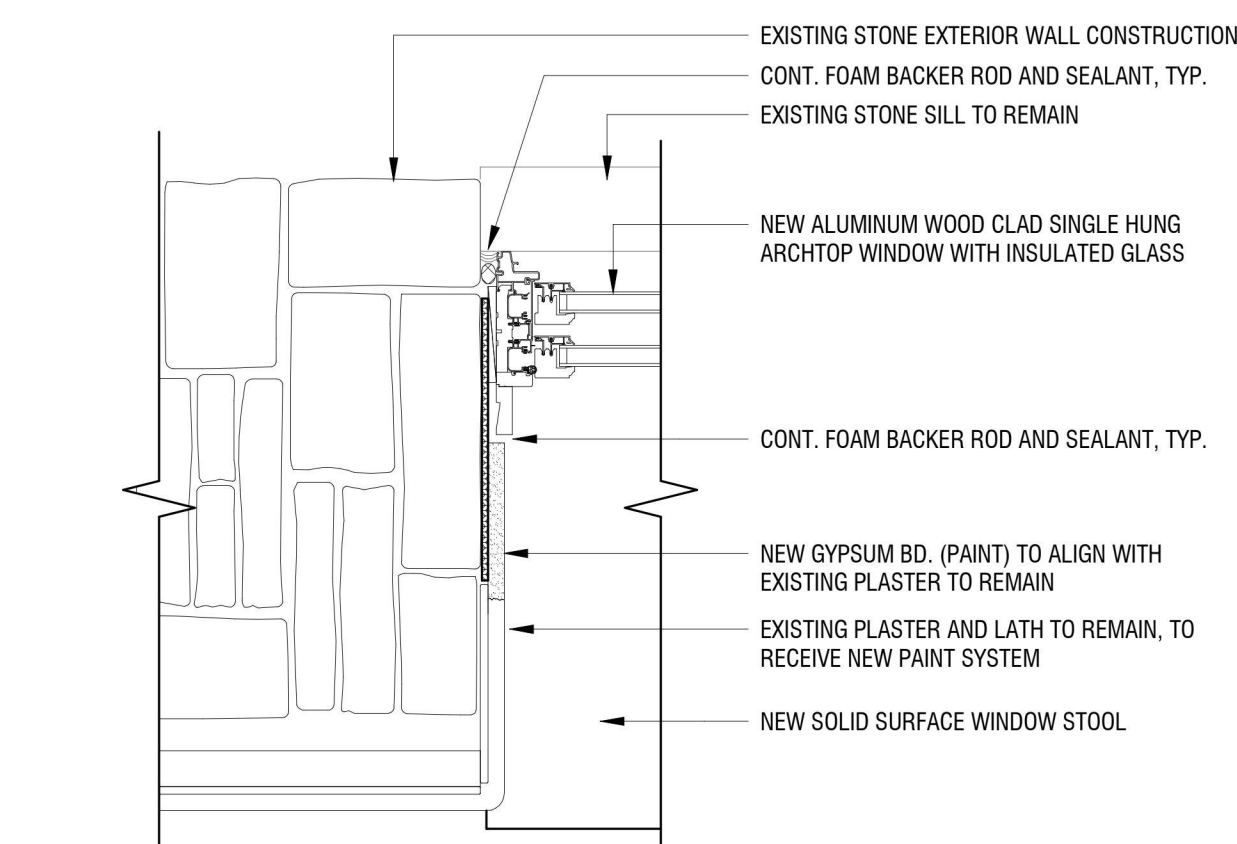
NOTE:  
1. REFER TO DRAWING A-601 FOR GLAZING SCHEDULE.



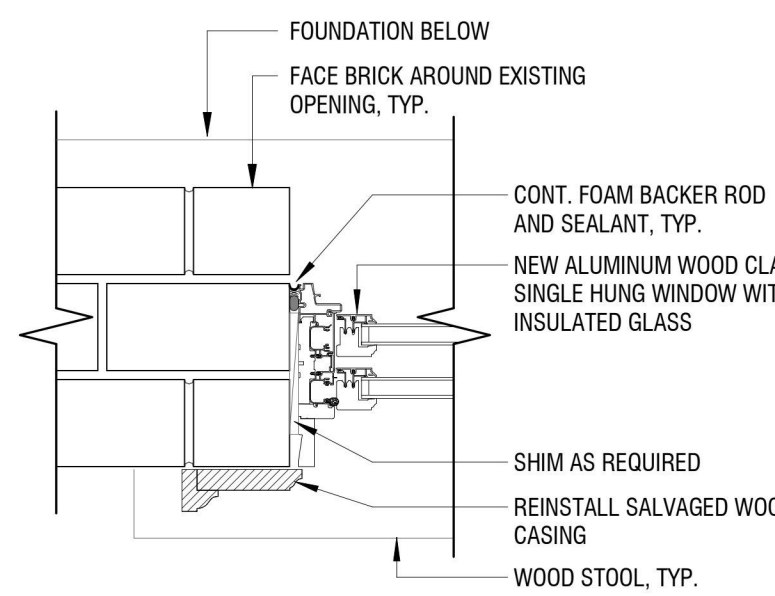
**H1 ARCHTOP HEAD DETAIL (TYP.)**  
A603 1 1/2" = 1'-0"



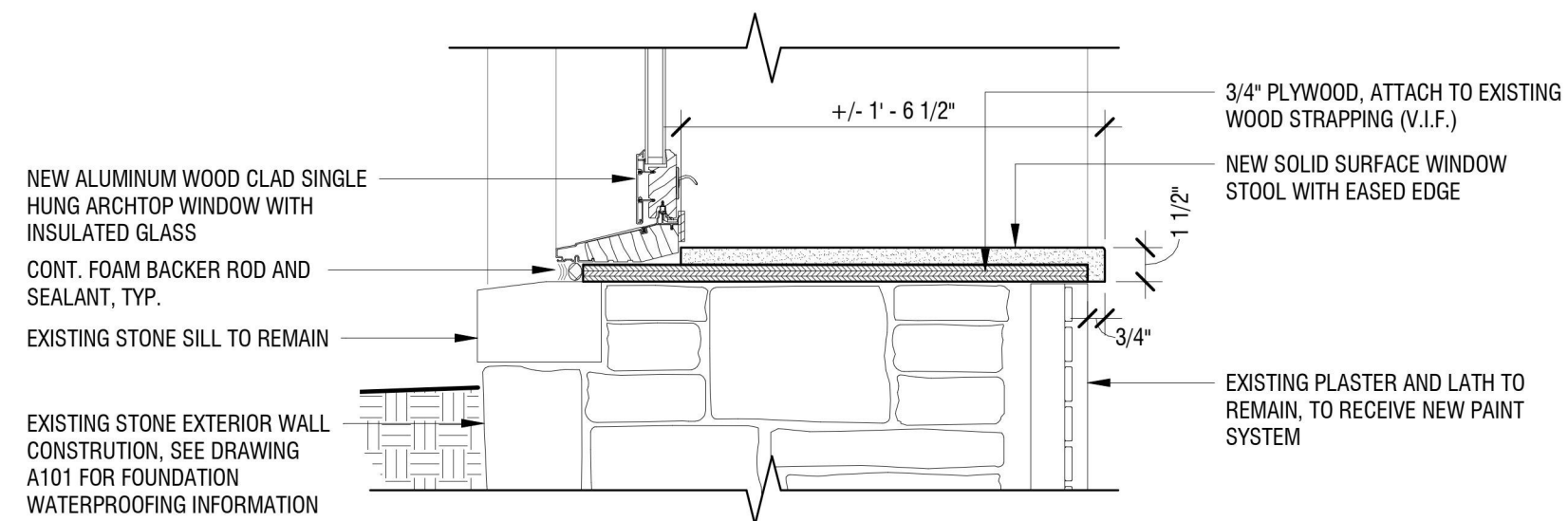
**H2 HEAD/MULLION DETAIL**  
A603 1 1/2" = 1'-0"



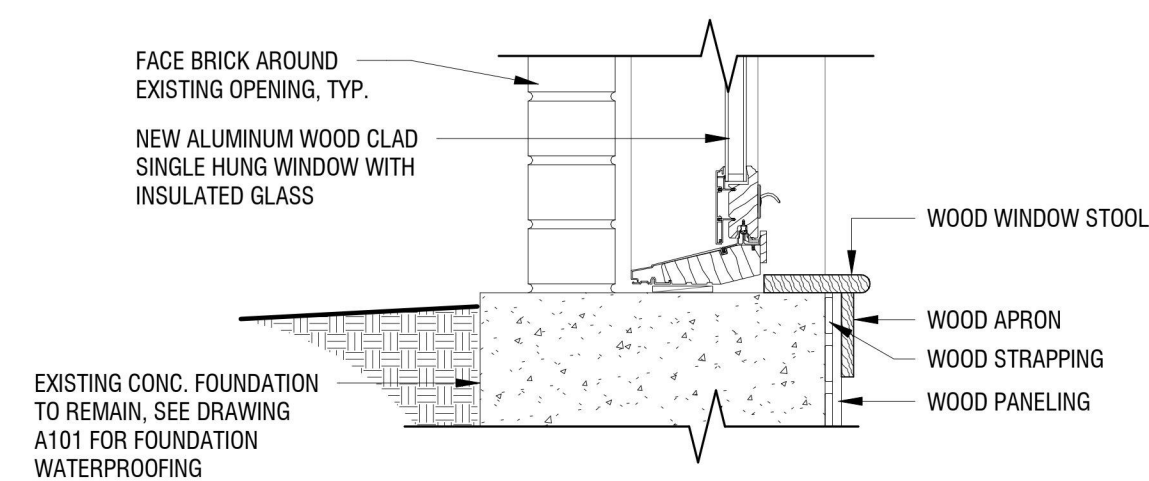
**J1 ARCHTOP JAMB DETAIL (TYP.)**  
A603 1 1/2" = 1'-0"



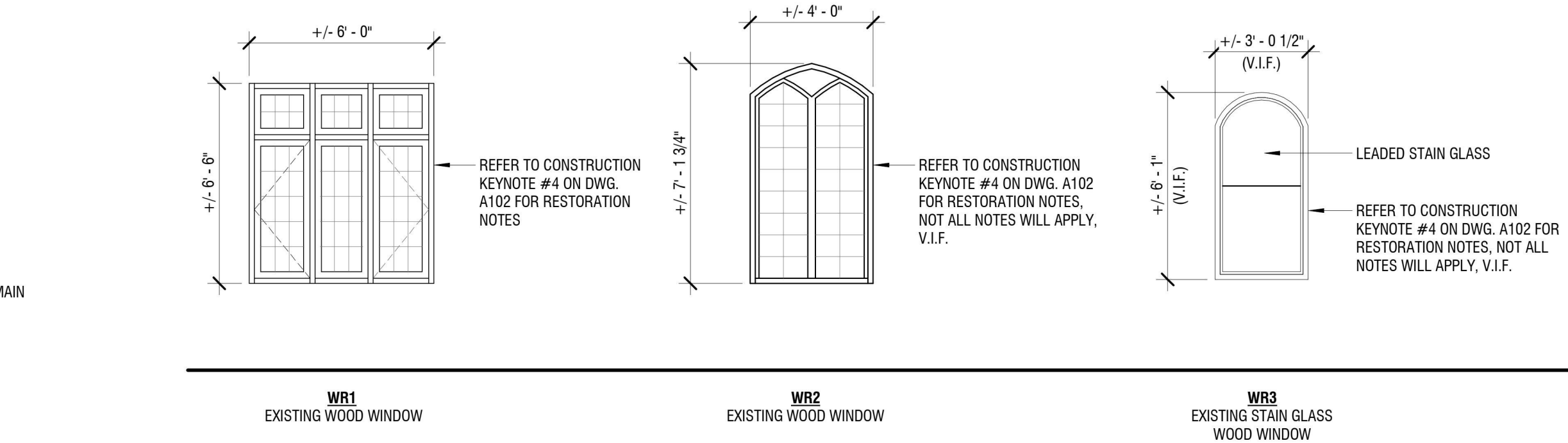
**J2 JAMB DETAIL**  
A603 1 1/2" = 1'-0"



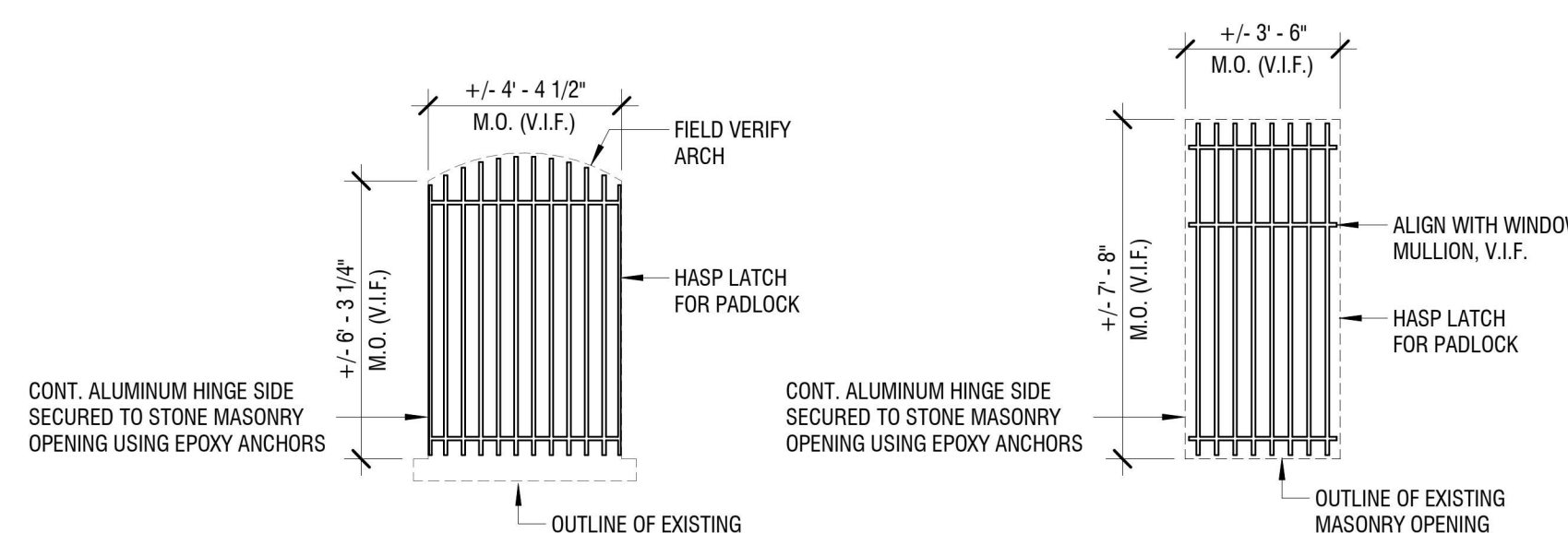
**S1 ARCHTOP SILL DETAIL (TYP.)**  
A603 1 1/2" = 1'-0"



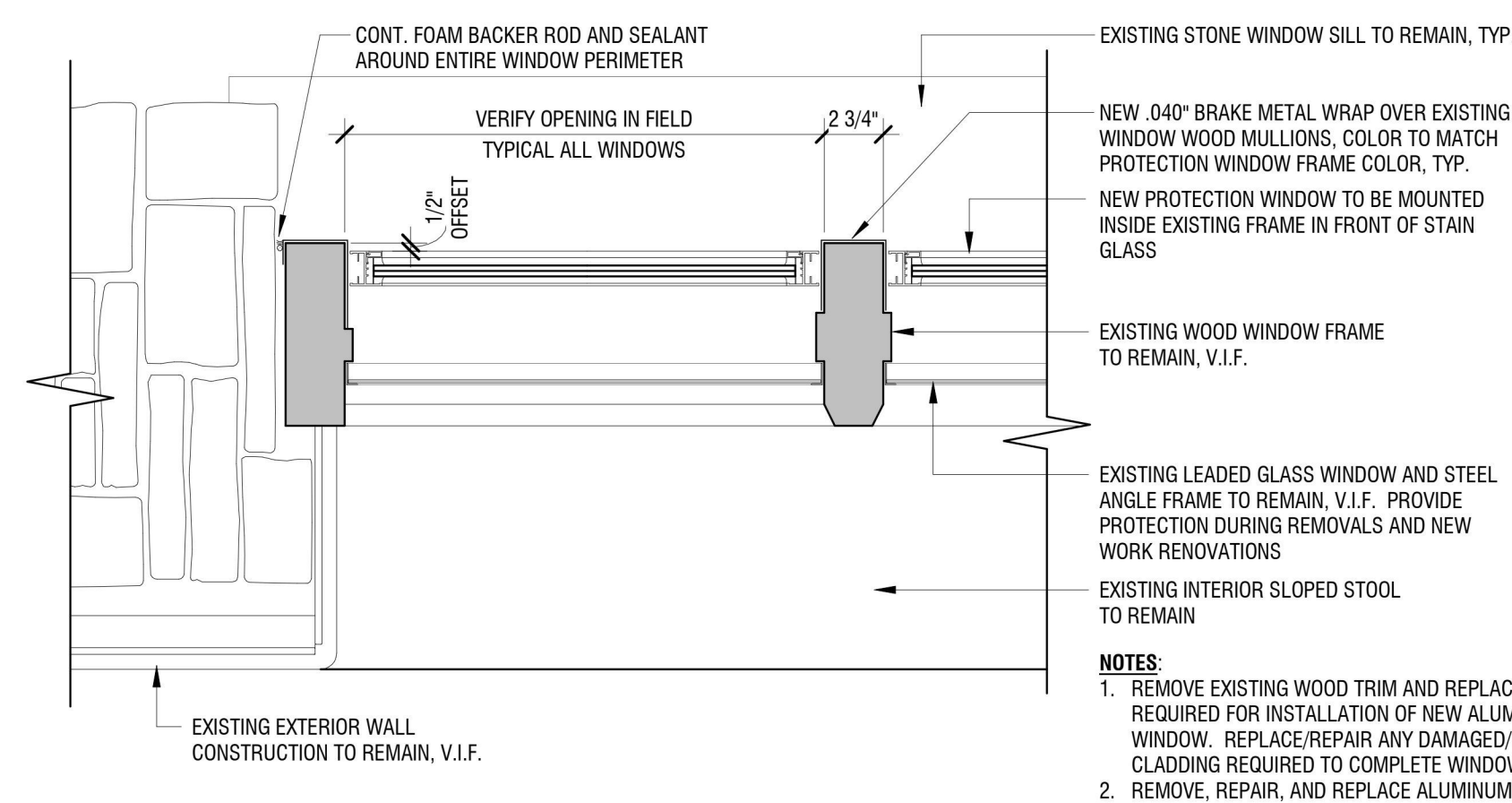
**S2 SILL DETAIL**  
A603 1 1/2" = 1'-0"



**2 EXISTING WINDOW TYPES - RESTORATION**  
A603 1/4" = 1'-0"



**3 WINDOW TYPES - SECURITY GRILLES**  
A603 1/4" = 1'-0"



**J3 STAIN GLASS PROTECTION WINDOW DETAIL**  
A603 1 1/2" = 1'-0"

NOTES:  
1. REMOVE EXISTING WOOD TRIM AND REPLACE WITH SHALLOWER TRIM IF REQUIRED FOR INSTALLATION OF NEW ALUMINUM FRAME PROTECTION WINDOW. REPLACE/REPAIR ANY DAMAGED/MISSING WOOD TRIM AND CLADDING REQUIRED TO COMPLETE WINDOW ASSEMBLY.  
2. REMOVE, REPAIR, AND REPLACE ALUMINUM WRAP AS REQUIRED FOR INSTALLATION OF NEW ALUMINUM FRAME PROTECTION WINDOW.



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-WY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

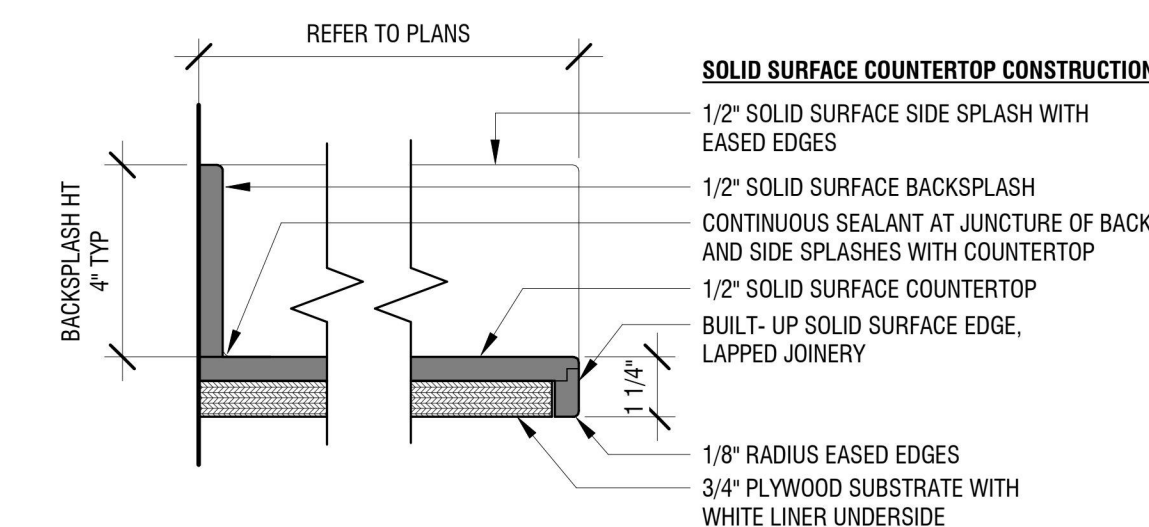
DATE: APRIL 11, 2024

DRAWING NAME:

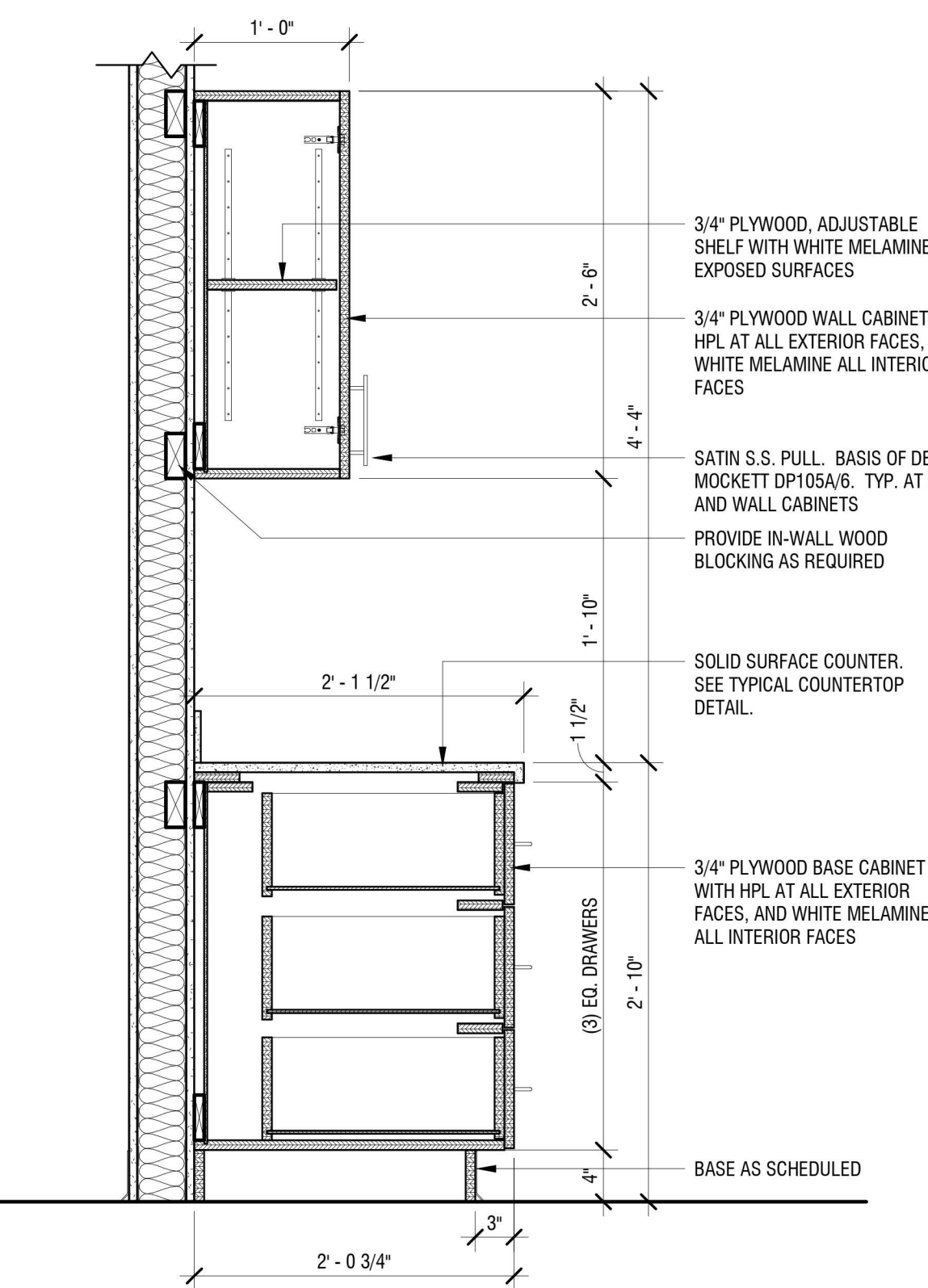
**MILLWORK SECTIONS AND  
DETAILS**

DRAWING NUMBER:

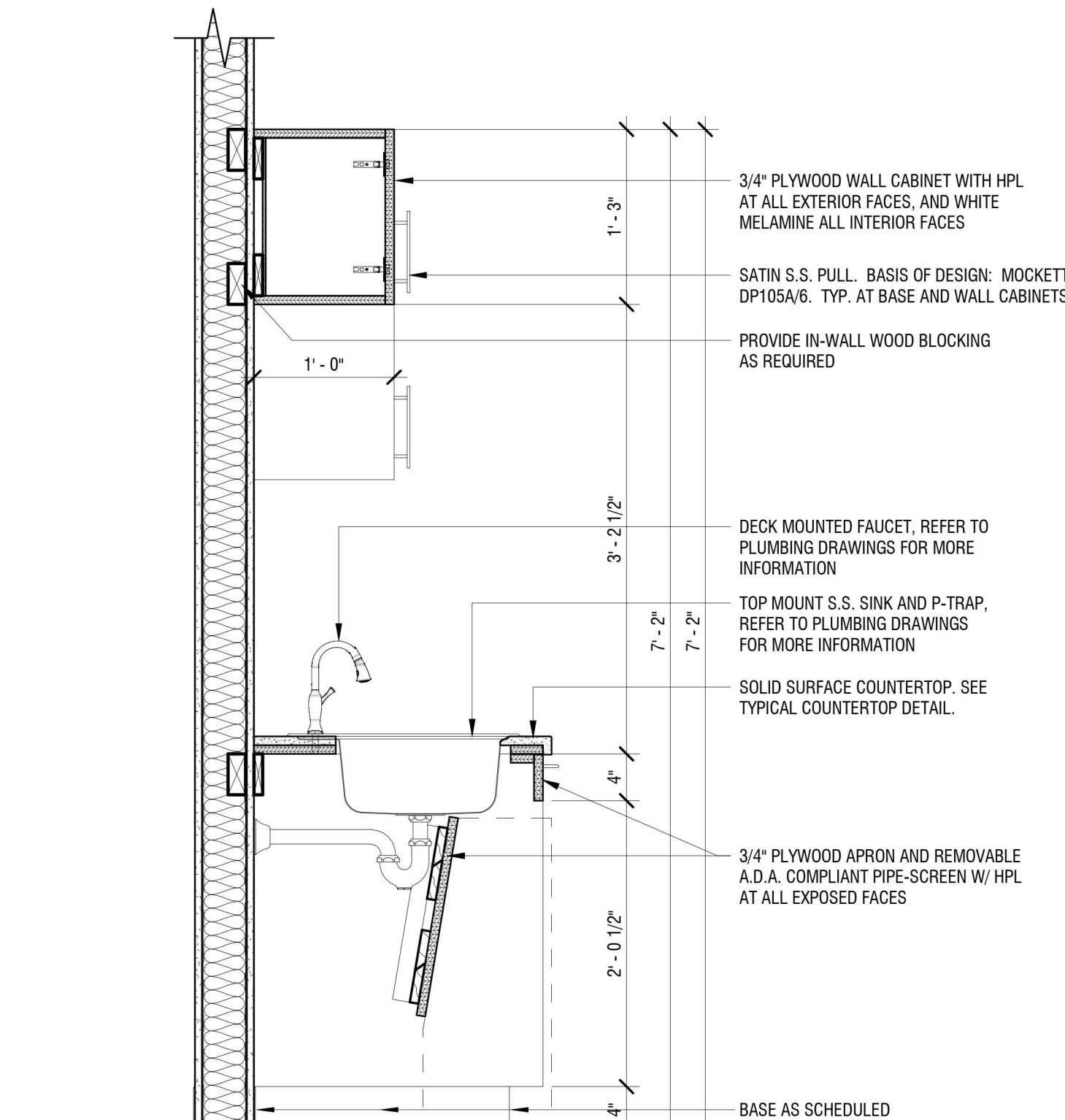
**A701**



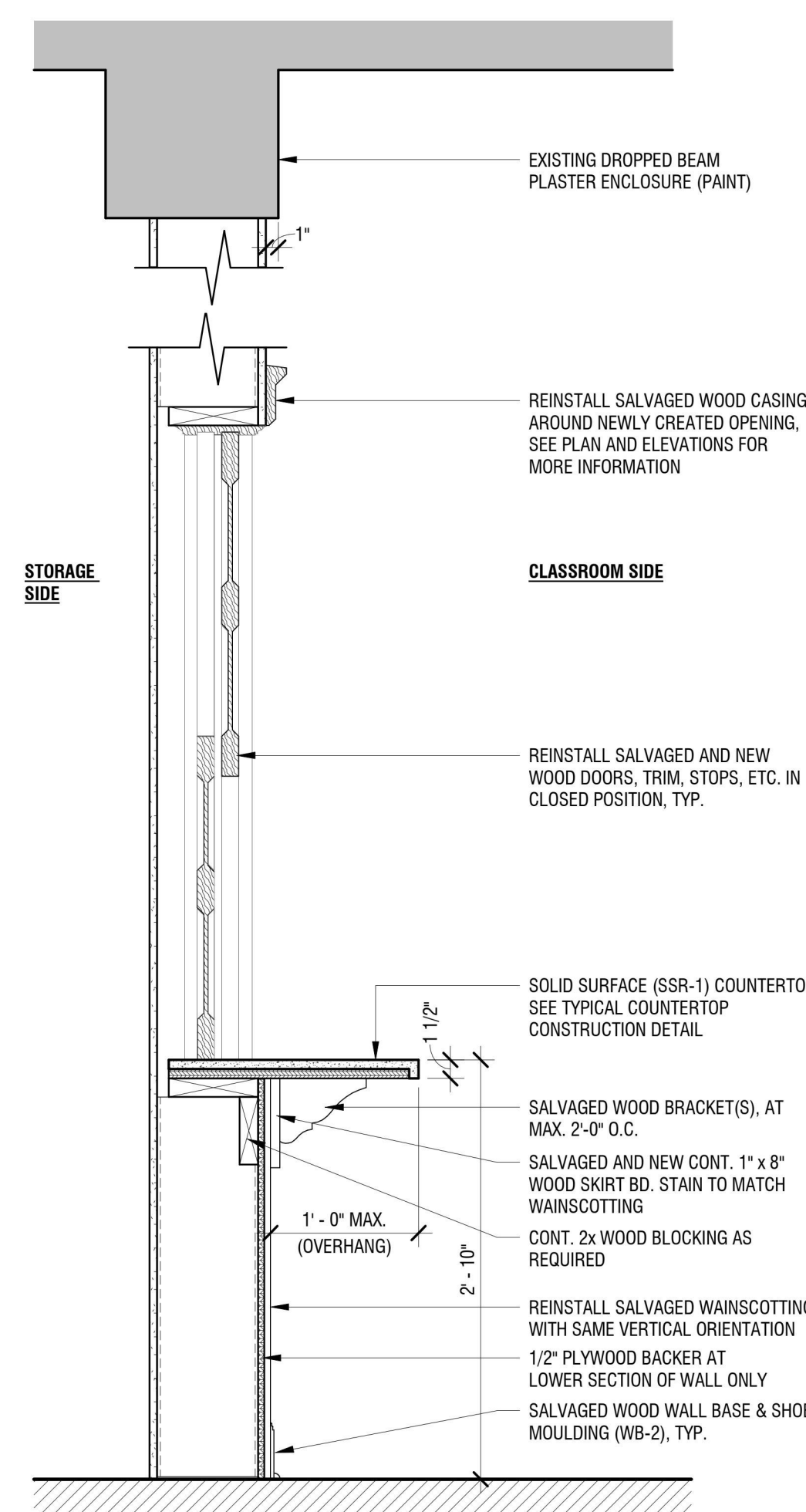
5 TYP. COUNTERTOP DETAIL  
A701 3" = 1'-0"



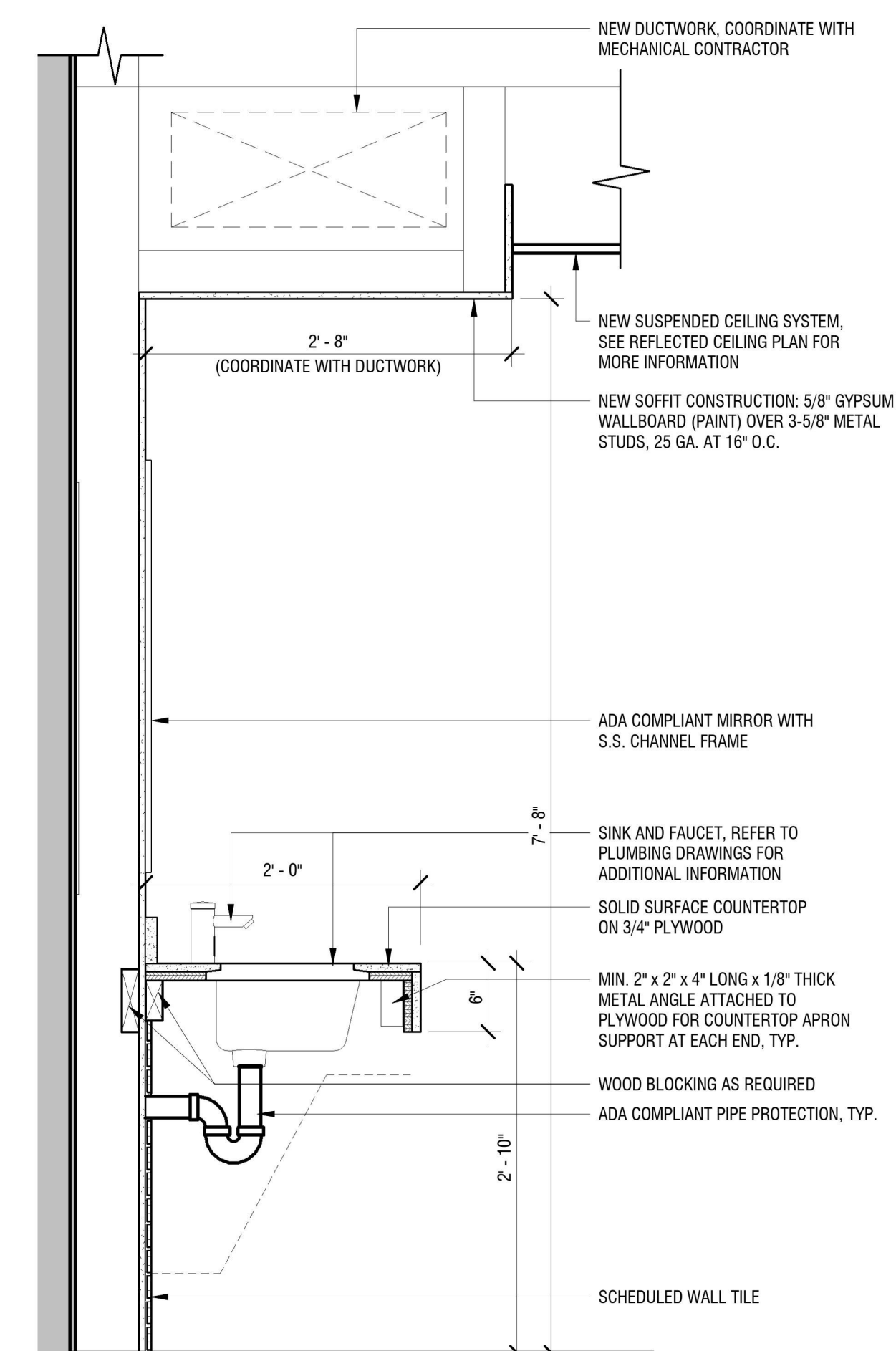
4 MILLWORK SECTION  
A701 1" = 1'-0"



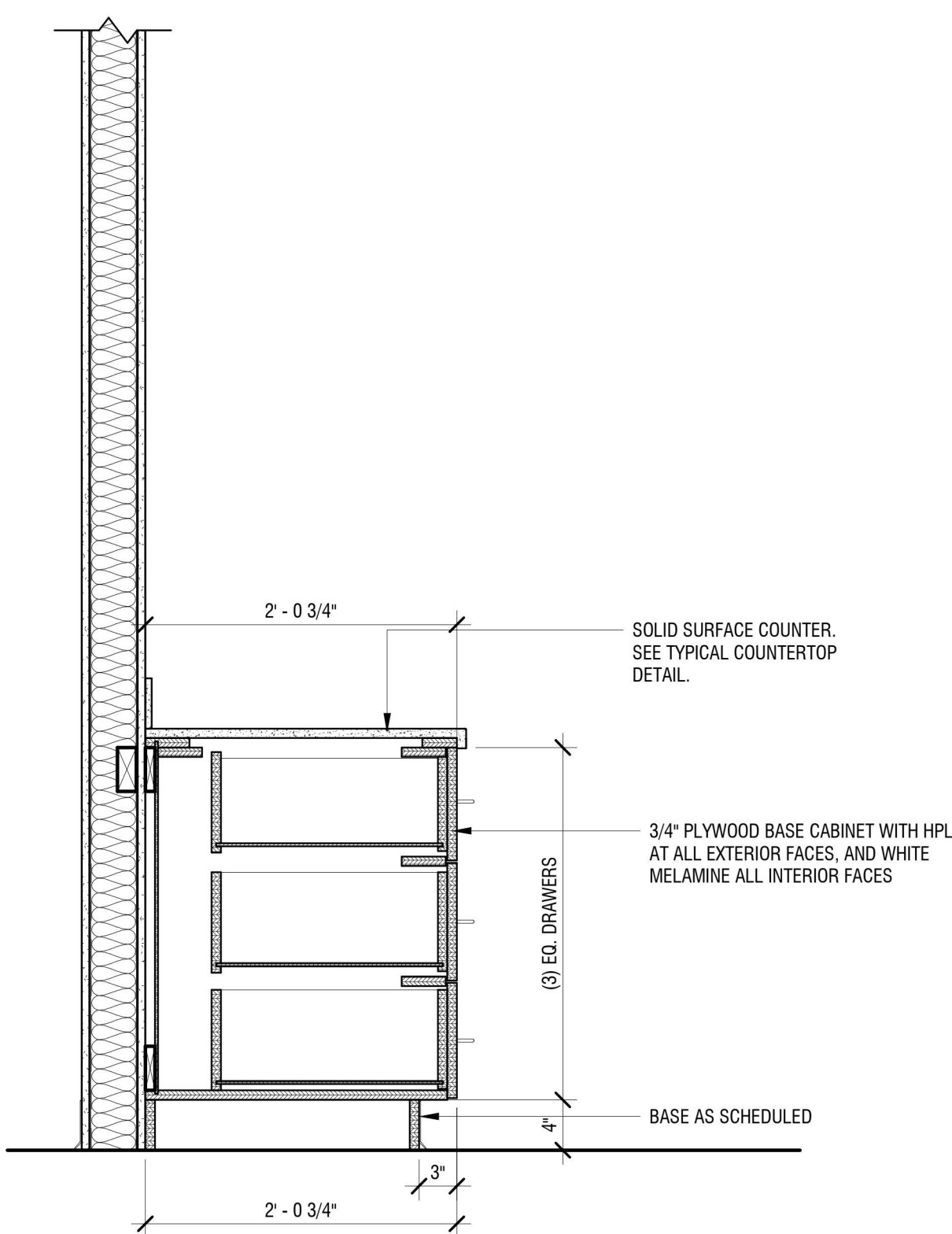
3 MILLWORK SECTION  
A701 1" = 1'-0"



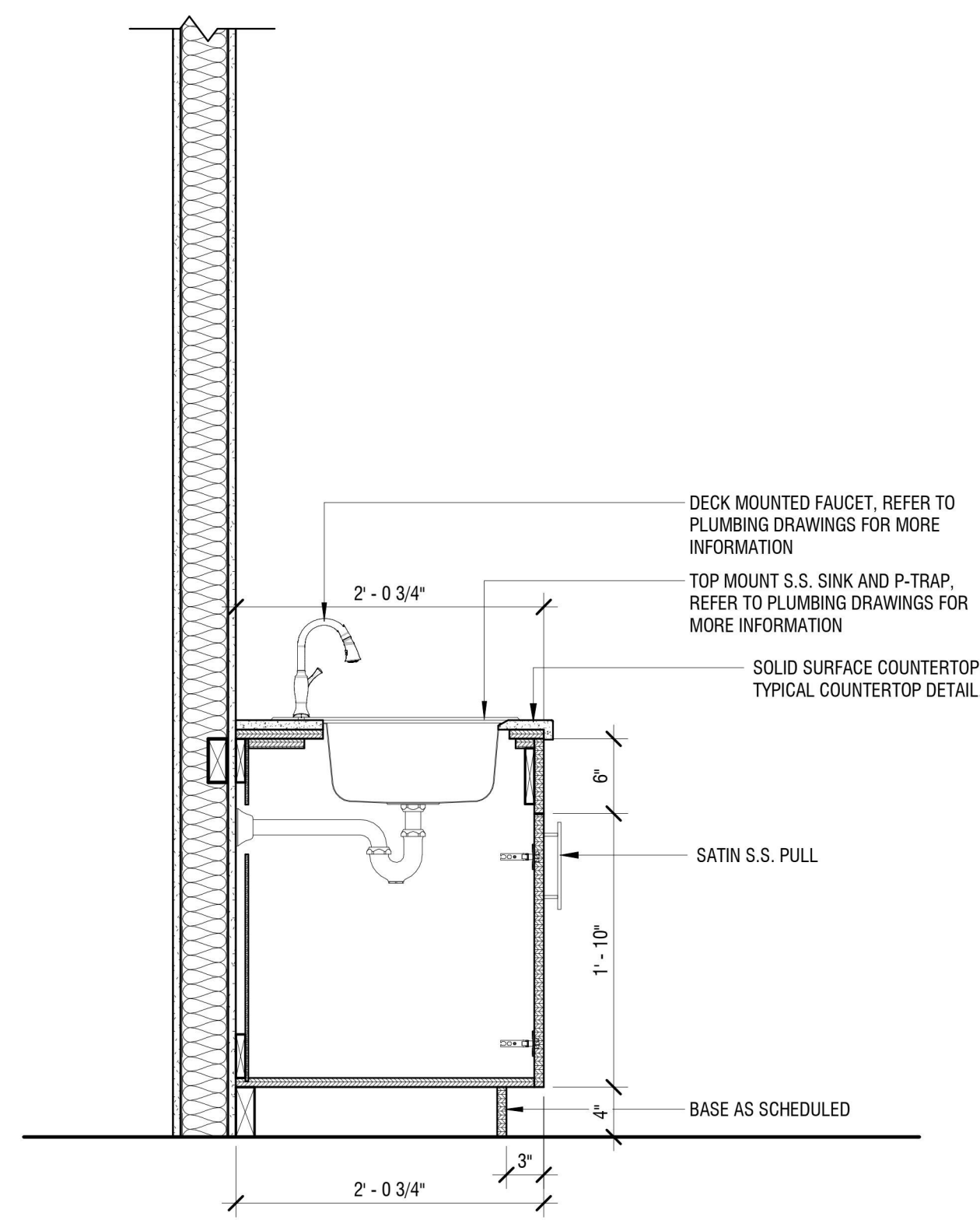
2 MILLWORK SECTION @ CLASSROOM 118  
A701 1" = 1'-0"



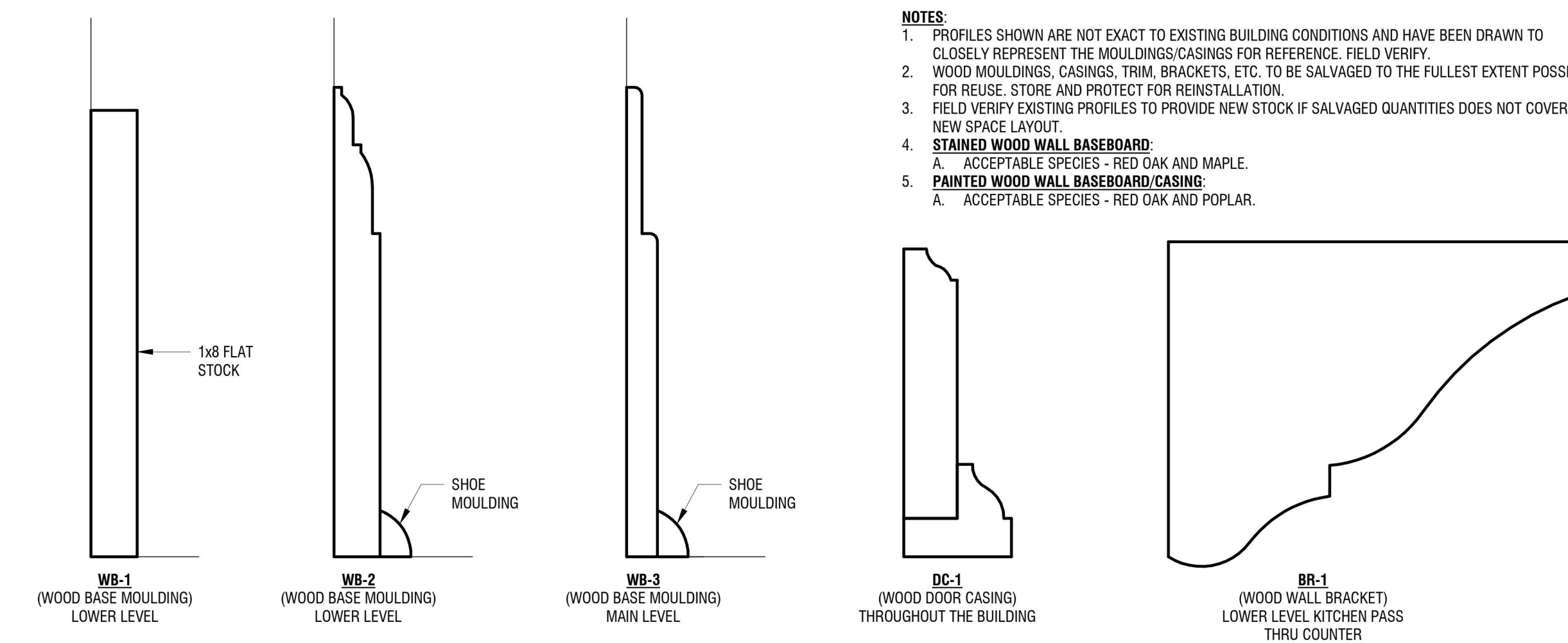
1 MILLWORK SECTION @ TOILET ROOM SINKS, TYP.  
A701 1" = 1'-0"



6 MILLWORK SECTION  
A701 1" = 1'-0"



7 MILLWORK SECTION  
A701 1" = 1'-0"



8 EXISTING WOOD CASING/MOULDING PROFILES  
A701 SCALE: 6" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: CC

REVIEWED BY: DL

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**INTERIOR COLOR AND  
FINISH LEGEND & DETAILS**

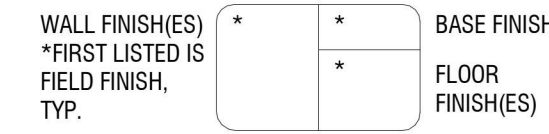
DRAWING NUMBER:

**1001**

**COLOR AND FINISH LEGEND**

CODE	MANUFACTURER	STYLE/PATTERN	COLOR	SIZE	ADDITIONAL REQUIREMENTS	SPEC #
<b>ACOUSTIC CEILING PANEL</b>						
ACT1	CERTAINTeed ARCHITECTURAL CEILING SYSTEMS	ECOPHON FOCUS Ds SERIES - FULLY CONCEALED GRID	WHITE	24" X 48"	SQUARE EDGE - FULLY CONCEALED GRID (EZ CLASSIC)	09 51 13
ACT2	ARMSTRONG	CLEAN ROOM MYLAR - SQUARE LAY-IN	WHITE	24" X 24"	15/16" EXPOSED GRID	09 51 13
<b>CARPET</b>						
CPT1	INTERFACE	AERIAL PLANKS COLLECTION   AE311	104674 SMOKE	25CM X 1M		09 68 13
CPT2	INTERFACE	AERIAL PLANKS COLLECTION   AE315	105815 SMOKE/IRIS	25CM X 1M		09 68 13
CPT3	INTERFACE	AERIAL PLANKS COLLECTION   AE317	105828 IRIS	25CM X 1M		09 68 13
<b>CERAMIC/PORCELAIN TILE</b>						
CT1	CROSSVILLE	COLOR BLOX 2.0	SEA OTTER	3" X 3" MOSAIC		09 30 00
CT2	CROSSVILLE	COLOR BY NUMBERS	WT02 TEA FOR TWO	4" X 12"		09 30 00
CT3	CROSSVILLE	COLOR BY NUMBERS	WT06 SIXTH SENSE	4" X 12"		09 30 00
CT4	CROSSVILLE	COLOR BY NUMBERS	WT20 20/20 VISION	4" X 12"		09 30 00
<b>ENTRANCE MAT</b>						
EM1	INTERFACE	STEP REPEAT COLLECTION   SR999	TBD	25CM X 1M		12 48 13
<b>GROUT</b>						
GRT1	LATICRETE	SPECTRALOCK PRO EPOXY GROUT	TBD	-	FOR USE WITH CT1	09 30 00
<b>HIGH PRESSURE LAMINATE</b>						
HPL1	WILSONART	STANDARD LAMINATE	TBD	-		06 40 23
<b>LUXURY VINYL TILE</b>						
LVT-1	INTERFACE	NATURAL WOODGRAINS	TBD	25CM X 1M		09 65 19
<b>PAINT</b>						
PT1	SHERWIN WILLIAMS	AS REQUIRED PER SPECIFICATIONS	SW6001 GRAYISH	-		09 91 23
PT2	SHERWIN WILLIAMS	AS REQUIRED PER SPECIFICATIONS	SW6265 QUOXOTIC PLUM	-		09 91 23
PT3	SHERWIN WILLIAMS	AS REQUIRED PER SPECIFICATIONS	SW7007 CEILING BRIGHT WHITE	-		09 91 23
<b>RESILIENT BASE</b>						
RB1	TARKETT	STANDARD THERMOSET WALL BASE	TBD	4" HIGH		09 65 13
<b>RUBBER FLOOR TILE</b>						
RBF1	NORA RUBBER FLOORING	NORAMENT ARAGO	TBD	39.53 IN X 19.76 IN		09 65 19
<b>RUBBER STAIR TREAD</b>						
RST1	NORA RUBBER FLOORING	NORAMENT ARAGO STAIR TREAD	TBD	-	WITH VISUALLY CONTRASTING NOSING STRIP	09 65 13
<b>SOLID SURFACE</b>						
SSR1	WILSONART	SOLID SURFACE	NIGHT STARS 9105CS	-		06 40 23
<b>STATIC DISSIPATIVE TILE FLOORING</b>						
SDT1	TARKETT	IQ GRANIT	TBD	12IN X 12IN		09 65 36
<b>TRANSITION STRIP</b>						
TS1	SCHLUTER	SCHIENE	STAINLESS STEEL	-	TYP PORCELAIN/CERMIC TILE FINISHING EDGE	09 30 00
TS2	SCHLUTER	QUADEC	STAINLESS STEEL	-	TYP WALL TILE OUTSIDE CORNER PROFILE	09 30 00
TS5	DALTILE	MARBLE THRESHOLD	TBD	ADA COMPLIANT		09 30 00
TS6	TARKETT	SLT-XX-J	TBD	-	TYP. RESILIENT TO ETR PROFILE	09 65 13
<b>WALL PROTECTION</b>						
WP1	INPRO	PALLADIUM RIGID SHEET WALL PROTECTION	TBD	4' X 10'		10 26 00
<b>WINDOW FILM</b>						
WF1	3M	FASARA WINDOW FILM	TBD	VARIES	ALLOW FOR CUSTOM EXTENTS OF GRADATION	09 72 00
WF2	3M	SCOTCHCAL FILM L8150 WITH OVERLAMINATE 8914	TBD	54 INCHES	ALLOW FOR CUSTOM COLOR(S) AND PATTERN(S)	09 72 00
<b>WINDOW TREATMENT</b>						
WT1	DRAPERIE INDUSTRIES	BLUESHADE ARCHITECTRIAL CM CLUTC	MERMET BLUESHADE E-SCREEN: TBD	V.I.F.	3% OPENESS, MANUAL SHADE	12 24 13

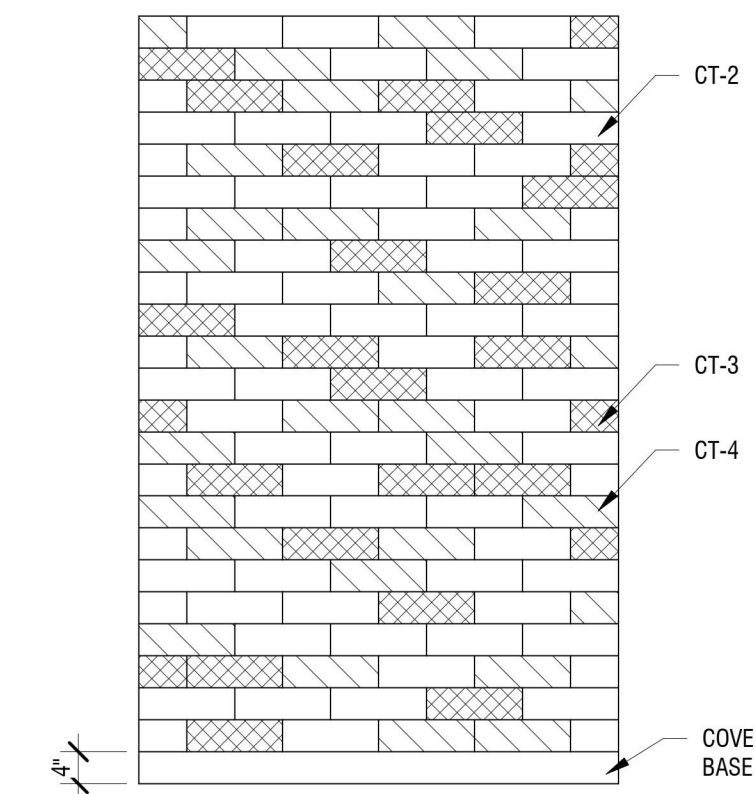
**FINISH SYMBOLS LEGEND & ABBREVIATIONS**



- AFF ABOVE FINISH FLOOR
- CPT CARPET
- CT CERAMIC/PORCELAIN TILE
- EM ENTRY MAT
- ETR EXISTING TO REMAIN
- GRT GROUT
- GWB GYPSUM WALL BOARD
- HDWD HARDWOOD
- HPL HIGH PRESSURE LAMINATE
- PT PAINT
- RB RESILIENT BASE
- RSF RUBBER FLOOR TILE
- RST RUBBER STAIR TREAD
- SC SEALED CONCRETE
- SDT STATIC DISSIPATIVE TILE
- SSR SOLID SURFACING TRANSITION STRIP
- WF WINDOW FILM
- WP WINDOW PROTECTION
- WT WINDOW TREATMENT



**TILE PATTERN LEGEND**



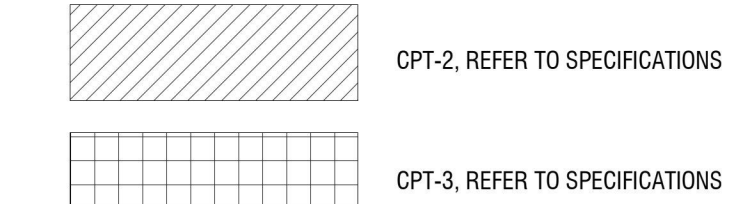
**GENERAL CONSTRUCTION NOTES:**

- A. CONSTRUCTION SHALL CONFORM TO THE "NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE", LATEST REVISION, THE NEW YORK STATE ENERGY CODE AND ANY OTHER CODES GOVERNED BY THE JURISDICTION IN WHICH THE PROJECT IS BEING CONSTRUCTED.
- B. CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- C. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- D. CONTRACTORS ARE RESPONSIBLE FOR ALL MATERIALS, CONSTRUCTION METHODS AND CRAFTSMANSHIP.
- E. CONTRACTORS ARE TO VERIFY ALL EXISTING CONDITIONS, REQUIREMENTS, NOTES, CODES AND DIMENSIONS, PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM THOSE SHOWN ON THE DOCUMENTS.
- F. CONTRACTORS ARE TO PROVIDE ADEQUATE SUPPORT OF EXISTING FOUNDATION WALLS, LOAD BEARING WALLS AND PARTITIONS DURING DEMOLITION AND CONSTRUCTION.
- G. THOROUGHLY COORDINATE WORK WITH OTHER TRADES AND DETERMINE THE EXACT ROUTE AND LOCATION OF UTILITIES, MATERIALS AND EQUIPMENT BEFORE FABRICATION AND INSTALLATION.
- H. WHEN EXISTING CONSTRUCTION IS REMOVED, DISTURBED, DAMAGED, REPLACED OR RENOVATED IN ANY WAY, CONTRACTORS SHALL PROVIDE PATCHING, PAINTING AND MATERIALS OF SAME TYPE AND QUALITY AS TO MATCH ADJACENT EXISTING SURFACES, UNLESS OTHERWISE NOTED.
- I. CONTRACTORS PROVIDE ALL BLOCKING, FURRING AND SHIMMING FOR INSTALLATION AND COMPLETION OF WORK.
- J. ALL NEW WORK SHALL BE PLUMB, LEVEL AND SQUARE. SCRIBE AND MAKE FIT ALL NEW TO EXISTING.
- K. CONTRACTORS VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIAL OR DOING WORK. NO EXTRA COMPENSATION OR CHARGES WILL BE ACCEPTED DUE TO DIFFERENCES BETWEEN THE ACTUAL MEASUREMENTS AND MEASUREMENTS INDICATED ON THE DRAWINGS.
- L. ALL DETAILS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS. CONTRACTOR MUST NOTIFY ARCHITECT OF SAME.
- M. NO SITE VISITS WILL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS AND COMPLETION OF COMPLIANT WORK.
- N. ARCHITECT TO COORDINATE ALL DOOR HARDWARE, TRIM AND FINISHES TO MEET INTENT AND COMPLIANCE.
- O. THESE DRAWINGS DO NOT PURPORT TO SHOW ALL ITEMS AND PROCEDURES REQUIRED FOR A COMPLETE INSTALLATION. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE GENERAL ARCHITECTURAL DESIGN CONCEPT, THE LOCATION/DIMENSIONS OF THE CONSTRUCTION AND MAJOR ELEMENTS OF CONSTRUCTION.
- P. CONTRACTORS ARE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS ASSOCIATED WITH THE WORK OF THEIR CONTRACT.
- Q. ITEMS NOTED AS "BY OWNER" ARE TO BE FURNISHED AND INSTALLED BY THE OWNER OR THE OWNERS VENDOR.

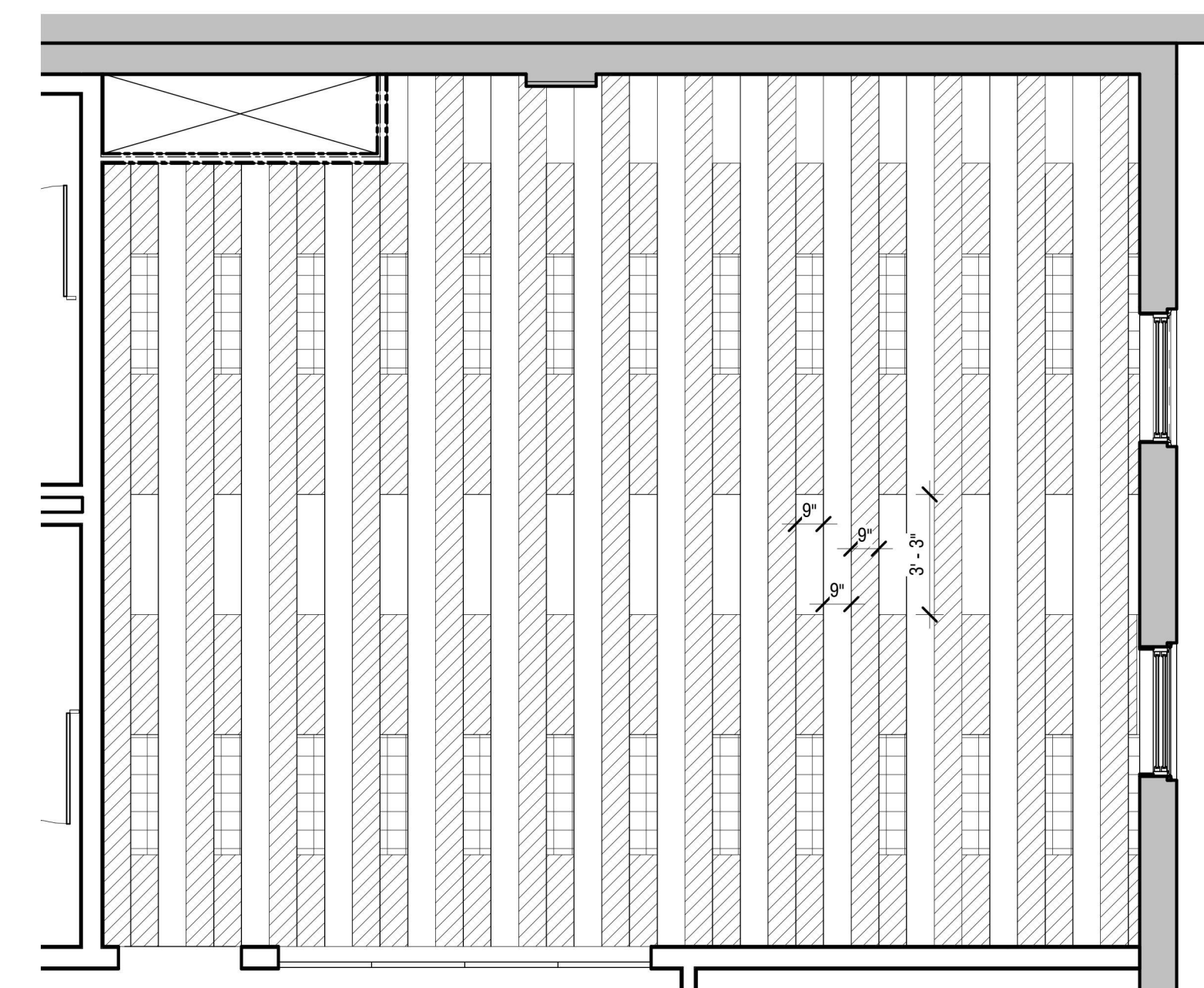
**FLOOR PATTERN PLAN GENERAL NOTES**

- A. REFER TO I-100 SERIES FOR FINISH PLANS.
- B. ALL FLOOR FINISHES SHALL TRANSITION AT CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE.

**FLOOR PATTERN LEGEND**



WHERE NO HATCH IS SHOWN, INSTALL CPT-1, PER INTERIOR FINISH PLAN.



3 LOWER LEVEL - ESPORTS 106 ENLARGED PLAN  
1001 SCALE: 1/4" = 1'-0"



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: CC

REVIEWED BY: DL

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**LOWER LEVEL & MAIN  
LEVEL FINISH PLANS**

DRAWING NUMBER:

**I101**

**FINISH PLAN GENERAL NOTES**

- REFER TO "F" - SERIES FOR FLOOR PATTERNING PLANS.
- REFER TO DRAWING I-001 COLOR AND FINISH LEGEND FOR DETAILED INFORMATION ON FINISHES AND ABBREVIATIONS.
- ALL NEW AND EXISTING HOLLOW METAL DOORS, DOOR FRAMES, AND HOLLOW METAL WINDOW FRAMES WITHIN AREA OF WORK SHALL BE PAINTED PT-4.
- ALL EXPOSED COLUMNS TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE.
- ALL LOUVERS, VENTS, GRILLES, AND OTHER MISC. MECHANICAL & ELECTRICAL DEVICES ARE TO BE PAINTED TO MATCH SURFACE ON WHICH THEY APPEAR, UNLESS NOTED OTHERWISE.
- ALL FLOOR FINISHES SHALL TRANSITION AT CENTERLINE OF DOOR, UNLESS NOTED OTHERWISE.
- WHERE NEW FINISHES ARE SCHEDULED AT EXISTING CONDITIONS, REMOVE EXISTING FINISHES AND PREPARE SURFACES FOR NEW FINISH.
- PROVIDE SSR-1 AT ALL NEW SILL LOCATIONS THAT ARE NOTED TO RECEIVE SOLID SURFACE.
- ALL WOOD FLOORS NOTED ETR TO BE SANDED, PATCHED, AND REFINISHED.
- PROVIDE WF-1 AT ALL EXTERIOR WINDOWS WITHIN SCOPE OF WORK. U.N.O WINDOW TREATMENTS NOT REQUIRED AT SANCTUARY, CORRIDORS, STORAGE ROOMS, STAIRS, IT/DATA, ELECTRICAL, OR TOILET ROOMS.

**FINISH SYMBOLS LEGEND & ABBREVIATIONS**

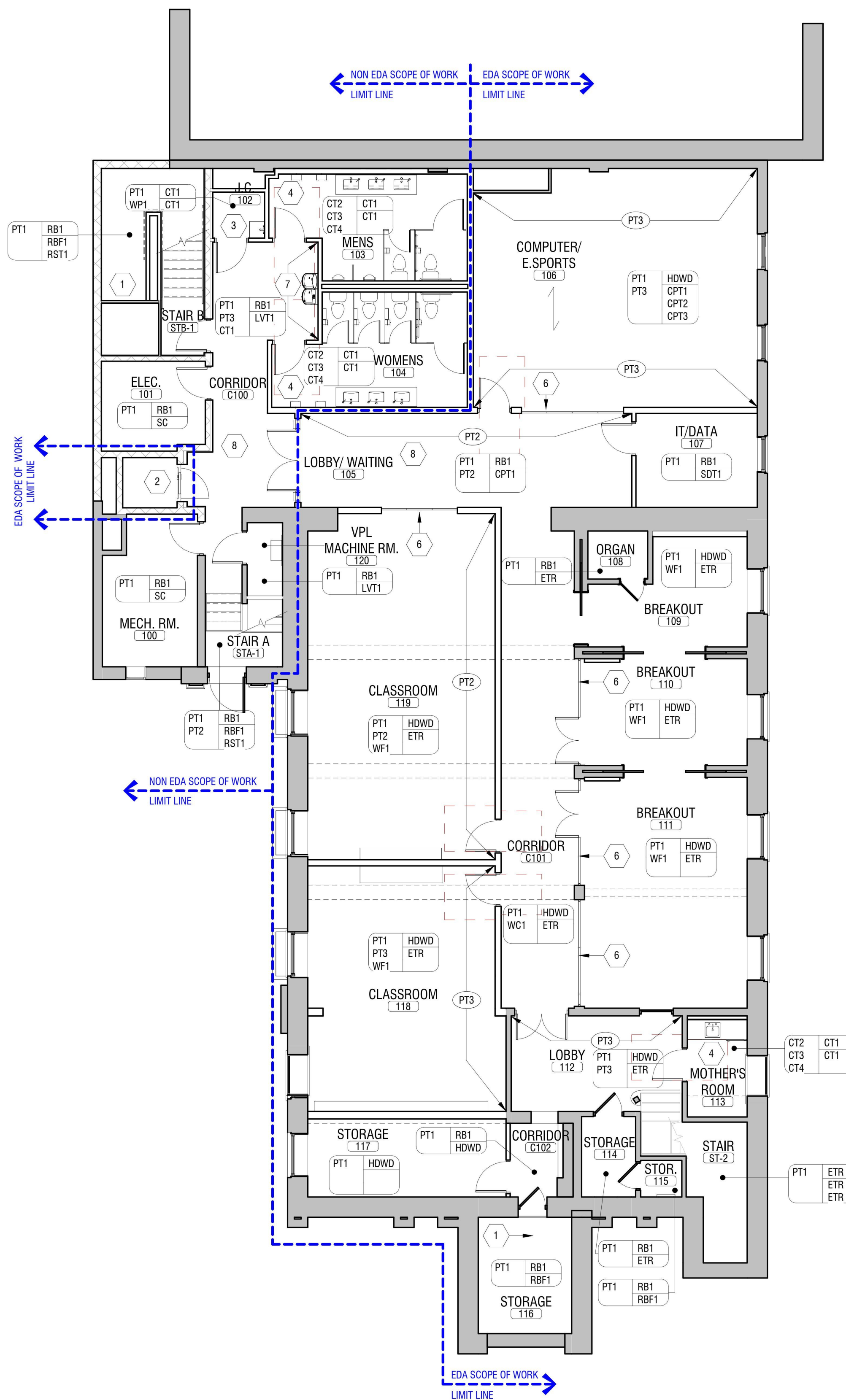
WALL FINISH(ES) *FIRST LISTED IS FIELD FINISH, TYP.	BASE FINISH FLOOR FINISH(ES)
AFF	ABOVE FINISH FLOOR
CPT	CARPET
CT	CERAMIC/PORCELAIN TILE
EM	ENTRY MAT
ETR	EXISTING TO REMAIN
GRT	GROUT
GWB	GYP/SUM WALL BOARD
HDWD	HARDWOOD
HPL	HIGH PRESSURE LAMINATE
PT	PAINT
RB	RESILIENT BASE
RSF	RUBBER FLOOR TILE
RST	RUBBER STAIR TREAD
SC	SEALED CONCRETE
SOT	STATIC DISSIPATIVE TILE
SSR	SOLID SURFACING
TS	TRANSITION STRIP
WF	WINDOW FILM
WP	WINDOW PROTECTION
WT	WINDOW TREATMENT

XXX ACCENT WALL FINISH DESIGNATION  
(FULL HEIGHT, TYP.)

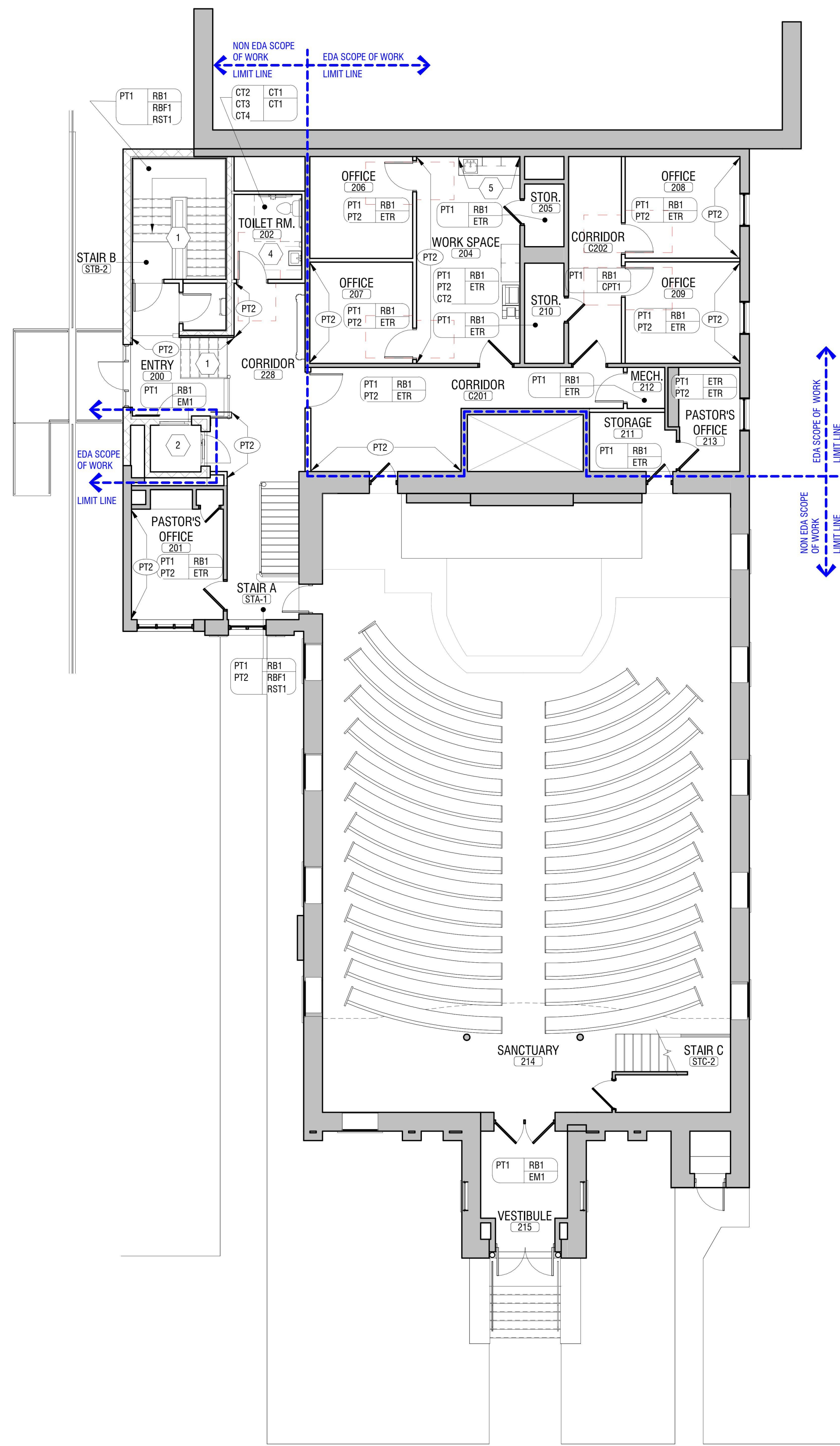
→ CARPET DIRECTION

**# FINISH PLAN KEYNOTES:**

- PROVIDE RST-1 TO STAIR TREADS WITH RSF-1 AT LANDINGS.
- PROVIDE RBF-1 AT LIFT PLATFORM.
- PROVIDE WF-1 TO 4'-0" AFF WITH PT-1 ABOVE. FULL PERIMETER OF ROOM.
- PROVIDE CERAMIC WALL TILE FULL HEIGHT ALL WALLS. INSTALL TILE AS SHOWN ON I/001 AT SINK WALLS AND CT2 IN RUNNING BOND PATTERN ALL REMAINING WALLS.
- PROVIDE CT-2 BACKSPLASH FROM TOP OF COUNTER TO UNDERSIDE OF WALL CABINETS.
- PROVIDE WF-1 TO GLASS PANEL OF SALVAGED WOODWORK.
- PROVIDE CT-1 IN VERTICAL RUNNING BOND PATTERN, FULL HEIGHT OF WALL.
- INSTALL SPECIFIED CARPET IN ASHLAR PATTERN WITH LONG EDGE OF TILE PATTERN TO DIRECTION OF ARROWS.



**1 LOWER LEVEL FINISH PLAN**  
SCALE: 1/8" = 1'-0"



**2 MAIN LEVEL FINISH PLAN**  
SCALE: 1/8" = 1'-0"



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO:	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: KMK

REVIEWED BY: JSN

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MECHANICAL REMOVAL  
PLANS**

DRAWING NUMBER:

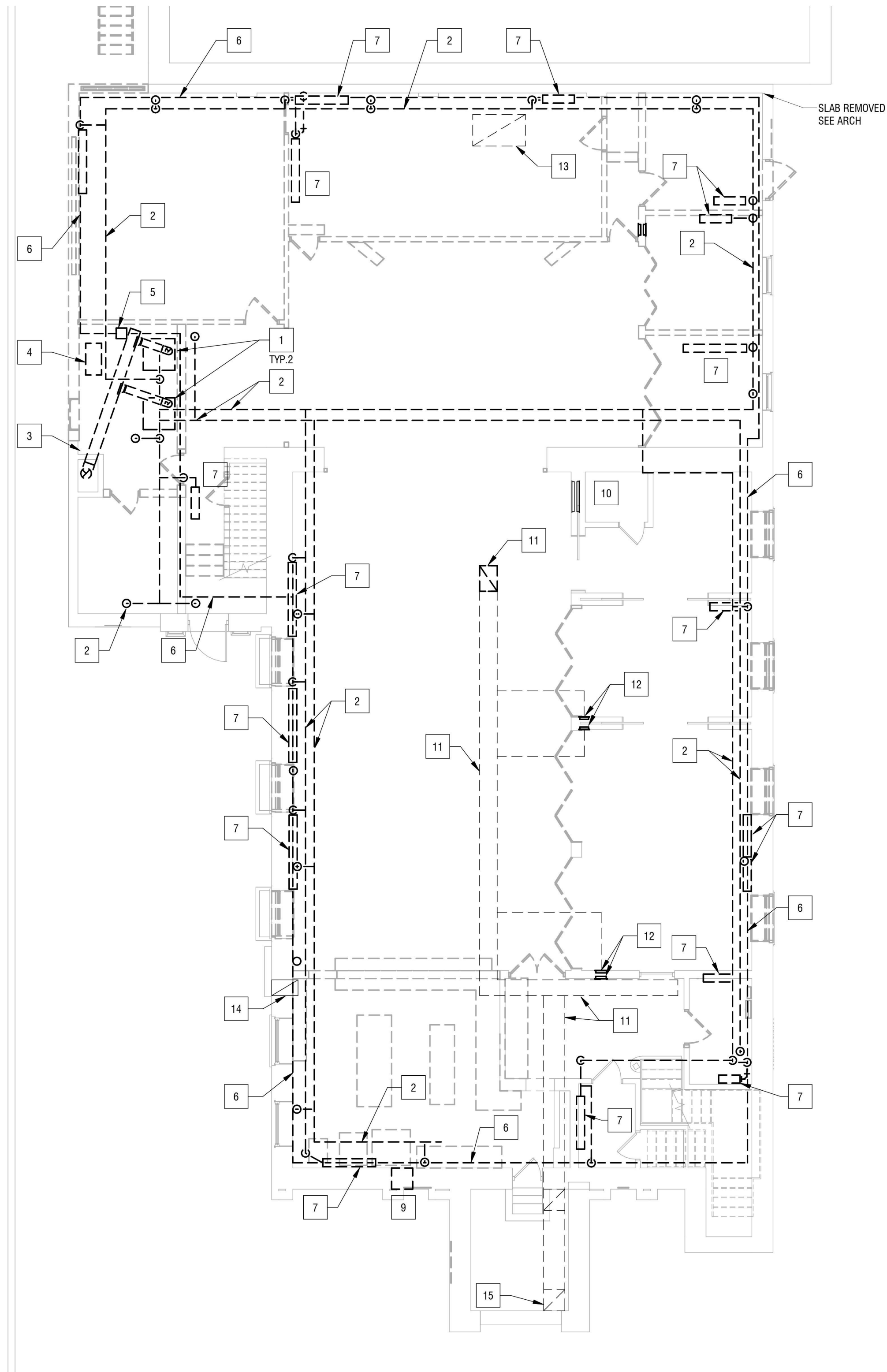
**MD101**

**GENERAL NOTES:**

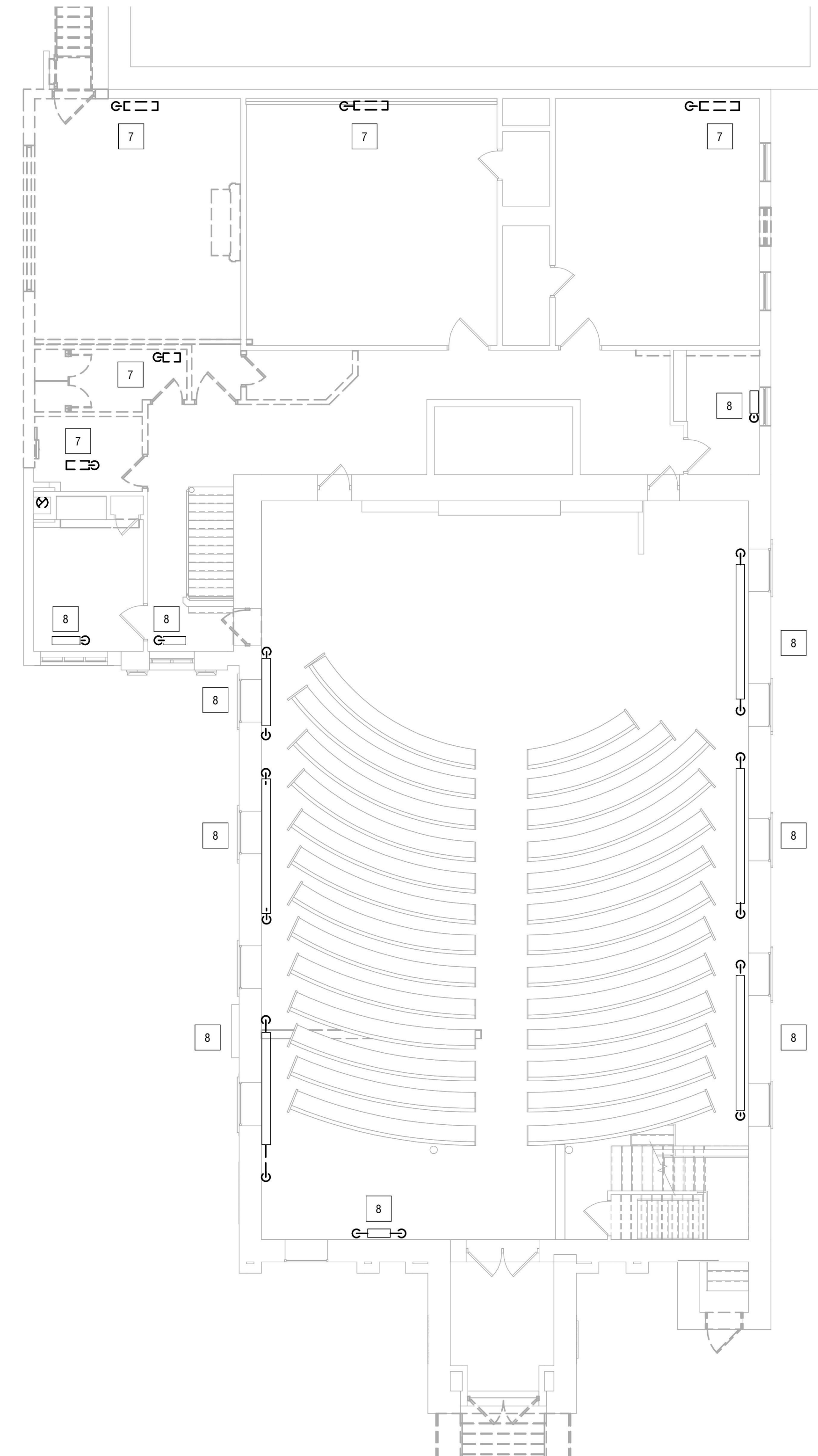
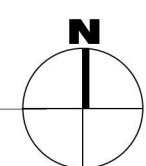
- NOT ALL PIPING AND ACCESSORIES SHOWN FOR CLARITY. CONTRACTOR SHALL VISIT SITE TO DETERMINE THE EXTENT OF REMOVALS.
- DO NOT DISTURB EXISTING HAZARDOUS MATERIALS. DO NOT PROCEED WITH REMOVALS UNTIL HAZARDOUS MATERIAL ABATEMENT COMPLETE.
- PATCH ALL UNUSED OPENING LEFT BEHIND FROM REMOVALS TO MATCH EXISTING CONSTRUCTION.

**REMOVAL NOTES #:**

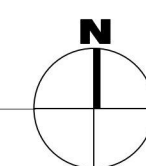
- REMOVE BOILERS, CONTROLS, BREECHING, PIPING AND ALL ACCESSORIES.
- REMOVE ALL STEAM MAINS AND BRANCH PIPING IN BUILDING INCLUDING HANGER AND ACCESSORIES. DISCONNECT FROM RADIATORS REMOVE HANGERS, PATCH WALLS, FLOORS AND CEILINGS TO MATCH EXISTING. VERIFY IN FIELD AMOUNT OF PIPING.
- REMOVE BOILER BREECHING TO CHIMNEY. PATCH CHIMNEY AIRTIGHT TO MATCH EXISTING.
- REMOVE BOILER FEED UNIT, PUMPS CONTROLS AND PIPING.
- REMOVE CONDENSATE RECEIVER, PUMP CONTROLS AND PIPING.
- REMOVE ALL CONDENSATE PIPING AND STEAM TRAPS AND FROM BUILDING. DISCONNECT FROM RADIATORS. REMOVE HANGERS. PATCH WALLS, FLOORS AND CEILINGS TO MATCH EXISTING. VERIFY IN FIELD AMOUNT OF PIPING.
- CAREFULLY REMOVE RADIATOR PIPING AND SUPPORTS IN ITS ENTIRETY WITHOUT DAMAGE. STORE RADIATORS IN PROTECTED LOCATION UNTIL RADIATOR RETROFIT IS COMPLETE AND OPERATIONAL. DISPOSE OF UNUSED RADIATORS AT END OF JOB.
- REMOVE PIPING TO RADIATOR. REMOVE AIR VENT ON RADIATOR AND PLUG OPENING. EXISTING RADIATOR SHALL REMAIN IN PLACE AND BE REUSED. REMOVE HAND VALVES AND UNION ELBOWS. UNITS SHALL BE CONVERTED TO HOT WATER USE.
- REMOVE EXISTING EXHAUST FAN AND CONTROLS. PATCH OPENING TO MATCH EXISTING.
- BLOWER, DUCTWORK, AIR CHEST, AND CONTROLS FOR PIPE ORGAN SHALL REMAIN INTACT. PROTECT DURING CONSTRUCTION.
- REMOVE FLOOR GRILLE, PLENUM AND ALL UNDER FLOOR DUCTWORK.
- WALL GRILLE SHALL REMAIN. REMOVE UNDERFLOOR DUCT AND CAP ANY DUCTWORK LEFT IN WALL. PROVIDE BLANK OFF PANELS BEHIND GRILLES.
- REMOVE CEILING GRILLE. PATCH CEILING TO MATCH EXISTING.
- REMOVE ABANDONED FLUE TO CHIMNEY. SEAL WALL AIR TIGHT AND PATCH TO MATCH EXISTING.
- REMOVE VENTILATION DUCT FROM BELOW FLOOR TO CEILING. CAP CEILING DUCT AIR TIGHT. PATCH FLOOR TO MATCH EXISTING.



**2 BASEMENT MECHANICAL REMOVAL PLAN**  
MD101 1/8" = 1'-0"



**1 FIRST FLOOR MECHANICAL REMOVAL PLAN**  
MD101 1/8" = 1'-0"







CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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DRAWN BY: KMK

REVIEWED BY: JSN

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MECHANICAL LEGEND  
SHEET**

DRAWING NUMBER:

**M001**

**DRAWING SYMBOLS**

<p>CA COMPRESSED AIR CD CONDENSATE DRAIN GHR GLYCOL HOT WATER RETURN GHS GLYCOL HOT WATER SUPPLY CHWR CHILLED WATER RETURN CHWS CHILLED WATER SUPPLY C CONDENSATE CTR COOLING TOWER RETURN CTS COOLING TOWER SUPPLY DN DIRECTION OF FLOW DP DIRECTION OF PITCH R REFRIGERANT RL REFRIGERANT LIQUID RS REFRIGERANT SUCTION RG REFRIGERANT GAS SV STEAM VENT</p> <p>HPLR HEAT PUMP LOOP RETURN HPLS HEAT PUMP LOOP SUPPLY HPC HIGH PRESSURE CONDENSATE HPS HIGH PRESSURE STEAM MPC MEDIUM PRESSURE CONDENSATE MPS MEDIUM PRESSURE STEAM LPC LOW PRESSURE CONDENSATE LPS LOW PRESSURE STEAM HWR HOT WATER RETURN HWS HOT WATER SUPPLY MU MAKE-UP WATER NG NATURAL GAS PC PUMPED CONDENSATE VAC VACUUM IW INDIRECT WASTE</p> <p>EXISTING DUCTWORK, PIPE, EQUIPMENT NEW DUCTWORK, PIPE, EQUIPMENT DUCTWORK, PIPE, EQUIPMENT TO BE REMOVED</p> <p>PIPE TURNED UP PIPE TURNED DOWN BRANCH OFF TOP OF PIPE BRANCH OFF BOTTOM OF PIPE REDUCER PIPE BREAK</p>	<p>BALL VALVE BUTTERFLY VALVE GATE VALVE SHUT OFF VALVE (GATE, BALL, OR BUTTERFLY - REFER TO SPECS) CHECK VALVE BALANCE VALVE ANGLE VALVE PRESSURE REDUCING VALVE STEAM TRAP MOTOR OR SOLENOID CONTROL VALVE MOTOR OR SOLENOID CONTROL VALVE (3-WAY) TRIPLE DUTY VALVE RELIEF VALVE STRAINER W/ BLOWDOWN VALVE AND HOSE CONN. UNION PRESSURE GAUGE PUMP EQUIPMENT TO BE REMOVED VRF FAN COIL CASSETTE UNIT</p>	<p>REMOVE TO THIS POINT NEW CONNECTION TO EXISTING SECTION CALLOUT DETAIL NUMBER DEMOLITION KEYNOTE KEYNOTE RETURN AIR SUPPLY AIR DUCT (DIMENSIONS SHOWN IN DUCT, DIMENSIONS IN INCHES.) DUCT (DIMENSIONS SHOWN BY LEADER, DIMENSIONS IN INCHES.) FLEX DUCT DUCT SECTION - SUPPLY AIR DUCT SECTION - EXHAUST AIR DUCT SECTION - RETURN AIR VOLUME DAMPER VOLUME DAMPER WITH REMOTE ACTUATOR 14" ROUND DUCT 18" x 8" FLAT OVAL DUCT</p> <p>NOTE: NOT ALL SYMBOLS, ABBREVIATIONS AND EQUIPMENT DESIGNATIONS MAY APPLY TO THIS PARTICULAR PROJECT. ANY ADDITIONS OR OMISSIONS FROM THIS LEGEND SHEET DOES NOT IMPLY INCLUSION AND/ OR EXCLUSIONS OF ANY PARTICULAR ITEM FROM THIS PROJECT.</p>	<p>THERMOMETER PETE'S PLUG PRESSURE GAUGE W/SHUTOFF VALVE AND SNUBBER DRAW VALVE WITH HOSE CONN. AND METAL CAP AIR VENT VALVE LINED DUCT (DIM. IS INTERNAL) MITERED ELBOW W/ TURNING VANES WALL OR DUCT MOUNTED SUPPLY GRILLE WALL OR DUCT MOUNTED RETURN OR EXHAUST GRILLE FIRE DAMPER ACCESS DOOR TO BE LOCATED ON MOST ACCESSIBLE SIDE OF DUCT SMOKE DAMPER ACCESS DOOR TO BE LOCATED ON MOST ACCESSIBLE SIDE OF DUCT COMBINATION FIRE / SMOKE DAMPER ACCESS DOOR TO BE LOCATED ON MOST ACCESSIBLE SIDE OF DUCT MOTOR OPERATED DAMPER THERMOSTAT SENSOR HUMIDISTAT CARBON DIOXIDE SENSOR</p> <p>EXHAUST GRILLE SUPPLY DIFFUSER RETURN GRILLE REGISTER OR GRILLE - TOP NUMBER REPRESENTS TAG, SEE SCHEDULE; BOTTOM NUMBER REPRESENTS CFM. DIFFUSER - LETTER REPRESENTS TAG, SEE SCHEDULE; NUMBER REPRESENTS CFM</p>
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**APPLICABLE CODES**

**EQUIPMENT DESIGNATIONS**

**ABBREVIATIONS**

- BUILDING CODE OF NEW YORK STATE
- ENERGY CODE OF NEW YORK STATE
- MECHANICAL CODE OF NEW YORK STATE
- FIRE CODE OF NEW YORK STATE
- PLUMBING CODE OF NEW YORK STATE
- ENERGY CONSERVATION CODE OF NEW YORK STATE
- ACCESSIBLE AND USABLE BUILDING AND FACILITIES-CABO/ANSI A117.1
- NATIONAL ELECTRIC CODE
- NATIONAL FIRE CODE NFPA 13

<p>ACU AIR CONDITIONING UNIT AHU AIR HANDLING UNIT AD ACCESS DOOR AS AIR SEPARATOR BDD BACK DRAFT DAMPER B BOILER CA AIR COMPRESSOR CAV CONSTANT AIR VOLUME BOX CC COOLING COIL CFP CHEMICAL FEED PUMP CH CHILLER CHP CHILLED WATER PUMP CP CONDENSATE PUMP CRAC COMPUTER ROOM UNIT R CU CONDENSATE RETURN UNIT CT COOLING TOWER CU CONDENSING UNIT CV UNIT HEATER CUH CABINET UNIT HEATER CV CONTROL VALVE DHW DOMESTIC WATER HEATER EF EXHAUST FAN ET EXPANSION TANK FCU FAN COIL UNIT FP FIRE PUMP ET FINNED TUBE</p>	<p>HC HEATING COIL HP HEAT PUMP HU HUMIDIFIER HWP HOT WATER PUMP HX HEAT EXCHANGER L LOUVER MAU MAKE UP AIR UNITS MD MOTORIZED DAMPER P PUMP PHC PREHEAT COIL PPU PUMPING PACKAGED UNIT PRG GAS PRESSURE REGULATOR PRV PRESSURE REDUCING VALVE R REGISTER RCP RADIANT CEILING PANEL RTU ROOF TOP UNIT UH UNIT HEATER UV UNIT VENTILATOR VAV VARIABLE AIR VOLUME BOX VD VOLUME DAMPER VSD VARIABLE SPEED DRIVE WS WATER SOFTENER</p>
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NOTE:  
SOME ABBREVIATIONS MAY NOT BE USED ON DRAWINGS

<p>% PERCENT AC ALTERNATING CURRENT ADJ ADJACENT AFF ABOVE FINISHED FLOOR AFG ABOVE FINISHED GRADE ALT ALTERNATE AMB AMBIENT AMP AMPERE (AMP/AMPS) ANSI AMERICAN NATIONAL STANDARD INSTITUTE APPROX APPROXIMATE (LY) AVG AVERAGE BFP BACKFLOW PREVENTER BHP BRAKE HORSEPOWER BLDG BUILDING BO BOTTOM OF BSMT BASEMENT BTU BRITISH THERMAL UNIT BV BALANCING VALVE CAP CAPACITY CIP CAST IRON PIPE CLG CEILING CLR CLEAR CO CLEANOUT or CARBON MONOXIDE COL COLUMN CONN CONNECTION CONC CONCRETE CONT CONTINUOUS CU FT CUBIC FEET CV VALVE FLOW COEFFICIENT DCDA DOUBLE CHECK DETECTOR ASSEMBLY DCV DETECTOR CHECK VALVE DCW DOMESTIC COLD WATER DEMO DEMOLISH or DEMOLITION DHW DOMESTIC HOT WATER DIA DIAMETER DIP DUCTILE IRON PIPE DWH DOMESTIC WATER HEATER DWW DRAIN, WASTE, &amp; VENT DWG DRAWING (E) EXISTING ENGR ENGINEER EQ EQUAL EST ESTIMATED ETR EXISTING TO REMAIN EWH ELECTRIC WATER HEATER EWT ENTERING WATER TEMPERATURE EX EXISTING EXST EXISTING EXP EXPANSION EXT EXTENDER F DEGREES FAHRENHEIT</p>	<p>FA FREE AREA FN FINISHED FL FLOOR FLA FULL LOAD AMPS FPM FEET PER MINUTE FPS FEET PER SECOND FT FOOT OR FEET FUT FUTURE GA GAGE OR GAUGE GAL GALLONS GAL GENERAL CONTRACTOR GPM GALLONS PER MINUTE GPD GALLONS PER DAY GPH GALLONS PER HOUR HD HEAD HG MERCURY HORIZ HORIZONTAL HP HORSEPOWER HPC HIGH PRESSURE CONDENSATE HPS HIGH PRESSURE STEAM HR HOUR HVAC HEATING, VENTILATING, AND AIR CONDITIONING HZ FREQUENCY ID DIAMETER, INSIDE IN INCH INSUL INSULATION INT INTERIOR IPS IRON PIPE SIZE INV INVERT KW KILOWATT KWH KILOWATT HOUR LBS POUNDS LF LINEAR FEET LG LENGTH LOC LOCATION LPC LOW PRESSURE CONDENSATE LPS LOW PRESSURE STEAM LRA LOCKED ROTOR AMPS LWT LEAVING WATER TEMPERATURE MATL MATERIAL MAX MAXIMUM MBH BTU PER HOUR (THOUSAND) MECH MECHANICAL MFG MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MOCP MAXIMUM OVERCURRENT PROTECTION MPC MEDIUM PRESSURE CONDENSATE MPS MEDIUM PRESSURE STEAM MOUNT MOUNTING N/A NOT APPLICABLE NC NORMALLY CLOSED</p>	<p>NIC NOT IN CONTRACT NO NORMALLY OPEN NPT NATIONAL PIPE TREAD NRS NON-RISING STEM NTS NOT TO SCALE OC ON CENTER OD DIAMETER, OUTSIDE OS&amp;V OUTSIDE SCREW AND YOKE PC PLUMBING CONTRACTOR PLBG PLUMBING PH PHASE (ELECTRICAL) PRESS PRESSURE PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PSIG PSI GAUGE PRV PRESSURE REDUCING VALVE RCVR RECEIVER RECIRC RECIRCULATE RHW HOT WATER RE-CIRCULATION RO ROUGH OPENING RPDA REDUCED-PRESSURE DETECTOR ASSY. RPM REVOLUTIONS PER MINUTE RPZ REDUCED-PRESSURE ZONE SCH STEAM CAPTURE HOOD SPEC SPECIFICATION SPLY SUPPLY SQ SQUARE SQ FT SQUARE FOOT (FEET) SQ IN SQUARE INCH (INCHES) STD STANDARD SUCTION SUCTION TSTAT THERMOSTAT TBD TO BE DETERMINED TC TEMPERATURE CONTROL CONTRACTOR TD TEMPERATURE DIFFERENCE TEMP TEMPERATURE TMV THERMOSTATIC MIXING VALVE TO TOP OF TYP TYPICAL V VOLT VAC VACUUM VAR VARIABLE VEL VELOCITY VIF VERIFY IN FIELD VOL VOLUME W WATT W/ WITH W/O WITH OUT WCO WALL CLEANOUT WHA WATER HAMMER ARRESTER WM WATER METER WPD WATER PRESSURE DROP WT WEIGHT WWP WORKING WATER PRESSURE</p>
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NOTE:  
SOME ABBREVIATIONS MAY NOT BE USED ON DRAWINGS

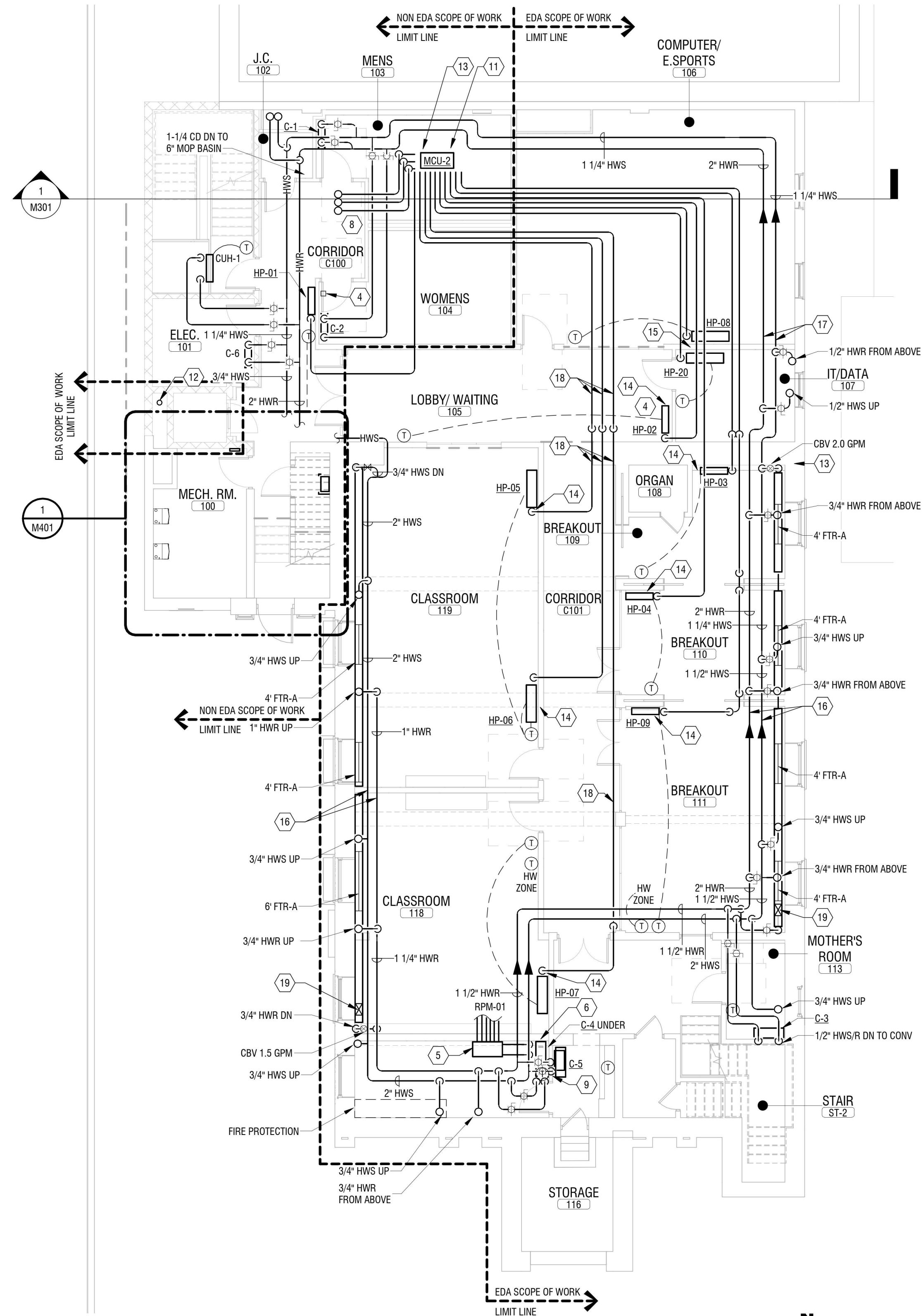
**GENERAL NOTES**

**GENERAL NOTES:**  
 A. OFFSET PIPING TO MISS EXISTING BEAMS IN CEILING AND WORK OF OTHER TRADES.

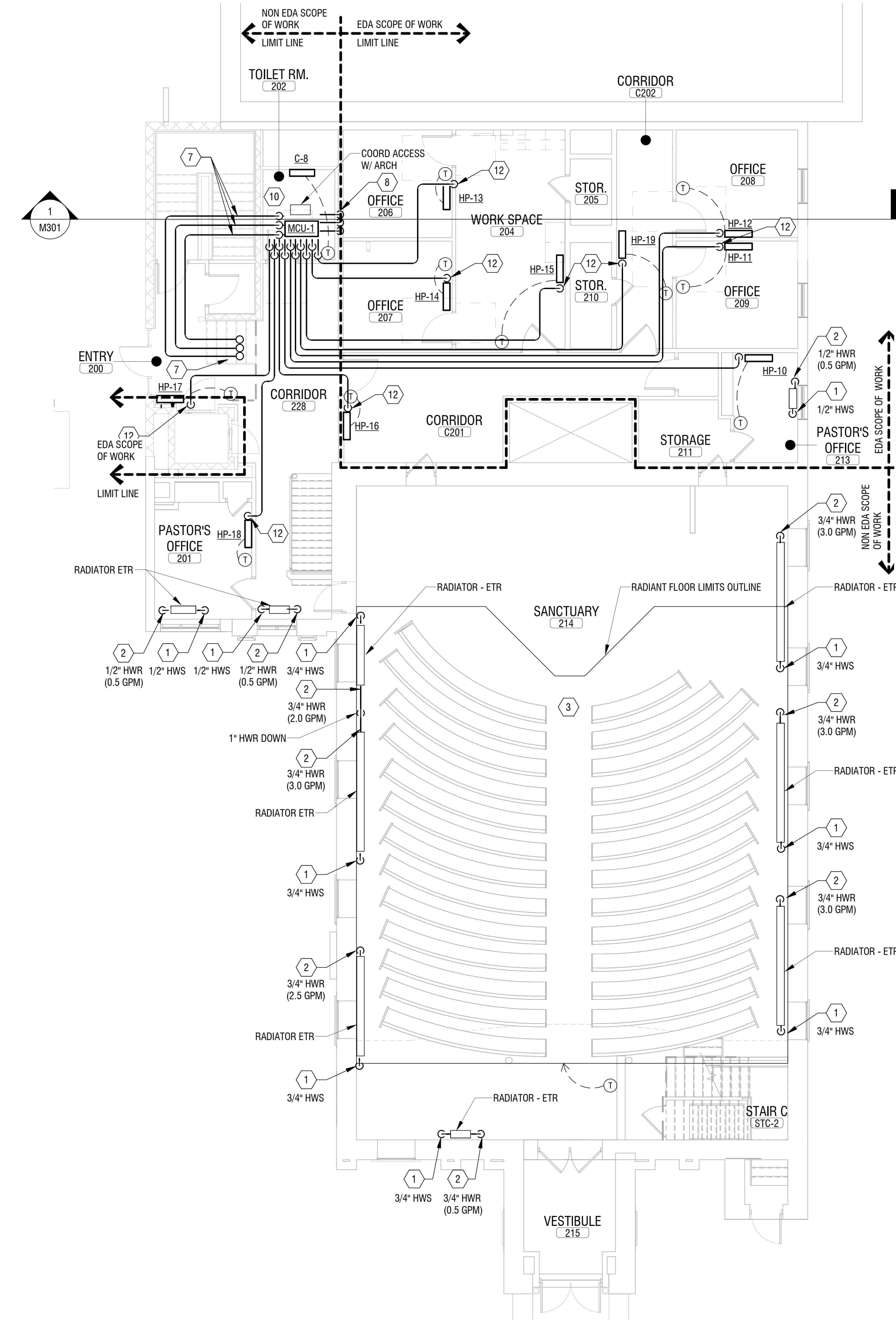
**KEYED NOTES (#):**

1. RUN HWS THROUGH EXISTING HOLE IN FLOOR. CONNECT TO RADIATOR AT LOCATION OF REMOVED. PROVIDE SELF CONTAINING CONTROL VALVE AND BRASS/BRONZE THREADED BALL VALVE. FIRE STOP HOLE THROUGH FLOOR. PROVIDE ESCUTCHEON AROUND PIPE AT FLOOR. INSULATE PIPING AND COVER INSULATION WITH GLOUED PVC JACKET.
2. RUN HWR THROUGH EXISTING HOLE IN FLOOR. ENLARGE OPENING AS REQUIRED. CONNECT TO RADIATOR AT LOCATION OF REMOVED PIPE WITH NIPPLE, UNION, AND BRASS/BRONZE BALANCING VALVE. FIRE STOP HOLE THROUGH FLOOR. PROVIDE ESCUTCHEON AT FLOOR. INSULATE PIPING AND COVER INSULATION WITH GLOUED PVC JACKET. PROVIDE COIN VENT. DRILL AND TAP RADIATOR AT HIGH POINT ON BLANK BOSS.
3. PROVIDE RADIANT FLOOR "STAPLE UP" SYSTEM UNDER FLOOR AS OUTLINED. PIPING SHALL RUN ABOVE SUPPORT BEAMS WITHOUT CAVITY. SEE SCHEDULE RADIANT ZONE 1.
4. 3/4" PUMPED CONDENSATE, DRAIN TO GRAVITY DRAIN. MOUNT PUMP ABOVE CEILING.
5. MOUNT RADIANT SYSTEM MANIFOLD IN CABINET NEAR CEILING MOUNT NEAR CORNER OF THE ROOM FOR STAPLE UP SYSTEM.
6. MOUNT RADIANT PANEL MIXING AND CIRCULATING PUMPS ON WALL.
7. RUN REFRIGERANT PIPING ABOVE STAIR CEILING. AVOID ROOF ACCESS HATCH AND RUN REFRIGERANT PIPING UP TO CONDENSING UNIT VIA PIPE PORTAL.
8. RUN REFRIGERANT PIPING FROM FIRST FLOOR MODE CONTROL UNIT (MCU) DOWN TO BASEMENT MCU INSIDE OF WALL.
9. RUN 3/4" HWS AND HWR DOWN WALL. BRANCH PIPE AND CONNECT TO EACH CONVECTOR.
10. MCU LOCATED ABOVE CEILING. RUN REFRIGERANT LINES IN TRUSS SPACE AND DROP TO MCU. LINE SIZES PER DETAIL. MAINTAIN 10" OVERHEAD CLEARANCE. MAINTAIN MANUFACTURERS CLEARANCE TO SIDES, FRONT AND BACK.

11. MCU LOCATED ABOVE CEILING. MAINTAIN 10" OVERHEAD CLEARANCE. MAINTAIN SIDE CLEARANCES PER MANUFACTURER. SEE DETAILS FOR REFRIGERANT LINE SIZES.
12. PROVIDE CONDENSATE CONNECTION TO DRAIN BEHIND WALL PER DETAIL. COORDINATE WITH PLUMBER.
13. CORE DRILL STONE WALL FOR NEW PIPING.
14. TERMINATE CONDENSATE DRAIN PER DETAIL BEHIND ACCESS DOOR. COORDINATE WITH PLUMBER.
15. PROVIDE 3/4" CD DOWN WALL. COMBINE TWO CONDENSATE DRAINS INTO ONE CONNECTION. TERMINATE CONDENSATE DRAIN BEHIND ACCESS DOOR PER DETAIL.
16. RUN HWS AND HWR MAINS UNDER EXISTING BEAMS AND EXPOSED IN SPACE.
17. RUN PIPING IN SOFFIT IN IT/DATA ROOM.
18. RUN REFRIGERANT PIPING IN SOFFIT COORDINATE WITH ALL TRADES.
19. HW CONTROL VALVE UNDER FTR COVER.



**2 BASEMENT PIPING PLAN**  
 1/8" = 1'-0"



**1 FIRST FLOOR PIPING PLAN**  
 1/8" = 1'-0"



CERTIFICATE OF AUTHORIZATION NUMBER:  
 PROFESSIONAL ENGINEERING: 018281  
 LAND SURVEYING: 017976  
 GEOLOGICAL: 018750

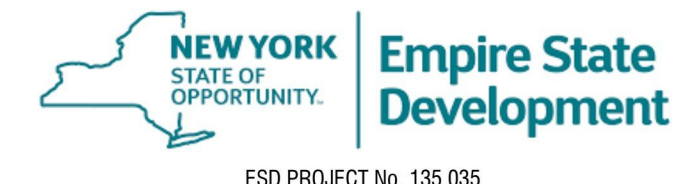
It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.



5795 LEWISTON ROAD  
 NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
 NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION

PROJECT NUMBER: 2221723

DRAWN BY: KMK

REVIEWED BY: JSN

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MECHANICAL PIPING PLAN**

DRAWING NUMBER:

**M101**