

# NIAGARA UNIVERSITY

## ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING

822 CLEVELAND AVENUE, NIAGARA FALLS, NY 14305

LABELLA PROJECT No. 2221723

EDA PROJECT No. 01-01-15369

ISSUED FOR: **BID DOCUMENTS**

ISSUED DATE: 11 APRIL 2024

PREVIOUSLY ISSUED FOR: **EDA REVIEW**  
PREVIOUSLY ISSUED DATE: 3 MARCH 2024

PREVIOUSLY ISSUED FOR: **SHPO REVIEW**  
PREVIOUSLY ISSUED DATE: 25 JANUARY 2024

### Funding Agencies:



U.S. DEPT. OF HOUSING AND URBAN DEVELOPMENT  
BUFFALO FIELD OFFICE, REGION II  
OLYMPIC TOWERS  
300 PEARL STREET, SUITE 301  
BUFFALO, NEW YORK, 14202

HUD PROJECT No. B-23-CP-NY-1083



EMPIRE STATE DEVELOPMENT  
BUFFALO MAIN OFFICE, WNY REGION  
95 PERRY STREET, SUITE 500  
BUFFALO, NEW YORK 14203

ESD PROJECT No. 135,035

### Owner:



# NIAGARA UNIVERSITY

5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NY 14109

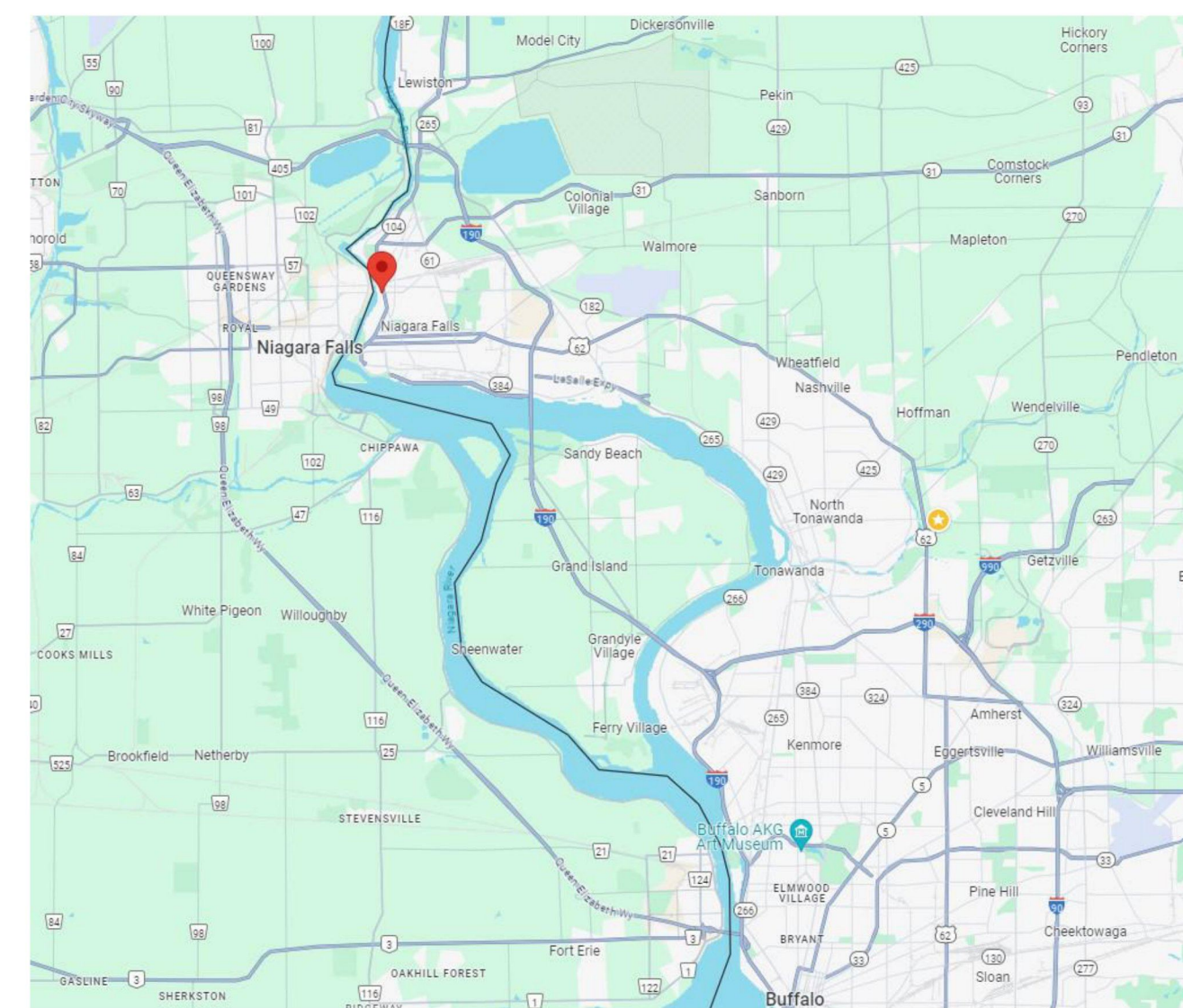
### Architect:



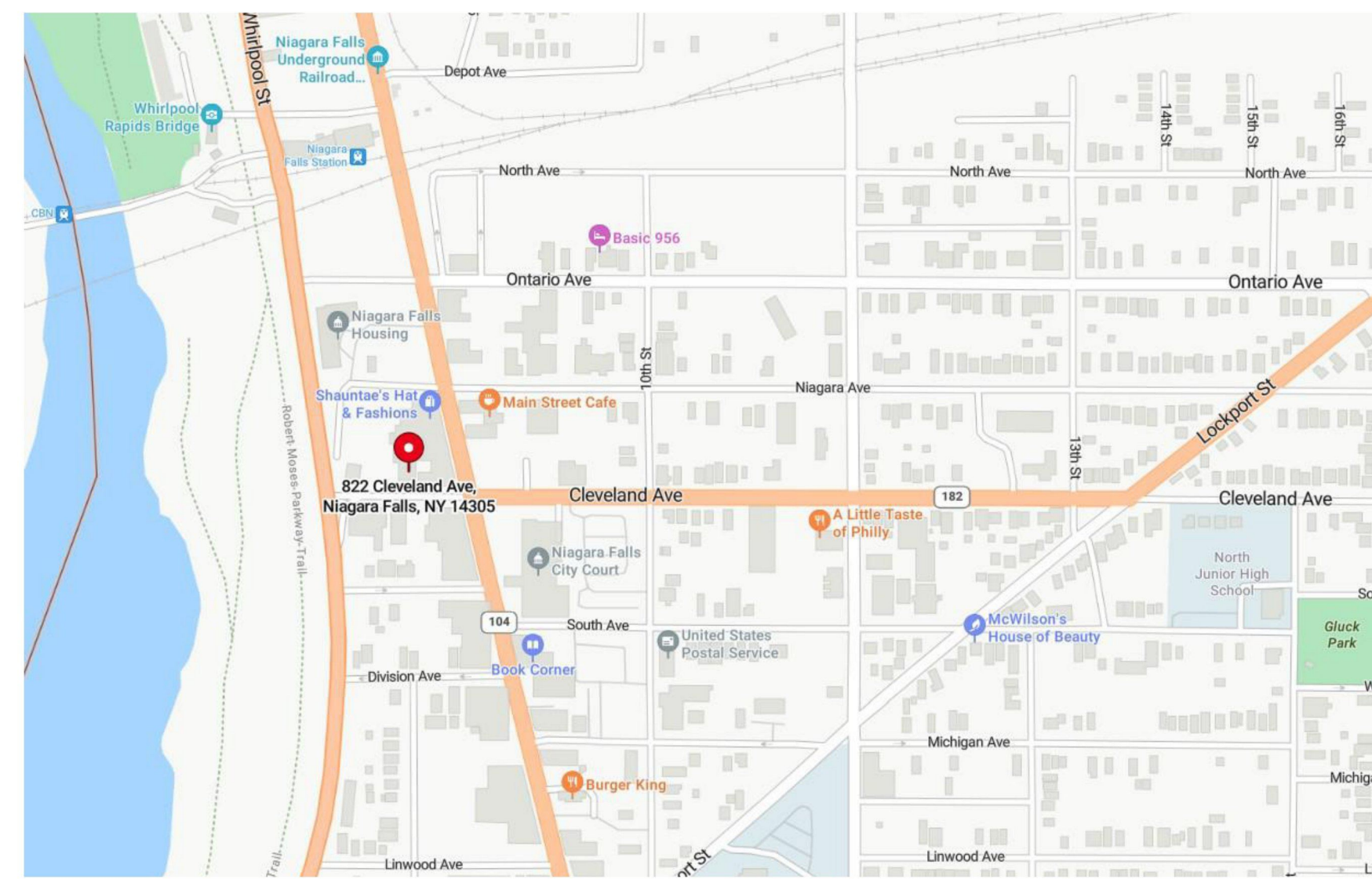
# LaBella

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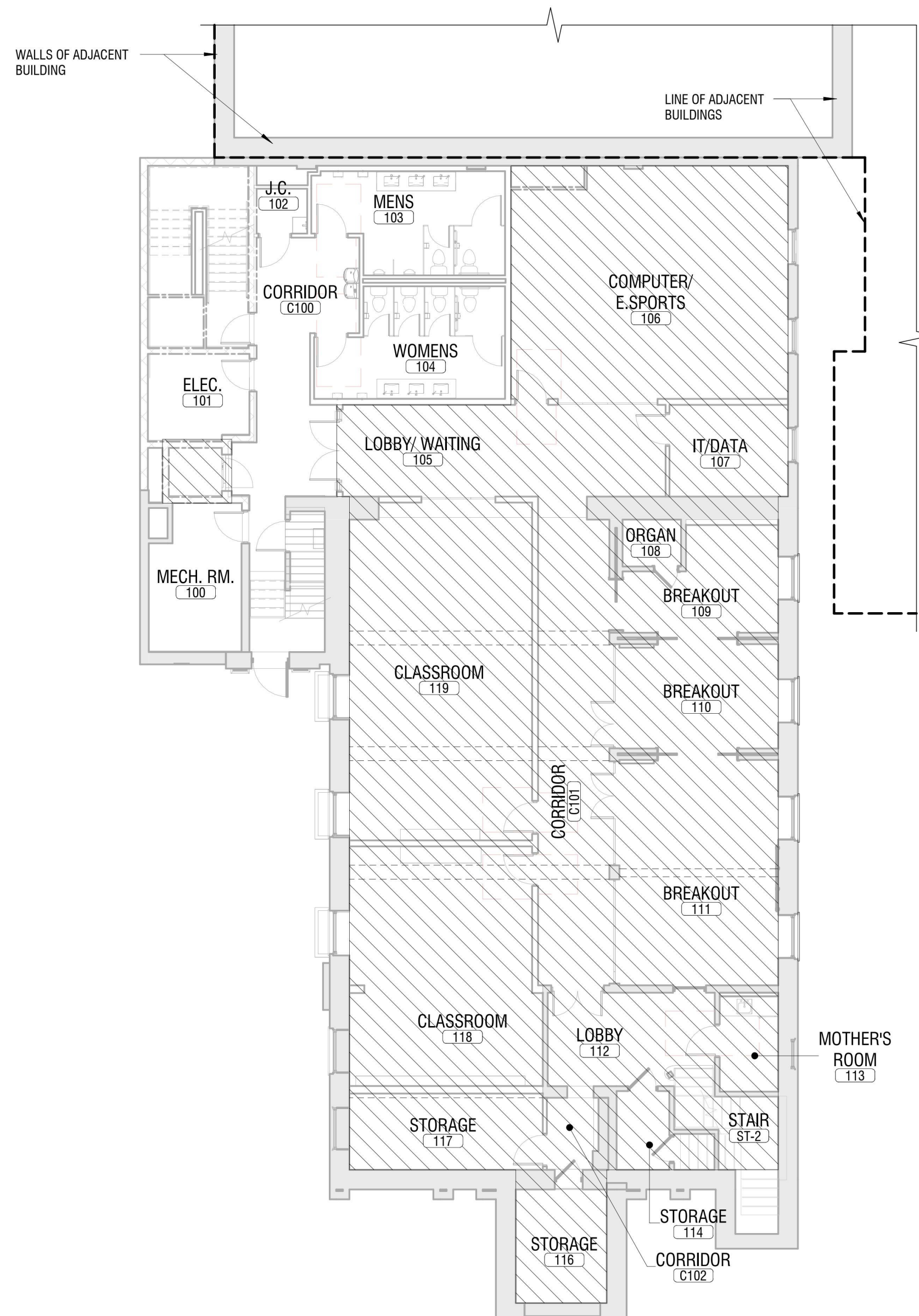
**REGIONAL MAP**



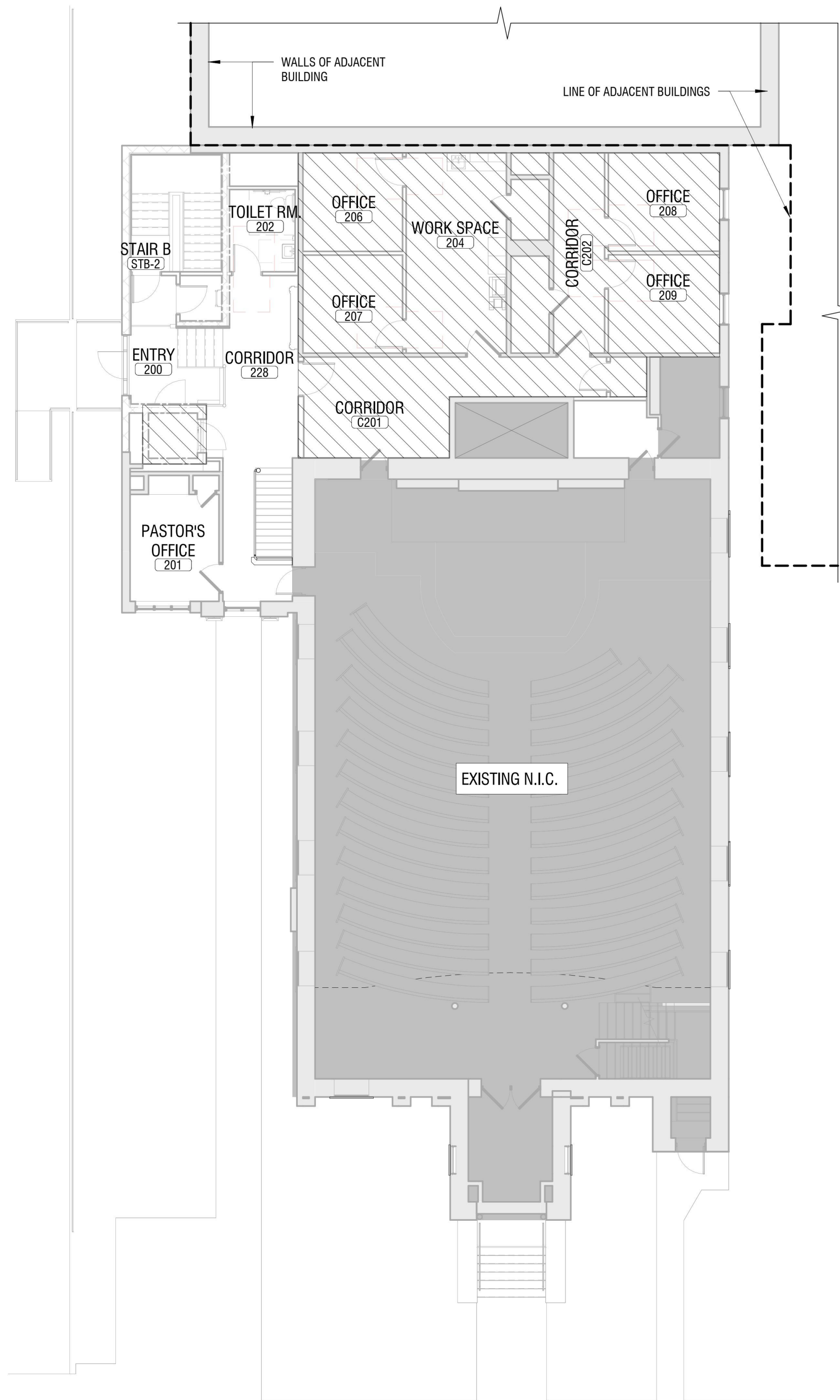
**LOCATION MAP**

NO.	DATE	DESCRIPTION
Revisions		





1 LOWER LEVEL EDA WORK DELINEATION PLAN  
G001 SCALE: 3/32" = 1'-0"



2 MAIN LEVEL EDA WORK DELINEATION PLAN  
G001 SCALE: 3/32" = 1'-0"

**WORK AREA LEGEND**

	EXISTING SPACE/ROOM/AREA TO REMAIN (NOT IN CONTRACT)
	EDA AREA OF WORK
	NON EDA AREA OF WORK

**EDA SCOPE OF WORK NARRATIVE**

NIAGARA UNIVERSITY HAS SECURED GRANT FUNDING THROUGH THE ECONOMIC DEVELOPMENT ADMINISTRATION (EDA) TO AID IN THE REHABILITATION AND RECONSTRUCTION OF THE FIRST CONGREGATIONAL CHURCH INTO A WORK FORCE DEVELOPMENT TRAINING FACILITY WITH ADMINISTRATIVE SUPPORT. THIS FUNDING IS DIRECTED SPECIFICALLY TOWARDS CERTAIN INTERIOR RENOVATIONS TO EXISTING SPACES/ROOMS ON BOTH THE MAIN SANCTUARY LEVEL AND THE LOWER BASEMENT LEVEL. EDA REQUIRES THIS SCOPE OF WORK COVERED BY THEIR FUNDING TO BE BROKEN OUT FROM THE REST OF THE RENOVATION WORK FOR PAYMENT PROCESSING.

EDA INTERIOR RENOVATIONS INCLUDE THE FOLLOWING:

- MAIN LEVEL:**
  - APPROX. 1,200 SF OF ADMINISTRATIVE SPACE (OFFICES, OPEN OFFICE WORK SPACE, AND CIRCULATION).
  - VERTICAL PLATFORM LIFT MASONRY SHAFT AND EQUIPMENT INSTALLATION (SEE PLANS AND DETAILS).
  - IN ADDITION TO THE GENERAL TRADE WORK, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL WORK ASSOCIATED WITH THE INTERIOR RENOVATION SPACES LISTED ABOVE ARE TO BE INCLUDED IN A BREAKDOWN FOR TRACKING PURPOSES.
- LOWER BASEMENT LEVEL:**
  - APPROX. 3,000 SF OF NEW CLASSROOMS, COMPUTER/TECHNOLOGY SPACE (E.SPORTS), BREAK OUT ROOMS, AND STORAGE.
  - VERTICAL PLATFORM LIFT MASONRY SHAFT AND FOUNDATION WORK (SEE PLANS AND DETAILS).
  - IN ADDITION TO THE GENERAL TRADE WORK, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND STRUCTURAL WORK ASSOCIATED WITH THE INTERIOR RENOVATION SPACES LISTED ABOVE ARE TO BE INCLUDED IN A BREAKDOWN FOR TRACKING PURPOSES.

ADDITIONAL FUNDING HAS BEEN SECURED BY NIAGARA UNIVERSITY AND IS DIRECTED TO THE REMAINING CONSTRUCTION TO BE COMPLETED.

**SHEET LIST**

<b>GENERAL</b>	
G000	COVER SHEET
G001	DRAWING LIST AND EDA DELINEATION OF WORK PLANS
G002	CODE COMPLIANCE AND LIFE SAFETY PLANS
<b>CIVIL DEMOLITION</b>	
CD101	DEMOLITION PLAN
<b>CIVIL</b>	
C001	GENERAL NOTES AND LEGEND
C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE PLAN
C301	SITE UTILITY PLAN
C401	GRADING PLAN
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS
L201	LANDSCAPE PLAN
<b>HAZARDOUS MATERIALS</b>	
HM101	HAZARDOUS MATERIAL ABATEMENT LOWER LEVEL AND ROOF PLAN
<b>STRUCTURAL</b>	
S001	GENERAL NOTES & DESIGN CRITERIA
S002	SPECIAL INSPECTIONS
S101	LOWER LEVEL PLANS
S102	MAIN LEVEL PLANS
S103	FRONT ENTRANCE PLANS
S104	NEW ENTRY & PARTIAL ROOF FRAMING PLANS
S201	TYPICAL CONCRETE & STEEL DETAILS
S202	TYPICAL MASONRY DETAILS
S301	FOUNDATION DETAILS
S302	FRAMING DETAILS
<b>ARCHITECTURAL DEMOLITION</b>	
AD101	LOWER LEVEL DEMOLITION PLAN
AD102	MAIN LEVEL DEMOLITION PLAN
AD103	ROOF DEMOLITION PLAN
AD111	REFLECTED CEILING DEMOLITION PLANS
<b>ARCHITECTURAL</b>	
A001	NOTES, SYMBOLS AND ABBREVIATIONS
A002	PARTITION TYPES
A101	LOWER LEVEL FLOOR PLAN
A102	MAIN LEVEL FLOOR PLAN
A103	ROOF PLAN
A111	REFLECTED CEILING PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A401	ENLARGED TOILET ROOM PLANS AND INTERIOR ELEVATIONS
A402	ENLARGED PLANS AND INTERIOR ELEVATIONS
A410	MAIN ENTRANCE EXTERIOR STAIR
A411	ENLARGED STAIR PLANS, SECTIONS, AND DETAILS
A412	ENLARGED STAIR PLANS, SECTIONS, AND DETAILS
A413	VERTICAL LIFT PLANS AND SECTION DETAILS
A414	NEW SIDE ENTRANCE PLANS AND ELEVATIONS
A501	CEILING AND ROOF DETAILS
A601	DOOR SCHEDULE, DOOR FRAMES AND TYPES
A602	DOOR DETAILS
A603	WINDOW TYPES AND DETAILS
A701	MILLWORK SECTIONS AND DETAILS
<b>INTERIOR DESIGN</b>	
I001	INTERIOR COLOR AND FINISH LEGEND & DETAILS
I101	LOWER LEVEL & MAIN LEVEL FINISH PLANS
<b>MECHANICAL DEMOLITION</b>	
MD101	MECHANICAL REMOVAL PLANS
<b>MECHANICAL</b>	
M001	MECHANICAL LEGEND SHEET
M101	MECHANICAL PIPING PLANS
M102	MECHANICAL DUCTWORK PLANS
M103	MECHANICAL PLANS
M301	MECHANICAL PLAN - SECTION
M401	ENLARGED MECHANICAL PLANS
M501	MECHANICAL DETAILS
M502	MECHANICAL DETAILS
M503	MECHANICAL DETAILS
M504	MECHANICAL DETAILS
M601	MECHANICAL SCHEDULES
M701	MECHANICAL WIRING SCHEMATICS
M702	MECHANICAL CONTROLS
M703	MECHANICAL CONTROLS
<b>ELECTRICAL DEMOLITION</b>	
ED101	MAIN & LOWER LEVEL DEMOLITION PLAN
<b>ELECTRICAL</b>	
E001	ELECTRICAL NOTES, SYMBOL LEGEND, & ABBREVIATIONS
E050	ELECTRICAL SITE PLAN
E101	MAIN & LOWER LEVEL POWER & SYSTEMS PLAN
E102	ROOF ELECTRICAL PLAN
E201	MAIN & LOWER LEVEL LIGHTING PLAN
E301	MAIN & LOWER LEVEL FIRE ALARM PLAN
E500	ELECTRICAL DETAILS
E501	ELECTRICAL DETAILS
E600	ELECTRICAL SCHEDULES
E601	ELECTRICAL PANEL SCHEDULES
E602	ELECTRICAL PANEL SCHEDULES
E700	ELECTRICAL ONE-LINE DIAGRAMS
<b>PLUMBING DEMOLITION</b>	
PD101	PLUMBING REMOVAL PLANS
<b>PLUMBING</b>	
P001	PLUMBING LEGEND SHEET
P101	UNDERGROUND AND BASEMENT PLUMBING PLANS
P102	FIRST FLOOR AND ROOF PLUMBING PLANS
P401	PLUMBING ENLARGED PLANS
P501	PLUMBING DETAILS AND SCHEDULES
<b>FIRE PROTECTION</b>	
FP001	FIRE PROTECTION LEGEND SHEET
FP101	FIRE PROTECTION PLANS
FP501	FIRE PROTECTION DETAILS AND SCHEDULES



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.



NEW YORK STATE OF OPPORTUNITY  
Empire State Development  
ESD PROJECT No. 135,035

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822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: JAK

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**DRAWING LIST AND EDA DELINEATION OF WORK PLANS**

DRAWING NUMBER:



CERTIFICATE OF AUTHORIZATION NUMBER:  
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DATE: APRIL 11, 2024

DRAWING NAME:

**CODE COMPLIANCE AND LIFE SAFETY PLANS**

DRAWING NUMBER:

**G002**

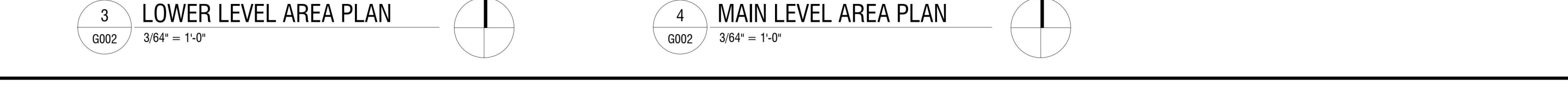
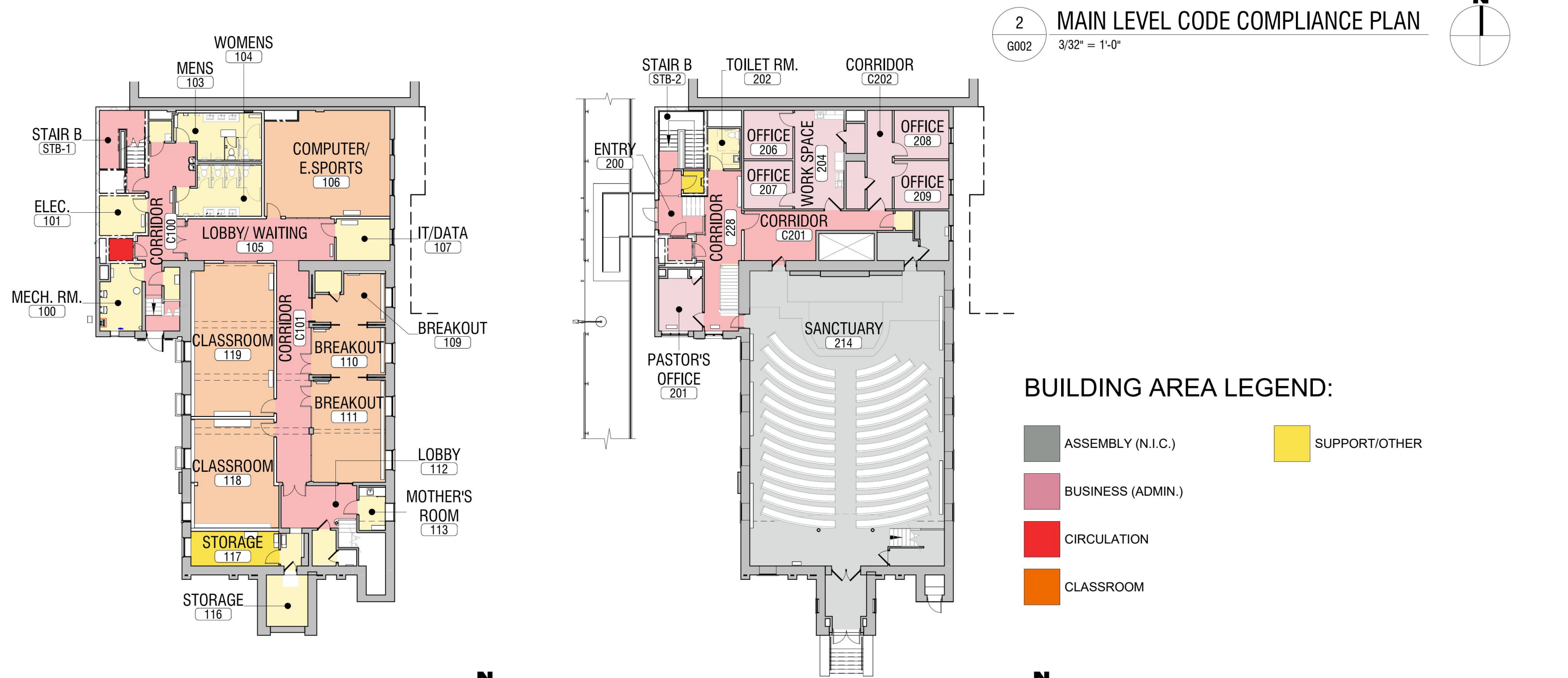
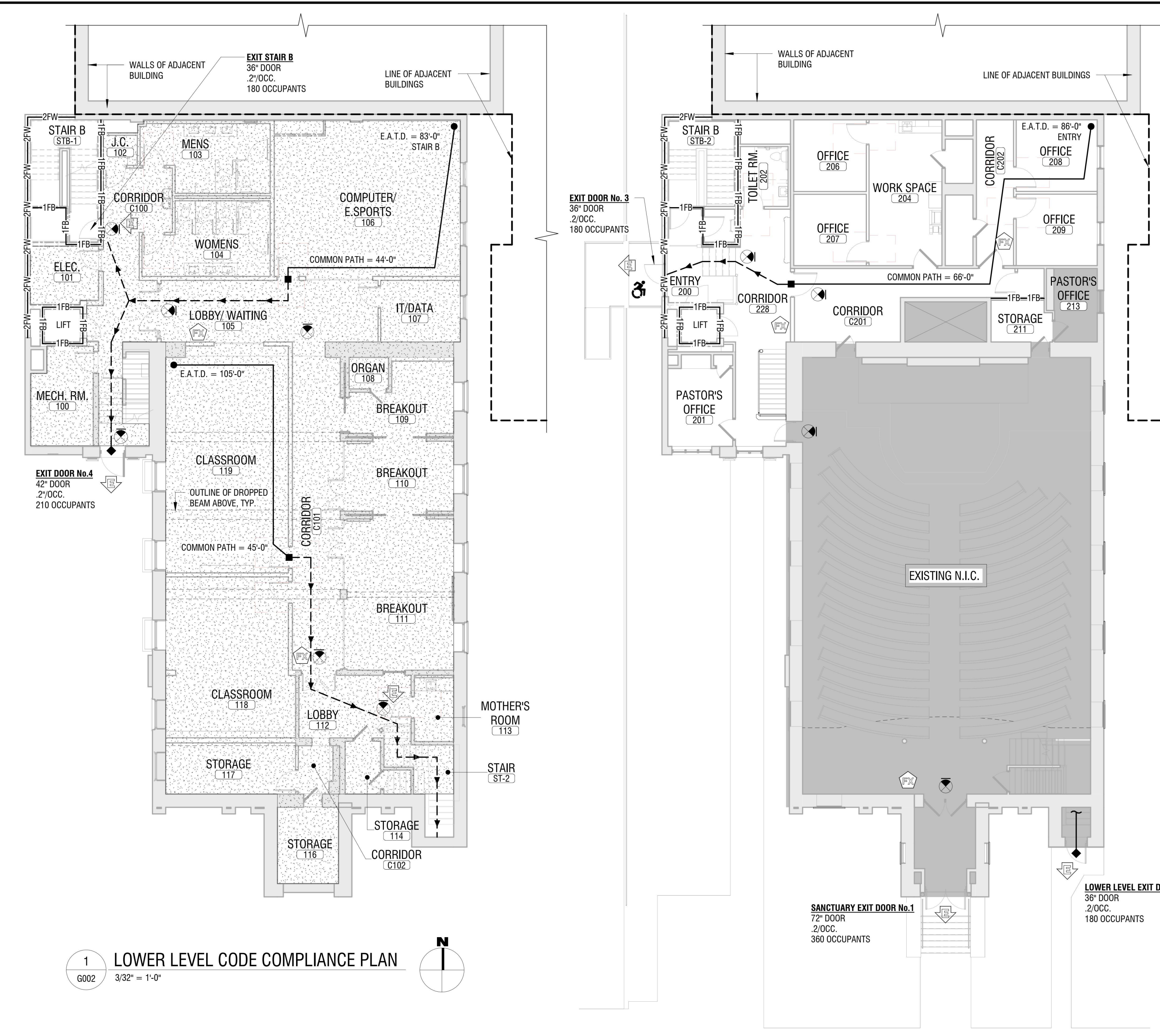
**CODE SUMMARY:**

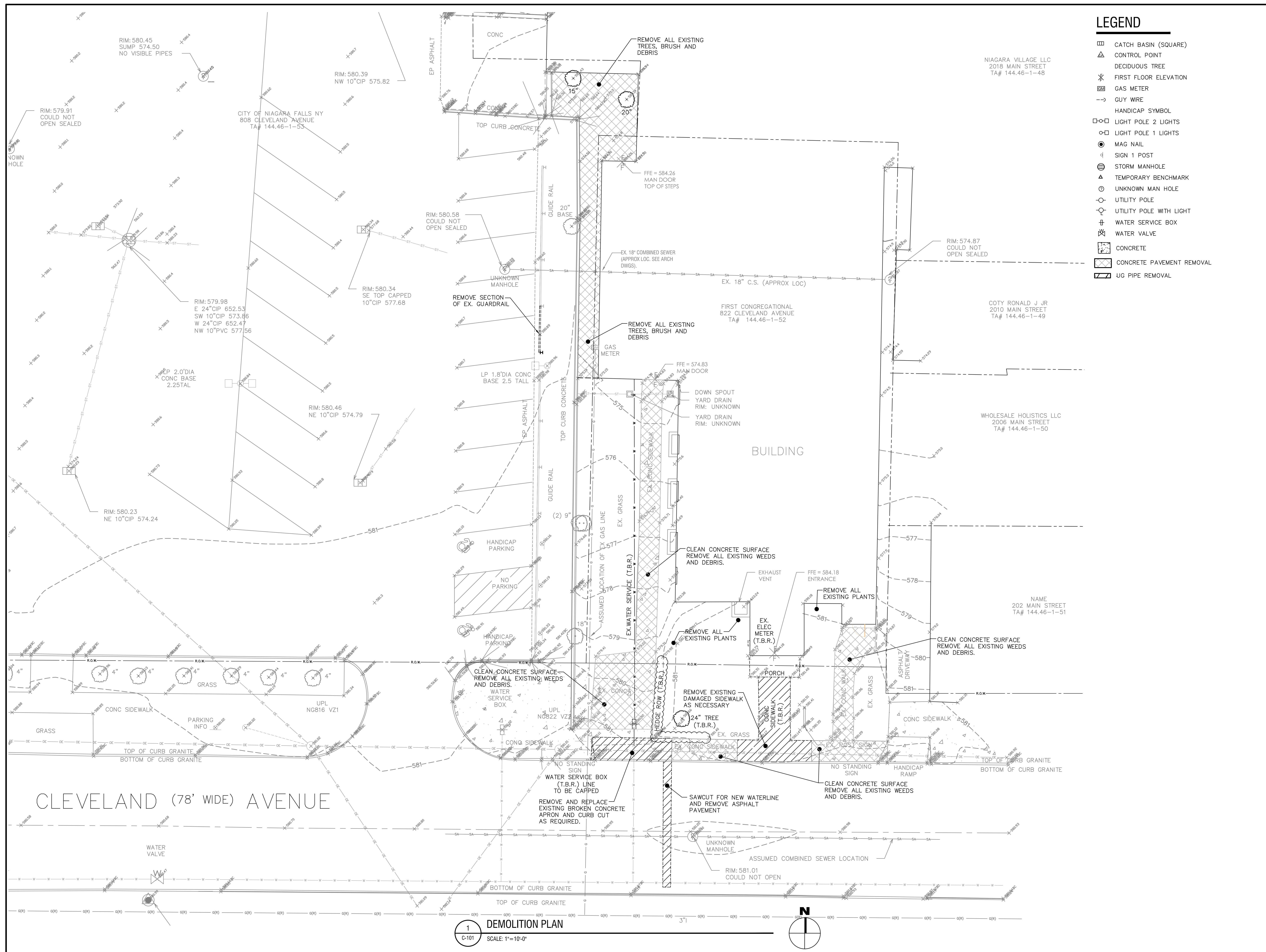
**GENERAL**  
Jurisdiction: City of Niagara Falls, New York  
Applicable Codes: 2020 Existing Building Code of New York State (EBCNYS), 2020 Building Code of New York State (BCNYS), 2020 Energy Code of New York State, ICG A117.1 Standards for Accessible Design  
Project Type: Renovation; Alteration Level 3; Historic Buildings  
Occupancy Classification: Business B (Renovation), Assembly A-3 (Existing Sanctuary)  
Change of Occupancy: Change of Use Denotes (§ 1001.2.1, 1011.1.1 EBCNYS)  
Change of Occupancy: Change of Occupancy (§ 904.1, 904.1.4, 903.2.2 EBCNYS)  
Construction Type: Type IIB - Existing Building (T 601 BCNYS)  
Automatic Sprinkler System: Not Required (Provided) (T 504.4, T 506.2 BCNYS) (§ 903.2.1.3 BCNYS) (§ 904.1, 904.1.4, 903.2.2 EBCNYS)  
The proposed change of use from assembly and business occupancy supporting a place of worship to a business (educational above 12th grade) denotes a change of occupancy. This change of occupancy requires full compliance with chapter 9 of the building code.  
The existing building code requires that an automatic sprinkler be provided if the area of work exceeds 50% on any floor or if the area of work contains suits shared by more than one tenant or corridors serving an occupant load greater than 30 persons. When referencing the building code, an automatic sprinkler system is not required to be installed as the building areas for type IIB construction do not exceed the allowable area. If an automatic sprinkler system is not provided, then tenant fire separations and corridor fire separations will be required.

**BUILDING HEIGHTS AND AREAS**  
**EXISTING BUILDING AREA CRITERIA**  
Main Level 5,650 sf (3,088 sf - existing Sanctuary - A-3)  
Choir Balcony 420 sf (420 sf - existing Choir Balcony - A-3)  
Lower Level 5,650 sf  
**TOTAL 11,690 sf**  
**Allowable Building Height (504.3)**  
Actual Building Height Approximately 115 ft (T 504.3 BCNYS)  
**Allowable Stories Above Grade (504.4)**  
Actual Stories Above Grade 1 (T 504.4 BCNYS)  
**Allowable Area (506.2)**  
B Occupancy 19,380 SF (per floor) (A = 19,000 + (19,000 x 0.02)) (T 506.2 BCNYS) (Equation 5-5)  
0.02 = Area increase factor  
**Allowable Area (506.2)**  
A-3 Occupancy 14,820 SF (per floor) (A = 15,500 + (9,500 x 0.56)) (T 506.2 BCNYS) (Equation 5-5)  
0.56 = Area increase factor  
The allowable area factor is based on IIB construction type for a mixed-occupancy building with more than one story above grade plane. See section 506.2.4 BCNYS.  
**Frontage Increase B Occupancy**  
Area Increase Factor = 0.02  
I = (51.5/217.3 - .025) x 60/30  
217.3 = Overall building perimeter in feet  
60 = maximum allowable frontage distance  
**Frontage Increase A-3 Occupancy**  
Area Increase Factor = 0.56  
I = (114.5/217.3 - .025) x 60/30  
217.3 = Overall building perimeter in feet  
60 = maximum allowable frontage distance  
**Main Level**  
B Occupancy = 2,562 sf = 0.42 (19,380 sf) = **8,179 sf**  
A Occupancy = 3,508 sf = 0.58 (14,820 sf) = **8,596 sf**  
B Occupancy = 5,620 sf = 1 (19,380 sf) = **19,380 sf**  
**Lower Level**  
Total Allowable Building Area = 36,154 sf  
Versus Actual Building Area = 11,690 sf (Complies)

**LIFE SAFETY LEGEND**  
EXIT DISCHARGE  
TRAVEL DISTANCE AND DIRECTION OF TRAVEL  
COMMON PATH OF EGRESS  
REMOTE POINT OF TRAVEL  
EXIT  
FIRE EXTINGUISHER CABINET (1 PER 75 FT RADIUS)  
EXIT SIGN  
AREA OF GYP RATED CEILING  
1 HOUR FIRE BARRIER  
2 HOUR FIRE BARRIER  
3 HOUR FIRE WALL

**BUILDING AREA LEGEND:**  
ASSEMBLY (N.I.C.)  
BUSINESS (ADMIN.)  
CIRCULATION  
CLASSROOM  
SUPPORT/OTHER





**LEGEND**

- ▣ CATCH BASIN (SQUARE)
- △ CONTROL POINT
- DECIDUOUS TREE
- ✕ FIRST FLOOR ELEVATION
- ⊠ GAS METER
- GUY WIRE
- ⊠ HANDICAP SYMBOL
- LIGHT POLE 2 LIGHTS
- LIGHT POLE 1 LIGHTS
- MAG NAIL
- ⊕ SIGN 1 POST
- ⊕ STORM MANHOLE
- ▲ TEMPORARY BENCHMARK
- UNKNOWN MAN HOLE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- ⊕ WATER SERVICE BOX
- ⊕ WATER VALVE
- ▣ CONCRETE
- ▣ CONCRETE PAVEMENT REMOVAL
- ▣ UG PIPE REMOVAL

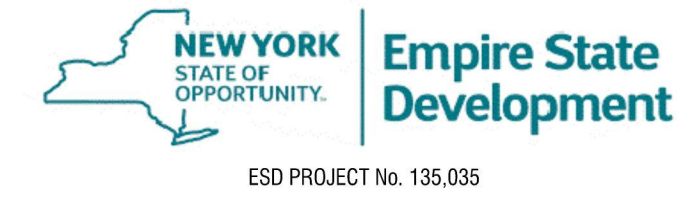
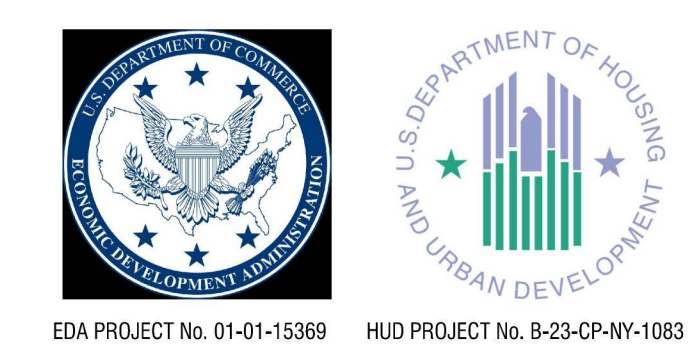


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DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

DATE: **APRIL 11, 2024**

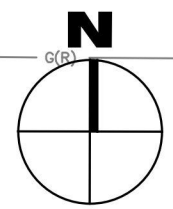
DRAWING NAME:

**DEMOLITION PLAN**

DRAWING NUMBER:

**CD101**

**1 DEMOLITION PLAN**  
 SCALE: 1"=10'-0"



## GENERAL NOTES

- THE CONTRACTOR ALONE SHALL BE RESPONSIBLE TO LOCATE UTILITIES OUTSIDE THE RIGHT-OF-WAY INCLUDING PRIVATE ROADS.
- SITE DRAINAGE INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ALL MATERIALS, TOOLS AND EQUIPMENT, INCLUDING SPECIAL CUTTING DEVICES, NECESSARY TO PERFORM THE WORK CONTAINED IN THIS CONTRACT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE AMENITIES NOT DESIGNATED FOR REMOVAL.
- UNLESS OTHERWISE INDICATED ON THE PLANS OR DIRECTED BY THE ARCHITECT/ENGINEER, THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING FROM DAMAGE ALL TREES, SHRUBS AND PLANTS IN THE VICINITY OF THE PROPOSED WORK.
- THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- ANY SITE AMENITY, UTILITY, STREET APPURTENANCE, OR OTHER ITEM WHICH BECOMES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED IN-KIND BY THE CONTRACTOR AS DETERMINED BY THE PROJECT MANAGER OR ARCHITECT/ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.

## SURVEY NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY MARKERS AND RIGHT-OF-WAY MARKERS IN THE AREA OF CONSTRUCTION.
- ANY IRON PINS, MONUMENTS OR OTHER ITEMS DEFINING PROPERTY LINES WHICH ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE PROPERLY TIED AND ACCURATELY RESET BY A NYS LICENSED SURVEYOR UPON COMPLETION OF THE WORK.
- THE TOPOGRAPHIC SURVEY WAS COMPLETED BY KHEOPS IN JULY 2022.
- THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 88 (NAVD).
- THE HORIZONTAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 83 (NAVD 83) - 2011 GRID.

## SITE NOTES:

- ALL ASPHALT TOP COURSE PAVEMENTS SHALL BE PLACED ONLY AFTER COMPLETION OF ALL SITE WORK AND DELIVERIES FROM OTHER PRIMES THAT HAVE THE POTENTIAL TO DAMAGE THE ASPHALT TOP COURSE. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING TEMPORARY PAVEMENT TO PROTECT ALL STRUCTURES, RIMS AND GRATES.
- WELL COMPACTED SUBGRADE SHALL BE UTILIZED UNDERNEATH CONSTRUCTION OF PAVEMENT AND CONCRETE BASES.
- ALL STAKEOUT FOR THE PROPOSED SITE IMPROVEMENTS SHALL BE COMPLETED BY A NEW YORK STATE LICENSED LAND SURVEYOR.
- IF ANY DISCREPANCIES ARE NOTED BETWEEN THESE CONSTRUCTION DOCUMENTS AND INFORMATION PROVIDED OR AN ERROR IS SUSPECT, IT SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.

## DEMOLITION NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIG SAFE NEW YORK AT 811 TO REQUEST UTILITY STAKEOUT OF ALL PUBLIC UTILITIES.
- WORK ASSOCIATED WITH THIS CONTRACT WILL OCCUR AT AN ACTIVE AND FUNCTIONAL FACILITY. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO MINIMIZE DISRUPTION TO THE OPERATIONS OF THE FACILITY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE A SAFE WORK SITE AND TO PROTECT THE PUBLIC, VISITORS AND EMPLOYEES FROM HARM AS A RESULT OF HIS CONSTRUCTION ACTIVITIES.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
- SITE DRAINAGE INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENT, LOCAL FIRE DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) AS NECESSARY AND SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO BEGINNING WORK. COPIES OF ANY REQUIRED PERMITS SHALL BE PROVIDED TO THE OWNER PRIOR TO BEGINNING THE WORK.
- CONTRACTOR SHALL REMOVE FROM SITE, MATERIALS NOT INDICATED TO BE SALVAGED INCLUDING ALL DEBRIS. ALL REMOVED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
- THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR AND PEDESTRIAN ACCESS TO THE EXISTING BUILDINGS FOR THE DURATION OF THE CONTRACT.
- WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTOR'S WORK, IT SHALL BE REPAIRED AND/OR REPLACED WITH SIMILAR OR LIKE MATERIALS AS MUCH AS POSSIBLE, AT NO COST TO THE OWNER. ALL REPAIRS AND/OR REPLACEMENTS WILL BE SUBJECT TO OWNERS APPROVAL.

## UTILITY NOTES

- THE CONTRACTOR SHALL CONTACT DIG SAFE TO REQUEST A STAKEOUT PRIOR TO SOIL DISTURBANCE TO IDENTIFY LOCATION OF ALL EXISTING UTILITIES.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- REFER TO PROJECT MANUAL FOR GEOTECHNICAL REPORT.

## GRADING NOTES

- THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. THE REQUIREMENTS SET FORTH HEREIN ARE INTENDED TO SUPPLEMENT REQUIREMENTS ESTABLISHED BY THESE AGENCIES. IN THE CASE OF A CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON THE CONTRACTOR SHALL APPLY.
- SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TRENCHES THROUGH PAVEMENT SHALL BE SAW CUT PRIOR TO EXCAVATION AND AGAIN PRIOR TO PAVEMENT RESTORATION.
- CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS, VALVE BOXES AND OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAVING OR REGRADING AS PART OF THE WORK, INCLUDING THOSE THAT MAY NOT BE SHOWN ON THE PLANS.
- VOIDS LEFT BY UTILITY OR STRUCTURE REMOVAL OR GRUBBING OPERATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH STRUCTURAL FILL (NYS DOT ITEM 304.12) IN AREAS UNDER AND WITHIN 5 FEET HORIZONTALLY OF ALL STRUCTURES, BUILDINGS AND PAVEMENTS. IN GRASSED AREAS, VOID LEFT SHALL BE FILLED AND PROPERLY COMPACTED WITH SUITABLE ON-SITE OR IMPORTED EARTHEN BACKFILL. ALL DISTURBED AREAS SHALL BE RESTORED.
- THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY.
- THE CONTRACTOR SHALL PLACE AT MINIMUM 6 INCHES OF CLEANED SCREENED TOPSOIL IN ALL DISTURBED AREAS PRIOR TO SEEDING.

## EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND LOCAL GOVERNING SOIL AND WATER CONSERVATION AGENCY RECOMMENDATIONS AND STANDARDS. CONTRACTOR SHALL SUBMIT PROPOSED EROSION CONTROL PLAN INCLUDING SEQUENCING OF WORK TO THE ENGINEER FOR REVIEW PRIOR TO START OF WORK.
- UTILIZE CONSTRUCTION METHODS/TECHNIQUES, WHICH WILL LIMIT THE EXPOSED EARTHEN AREAS AND MINIMIZE THE EFFECT OF EARTH DISTURBANCE ACTIVITIES ON SOIL EROSION. THE AREA OF DISTURBANCE SHALL BE LIMITED TO A MAXIMUM OF 5 ACRES UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SEDIMENTATION BARRIERS AND OTHER TEMPORARY OR PERMANENT MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION. PLANS SHOW THE SUGGESTED MINIMUM MEASURES REQUIRED.
- REMOVAL OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED AT THE APPROVAL OF THE OWNER AND ENGINEER. THE COST OF REMOVING THESE MEASURES SHALL ALSO BE INCLUDED IN THE BID PRICE.
- FOR THE DURATION OF THE PROJECT, THE CONTRACTOR SHALL PROTECT ALL ON-SITE, ADJACENT AND/OR DOWNSTREAM STORM/SANITARY SEWERS, AND/OR OTHER WATER COURSES FROM CONTAMINATION BY WATER BORNE SILTS, SEDIMENTS, FUELS, SOLVENTS, LUBRICANTS OR OTHER POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- DURING CONSTRUCTION NO WET OR FRESH CONCRETE OR LEACHATE SHALL BE ALLOWED TO ESCAPE INTO STORM/SANITARY SEWERS, DITCHES OR OTHER WATERS OF NEW YORK STATE. NOR SHALL WASHINGS FROM CONCRETE TRUCKS, MIXERS OR OTHER DEVICES BE ALLOWED TO ENTER ANY STORM/SANITARY SEWERS, DITCHES, RIVERS, OR WATER COURSES.
- ALL EXCAVATED OR IMPORTED EARTHEN STOCKPILES SHALL BE SUITABLY STABILIZED AND PROTECTED BY SILT FENCE SO THAT IT CANNOT REASONABLY ENTER ANY WATER BODY, OR STORM OR SANITARY SEWER.
- ALL METHODS AND EQUIPMENT PROPOSED BY THE CONTRACTOR TO ACCOMPLISH THE WORK FOR EROSION AND POLLUTION CONTROL SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO TREAT TRAVELED AREAS TO CONTROL DUST. WATER SHALL BE APPLIED TO SUCH TRAVELED AREAS AS THE ARCHITECT/ENGINEER OR OWNERS DESIGNATED REPRESENTATIVE MAY DESIGNATE. THE NUMBER OF APPLICATIONS AND THE AMOUNT OF WATER SHALL BE BASED UPON FIELD AND WEATHER CONDITIONS.
- ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT WHICH WILL NOT BE SUBJECT TO FURTHER EARTHWORK OR CONSTRUCTION ACTIVITIES SHALL BE PERMANENTLY SEEDED TO ESTABLISH GRASS, AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL DISTURBANCE. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR STAGING AREAS AND CONSTRUCTION ENTRANCE LOCATIONS SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF CONSTRUCTION. STABILIZED CONSTRUCTION ENTRANCE(S), AS SHOWN ON THE PLANS SHALL BE PROVIDED. ALL DISTURBED AREAS SHALL BE RESTORED.
- ALL CATCH BASINS/DRAINAGE INLETS SHALL HAVE STONED INLET PROTECTION AROUND THEM AND GEOTEXTILE FABRIC OVER THE GRATE TO PREVENT SEDIMENTATION FROM ENTERING THE STORM SYSTEM.
- TILL ALL COMPACTED SOILS LOCATED IN LAWN AREAS TO RESTORE THE ORIGINAL PROPERTIES OF THE SOIL PRIOR TO SEEDING.

## LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	ROADWAY CENTERLINES
----	----	TREE/VEGETATION LINE
----	----	GRAVEL EDGE
		BUILDING/STRUCTURE
---	---	PROPERTY LINE
---	---	SETBACK LINE
---	---	EASEMENTS
---	---	RIGHT-OF-WAY
---	---	BOLLARD
---	---	SIGN
---	---	SIGN, DOUBLE POST
---	---	ACCESSIBLE SYMBOL (NYS)
---	---	DECIDUOUS TREE
---	---	CONIFEROUS TREE
---	---	UTILITY POLE WITH LIGHT
---	---	HANDHOLE
---	---	MANHOLE
---	---	CATCH BASIN/DRAINAGE STRUCTURE
---	---	INLET MANHOLE
---	---	STORM MANHOLE (SOLID COVER)
---	---	SANITARY MANHOLE
---	---	SANITARY CLEAN OUT
---	---	STORM CLEAN OUT
---	---	HYDRANT
---	---	VALVE W/O NAME
---	---	VALVE WITH NAME
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	UNDERGROUND COMMUNICATIONS
---	---	GAS LINE
---	---	SANITARY LINE
---	---	STORM LINE
---	---	WATER LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR

## PROJECT DATA

### PARCEL INFORMATION

APPLICANT	NIAGARA UNIVERSITY 5795 Lewiston Rd. Niagara University, NY 14109
OWNER	NIAGARA UNIVERSITY 5795 Lewiston Rd. Niagara University, NY 14109
PARCEL ADDRESS	822 Cleveland Ave, Niagara Falls, NY 14305
TAX NUMBER	144.46-1-52
PARCEL AREA	0.2 Acres
TOTAL PROJECT AREA	0.2 +/- Acres
DISTURBED AREA	0.08 Acre
ZONING	Traditional Commercial C2-A



EXP: 11/30/2026

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

## ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER:  
**2221723**

DRAWN BY:  
**DAS**

REVIEWED BY:  
**KJW**

ISSUED FOR:  
**BID**

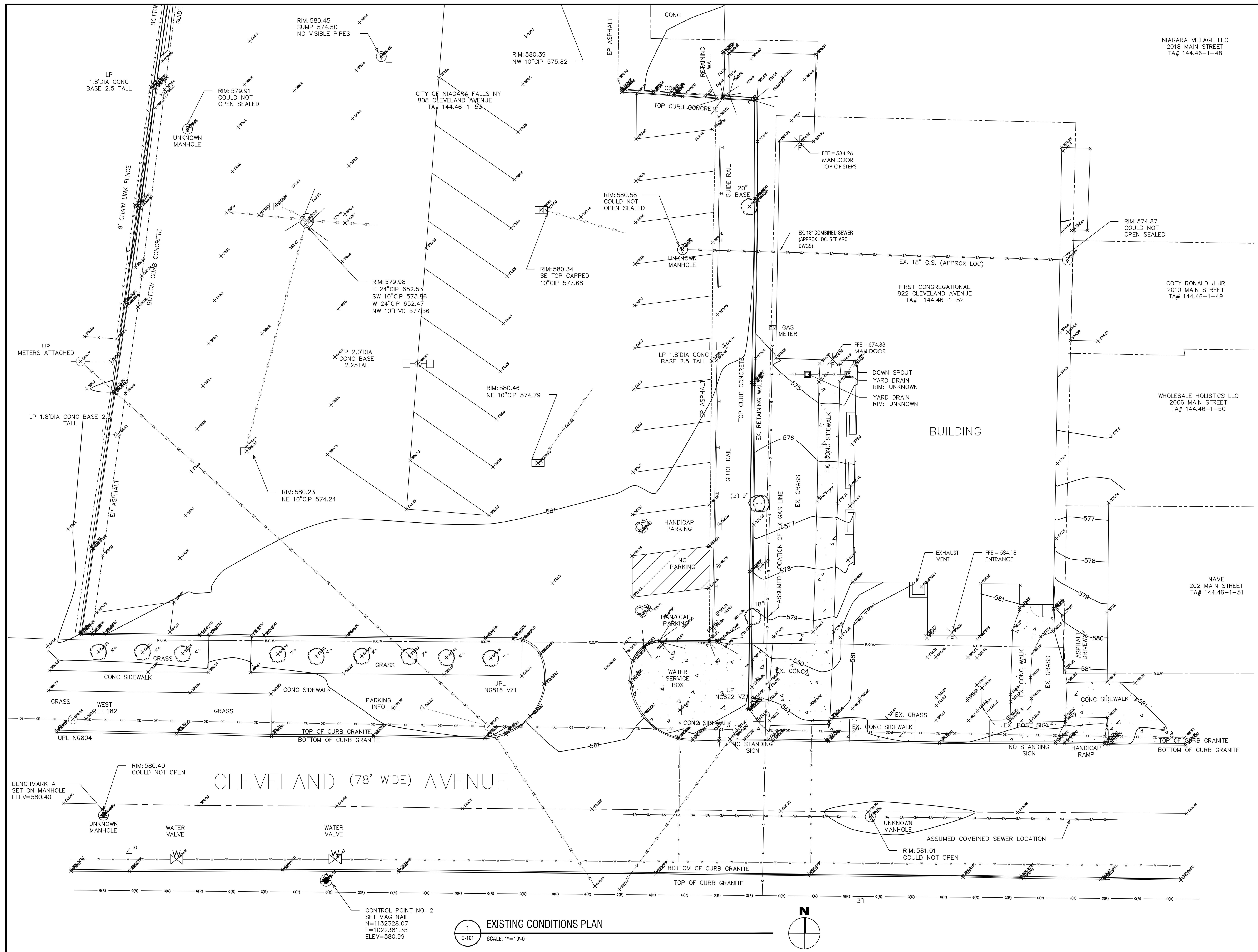
DATE:  
**APRIL 11, 2024**

DRAWING NAME:

## GENERAL NOTES AND LEGEND

DRAWING NUMBER:

# C001



NIAGARA VILLAGE LLC  
2018 MAIN STREET  
TA# 144.46-1-48

CITY OF NIAGARA FALLS NY  
808 CLEVELAND AVENUE  
TA# 144.46-1-53

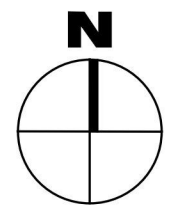
FIRST CONGREGATIONAL  
822 CLEVELAND AVENUE  
TA# 144.46-1-52

COTY RONALD J JR  
2010 MAIN STREET  
TA# 144.46-1-49

WHOLESALE HOLISTICS LLC  
2006 MAIN STREET  
TA# 144.46-1-50

CLEVELAND (78' WIDE) AVENUE

1 EXISTING CONDITIONS PLAN  
SCALE: 1"=10'-0"



CONTROL POINT NO. 2  
SET MAG NAIL  
N=1132328.07  
E=1022381.35  
ELEV=580.99



300 Pearl Street, Suite 130  
Buffalo, NY 14202  
716-551-6281  
labellapc.com



EXP: 11/30/2026

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: DAS

REVIEWED BY: KJW

ISSUED FOR: BID

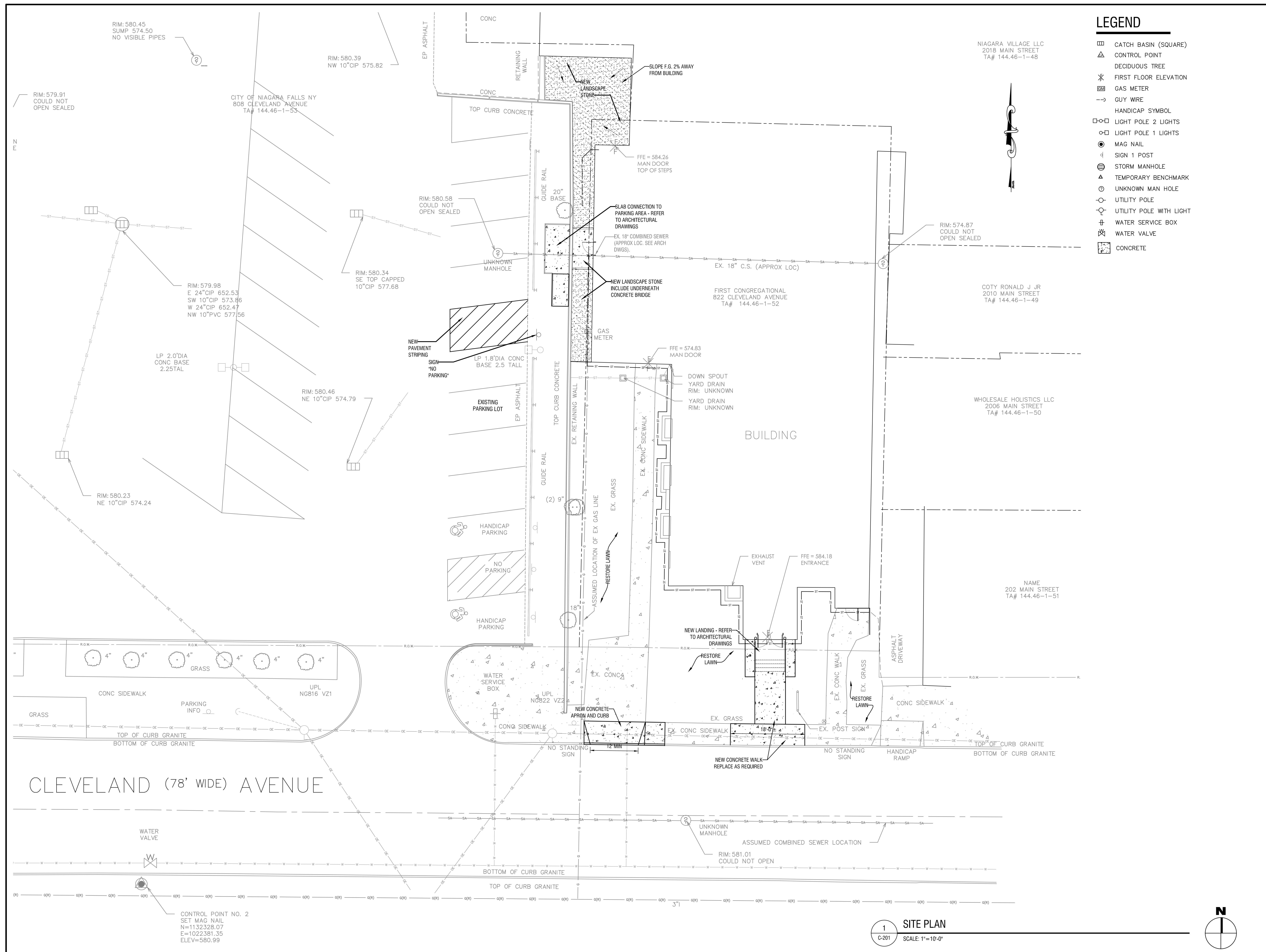
DATE: APRIL 11, 2024

DRAWING NAME:

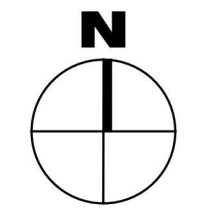
**EXISTING CONDITIONS AND DEMOLITION PLAN**

DRAWING NUMBER:

**C101**



1 SITE PLAN  
 C-201 SCALE: 1"=10'-0"



EXP: 11/30/2026  
 CERTIFICATE OF AUTHORIZATION NUMBER:  
 PROFESSIONAL ENGINEERING: 018281  
 LAND SURVEYING: 017976  
 GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. 8-23-CP-NY-1083  
 NEW YORK STATE OF OPPORTUNITY  
 Empire State Development  
 ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
 822 CLEVELAND AVENUE  
 NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION

PROJECT NUMBER: **2221723**

DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

DATE: **APRIL 11, 2024**

DRAWING NAME:

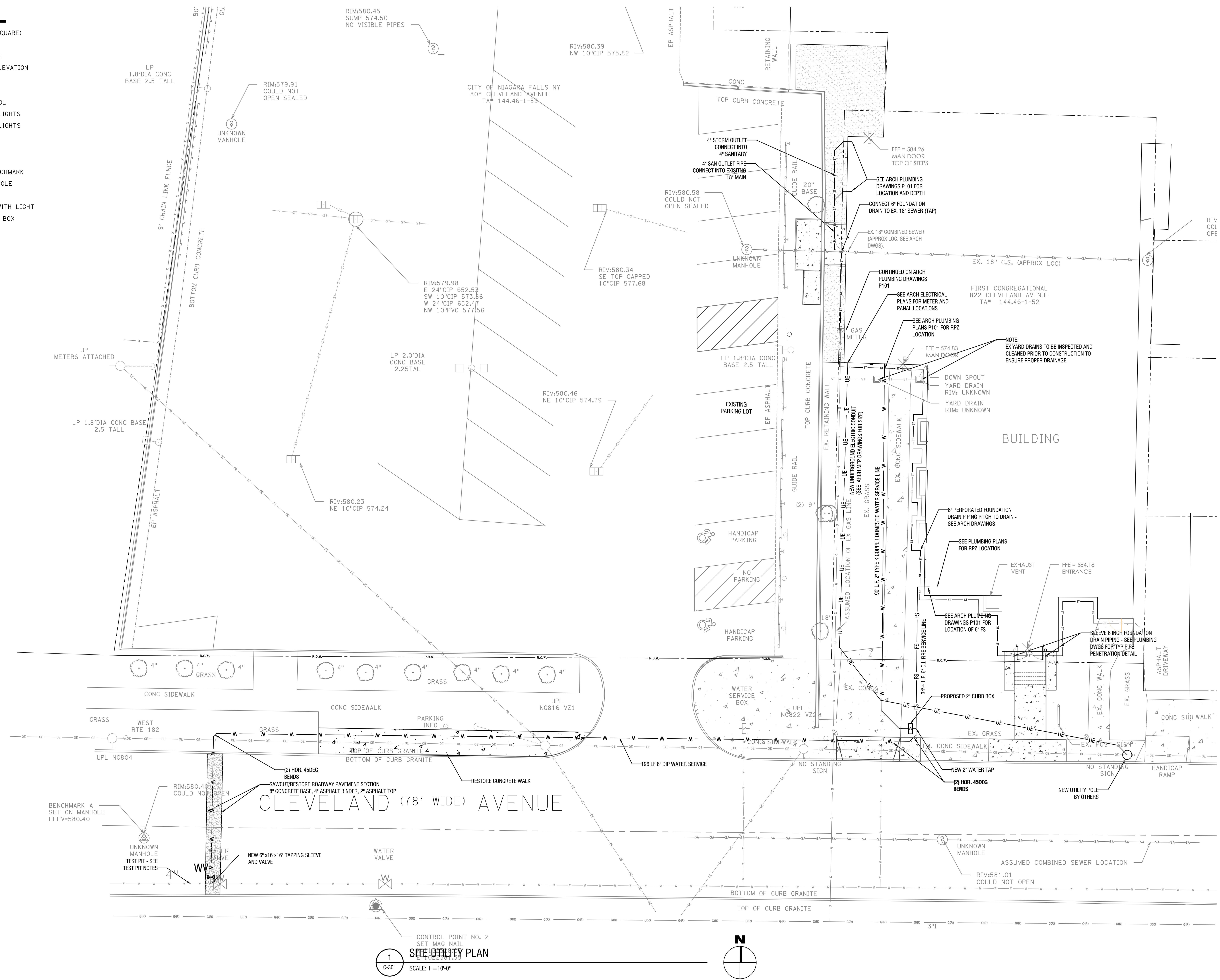
**SITE PLAN**

DRAWING NUMBER:

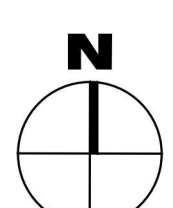
**C201**

**LEGEND**

- ▣ CATCH BASIN (SQUARE)
- △ CONTROL POINT
- DECIDUOUS TREE
- \* FIRST FLOOR ELEVATION
- ⊠ GAS METER
- - GUY WIRE
- ⊞ HANDICAP SYMBOL
- LIGHT POLE 2 LIGHTS
- LIGHT POLE 1 LIGHTS
- MAG NAIL
- ⊕ SIGN 1 POST
- ⊕ STORM MANHOLE
- ▲ TEMPORARY BENCHMARK
- UNKNOWN MAN HOLE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- ⊞ WATER SERVICE BOX
- ⊞ WATER VALVE
- ▣ CONCRETE



**1 SITE UTILITY PLAN**  
SCALE: 1"=10'-0"



EXP: 11/30/2026  
CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. 8-23-CP-NY-1083  
ESD PROJECT No. 135,035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: **2221723**

DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

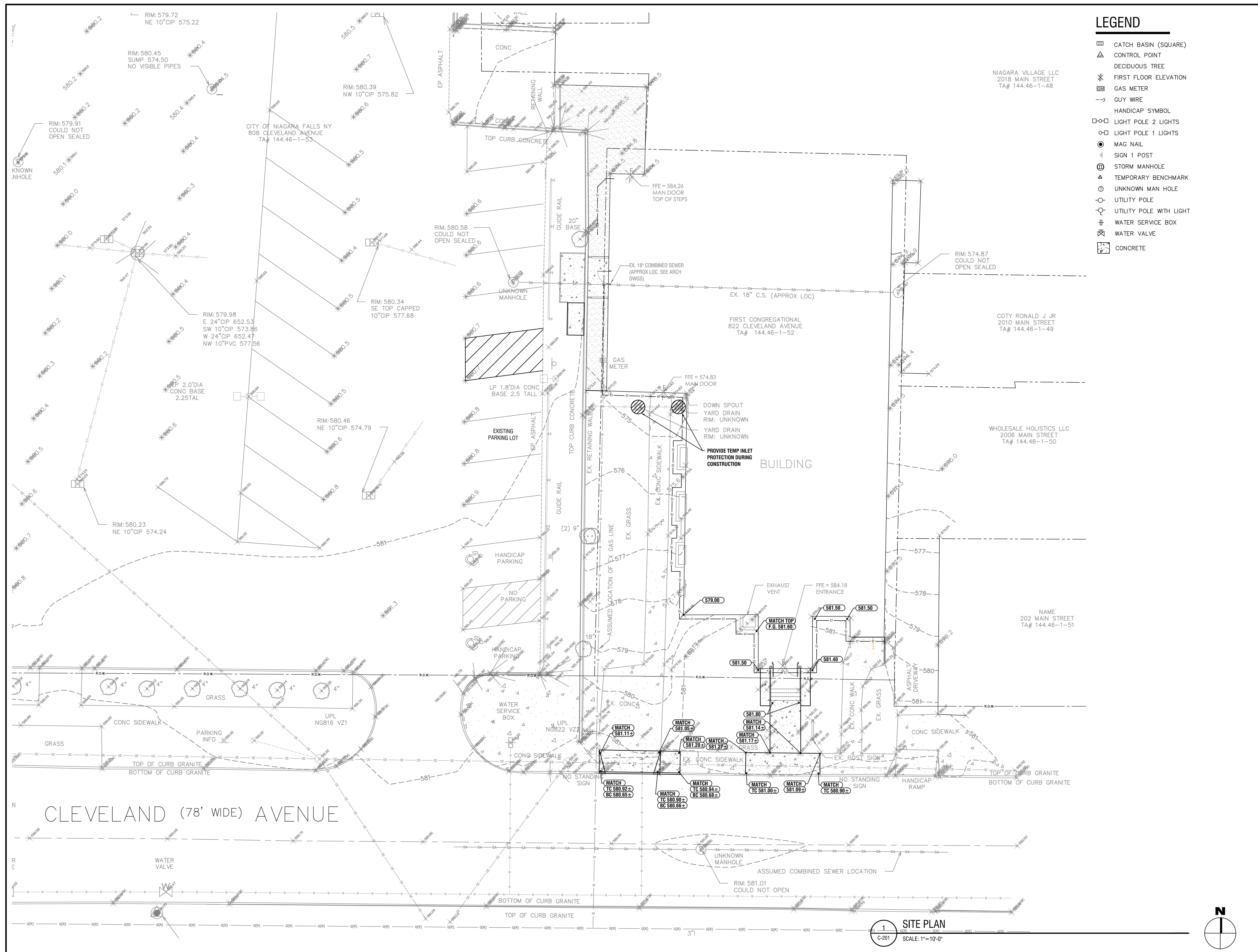
DATE: **APRIL 11, 2024**

DRAWING NAME:

**SITE UTILITY PLAN**

DRAWING NUMBER:





**LEGEND**

- ▣ CATCH BASIN (SQUARE)
- △ CONTROL POINT
- DECIDUOUS TREE
- \* FIRST FLOOR ELEVATION
- ⊠ GAS METER
- GUY WIRE
- HANDICAP SYMBOL
- LIGHT POLE 2 LIGHTS
- LIGHT POLE 1 LIGHTS
- MAG NAIL
- ⊕ SIGN 1 POST
- ⊕ STORM MANHOLE
- △ TEMPORARY BENCHMARK
- UNKNOWN MAN HOLE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- ⊕ WATER SERVICE BOX
- ⊕ WATER VALVE
- CONCRETE



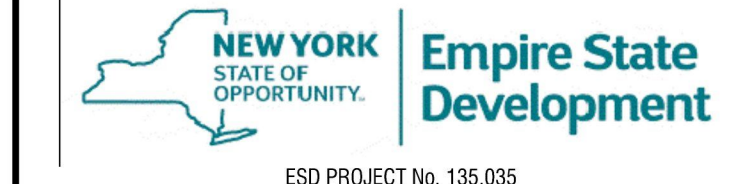
EXP: 11/30/2026

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-WY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: **2221723**

DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

DATE: **APRIL 11, 2024**

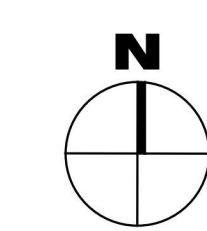
DRAWING NUMBER:

**GRADING PLAN**

DRAWING NUMBER:

**C401**

1 SITE PLAN  
C-201 SCALE: 1"=10'-0"





EXP: 11/30/2026

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. 8-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
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PROJECT NUMBER: **2221723**

DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

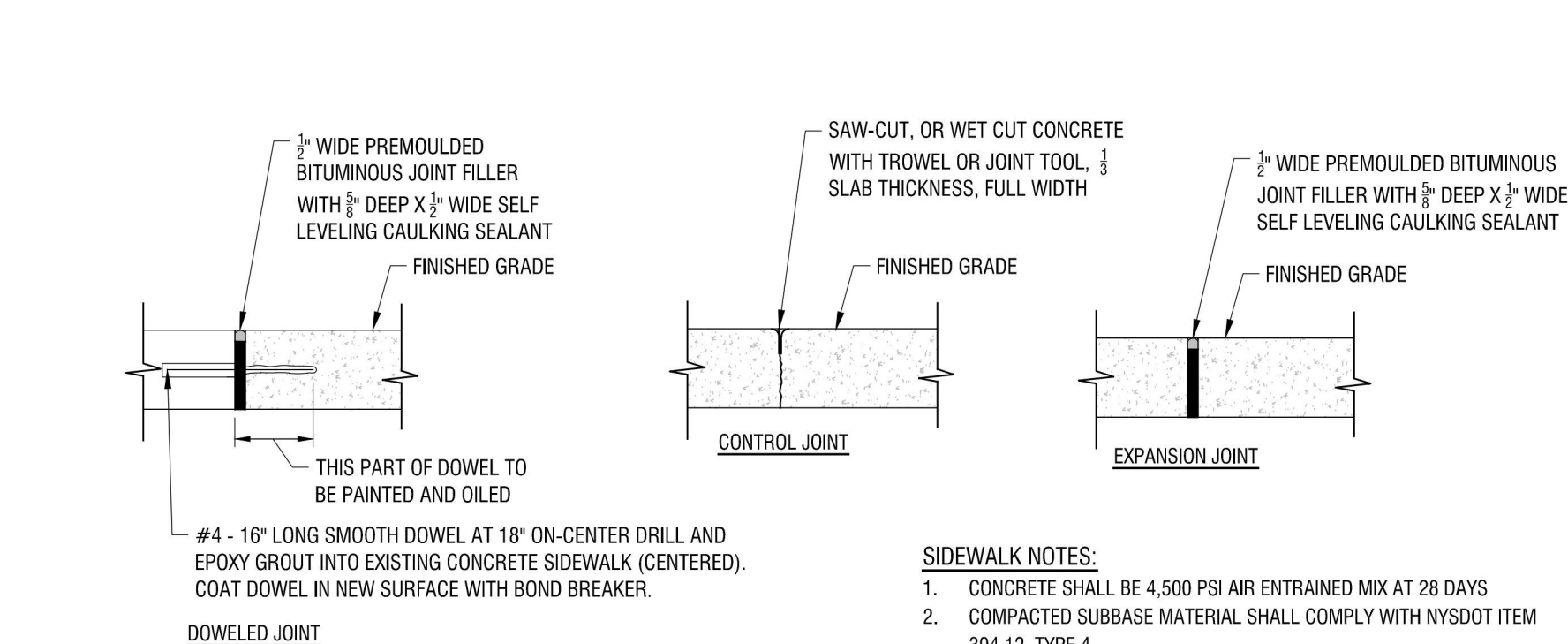
DATE: **APRIL 11, 2024**

DRAWING NAME:

**CONSTRUCTION DETAILS**

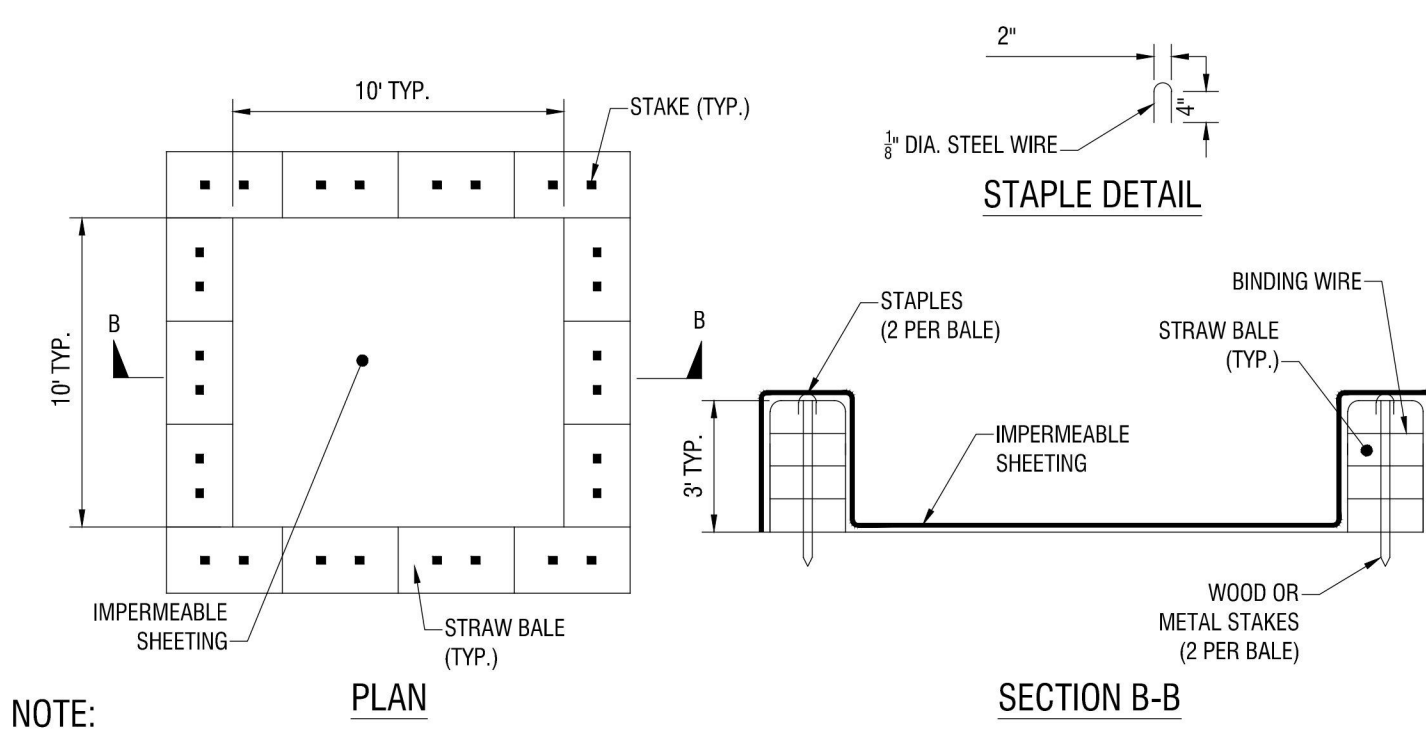
DRAWING NUMBER:

**C501**



**SIDEWALK NOTES:**

- CONCRETE SHALL BE 4,500 PSI AIR ENTRAINED MIX AT 28 DAYS
- COMPACTED SUBBASE MATERIAL SHALL COMPLY WITH NYSDOT ITEM 304.12, TYPE 4
- CONCRETE SURFACE SHALL RECEIVE A BROOM FINISH AND TWO COATS OF A MEMBRANE FORMING SEALER AT RATES SPECIFIED BY THE PRODUCT MANUFACTURER.
- EXPANSION JOINTS SHALL BE PROVIDED AT ALL FITTED STRUCTURES
- CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 330-R92. THESE JOINTS SHALL BE COMPLETED WITHIN 24 HOURS OF CONCRETE PLACEMENT. SCORED JOINTS SHALL BE 1/2-INCH WIDTH MINIMUM AND 1/2 OF THE THICKNESS OF THE CONCRETE
- SIDEWALK ADJACENT TO THE CURB SHALL HAVE A 2.00% CROSS-SLOPE TO THE CURB. OTHER AREA AS INDICATED ON THE GRADING PLAN.
- CONCRETE SIDEWALK ADJACENT TO BUILDING SHOULD BE DOWELED INTO BUILDING FOUNDATION WITH 18" LONG 3/4" DIA SMOOTH DOWEL AT 12" O.C. TO PREVENT FROST HEAVING.
- FIBER REINFORCEMENT (FRC FIB-300 OR APPROVED EQUAL) IS AN ACCEPTABLE ALTERNATIVE TO WELDED WIRE FABRIC.

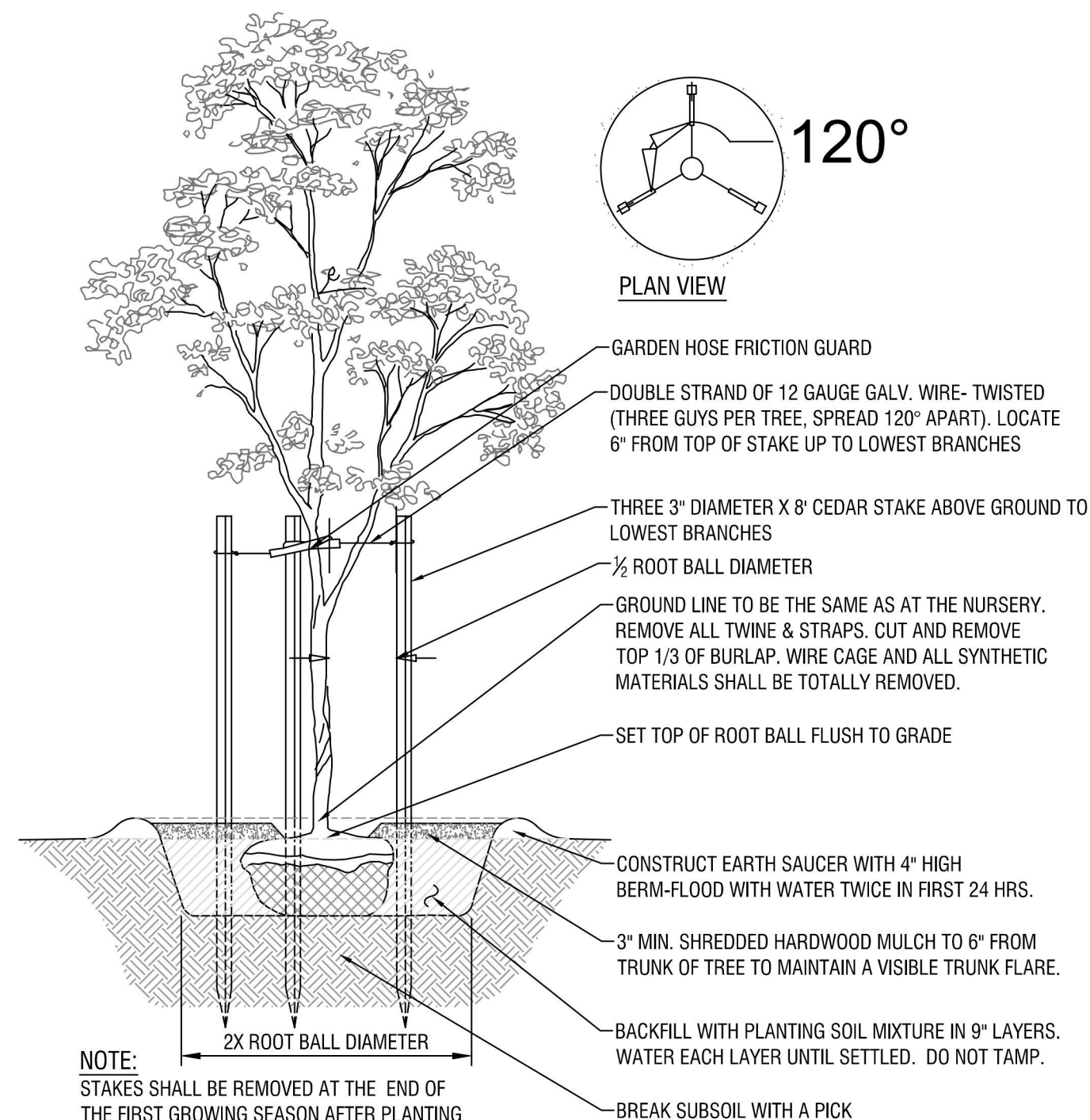


**NOTE:**

CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

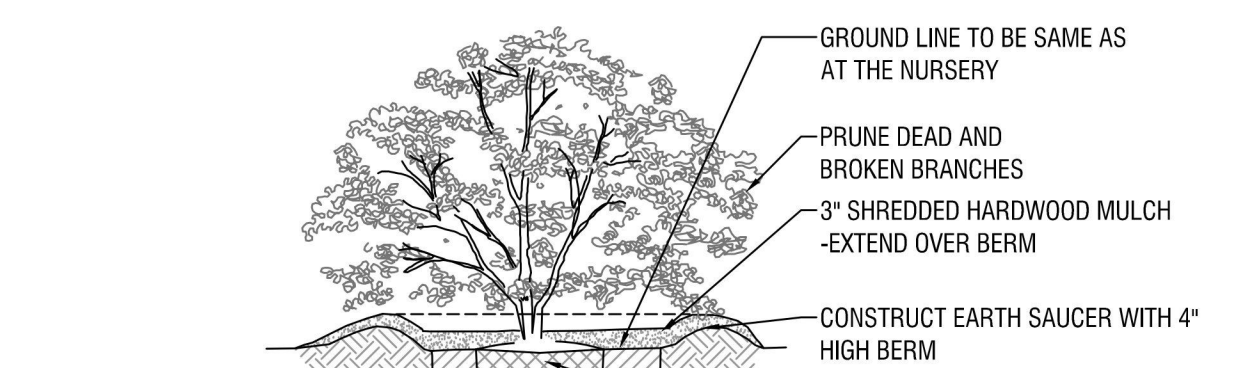
**CONSTRUCTION SPECIFICATIONS**

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



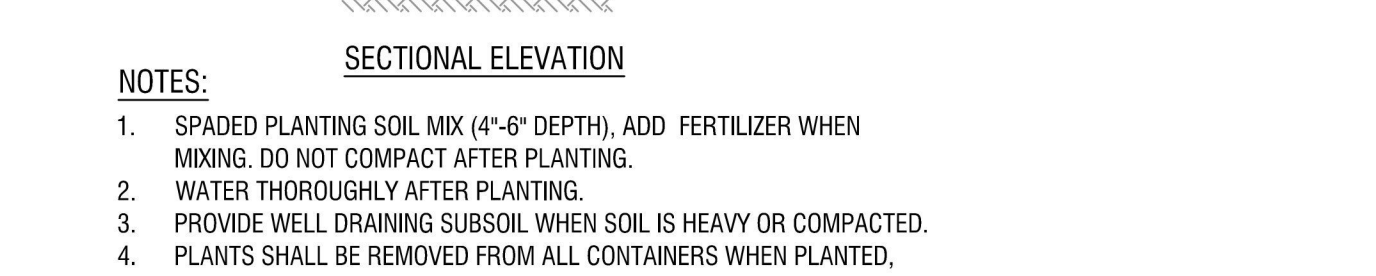
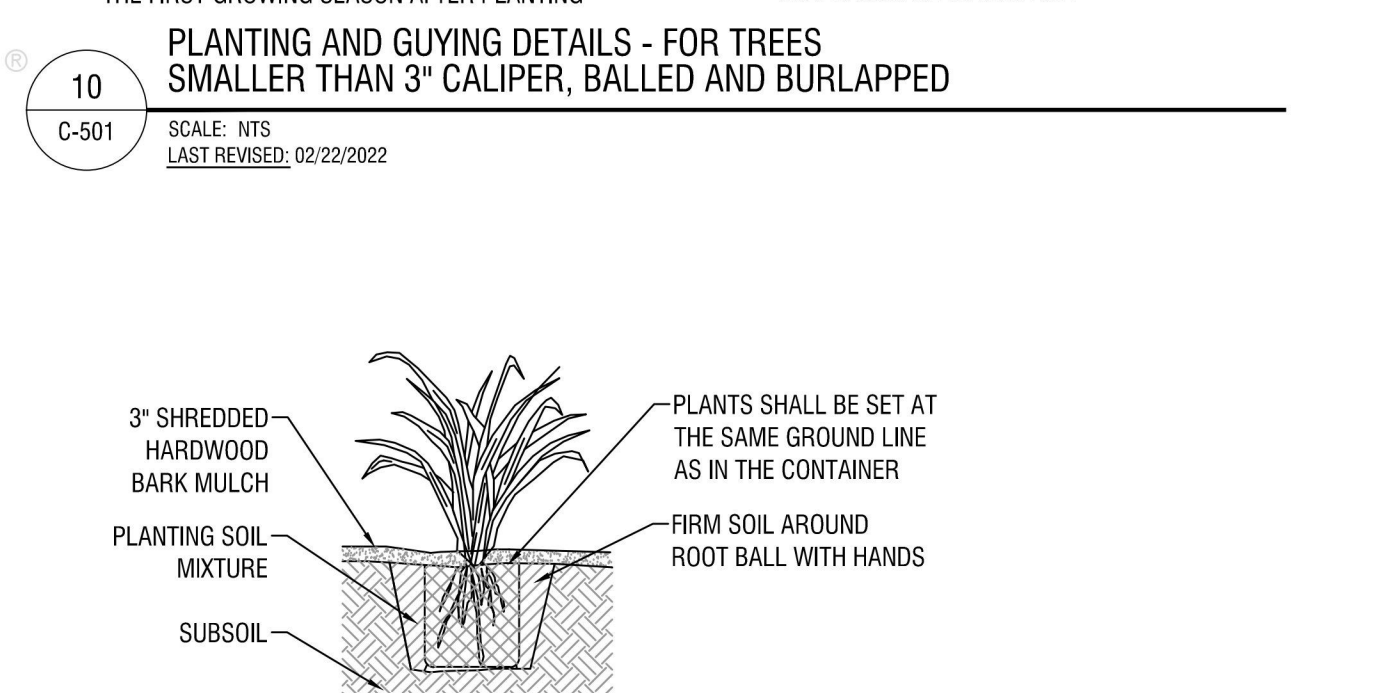
**SHRUB PLANTING DETAIL FOR ALL SHRUBS - BALLED AND BURLAPPED**

SCALE: N.T.S.  
LAST REVISED: 02/22/2022

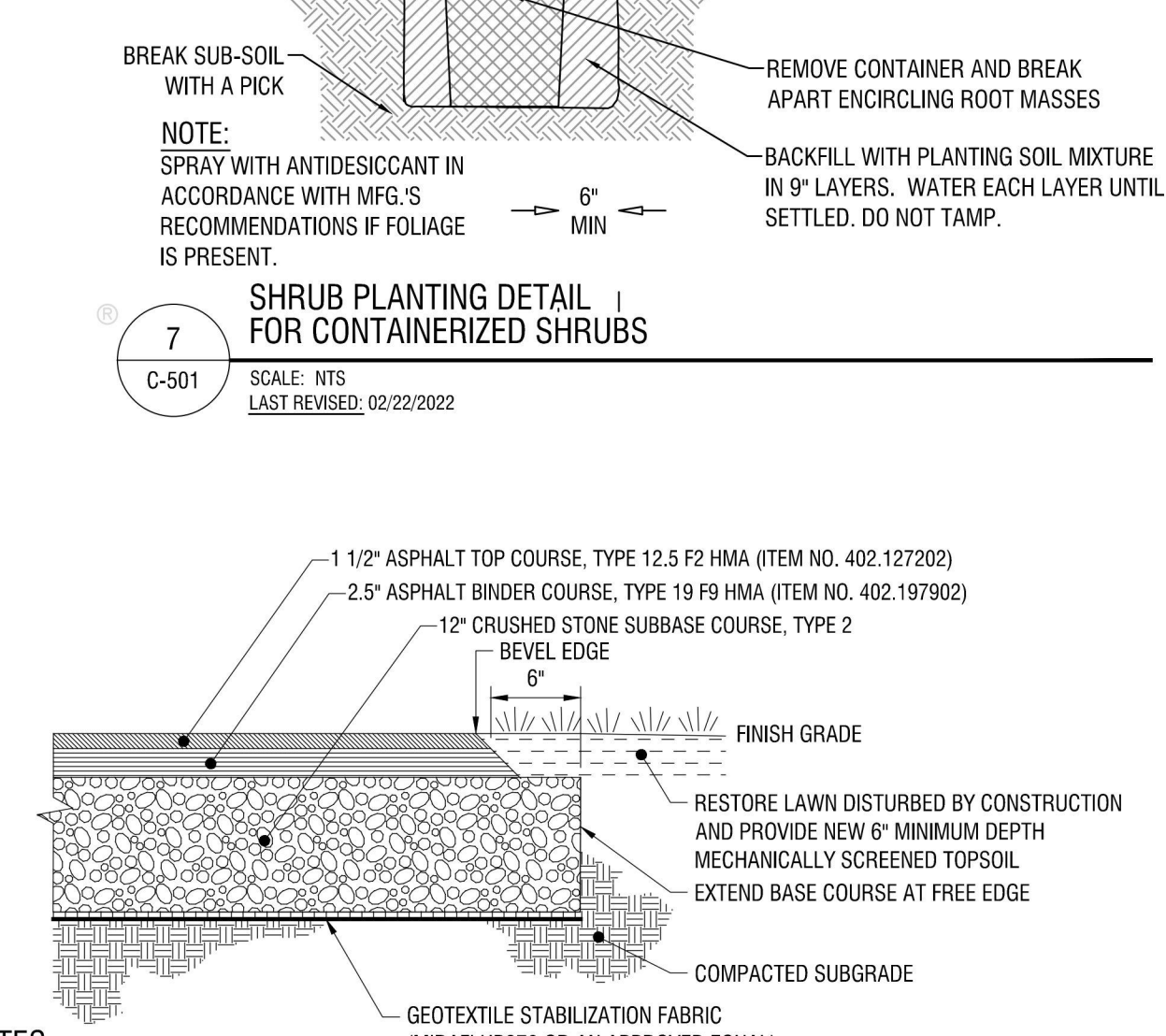


**SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS**

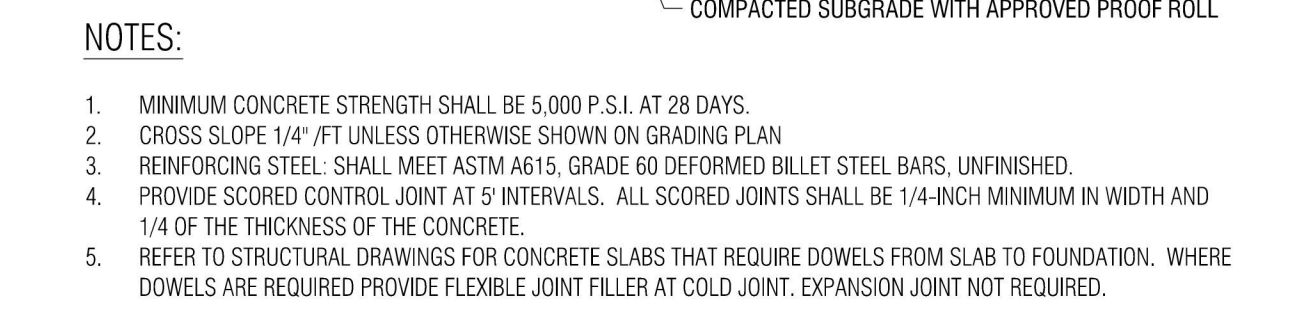
SCALE: N.T.S.  
LAST REVISED: 02/22/2022



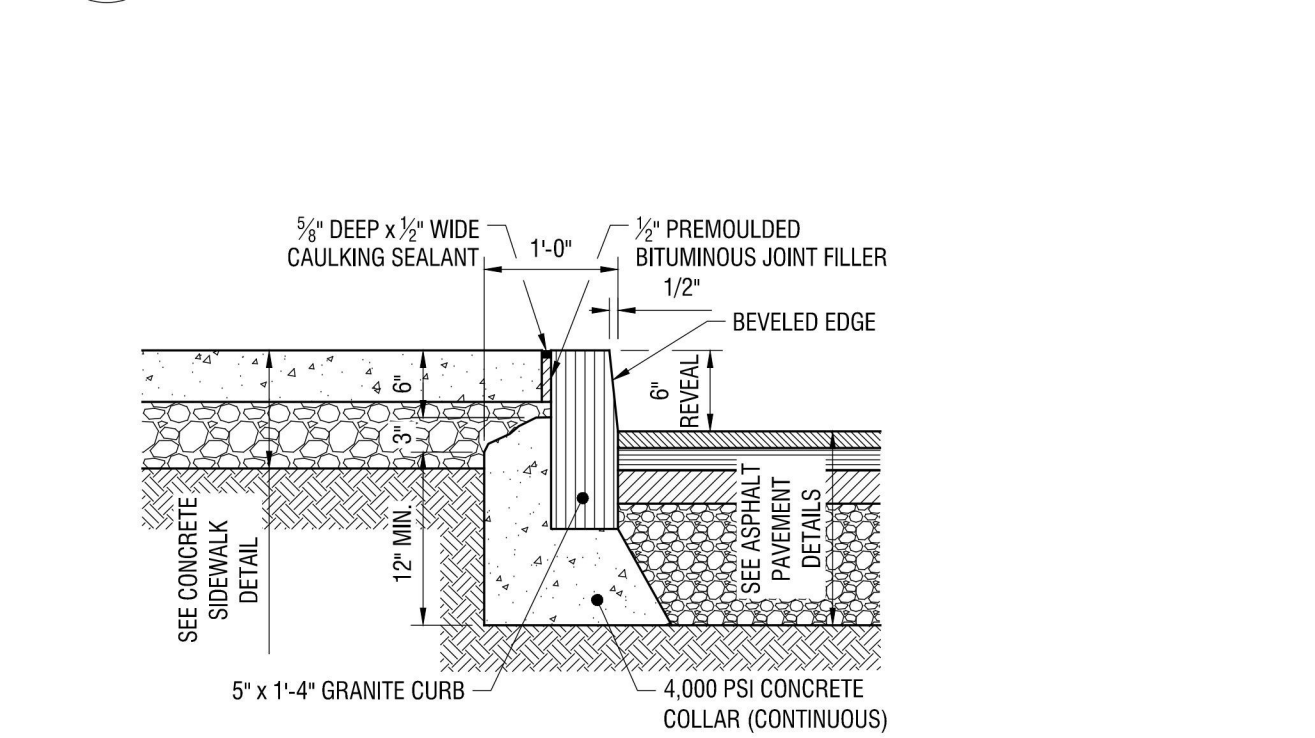
SCALE: N.T.S.  
LAST REVISED: 10/14/2025



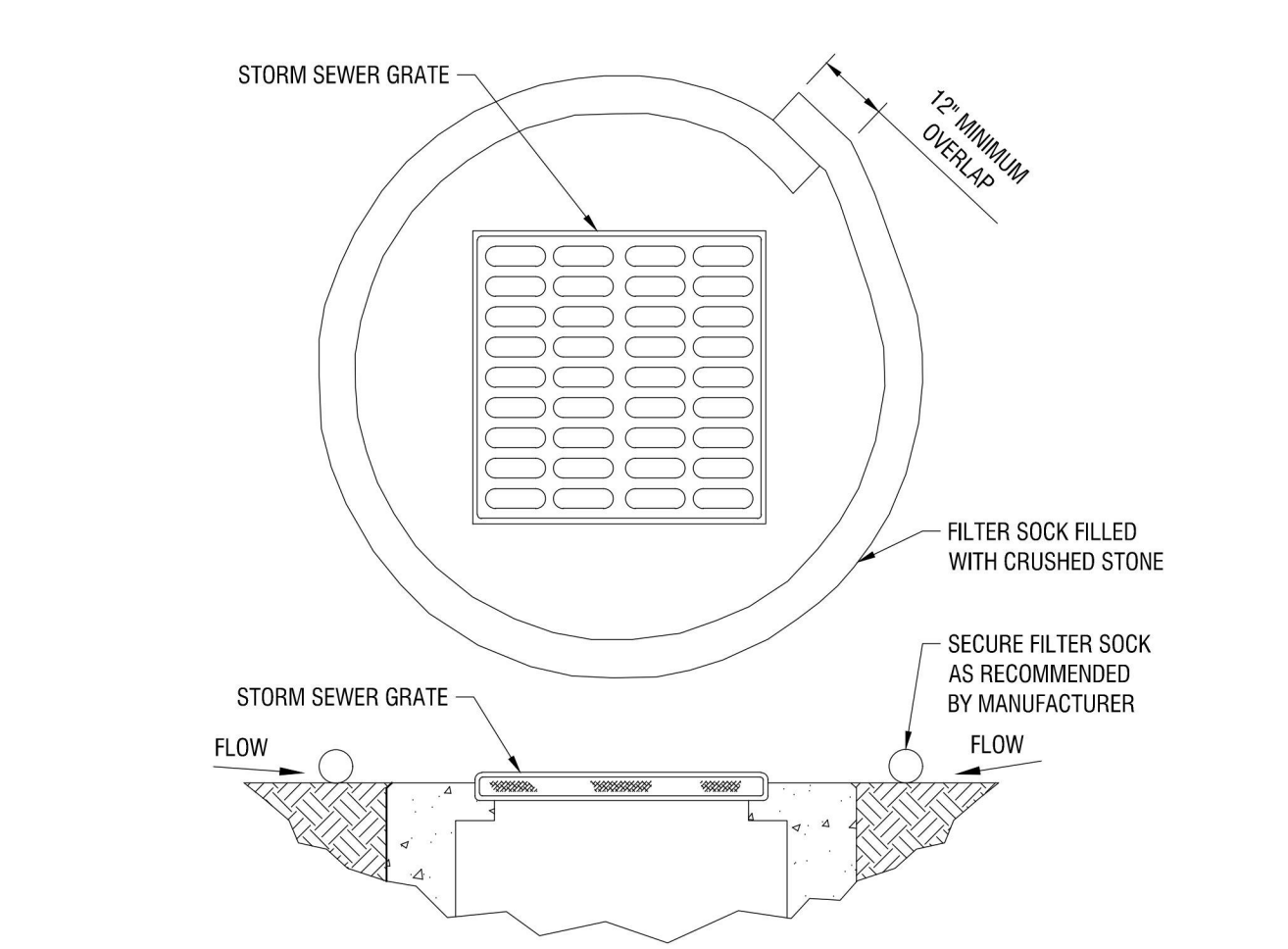
- NOTES:**
- PROVIDE ADDITIONAL SUBBASE MATERIAL WHERE FILL IS REQUIRED TO OBTAIN PROPER SUBGRADE ELEVATION, OR TO REPLACE UNSUITABLE SUBGRADE MATERIAL.



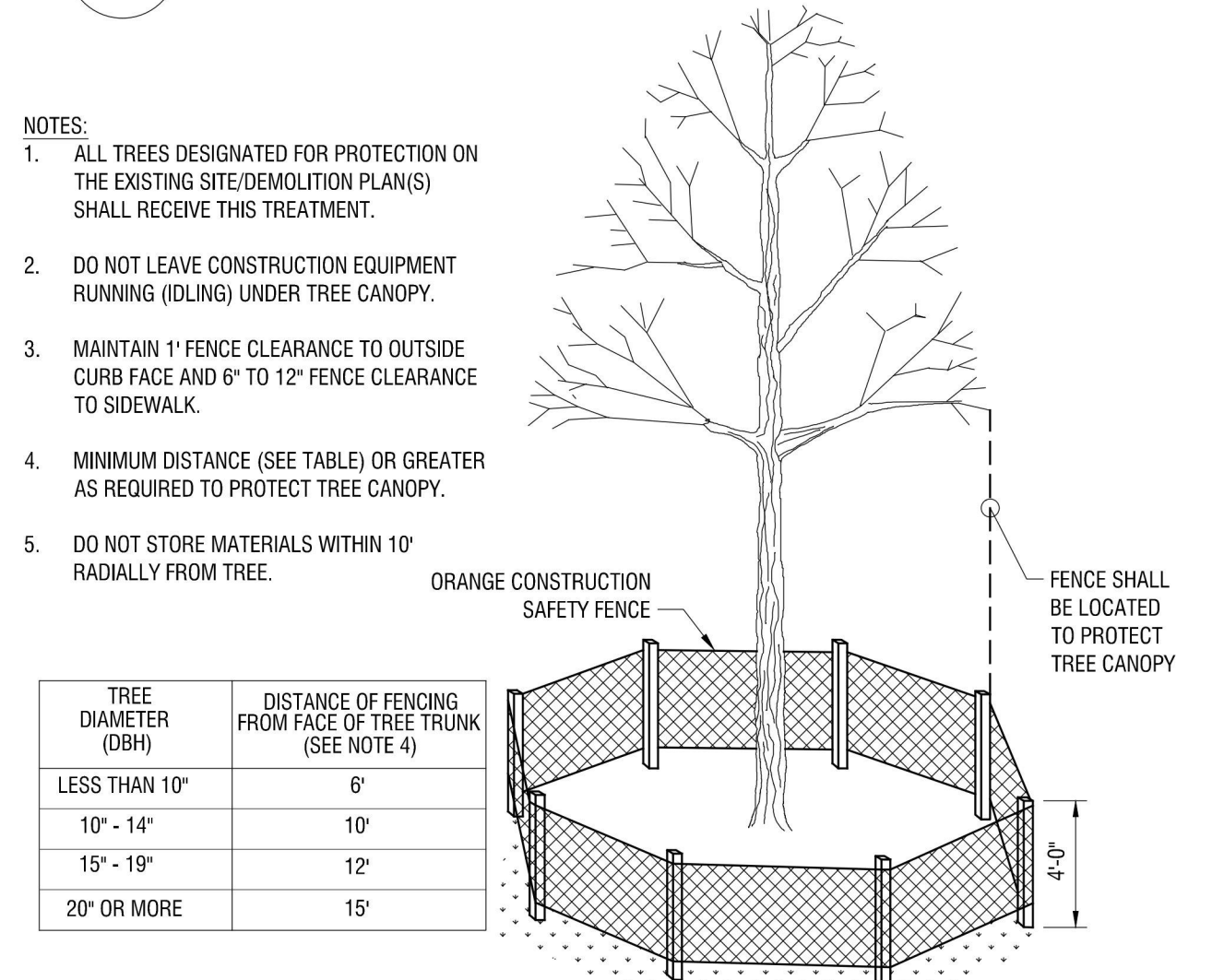
SCALE: N.T.S.



SCALE: N.T.S.



SCALE: N.T.S.



SCALE: N.T.S.

TREE DIAMETER (DBH)	DISTANCE OF FENCING FROM FACE OF TREE TRUNK (SEE NOTE 4)
LESS THAN 10"	6'
10" - 14"	10'
15" - 19"	12'
20" OR MORE	15'



EXP: 11/30/2026

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: **2221723**

DRAWN BY: **DAS**

REVIEWED BY: **KJW**

ISSUED FOR: **BID**

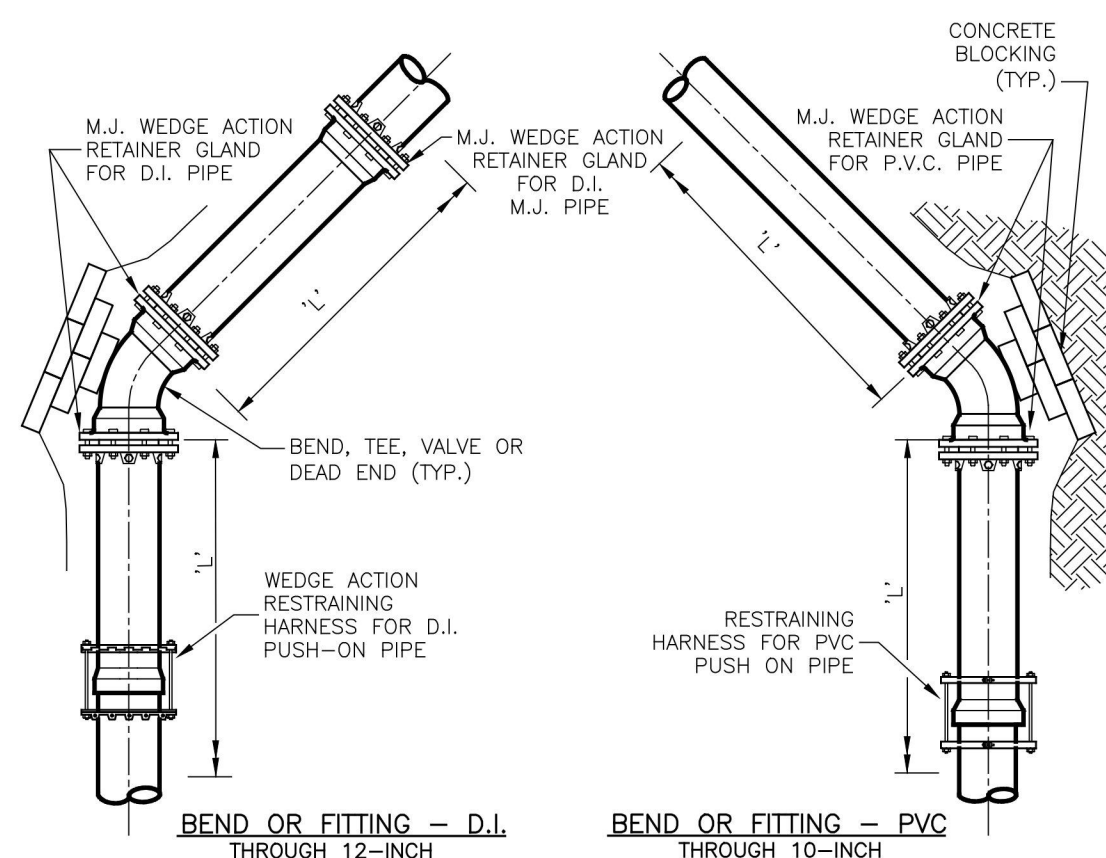
DATE: **APRIL 11, 2024**

DRAWING NAME:

**CONSTRUCTION DETAILS**

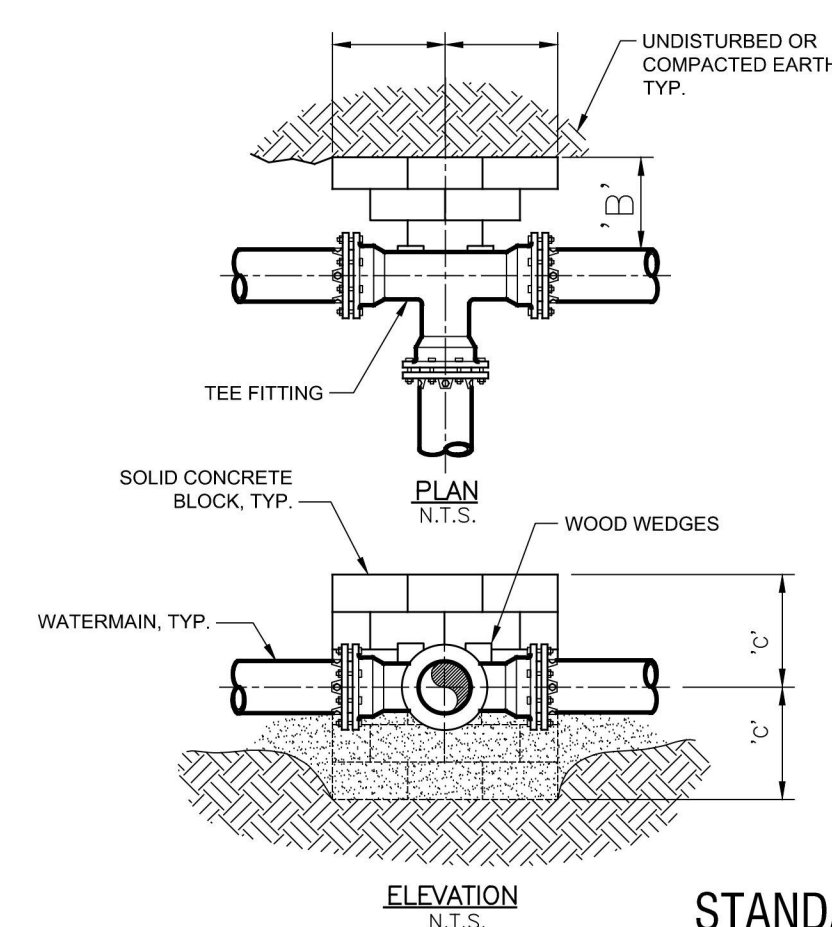
DRAWING NUMBER:

**C502**



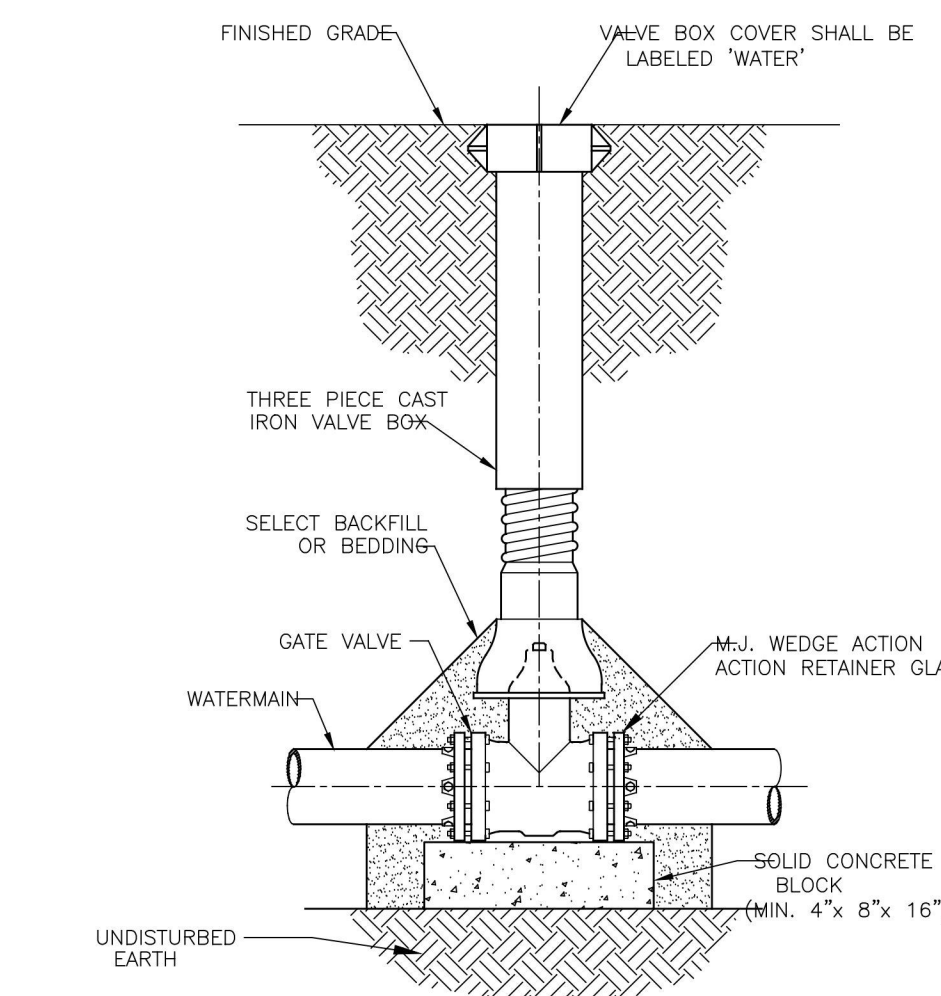
RESTRAINED JOINT SCHEDULE				
PIPE SIZE	PIPE TYPE	11.25' ELBOW 'L'	22.5' ELBOW 'L'	45' ELBOW 'L'
4"	DI	10'	20'	38'
6"	DI	12'	25'	50'
8"	DI	15'	30'	62'
12"	DI	18'	35'	75'
16"	DI	22'	45'	93'

NOTES:  
1. DIMENSION 'L' REPRESENTS THE LENGTH OF RESTRAINING PIPE REQUIRED IN FEET EACH SIDE OF THE PIPE FITTING.



NOTES:  
1. THRUST BLOCK REQUIRED FOR TEES, HYDRANT LATERAL TEES AND TAPPING SLEEVE INSTALLATIONS.  
2. FITTING TO BE POLYETHYLENE WRAPPED PRIOR TO BEDDING AND CONCRETE BLOCK.

BRANCH TEE SIZE	DIMENSION SCHEDULE		
	'A'	'B'	'C'
4"	0.5	0.5	0.5
6"	1.5	1.0	1.5
8"	2.0	1.5	2.0
12"	3.0	2.0	3.0

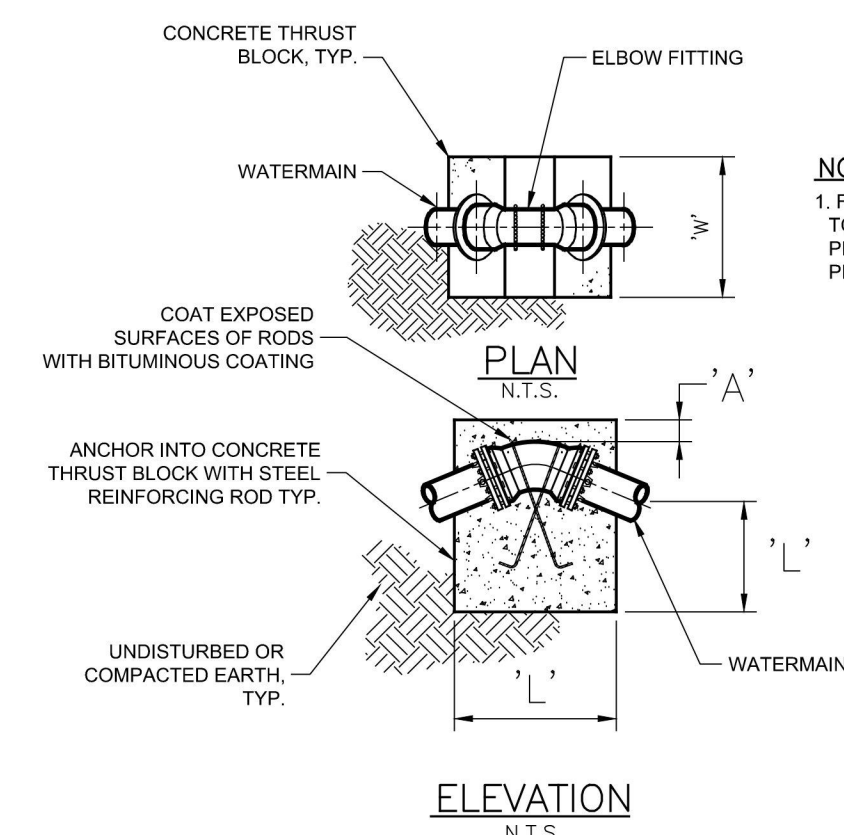
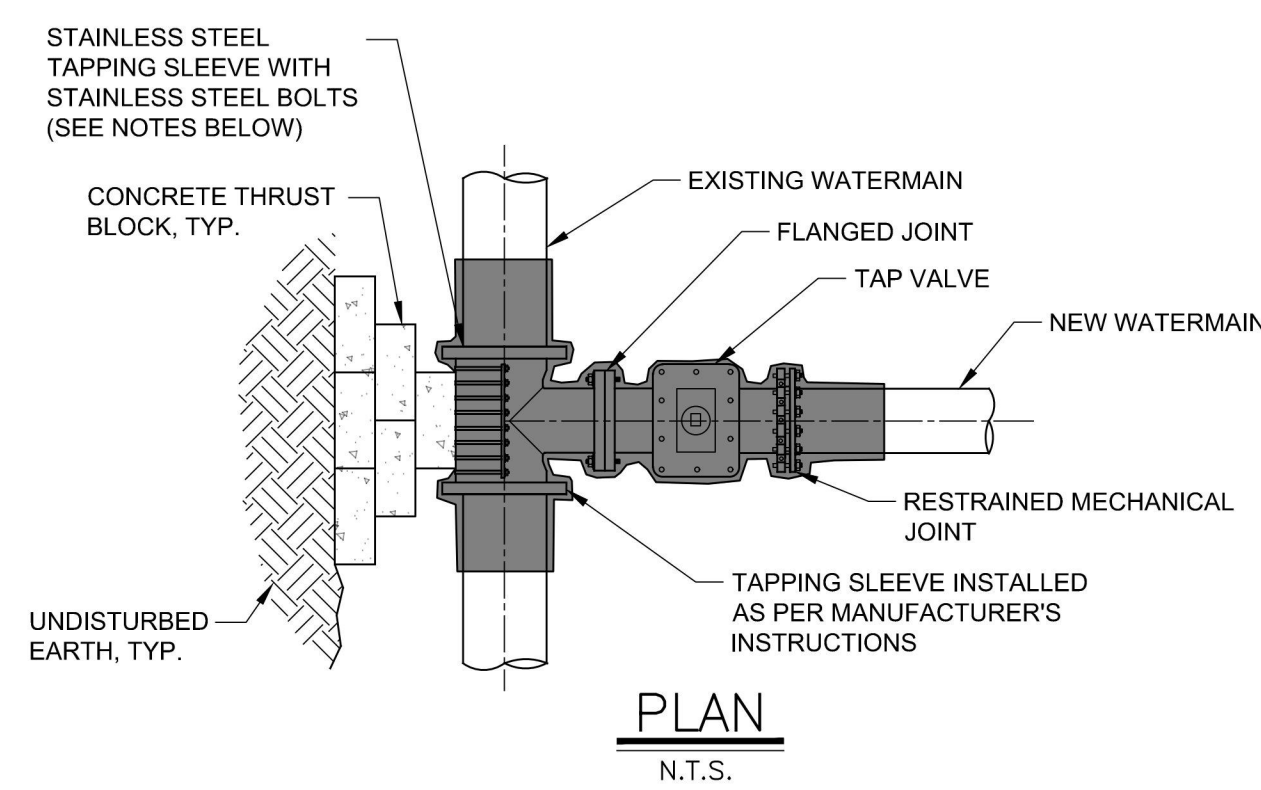


NOTES:  
1. VALVE SHALL NOT SUPPORT VALVE BOX.  
2. GATE VALVE SHALL BE INSTALLED LEVEL.  
3. VALVE BOX SHALL BE PLUMB TO GRADE, WITH OPERATING NUT CENTERED IN BOX.

10 STANDARD DETAIL RESTRAINED JOINT SCHEDULE  
C-502 N.T.S.

9 STANDARD DETAIL THRUST BLOCKS FOR TEE OR "DEAD END" FITTING  
C-502 N.T.S.

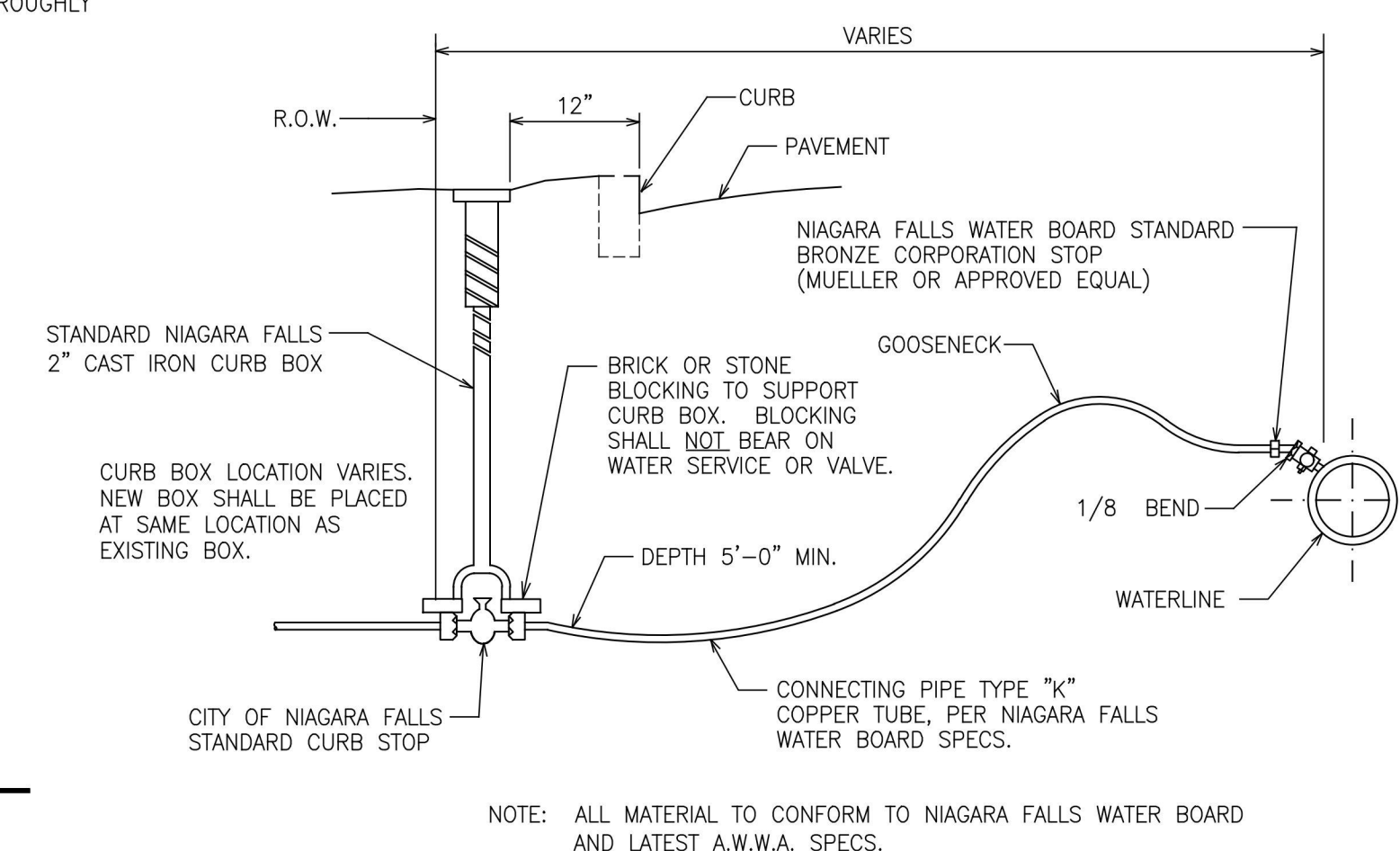
8 STANDARD DETAIL GATE VALVE SETTING  
C-502 N.T.S.



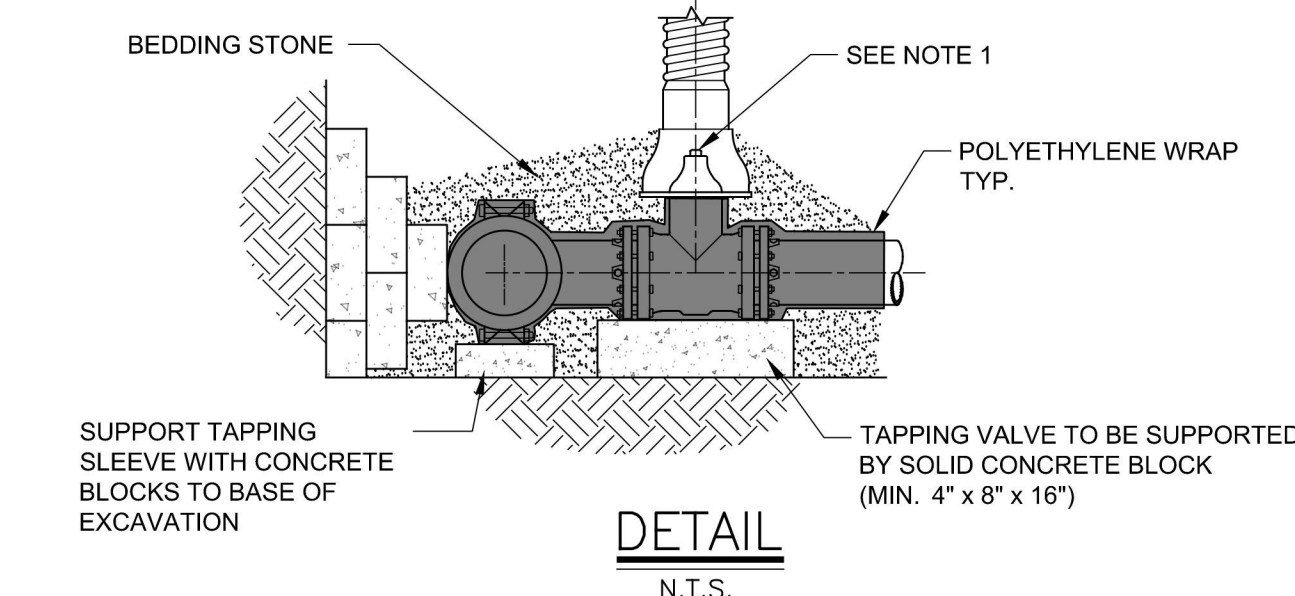
DIMENSION SCHEDULE											
PIPE SIZE	PIPE TYPE	11.25' ELBOW			22.5' ELBOW			45' ELBOW			
		'A'	'W'	'L'	'A'	'W'	'L'	'A'	'W'	'L'	
6"	DI	1.0'	3.0'	3.0'	3/8"	1.0'	3.0'	4.0'	1/2"	1.0'	4.0'
8"	DI	1.0'	3.0'	4.0'	1/2"	1.0'	3.5'	5.0'	3/4"	1.5	4.0'
12"	DI	1.0'	4.5'	5.0'	3/4"	1.0'	5.5'	6.0'	1"	1.5'	6.75'

7 STANDARD DETAIL THRUST BLOCKS FOR VERTICAL BEND  
C-502 N.T.S.

5 TRENCH DETAIL IN LAWN OR DRIVEWAY  
C-502 N.T.S.

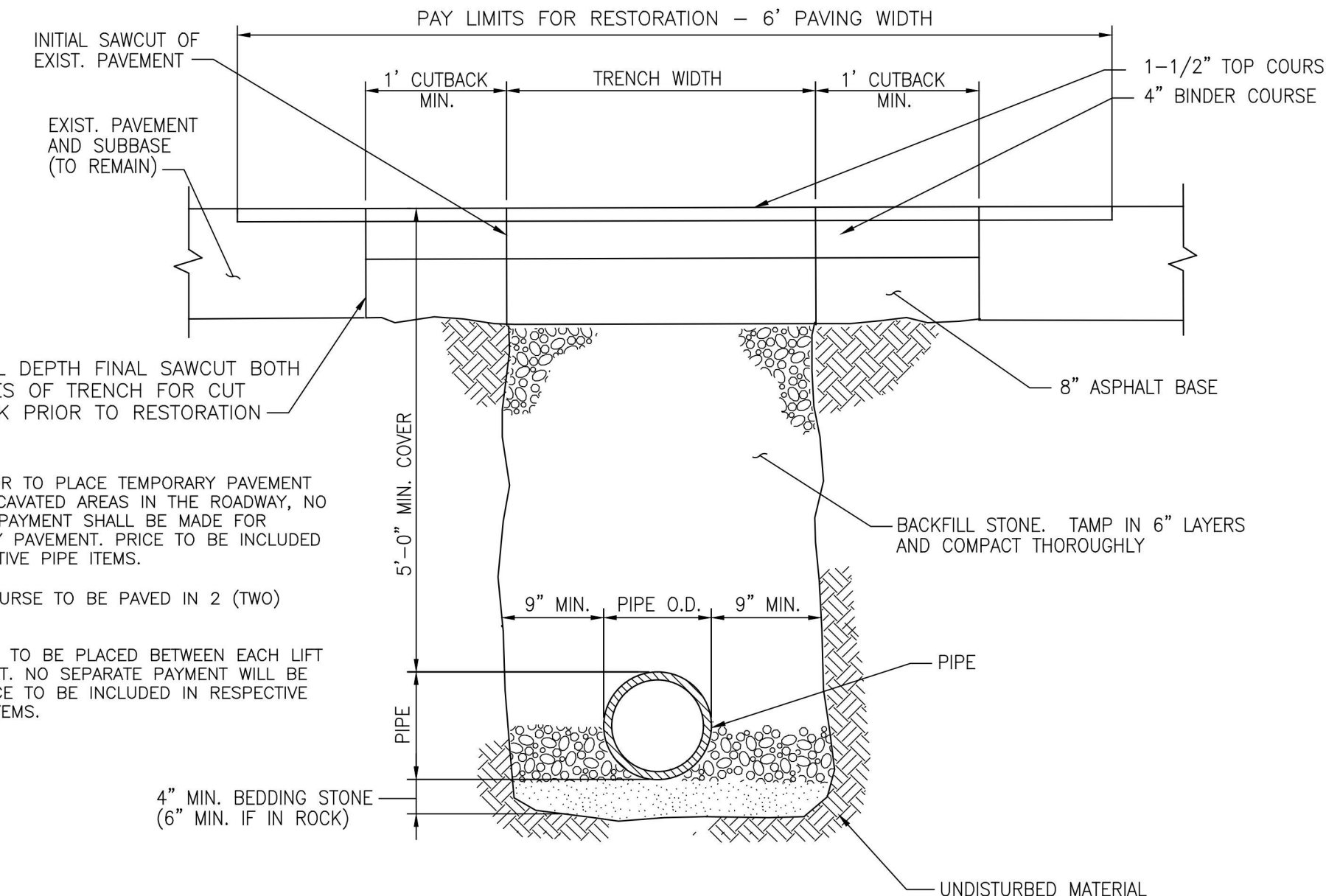


4 DOMESTIC WATER SERVICE LINE INSTALLATION  
C-502 N.T.S.



NOTES:  
1. POLYETHYLENE WRAP IS TO BE PLACED AROUND THE ENTIRE FITTING, AND SECURED IN PLACE WITH POLYETHYLENE TAPE. PROVIDE SUFFICIENT SLACK SO THAT POLYETHYLENE WRAP IS NOT PUNCTURED DURING BACKFILL AND DOES NOT ENTRAP AIR. POLYETHYLENE WRAP IS NOT TO BE INSTALLED WITHIN 6 INCHES OF VALVE OPERATING NUT.  
2. ASSEMBLY TO BE POLYETHYLENE WRAPPED PRIOR TO BEDDING AND CONCRETE BLOCK PLACEMENT.  
3. POLYETHYLENE WRAP IS TO BE EXTENDED A MINIMUM OF 12" PAST THE FITTING ON EACH LEG AND SECURED TO THE PIPE (OR POLYWRAP IF DIP) WITH AT LEAST TWO CIRCUMFERENTIAL WRAPS OF POLYETHYLENE TAPE.  
4. TAPPING SLEEVE SHALL BE CONSTRUCTED OF 304 STAINLESS STEEL MUELLER TAPPING SLEEVE WITH STAINLESS STEEL BOLTS OR APPROVED EQUAL.

6 TAPPING SLEEVE AND VALVE  
C-502 N.T.S.

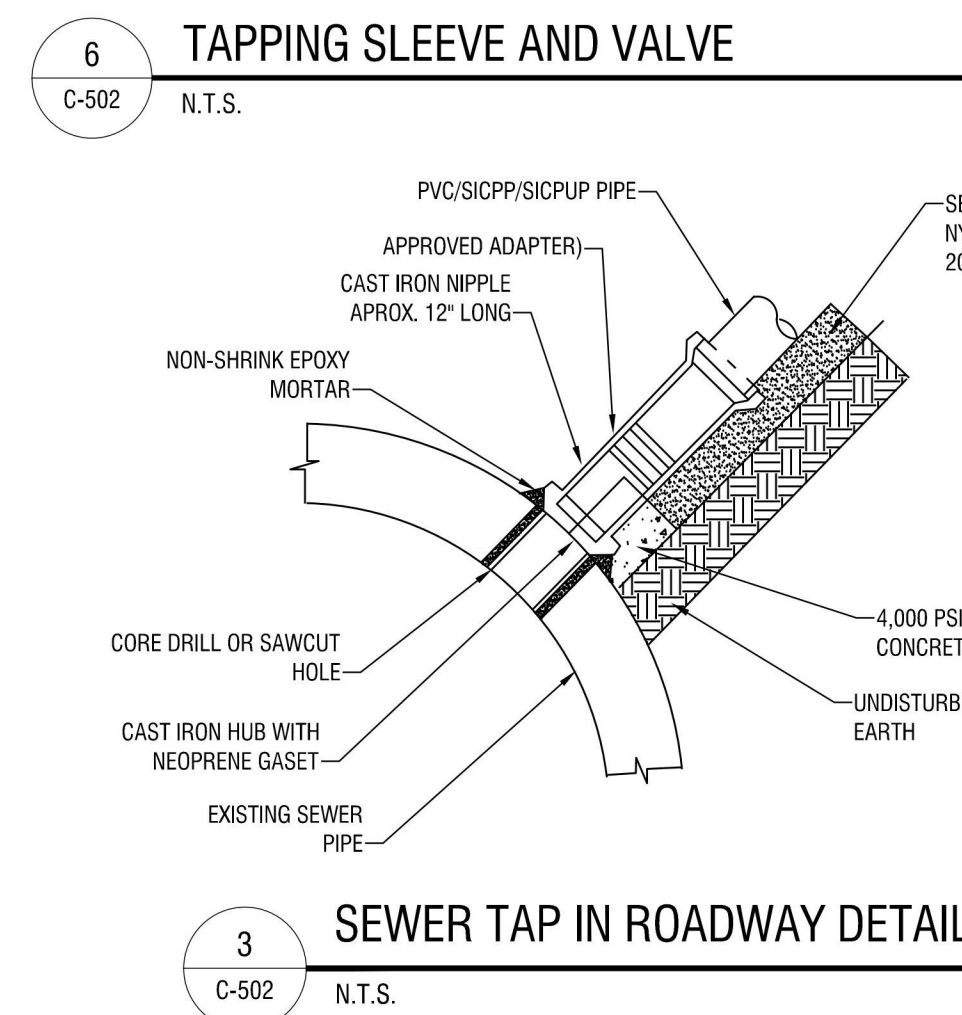


2 TRENCH DETAIL IN ROADWAY  
C-502 N.T.S.

NOTES:  
1. CONTRACTOR TO PLACE TEMPORARY PAVEMENT AT ALL EXCAVATED AREAS IN THE ROADWAY, NO SEPARATE PAYMENT SHALL BE MADE FOR TEMPORARY PAVEMENT. PRICE TO BE INCLUDED IN RESPECTIVE PIPE ITEMS.  
2. BINDER COURSE TO BE PAVED IN 2 (TWO) LIFTS.  
3. TACK COAT TO BE PLACED BETWEEN EACH LIFT OF ASPHALT. NO SEPARATE PAYMENT WILL BE MADE. PRICE TO BE INCLUDED IN RESPECTIVE ASPHALT ITEMS.

1 TYPICAL BLDG SERVICE LINE REPLACEMENT DETAIL  
C-502 N.T.S.

NOTES:  
1. BALL VALVE MATCHING NOMINAL DIAMETER OF SERVICE PIPE SHALL BE INSTALLED INSIDE EACH RESIDENCE. IF METER IS PRESENT, BALL VALVE SHALL BE INSTALLED BEFORE METER CONNECTION. IF NO METER IS PRESENT, CALL VALVE SHALL BE INSTALLED PRIOR TO RE-CONNECTION EXISTING SERVICE PIPE.



3 SEWER TAP IN ROADWAY DETAIL  
C-502 N.T.S.





CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 016281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: EMM

REVIEWED BY: DGB

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**HAZARDOUS MATERIAL ABATEMENT  
LOWER LEVEL AND ROOF PLAN**

DRAWING NUMBER:

**HM-101**

**ASBESTOS GENERAL NOTES:**

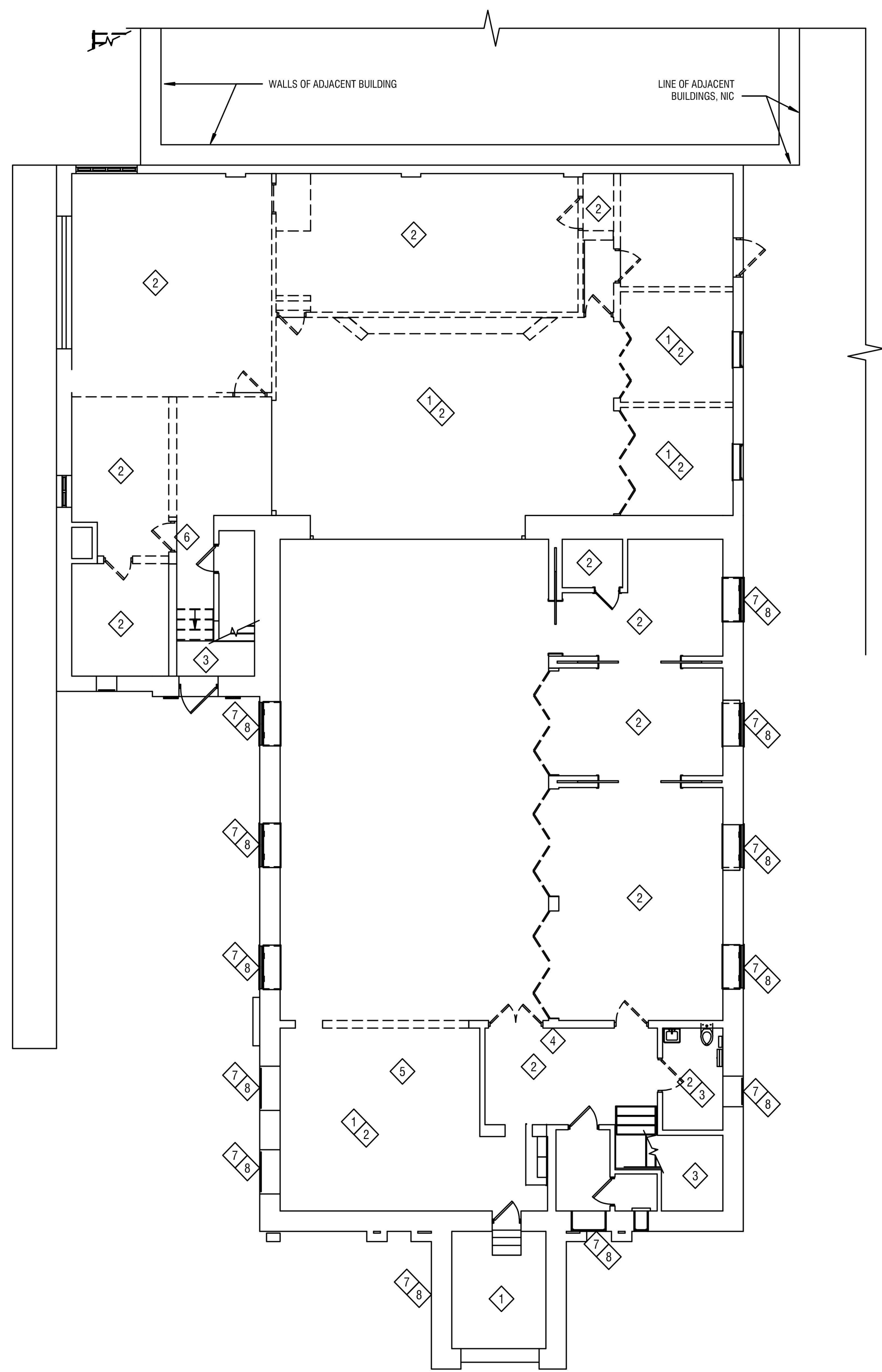
- ALL ASBESTOS ABATEMENT WORK TO BE DONE UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH CODE RULE 56 OF NEW YORK STATE RULES AND REGULATIONS, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- IN LIEU OF THE ABOVE REFERENCED REQUIREMENTS, THE CONTRACTOR MAY APPLY FOR A SITE-SPECIFIC VARIANCE. TO UTILIZE A SITE-SPECIFIC VARIANCE THE CONTRACTOR SHALL MEET ALL CONDITIONS OF THE VARIANCE, AS STATED BY THE NYS DEPARTMENT OF LABOR. ALL COSTS ASSOCIATED WITH THE APPLICATION OF SITE-SPECIFIC VARIANCES SHALL BE BORNE BY THE CONTRACTOR. ALL PROPOSED SITE-SPECIFIC VARIANCES SHALL BE REVIEWED BY THE CONSULTANT PRIOR TO SUBMITTAL TO THE NYS DOL.
- THE DISTURBANCE OF ANY ASBESTOS-CONTAINING MATERIAL, OR SUSPECT MATERIAL, SHALL BE PERFORMED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ALL TOOLS, EQUIPMENT, AND SUPPLIES. THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT BE LIABLE FOR THEFT OR DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK AREA IN A CLEAN AND SAFE CONDITION. CONTRACTOR SHALL ENSURE THAT UNAUTHORIZED PERSONNEL OR UNAUTHORIZED VISITORS DO NOT ENTER ACTIVE WORK AREAS AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION TO KEEP THE BUILDING IN A WATERTIGHT CONDITION AND TO PREVENT UNAUTHORIZED ACCESS AT ALL TIMES DURING THE DURATION OF THE PROJECT. REPAIR OR DAMAGE CAUSED AS A RESULT OF IMPROPER TEMPORARY PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LOCATION OF ANY SITE STORAGE OF MATERIAL, EQUIPMENT, AND WASTE TRAILER/DUMPSTER SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE OWNER SHALL BE RESPONSIBLE FOR HIRING AND PAYING AN INDEPENDENT THIRD PARTY FIRM TO PERFORM ALL OF THE REQUIREMENTS OF MONITORING AS CALLED FOR IN CODE RULE 56.
- MARKED AREAS DEPICTING WORK AREAS ARE APPROXIMATE ONLY. EXACT CUTOFF POINTS SHALL BE COORDINATED BY THE CONTRACTOR WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCESS AND ABATE MATERIALS SCHEDULED FOR REMOVAL.
- IF ADDITIONAL SUSPECT ACM IS DISCOVERED DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE CONSULTANT IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR COLLECT AND/OR ANALYZE BULK SAMPLES OF SUSPECT MATERIALS WITHOUT THE APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE CURRENT WASTE HANDLING, TRANSPORTATION AND DISPOSAL REGULATIONS FOR THE WORK. THE CONTRACTOR MUST DISPOSE OF ALL ASBESTOS MATERIALS REMOVED AND COMPLY FULLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON FIELD OBSERVATIONS AND ARE NOT GUARANTEED TO BE COMPLETE AND ACCURATE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID. CONSEQUENCES OF FAILURE TO FIELD VERIFY CONDITIONS SHALL BE BORNE BY THE CONTRACTOR. MORE INFORMATION ON THE ASBESTOS CONTAINING MATERIALS ASSOCIATED WITH THIS PROJECT CAN BE FOUND IN THE PRE-RENOVATION ENVIRONMENTAL INSPECTION REPORT ENCLOSED WITHIN THE PROJECT SPEC.

**ASBESTOS REMOVAL NOTES:**

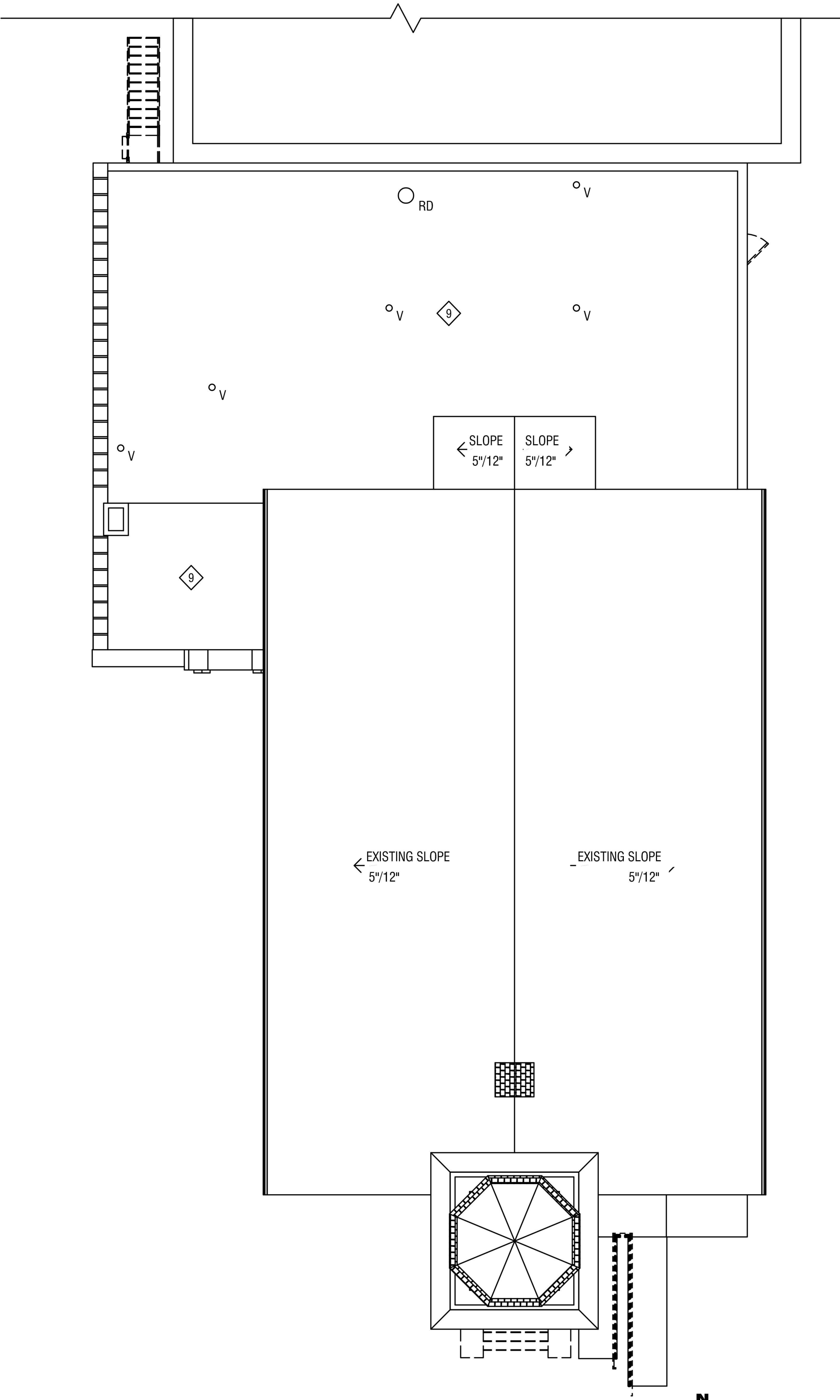
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING FLOOR TILE IN ITS ENTIRETY. THE ABATEMENT CONTRACTOR SHALL REMOVE ANY FLOORING MATERIALS INCLUDING BUT NOT LIMITED TO CERAMICS, CARPETING, UNDERLAYMENT AND / OR WOOD FLOORING AS NECESSARY TO ENSURE COMPLETE REMOVAL. THE FLOOR TILE MASTIC WAS PROVEN NEGATIVE BY TEM ANALYSIS.
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING PIPE INSULATION AND FITTING ELBOW INSULATION. THE ABATEMENT CONTRACTOR SHALL PERFORM ALL DEMOLITION NECESSARY TO ACCESS AND ENSURE COMPLETE REMOVAL. THE ABATEMENT CONTRACTOR SHALL TRACE THE PIPE FROM POINT OF ORIGINATION TO TERMINATION AND REMOVE INSULATION COMPLETE.
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING LINOLEUM AND ASSOCIATED MASTIC IN ITS ENTIRETY. MULTIPLE LAYERS OF FLOORING EXIST. THE ABATEMENT CONTRACTOR SHALL REMOVE ANY UNDERLAYMENT AS NECESSARY TO ENSURE COMPLETE REMOVAL.
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING HEAT SHIELD / INSULATION PAPER FROM THE ELECTRICAL BOX.
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING STAINLESS STEEL SINK INSULATION IN ITS ENTIRETY.
- REMOVE FROM THE AREAS INDICATED. ASBESTOS CONTAINING DOOR IN ITS ENTIRETY.
- REMOVE FROM THE AREAS INDICATED. ASBESTOS CONTAINING EXTERIOR WINDOW GLAZING COMPOUND IN ITS ENTIRETY.
- REMOVE FROM THE AREAS INDICATED. ASBESTOS CONTAINING EXTERIOR WINDOW CAULK IN ITS ENTIRETY.
- REMOVE FROM THE AREAS INDICATED. ALL ASBESTOS CONTAINING ROOF FIELD FELTS, FLASHING FELTS AND TAR / CEMENT AS NECESSARY TO FACILITATE ROOF REMOVAL AND DEMOLITION.

**LEAD AWARENESS NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH OSHA 29 CFR 1926.62. LEAD EXPOSURE IN CONSTRUCTION: INTERIM FINAL RULE FOR ALL ACTIVITIES DURING WHICH AN EMPLOYEE MAY BE OCCUPATIONALLY EXPOSED TO LEAD. SEE SPECIFICATION SECTION 020810 - PROTECTION OF WORKERS - LEAD CONTAINING MATERIALS FOR ADDITIONAL INFORMATION. COMPONENTS THAT WERE IDENTIFIED AS LEAD-BASED PAINT OR LEAD CONTAINING AND WILL BE IMPACTED BY THE RENOVATION PROJECT ARE AS FOLLOWS:
  - o White Interior/Exterior Window Components
  - o White Metal Radiators
  - o White and Varnish Coated Wood Wainscoting
  - o Yellow, Green, White Plaster Walls/Ceilings
  - o Brown Metal Columns
  - o Varnish Coating Columns
  - o Door Casings
  - o Yellow Block Walls
  - o Varnish Coated Wood Door and Door Components
- THE CONTRACTOR IS RESPONSIBLE FOR PROPER HANDLING AND DISPOSAL OF LEAD-CONTAINING WASTES. SEE SPECIFICATION SECTION 020810 FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THEIR EMPLOYEES AND SUBCONTRACTORS OF THE PRESENCE AND LOCATIONS OF LEAD-CONTAINING MATERIALS, AND TO WARN THEIR EMPLOYEES AND SUBCONTRACTORS OF THE POTENTIAL DANGERS OF THE DISTURBANCE OF LEAD-CONTAINING MATERIALS.
- CONTRACTORS ARE HEREBY NOTIFIED THAT SOME LEAD-CONTAINING MATERIALS HAVE BEEN IDENTIFIED AND MAY BE DISTURBED DURING COMPLETION OF THE WORK ON THIS PROJECT. INFORMATION ON LEAD-CONTAINING MATERIALS IS INCLUDED IN THE PRE-RENOVATION REGULATED BUILDING MATERIALS REPORT BOUND IN THE PROJECT MANUAL.



**1 LOWER LEVEL PLAN**  
HM101 1/8" = 1'-0"



**2 ROOF PLAN**  
HM101 1/8" = 1'-0"



300 Pearl Street, Suite 130 Buffalo, NY 14202 716-551-6281 labellapc.com



EXP: 03/31/2025

CERTIFICATE OF AUTHORIZATION NUMBER: PROFESSIONAL ENGINEERING: 018281 LAND SURVEYING: 017976 GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way...

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EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



EDA PROJECT No. 135,035

ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING 822 CLEVELAND AVENUE NIAGARA FALLS, NEW YORK 14305

Table with columns: NO., DATE, DESCRIPTION. Revisions.

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

SPECIAL INSPECTIONS

DRAWING NUMBER:

S002

STATEMENT OF SPECIAL INSPECTIONS. Includes sections for LOCATION, OWNER, DESIGN PROFESSIONAL IN CHARGE, SCHEDULE OF INSPECTION AND TESTING AGENCIES, STATEMENT OF CONTRACTORS RESPONSIBILITY, QUALIFICATIONS OF INSPECTORS AND TESTING TECHNICIANS, REFERENCES, and a list of applicable codes/standards.

COLD-FORMED STEEL DECKING - REQUIREMENTS FOR SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. OBSERVE SHALL MEAN TO INSPECT THESE ITEMS ON AN INTERMITTENT BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS...

WOOD CONSTRUCTION - REQUIREMENTS FOR SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. OBSERVE SHALL MEAN TO INSPECT THESE ITEMS ON AN INTERMITTENT BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS...

STEEL CONSTRUCTION - REQUIREMENTS FOR SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. OBSERVE SHALL MEAN TO INSPECT THESE ITEMS ON AN INTERMITTENT BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS...

MASONRY CONSTRUCTION - REQUIREMENTS FOR LEVEL B SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. REQUIRED FOR THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY. 2. REQUIRED AFTER THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY.

EARTHWORK - REQUIREMENTS FOR SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. OBSERVE SHALL MEAN TO INSPECT THESE ITEMS ON AN INTERMITTENT BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS...

MASONRY CONSTRUCTION - REQUIREMENTS FOR LEVEL B SPECIAL INSPECTION & TESTING. Table with columns: AREAS OF INSPECTION & TESTING, FREQUENCY OF INSPECTION OR TESTING, REFERENCE STANDARD, IBC REFERENCE.

NOTES: 1. REQUIRED FOR THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY. 2. REQUIRED AFTER THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY.

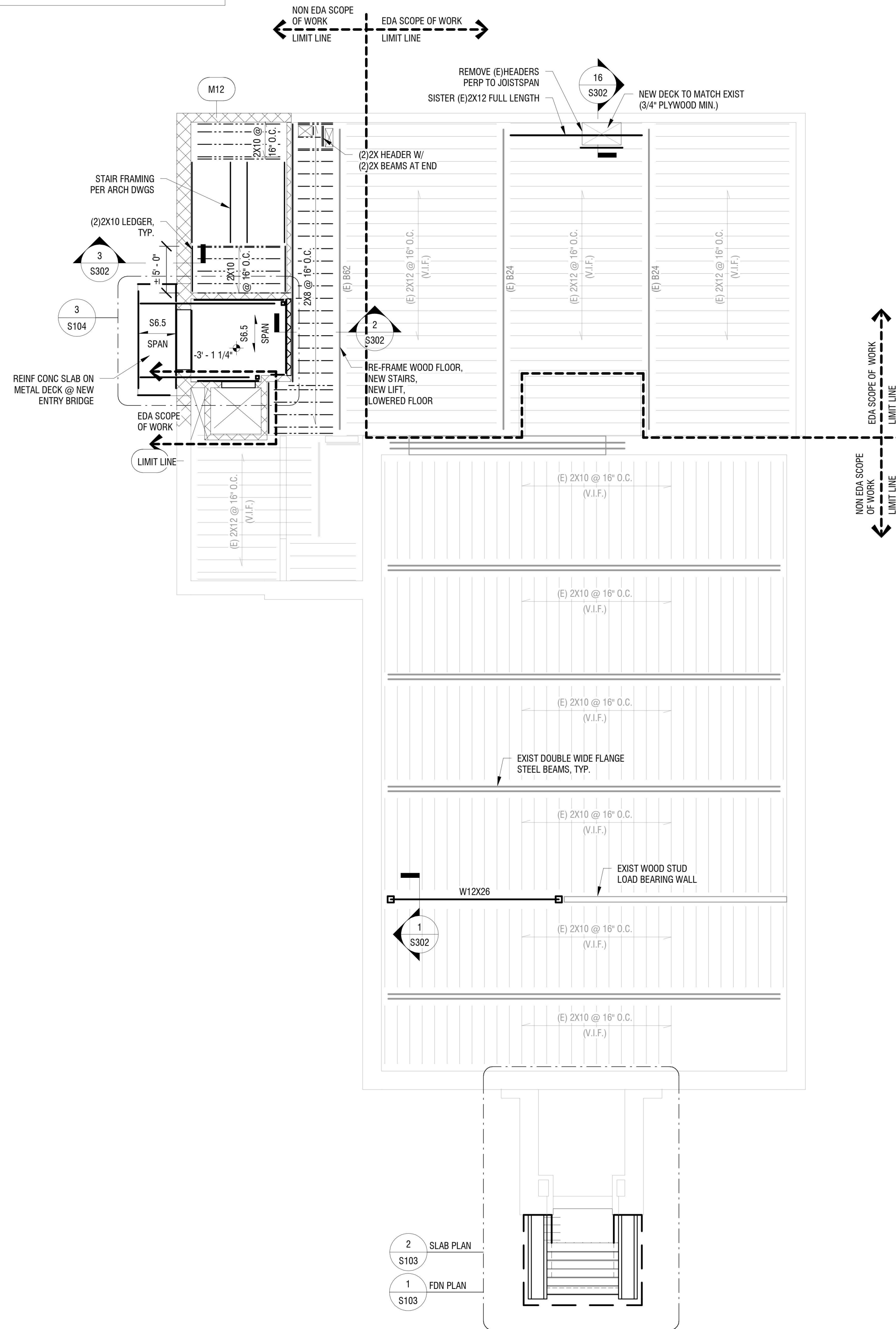




FRAMING LEGEND		
1.		ELEVATED SLAB: ARROWS INDICATE SPAN DIRECTION # = SLAB MARK (SEE ELEVATED SLAB SCHEDULE)
2.		ROOF DECK: ARROWS INDICATE SPAN DIRECTION # = DECK MARK (SEE ROOF DECK SCHEDULE)
3.		WALL MARK: SEE WALL SCHEDULE

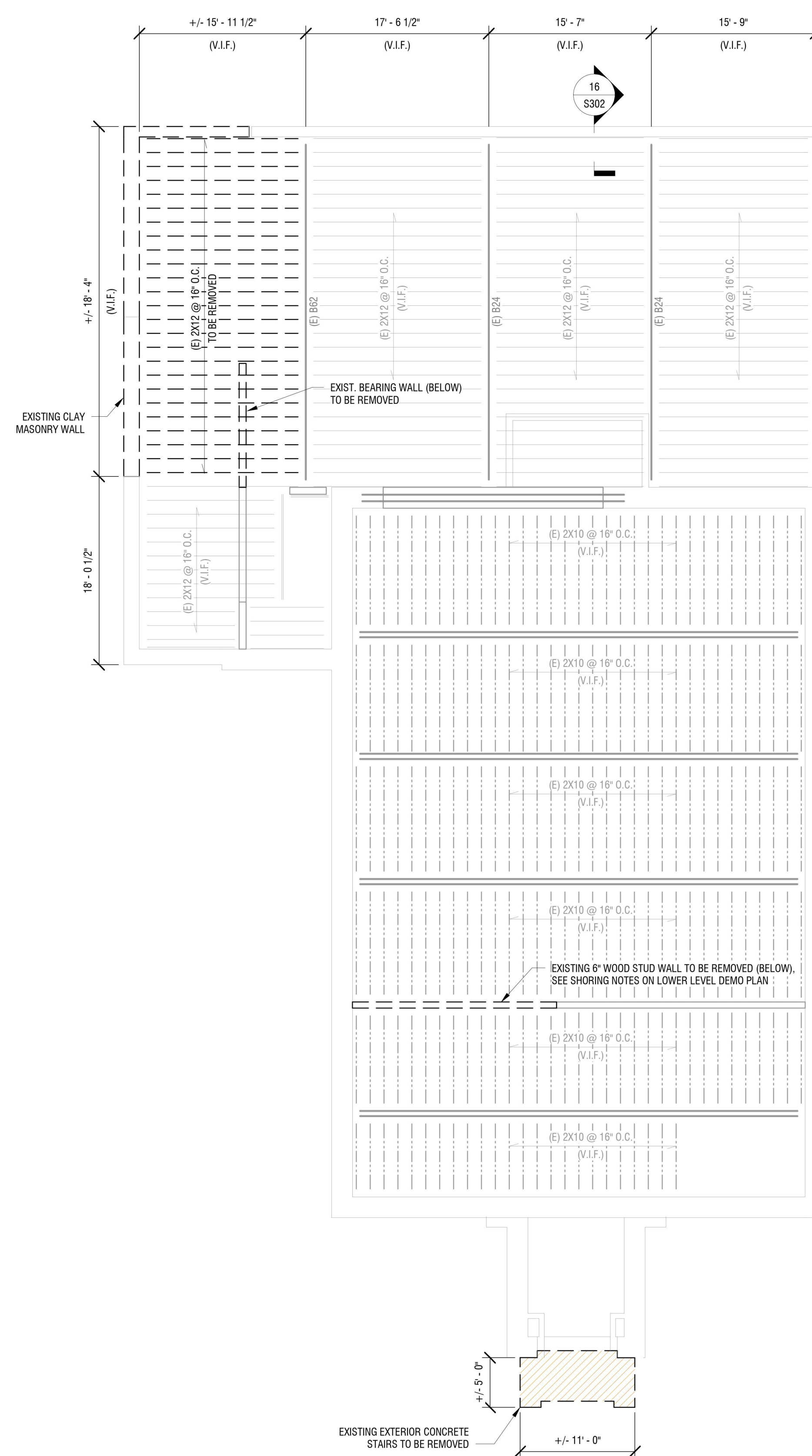
MASONRY WALL SCHEDULE						
MARK	TYPE	THICKNESS	WALL REINFORCEMENT			COMMENTS
			HORIZONTAL	VERTICAL	BOND BEAM REINF. & SPACING	
M6	6" CMU	5 5/8"	PER NOTES ON S001	#5 @ 32" O.C.	(1)#5	
M8	8" CMU	7 5/8"	PER NOTES ON S001	#5 @ 32" O.C.	(2)#5	
M12	12" CMU	11 5/8"	PER NOTES ON S001	#5 @ 32" O.C.	(2)#5	
M18	8" CMU + 10" CMU	1'-6"	PER NOTES ON S001	10" - #5 @ 24" O.C. 8" - #5 @ 48" O.C.	(2)#5	TIE WYTHES (SEE SPEC), 8" CMU @ EXTERIOR SIDE

ELEVATED FLOOR SCHEDULE								
MARK	TYPE	MODEL	GAGE	SLAB REINFORCEMENT	WELDED FASTENER PATTERN		P.A.F. FASTENER PATTERN	
					SUPPORT PATTERN	SIDLAP PATTERN	SUPPORT PATTERN	SIDLAP PATTERN
S6.5	3-1/2" N.W. CONCRETE ON 3" COMPOSITE STEEL DECK, TOTAL THICKNESS = 6-1/2"	VULCRAFT 3VLJ-36	18	6X6-W2.9-W2.9 WWF	5/8"Ø PUDDLE WELDS @ 36/4 PATTERN	#10 SCREWS @ 18" O.C.	HILTI X-ENP-19 @ 36/4 PATTERN	HILTI S-SLX 01 @ 18" MAX



**2 MAIN LEVEL FRAMING PLAN**  
1/8" = 1'-0"

- ELEVATED FLOOR PLAN NOTES:**
- TOP OF FRAMING ELEVATIONS SHALL BE (0' - 2") BELOW FIRST FLOOR DATUM ELEVATION (DATUM ELEV. 0' - 2"). DEVIATIONS FROM THIS ELEVATION ARE NOTED ON PLAN.
  - SEE M.E.P. DRAWINGS FOR THE BALANCE OF ALL EQUIPMENT, FLOOR PENETRATIONS, ETC. REQUIRED AT THIS LEVEL.
  - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.
  - DO NOT PLACE CONTROL JOINTS IN SLABS ON METAL DECK.



**1 MAIN LEVEL DEMO PLAN**  
1/8" = 1'-0"



EXP: 03/31/2025

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MAIN LEVEL PLANS**

DRAWING NUMBER:

**S102**



EXP: 03/31/2025

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**FRONT ENTRANCE PLANS**

DRAWING NUMBER:

**S103**

**SLAB-ON-GRADE LEGEND**

- S#  
SLAB-ON-GRADE: ARROWS INDICATE LIMITS  
# = SLAB MARK
- SPOT ELEVATION INDICATES DEPTH BELOW F.F.E. (DATUM ELEVATION 0'-0")
- CONTROL/CONSTRUCTION JOINT
- W#  
WALL MARK: SEE WALL SCHEDULE
- F.D.  
F.D. = FLOOR DRAIN (SEE MECH. & ARCH.)
- C.O.  
C.O. = CLEAN OUT (SEE MECH. & ARCH.)
- DENOTES STEP IN SLAB
- DENOTES SLOPE IN SLAB

**FOUNDATION LEGEND**

- P# F#  
P# - INDICATES PIER TYPE (SEE PIER SCHEDULE)  
F# - INDICATES COLUMN FOOTING TYPE (SEE FOOTING SCHEDULE)  
[-#'-#"] - BELOW COLUMN FOOTING TYPE INDICATES BOTTOM OF FOOTING ELEVATION WITH RESPECT TO DATUM ELEVATION = 0'-0".  
[#'-#"] - BELOW PIER TYPE INDICATES TOP OF PIER ELEVATION WITH RESPECT TO DATUM ELEVATION = 0'-0".
- W#  
## - INDICATES WALL TYPE (SEE FOUNDATION WALL &/OR WALL SCHEDULE)
- WF# #'-#"  
WF# - INDICATES WALL FOOTING TYPE (SEE WALL FOOTING SCHEDULE)  
#'-#'' - BOTTOM OF FOOTING ELEV. FOR WALL FOOTING W/ RESPECT TO DATUM ELEVATION = 0'-0".
- #'-#"  
#'-#'' - BOTTOM OF FOOTING ELEV. FOR WALL FOOTING W/ RESPECT TO DATUM ELEVATION = 0'-0".
- [#'-#'-#']  
TOP OF WALL ELEVATION

**WALL FOOTING SCHEDULE**

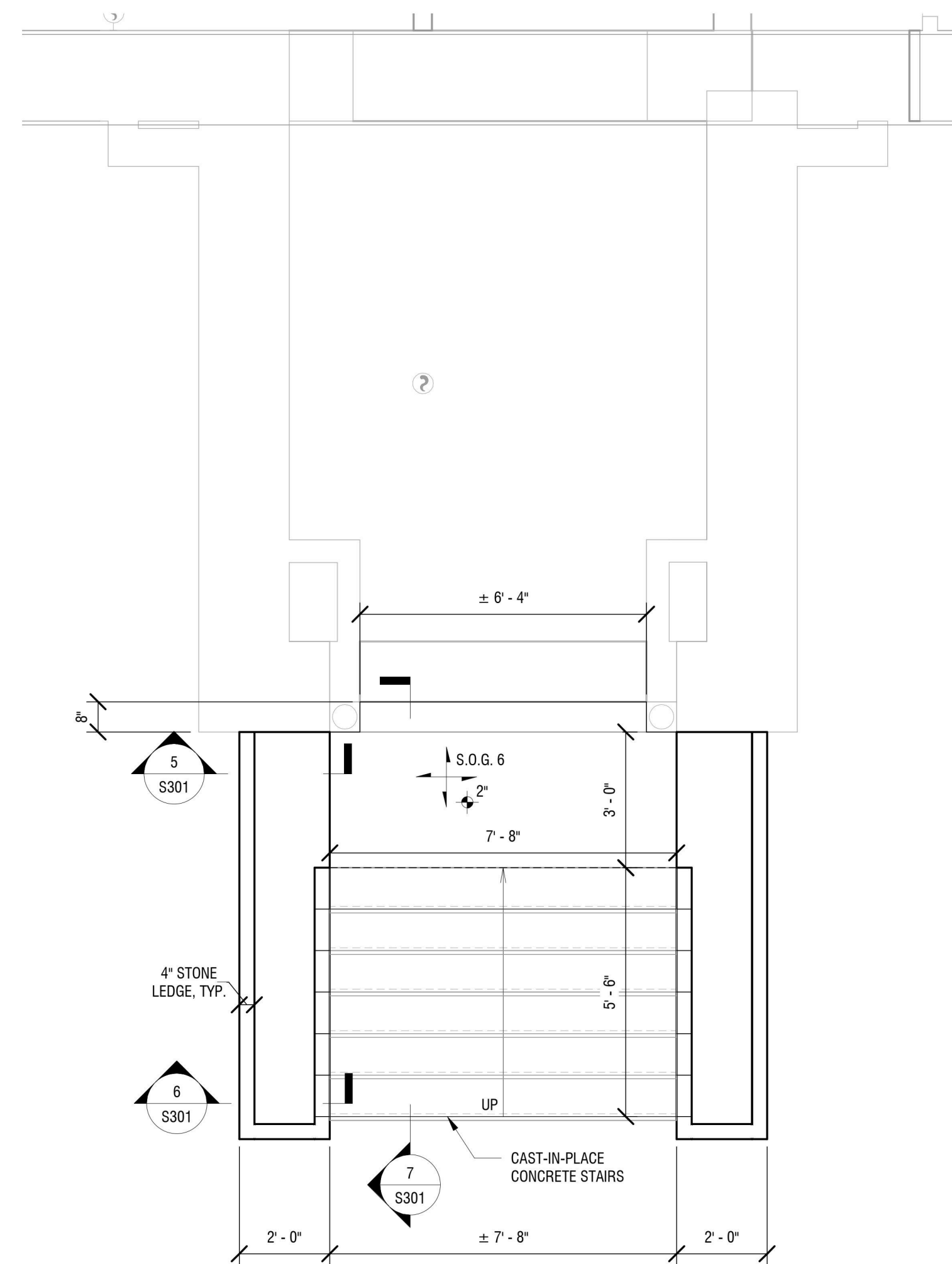
MARK	WIDTH	THICKNESS	FOOTING REINFORCEMENT		COMMENTS
			LONGITUDINAL	TRANSVERSE	
WF3	3'-0"	1'-0"	#5 @ 12" O.C.	#6 @ 12" O.C.	
WF3R	3'-0"	1'-0"	#5 @ 12" O.C. T&B	#6 @ 12" O.C. T&B	

**FOUNDATION WALL SCHEDULE**

MARK	THICKNESS	WALL REINFORCEMENT		COMMENTS
		HORIZONTAL	VERTICAL	
C8	8"	#5 @ 12" O.C.	#5 @ 12" O.C.	
C24	2'-0"	#5 @ 12" O.C. E.F.	#5 @ 12" O.C. E.F.	

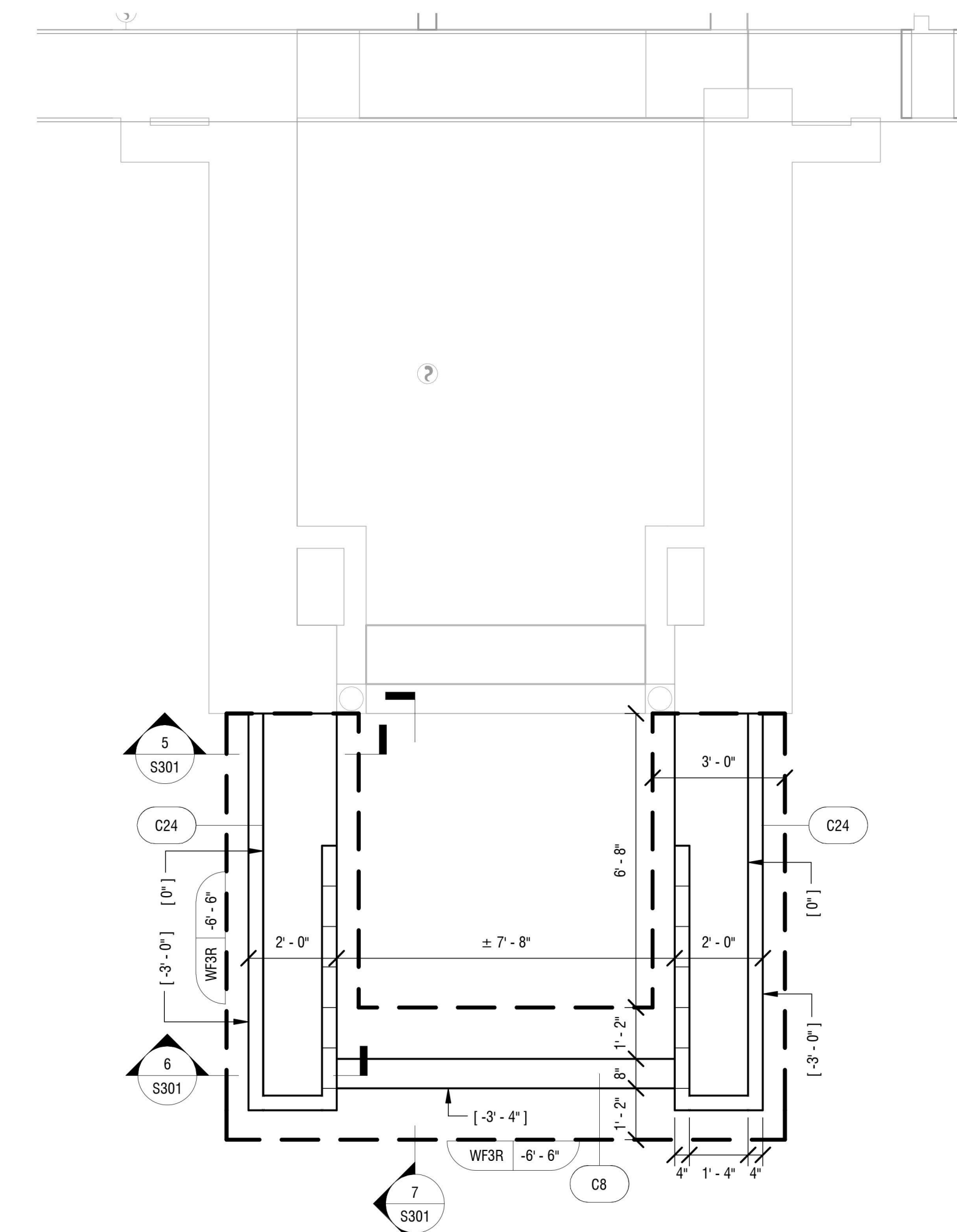
**SLAB-ON-GRADE SCHEDULE**

MARK	TYPE	SLAB THICKNESS	SLAB REINFORCEMENT	COMMENTS
S.O.G. 5	INTERIOR	5"	6X6-W2.9-W2.9 WWF	SEE SPECIFICATIONS & ARCH FOR FINISH
S.O.G. 6	EXTERIOR	6"	6X6-W2.9-W2.9 WWF	SEE SPECIFICATIONS & ARCH FOR FINISH



**2**  
S103  
**FRONT ENTRANCE SLAB PLAN**  
3/8" = 1'-0"

- SLAB PLAN NOTES:**
- ELEVATIONS ARE REFERENCED FROM T.O. FIRST FLOOR FRAMING ELEVATION (DATUM ELEV. 0'-0") AND ARE NOTED ON PLAN.
  - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.
  - SEE M.E.P. DRAWINGS FOR THE BALANCE OF ALL EQUIPMENT, HOUSEKEEPING PADS, FLOOR PENETRATIONS, ETC. REQUIRED AT THIS LEVEL.
  - BALANCE OF SLAB REINF. FOR REENTRANT CORNERS AND OPENINGS NOT SHOWN FOR CLARITY. SEE TYPICAL DETAILS.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.



**1**  
S103  
**FRONT ENTRANCE FOUNDATION PLAN**  
3/8" = 1'-0"

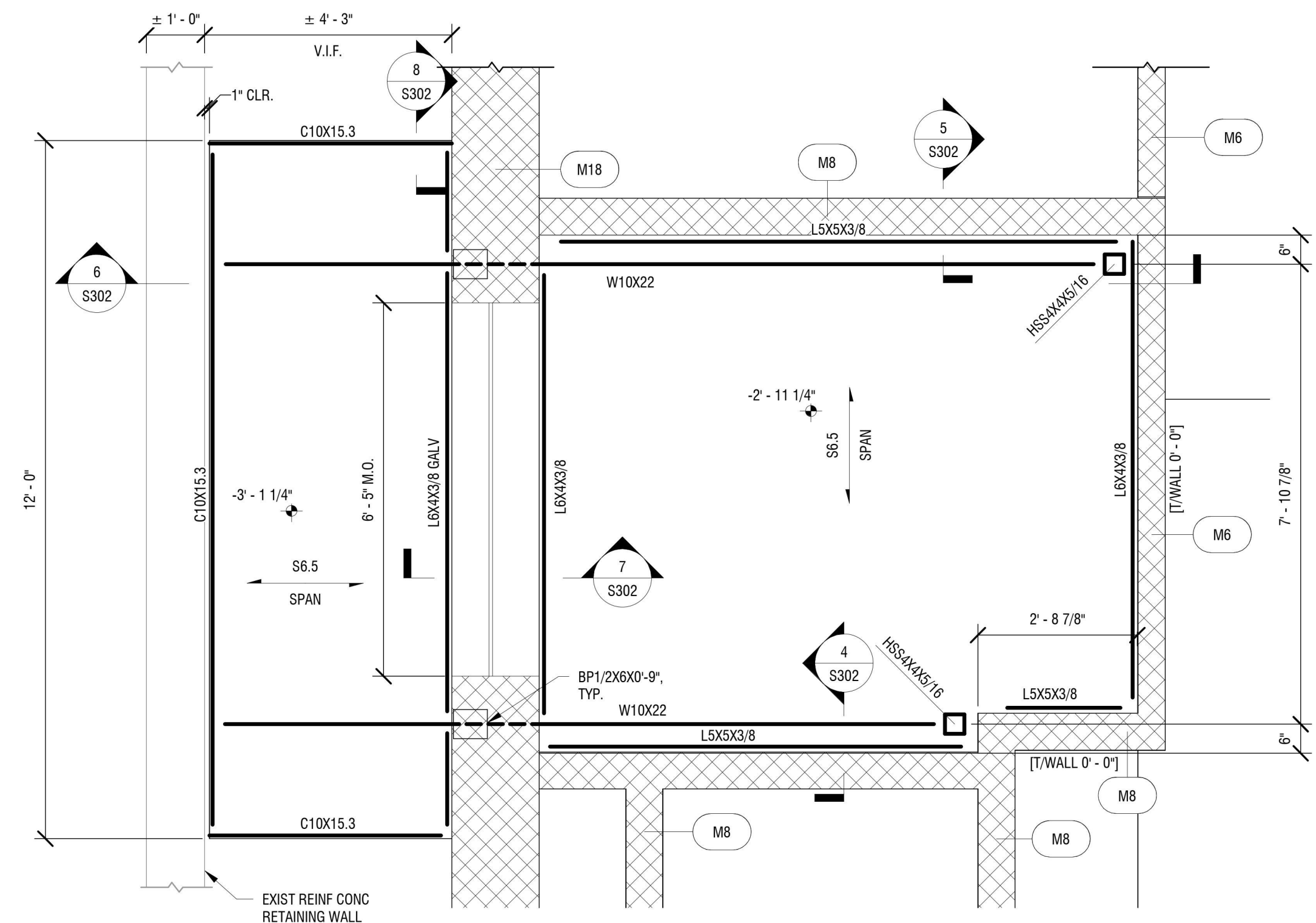
- FOUNDATION PLAN NOTES:**
- BOTTOM OF FOOTING ELEVATIONS ARE REFERENCED FROM T.O. FIRST FLOOR FRAMING ELEVATION (DATUM ELEV. 0'-0") AND ARE NOTED ON PLAN.
  - TOP OF WALL ELEVATIONS ARE REFERENCED FROM T.O. FIRST FLOOR FRAMING ELEVATION (DATUM ELEV. 0'-0") AND ARE NOTED ON PLAN.
  - CENTER ISOLATED FOOTINGS UNDER COLUMNS AND/OR AT COLUMN LINE INTERSECTIONS. U.O.N.
  - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS.
  - SEE M.E.P. DRAWINGS FOR THE BALANCE OF ALL EQUIPMENT, HOUSEKEEPING PADS, FLOOR PENETRATIONS, ETC. REQUIRED AT THIS LEVEL.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.

ELEVATED FLOOR SCHEDULE								
MARK	TYPE	MODEL	GAGE	SLAB REINFORCEMENT	WELDED FASTENER PATTERN		P.A.F. FASTENER PATTERN	
					SUPPORT PATTERN	SIDLAP PATTERN	SUPPORT PATTERN	SIDLAP PATTERN
S6.5	3-1/2" N.W. CONCRETE ON 3" COMPOSITE STEEL DECK, TOTAL THICKNESS = 6-1/2"	VULCRAFT 3VLI-36	18	6X6-W2.9-W2.9 WWF	5/8"Ø PUDDLE WELDS @ 36/4 PATTERN	#10 SCREWS @ 18" O.C.	HILTI X-ENP-19 @ 36/4 PATTERN	HILTI S-SLX 01 @ 18" MAX

ROOF DECK SCHEDULE								
MARK	TYPE	MODEL	GAGE	SLAB REINFORCEMENT	WELDED FASTENER PATTERN		P.A.F. FASTENER PATTERN	
					SUPPORT PATTERN	SIDLAP PATTERN	SUPPORT PATTERN	SIDLAP PATTERN
R1.5	STEEL DECK	VULCRAFT 1.5B	20	5/8"Ø PUDDLE WELDS @	#10 SCREWS @ 18" MAX	HILTI X-ENP-19 @ 36/4 PATTERN	HILTI S-SLX 01 @ 18" MAX	

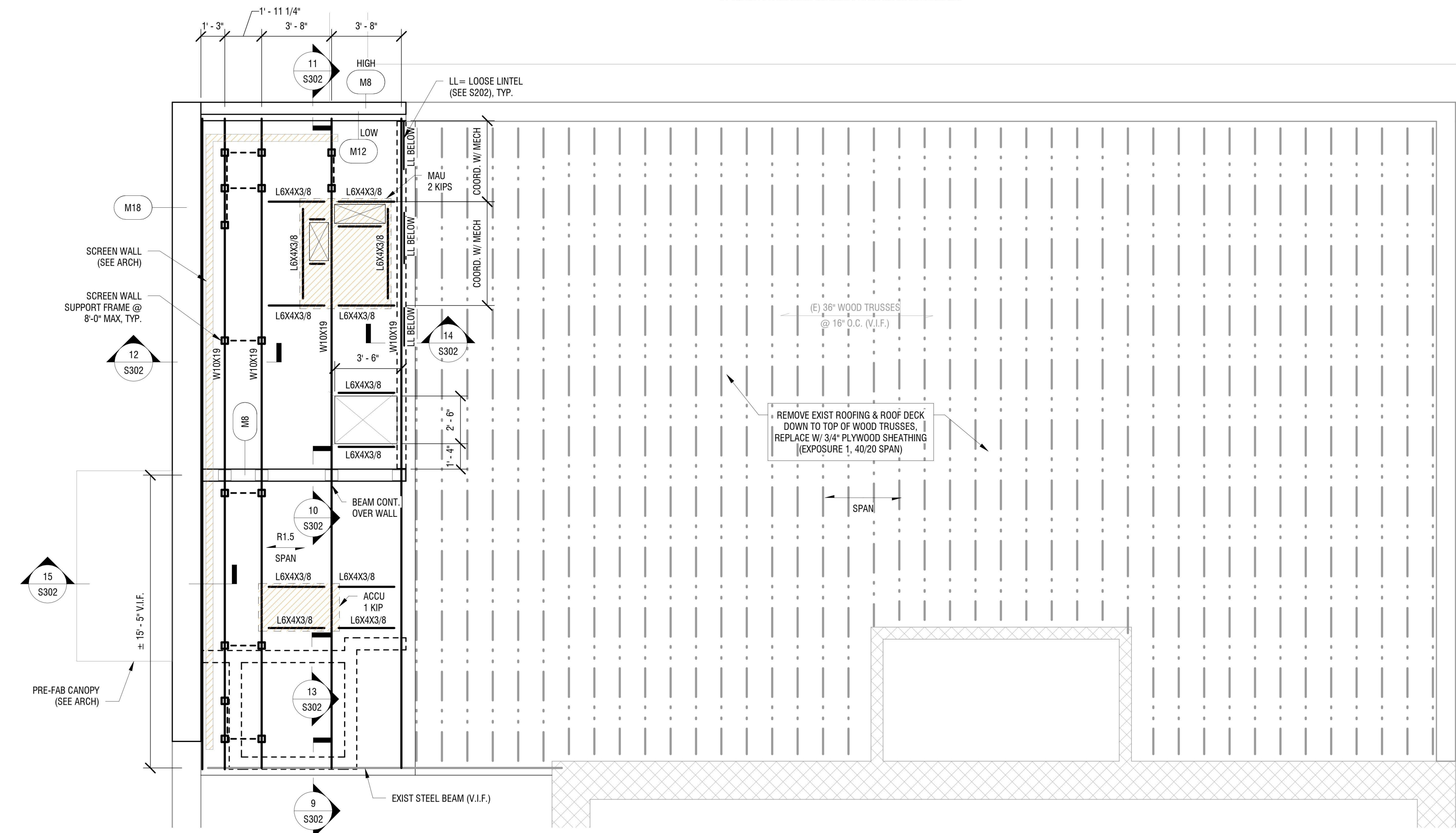
**FRAMING LEGEND**

- S#** ELEVATED SLAB: ARROWS INDICATE SPAN DIRECTION  
# = SLAB MARK (SEE ELEVATED SLAB SCHEDULE)
- R#** ROOF DECK: ARROWS INDICATE SPAN DIRECTION  
# = DECK MARK (SEE ROOF DECK SCHEDULE)
- W#** WALL MARK: SEE WALL SCHEDULE



**3 WEST ENTRY FRAMING PLAN**  
1/2" = 1'-0"

- ELEVATED FLOOR SLAB PLAN NOTES:**
- ELEVATIONS SHOWN ON PLAN SHALL BE REFERENCED FROM THE T.O. FIRST FLOOR FRAMING ELEVATION (DATUM ELEV. 0'-0").
  - SEE M.E.P. DRAWINGS FOR THE BALANCE OF ALL EQUIPMENT, FLOOR PENETRATIONS, ETC. REQUIRED AT THIS LEVEL.
  - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL FLOOR PLANS FOR DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS.
  - SECTIONS INDICATED ON PLAN ARE TYPICAL FOR SIMILAR CONDITIONS.
  - SEE CORRESPONDING FRAMING PLANS FOR FRAMING SIZES, DIMENSIONS, AND REACTIONS.
  - BALANCE OF SLAB REINF. FOR REENTRANT CORNERS AND OPENINGS NOT SHOWN FOR CLARITY. SEE TYPICAL DETAILS.
  - DO NOT PLACE CONTROL JOINTS IN SLABS ON METAL DECK.



**1 PARTIAL ROOF FRAMING PLAN**  
1/4" = 1'-0"



EXP: 03/31/2025

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2221723
DRAWN BY:		JTW
REVIEWED BY:		SMM
ISSUED FOR:		BID
DATE:		APRIL 11, 2024
DRAWING NAME:		

**NEW ENTRY & PARTIAL  
ROOF FRAMING PLANS**

DRAWING NUMBER:

**S104**



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

It is a violation of New York Education Law Art. 145 Sec. 7209 & Art. 147 Sec. 7307, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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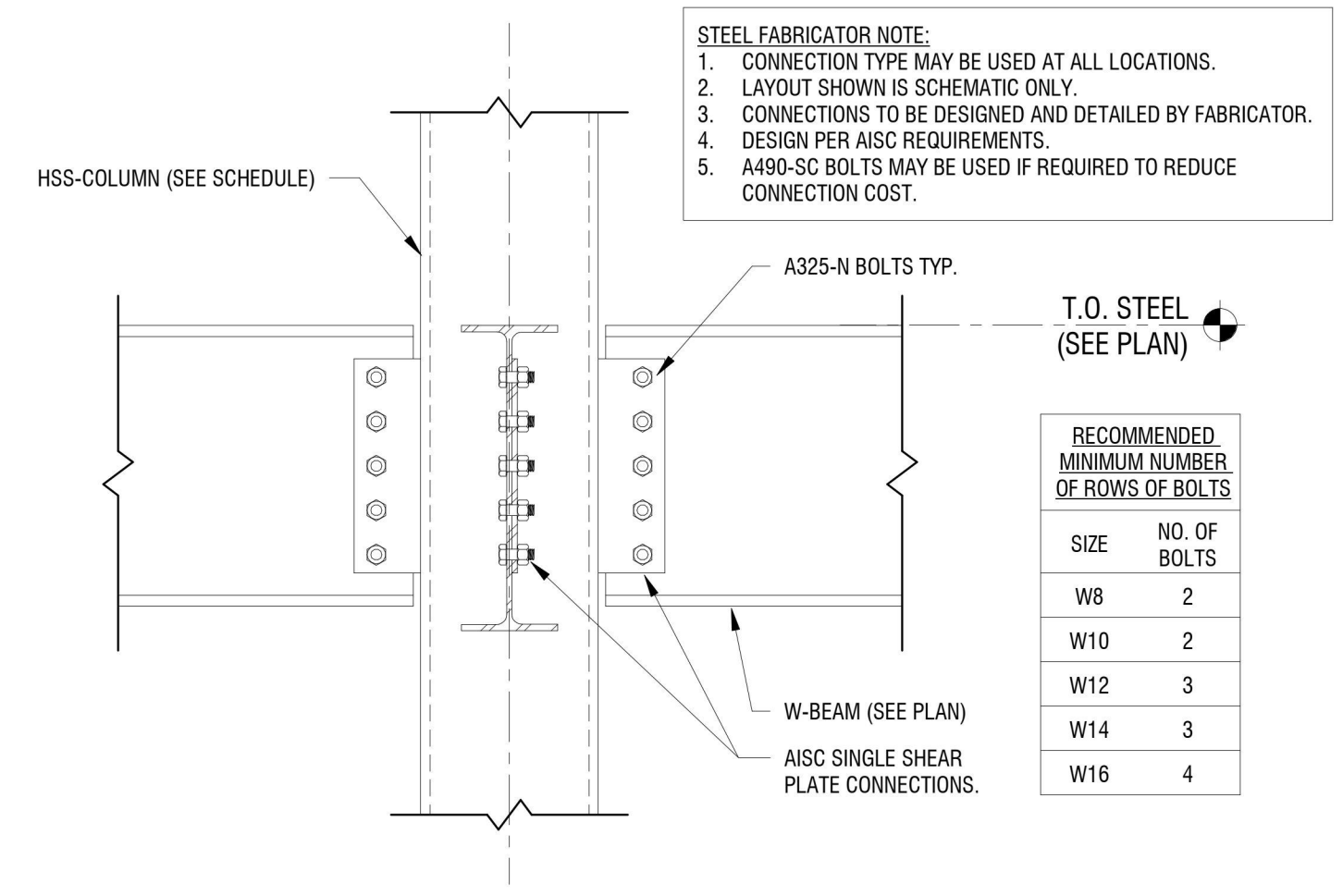
DATE: APRIL 11, 2024

DRAWING NAME:

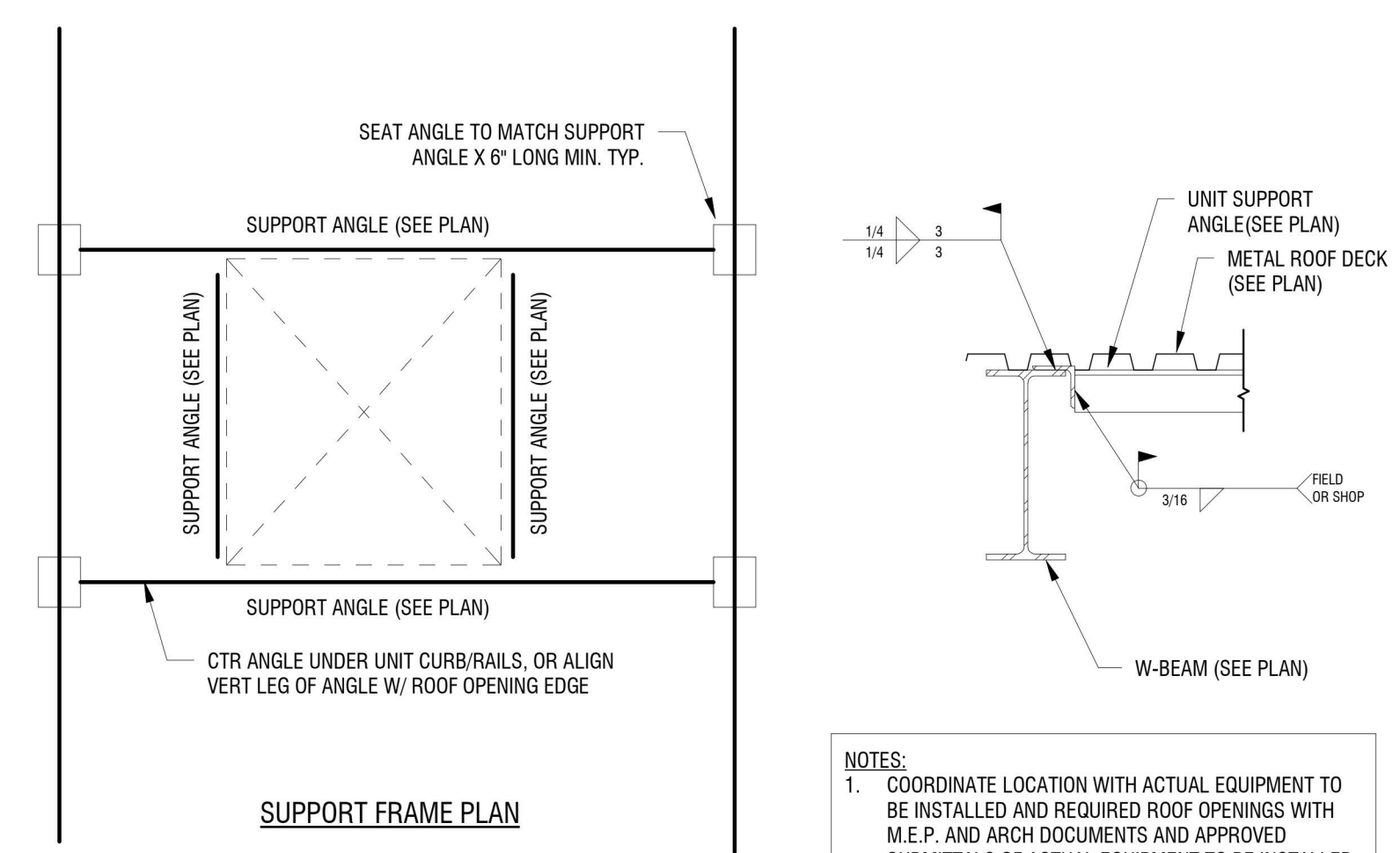
**TYPICAL CONCRETE &  
STEEL DETAILS**

DRAWING NUMBER:

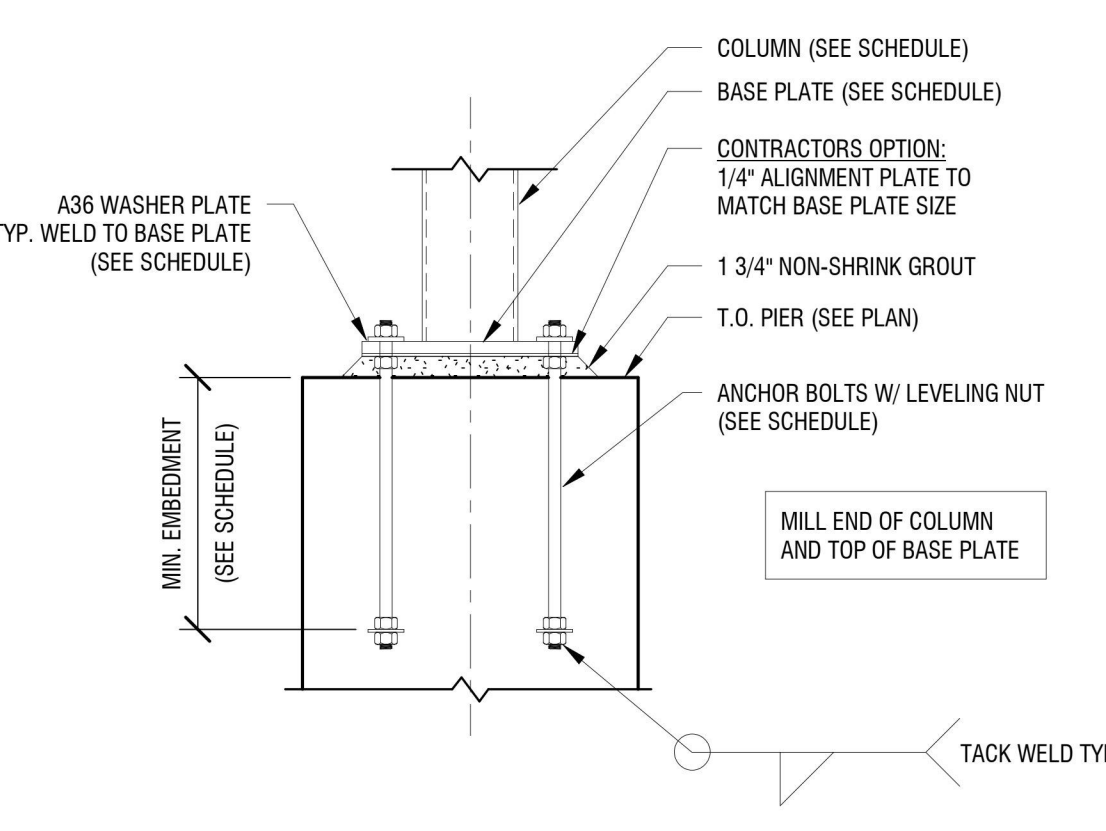
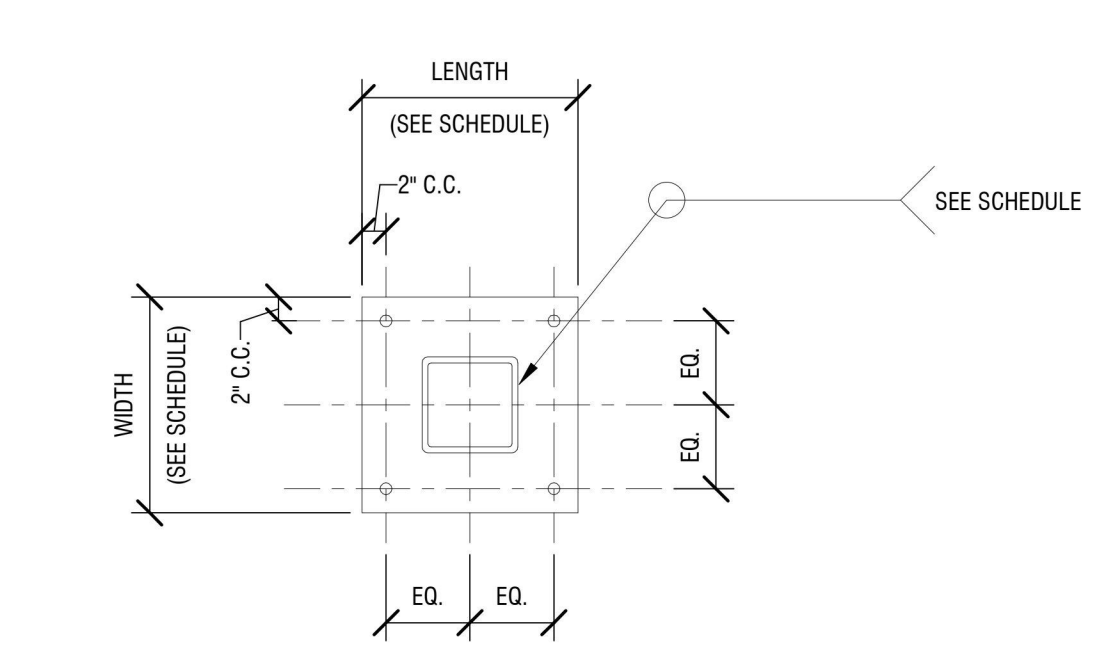
**S201**



9 TYPICAL W-BEAM TO HSS-COLUMN SHEAR CONNECTION  
S201 1" = 1'-0"



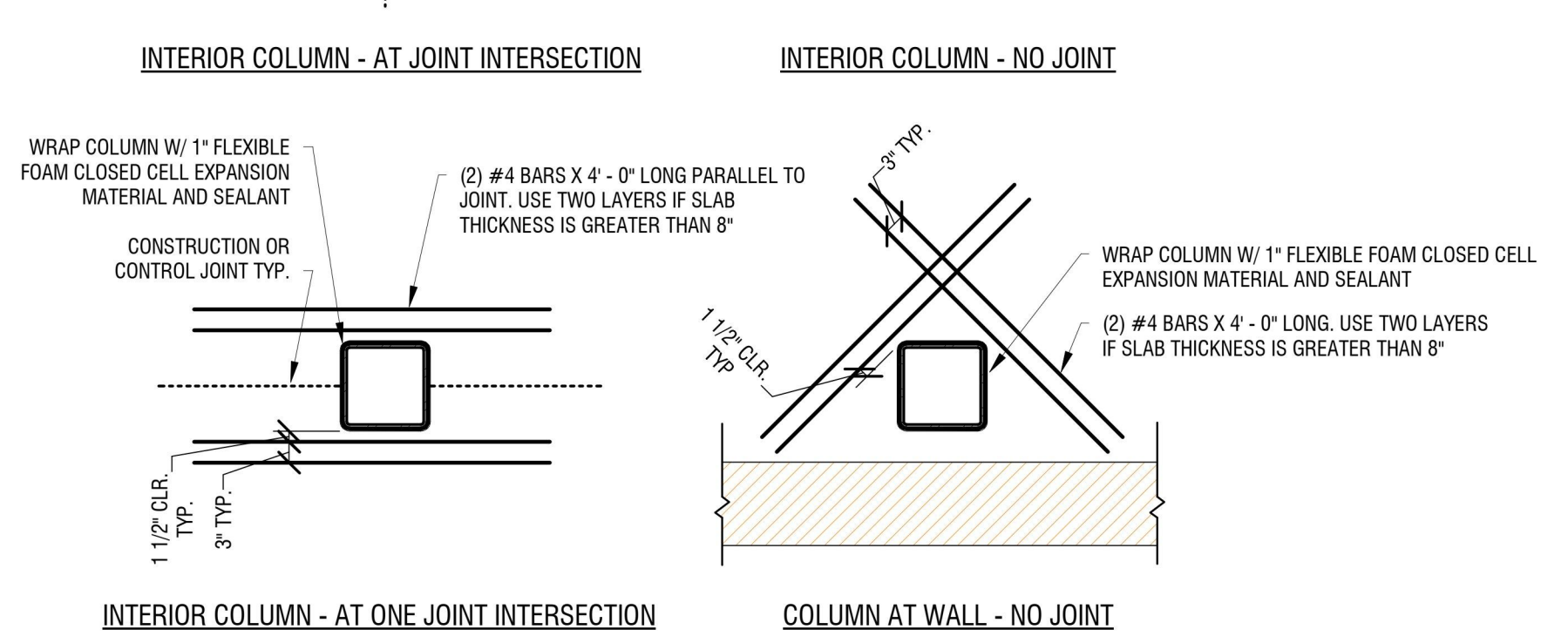
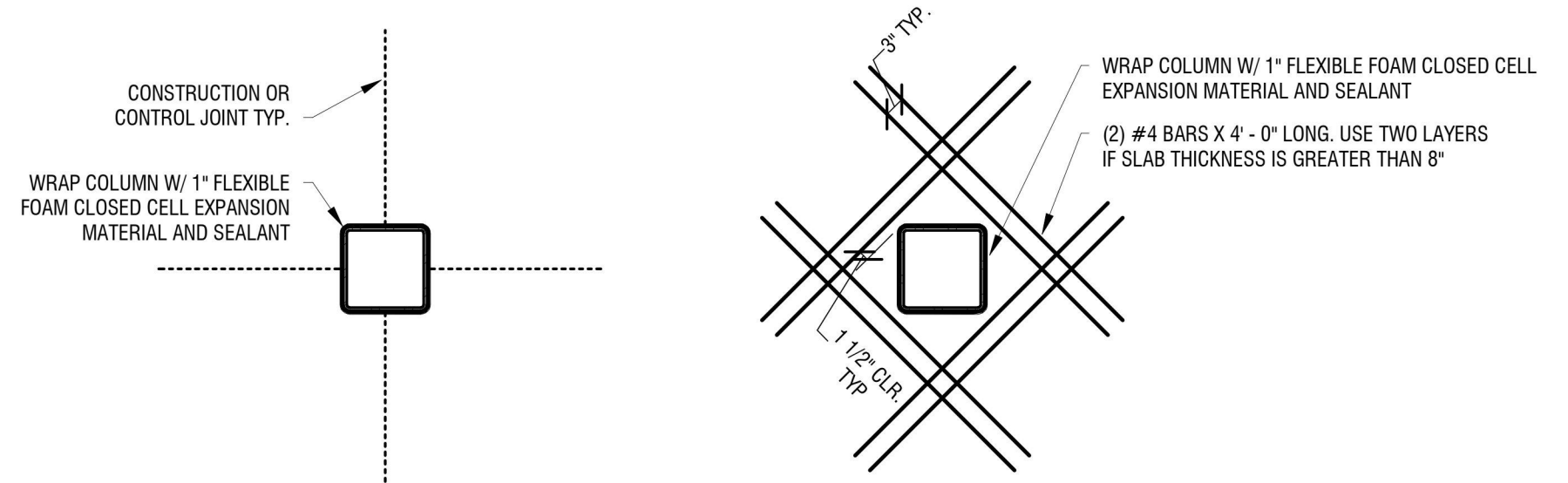
8 TYPICAL RTU SUPPORT & ROOF DECK EDGE SUPPORT  
S201 3/4" = 1'-0"



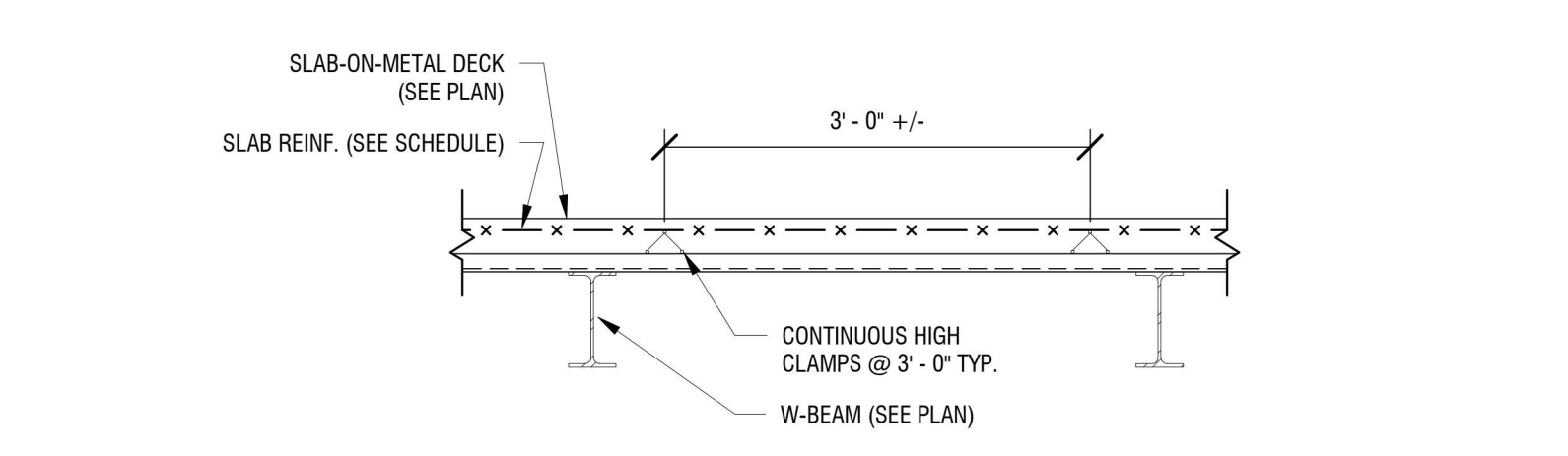
6 TYPICAL BASE PLATE HSS-SECTION  
S201 3/4" = 1'-0"

ANCHOR ROD DIAMETER (INCH.)	HOLE DIAMETER (INCH.)	MIN. WASHER DIMENSION (INCH.)	MIN WASHER THICKNESS (INCH.)
3/4	1 5/16	2	1/4
7/8	1 9/16	2 1/2	5/16
1	1 13/16	3	3/8
1 1/4	2 1/16	3	1/2
1 1/2	2 5/16	3 1/2	1/2
1 3/4	2 3/4	4	5/8
2	3 1/4	5	3/4
2 1/2	3 1/4	5 1/2	7/8

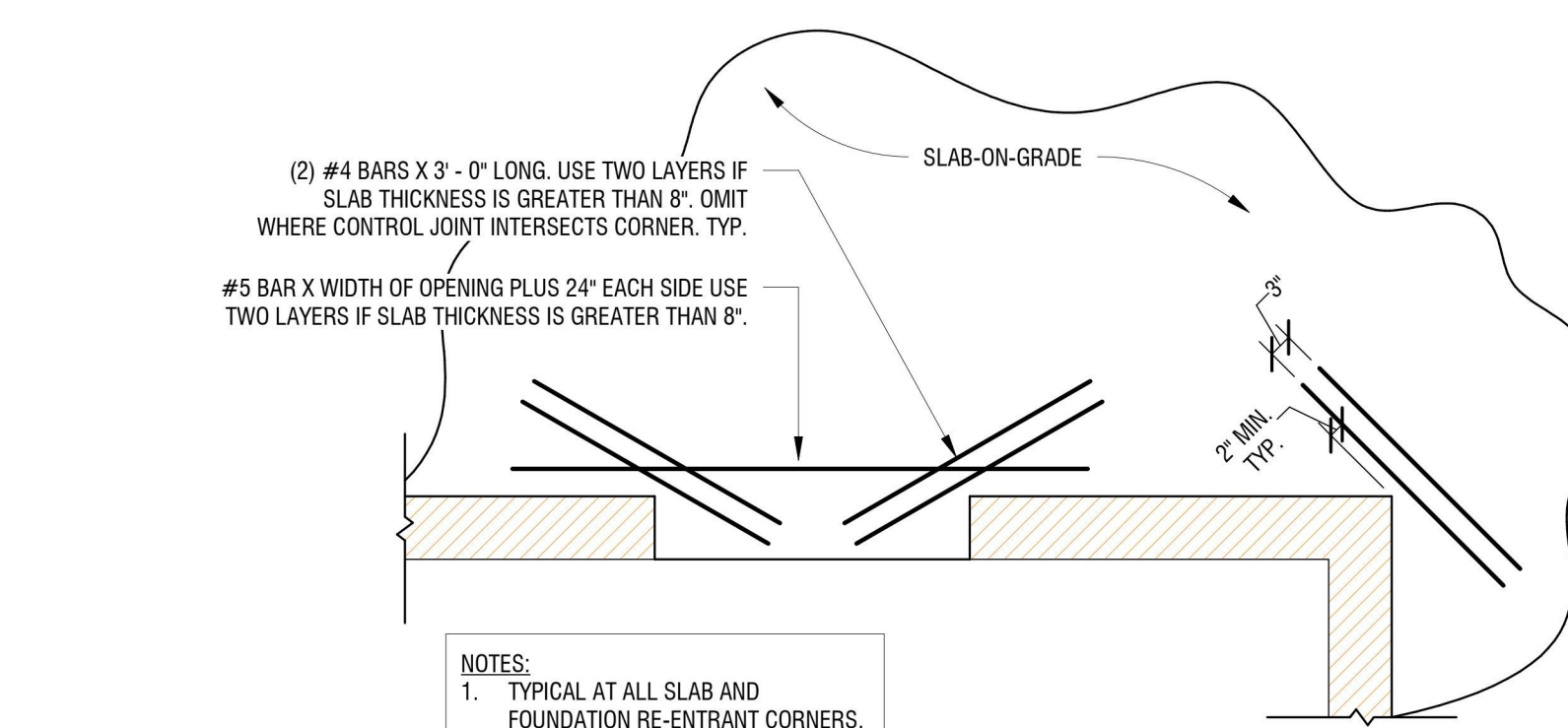
NOTES:  
1. CIRCULAR OR SQUARE WASHERS MEETING THE SIZE SHOWN ARE ACCEPTABLE.  
2. ADEQUATE CLEARANCE MUST BE PROVIDED FOR THE WASHER SIZE SELECTED.



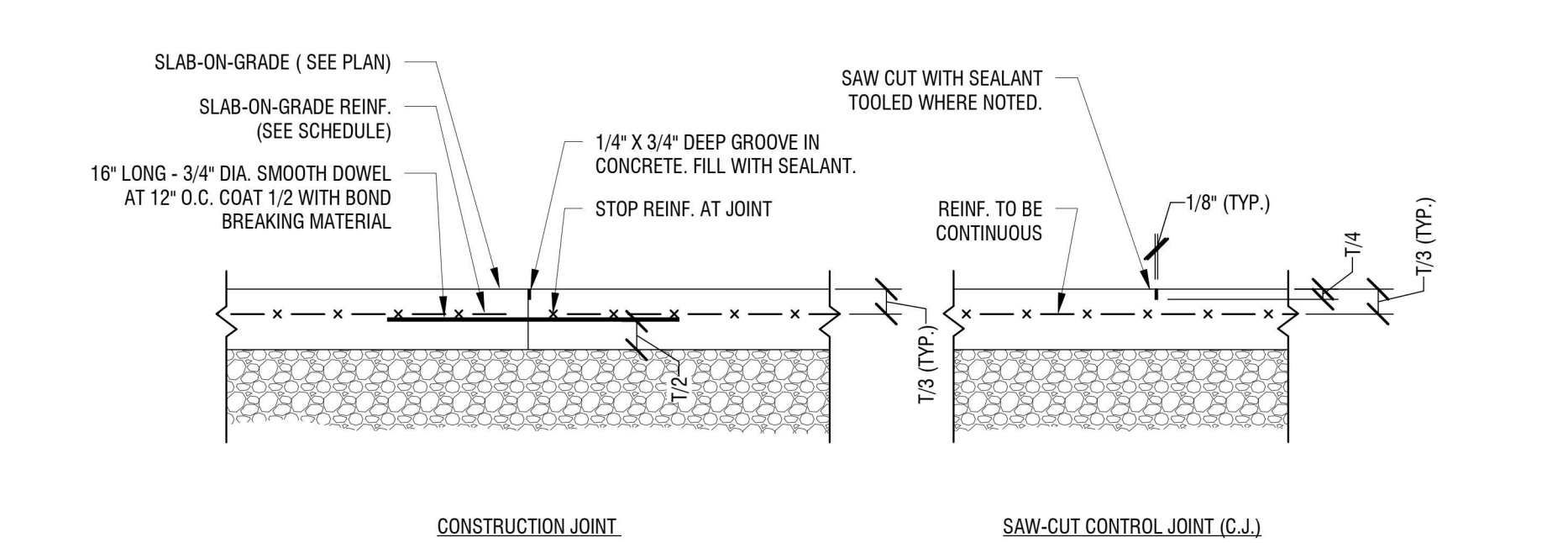
5 TYPICAL COLUMN ISOLATION WRAP  
S201 1/2" = 1'-0"



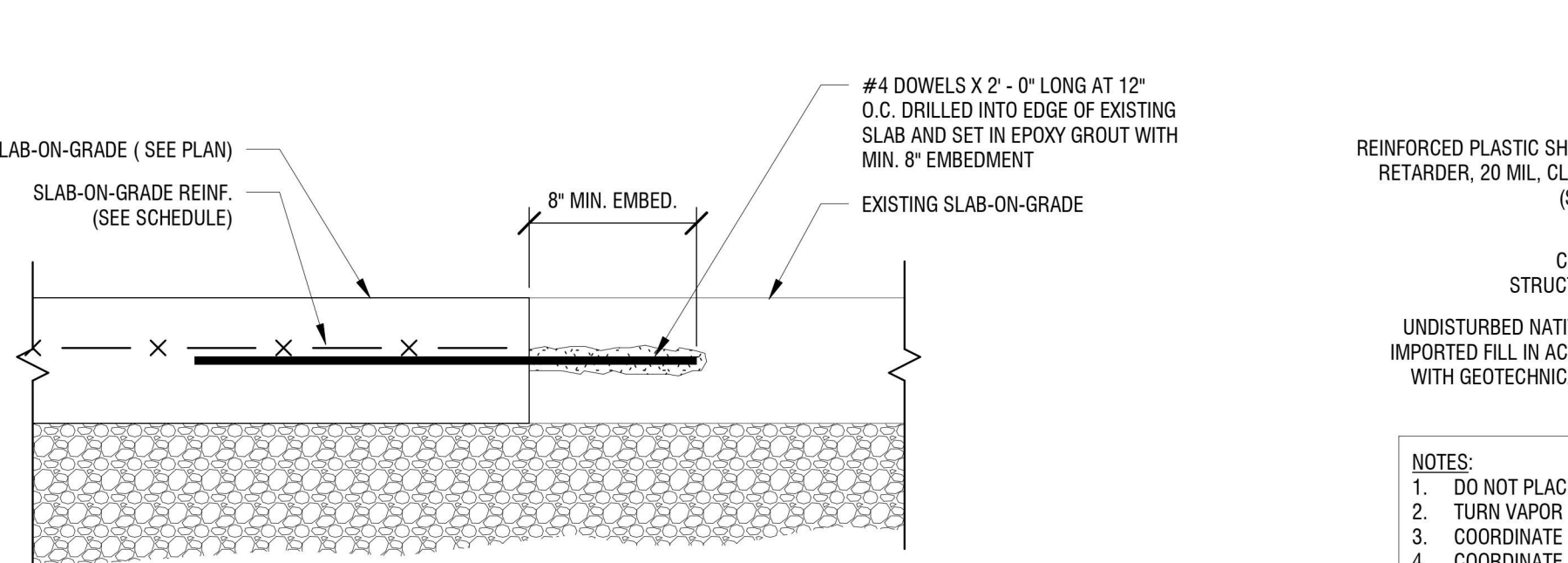
7 TYPICAL W.W.R SUPPORT FOR SLAB-ON-METAL DECK  
S201 3/4" = 1'-0"



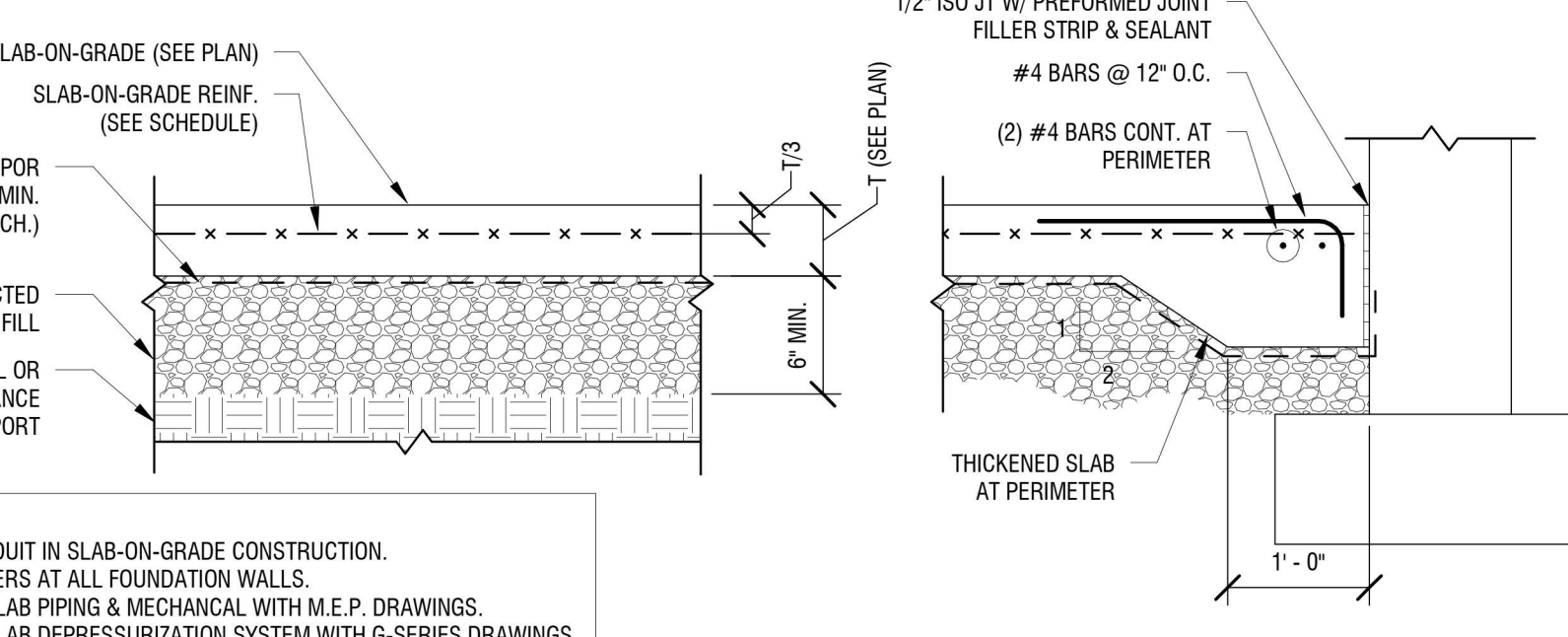
4 TYPICAL SLAB-ON-GRADE RE-ENTRANT CORNER  
S201 1/2" = 1'-0"



3 TYPICAL SLAB-ON-GRADE JOINT  
S201 3/4" = 1'-0"



2 TYPICAL SLAB-ON-GRADE PATCH DETAIL  
S201 1 1/2" = 1'-0"



1 TYPICAL SLAB-ON-GRADE WITH VAPOR BARRIER  
S201 3/4" = 1'-0"

VENEER & NON-STRUCTURAL STEEL LINTEL SCHEDULE			
MASONRY OPENING	4" BRICK OR CMU	6" CMU	8" CMU
0' - 0" TO 4' - 6"	L3 1/2X3 1/2X5/16 (LLV)	WTX13	(2) L3 1/2X3 1/2X5/16
4' - 7" TO 5' - 6"	L4X3 1/2X5/16 (LLV)	WTX13	(2) L4X3 1/2X5/16 (LLV)
5' - 7" TO 6' - 6"	L5X3 1/2X5/16 (LLV)	WTX13	(2) L5X3 1/2X5/16 (LLV)
6' - 7" TO 7' - 6"	L6X3 1/2X5/16 (LLV)	WTX13	(2) L6X3 1/2X5/16 (LLV)
7' - 7" TO 10' - 0"	L7X4X3/8 (LLV)	WTX13	W8X15 + 7" X 5/16" PLATE

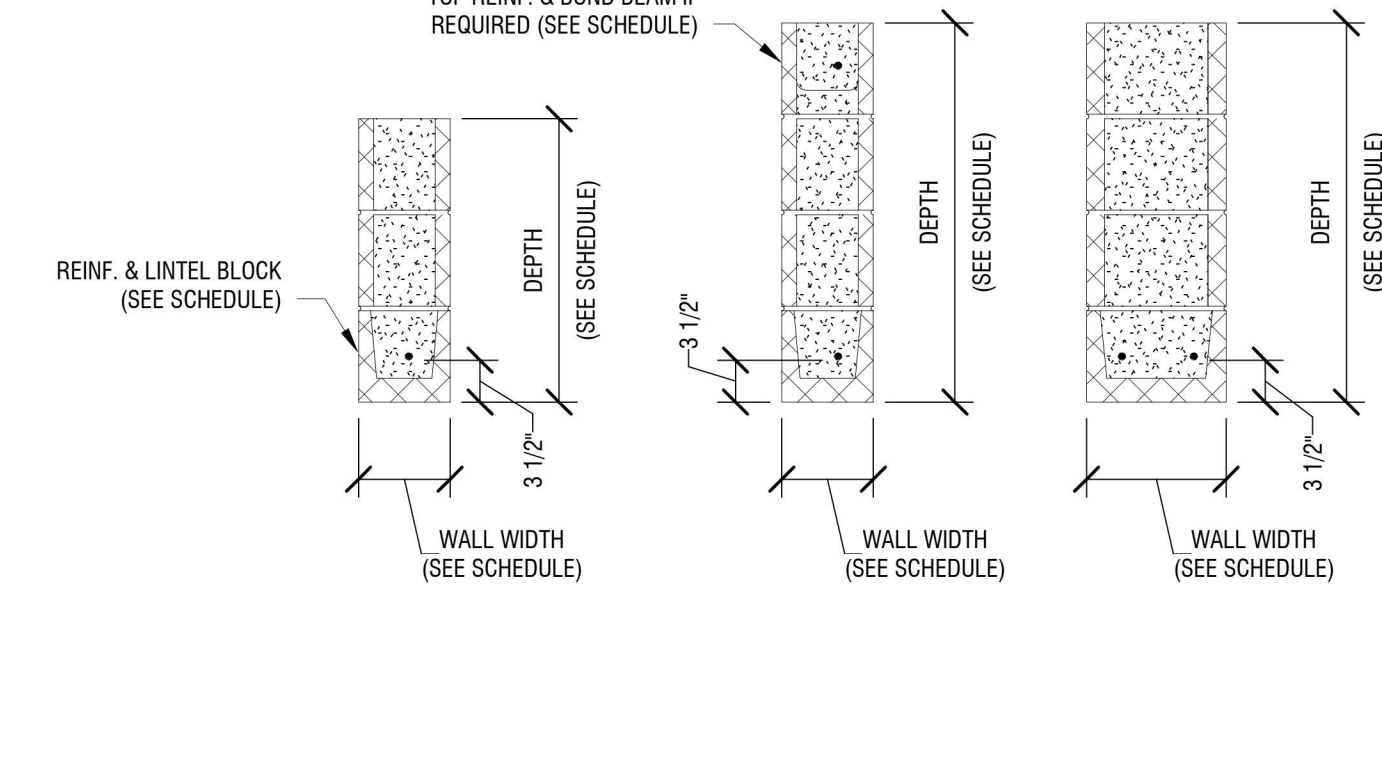
- NOTES:**
- THIS SCHEDULE IS FOR VENEER AND NON-STRUCTURAL WALL OPENINGS ONLY.
  - CONTRACTORS OPTION: MASONRY LINTELS MAY BE USED IN LIEU OF STEEL LINTELS SHOWN IN THIS SCHEDULE. SEE COMPANION VENEER & NON-STRUCTURAL MASONRY LINTEL SCHEDULE.
  - UNLESS OTHERWISE SPECIFIED ON THE PLANS OR SECTIONS, PROVIDE AND INSTALL LINTELS FOR OPENINGS IN ACCORDANCE WITH THIS SCHEDULE. LINTELS SHALL BEAR 1" PER FOOT OF LENGTH, BUT NOT LESS THAN 8" AT EACH END UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF ALL MASONRY OPENINGS, AND CLOSURE PLATES REQUIREMENTS.
  - FOR CAVITY WALLS, EACH WYTHE SHALL BE TREATED INDEPENDENTLY.
  - ALL EXTERIOR COMPONENTS AND PARTS SHALL BE HOT-DIP GALVANIZED AND PAINTED.
  - CONTACT STRUCTURAL ENGINEER FOR OPENINGS GREATER THAN SHOWN IN SCHEDULE.
  - CONTACT STRUCTURAL ENGINEER FOR OPENINGS IN EXISTING WALLS PRIOR TO CONSTRUCTION.
  - FOLLOW BRICK INSTITUTE OF AMERICA RECOMMENDATIONS WHERE LINTELS INTERSECT VERTICAL RELIEF JOINTS.

**7 LOOSE LINTEL SCHEDULE**  
12" = 1'-0"



- NOTES:**
- FOR WALLS NOT SHOWN ON STRUCTURAL DRAWINGS USE NON-STRUCTURAL LINTEL SCHEDULES.
  - LINTELS SHALL BE SHORED AND GROUTED. THE SHORING SHALL REMAIN IN PLACE FOR 14 DAYS, OR UNTIL THE GROUT HAS ATTAINED ITS FULL COMPRESSIVE STRENGTH, WHICHEVER IS LONGER.
  - EXTEND GROUTED LINTEL A MINIMUM OF 2' - 0" BUT NO LESS THAN 40 BAR DIAMETERS BEYOND EACH SIDE OF OPENING. EXTEND REINFORCEMENT THROUGH CONTROL JOINTS OR AROUND CORNERS AS REQUIRED. SEE TYPICAL MASONRY OPENING DETAILS.
  - USE ONLY PRECAST LINTELS ENGINEERED FOR THE APPLICABLE CONSTRUCTION LOADING FOR BOTTOM COURSE OF LINTEL BEAMS, UNLESS NOTED OTHERWISE.
  - CONTACT ENGINEER OF RECORD FOR OPENING SIZES LARGER THAN SHOWN IN SCHEDULE.

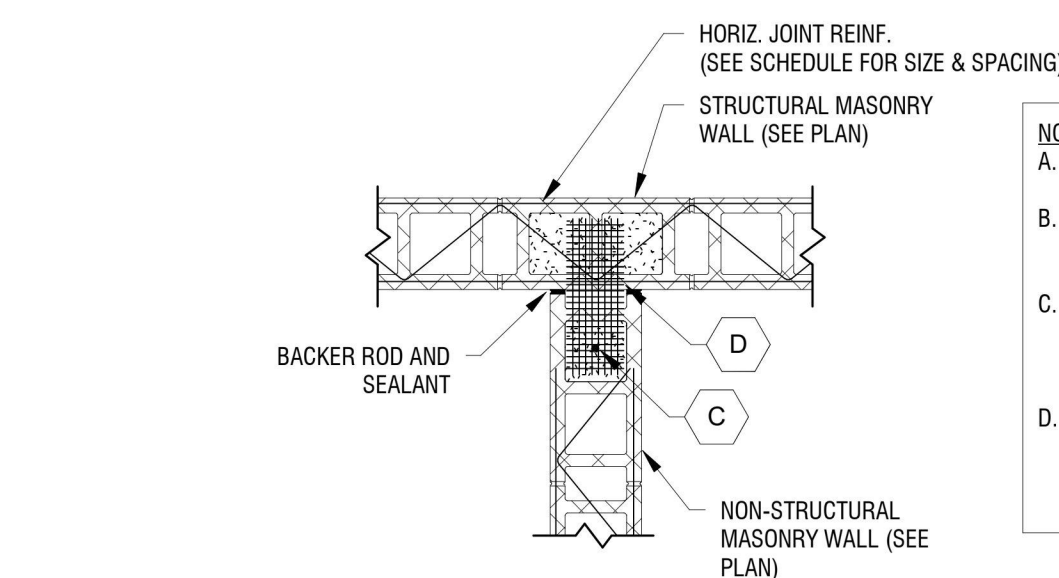
**6 TYPICAL MASONRY LINTEL SCHEDULE & DETAIL**  
3/4" = 1'-0"



MASONRY OPENING	6" CMU		8" CMU		10" CMU		12" CMU	
	DEPTH	REINFORCEMENT	DEPTH	REINFORCEMENT	DEPTH	REINFORCEMENT	DEPTH	REINFORCEMENT
0' - 0" TO 6' - 0"	1 COURSE = 8"	(1) #4 BAR	1 COURSE = 8"	(1) #4 BAR	1 COURSE = 8"	(1) #5 BAR	1 COURSE = 8"	(1) #5 BAR
6' - 1" TO 8' - 0"	1 COURSE = 8"	(1) #4 BAR	1 COURSE = 8"	(1) #5 BAR	2 COURSE = 16"	(1) #5 BAR	2 COURSE = 16"	(2) #5 BAR
8' - 1" TO 10' - 0"	2 COURSE = 16"	(1) #4 BAR	2 COURSE = 16"	(1) #5 BAR	2 COURSE = 16"	(1) #5 BAR	2 COURSE = 16"	(2) #5 BAR
10' - 1" TO 12' - 0"	2 COURSE = 16"	(1) #4 BAR	2 COURSE = 16"	(1) #5 BAR	2 COURSE = 16"	(2) #5 BAR	2 COURSE = 16"	(2) #5 BAR
12' - 1" TO 14' - 0"	-	-	3 COURSE = 24"	(1) #5 BAR	3 COURSE = 24"	(2) #5 BAR	3 COURSE = 24"	(2) #5 BAR

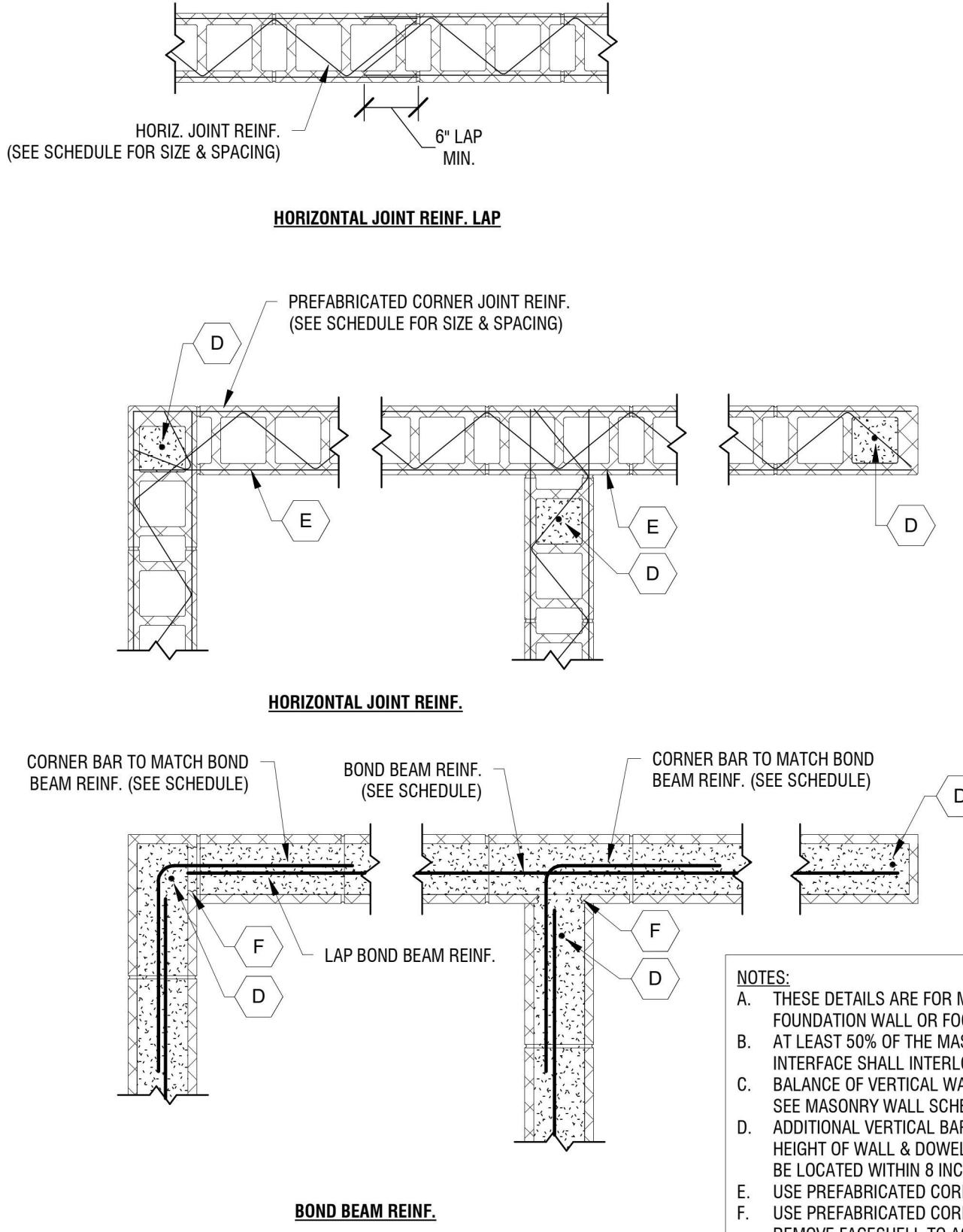
**NOTES:**

- THIS SCHEDULE IS FOR VENEER AND NON-STRUCTURAL WALL OPENINGS ONLY.
- CONTRACTORS OPTION: STEEL LINTELS MAY BE USED IN LIEU OF MASONRY LINTELS SHOWN IN THIS SCHEDULE. SEE COMPANION VENEER & NON-STRUCTURAL STEEL LINTEL SCHEDULE.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS OR SECTIONS, PROVIDE AND INSTALL LINTELS FOR OPENINGS IN ACCORDANCE WITH THIS SCHEDULE.
- LINTELS SHALL BE SHORED AND GROUTED. THE SHORING SHALL REMAIN IN PLACE FOR 14 DAYS, OR UNTIL THE GROUT HAS ATTAINED ITS FULL COMPRESSIVE STRENGTH, WHICHEVER IS LONGER.
- EXTEND GROUTED LINTEL A MINIMUM OF 2' - 0" BUT NO LESS THAN 40 BAR DIAMETERS BEYOND EACH SIDE OF OPENING. EXTEND REINFORCEMENT THROUGH CONTROL JOINTS OR AROUND CORNERS AS REQUIRED. SEE TYPICAL MASONRY OPENING DETAILS.
- USE ONLY LINTEL BLOCKS FOR BOTTOM COURSE OF LINTEL BEAMS, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS NOT SHOWN.
- CONTACT ENGINEER OF RECORD FOR OPENING SIZES LARGER THAN THOSE SHOWN IN THE SCHEDULE.
- LINTELS FROM THIS SCHEDULE MAY BE USED ONLY IF ALL CONDITIONS IN THE DIAGRAM BELOW HAVE BEEN SATISFIED.

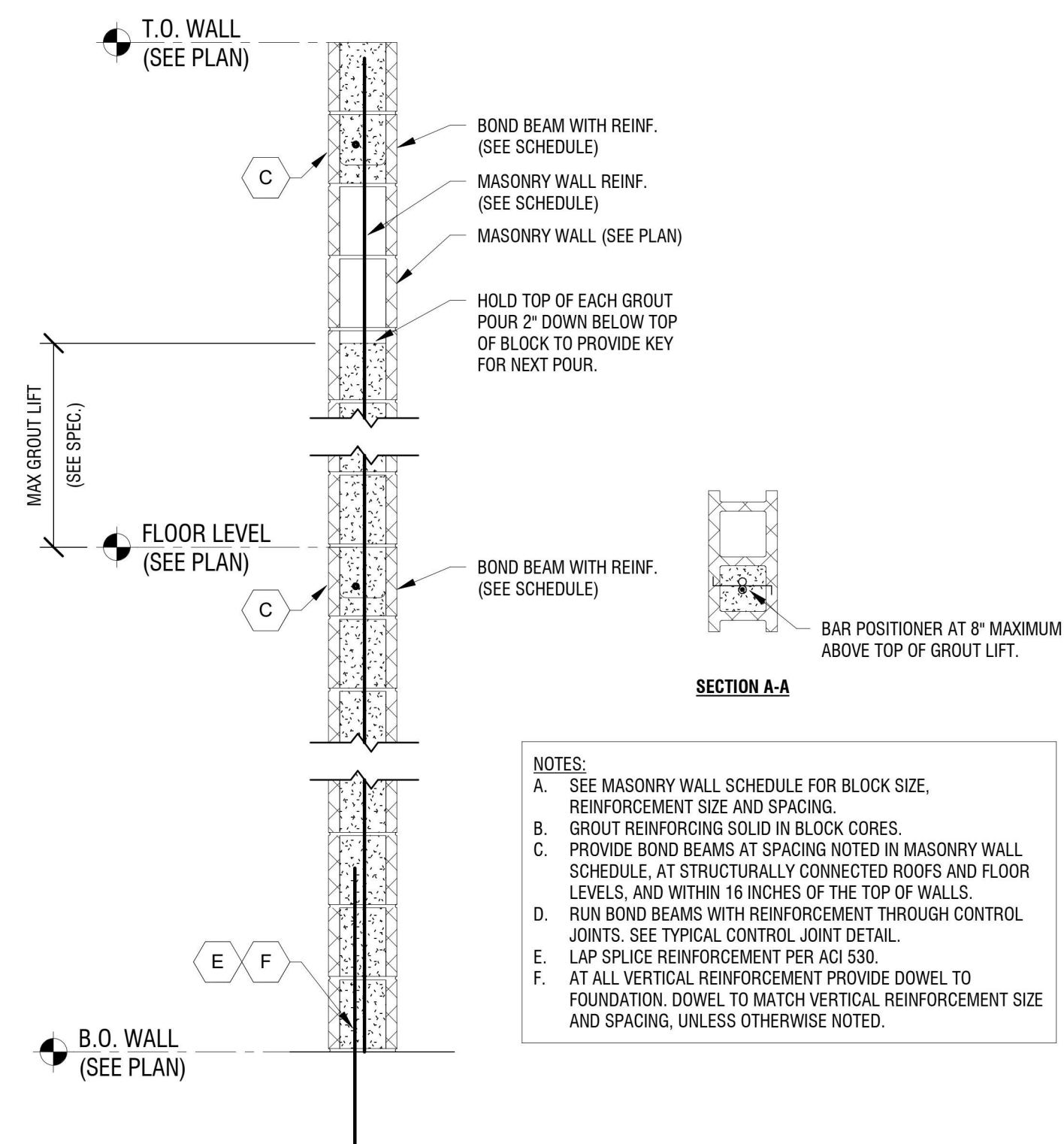


- NOTES:**
- THESE DETAILS ARE FOR INTERSECTIONS OF NON-STRUCTURAL TO STRUCTURAL MASONRY WALLS.
  - BALANCE OF VERTICAL WALL REINFORCEMENT NOT SHOWN FOR CLARITY. SEE MASONRY WALL SCHEDULE FOR SIZE AND SPACING.
  - ADDITIONAL VERTICAL BARS TO MATCH WALL REINFORCEMENT. RUN FULL HEIGHT OF WALL & DOWEL INTO FOUNDATION. ADDITIONAL BARS SHALL BE LOCATED WITHIN 8 INCHES OF CORNER OR WALL END.
  - USE PREFABRICATED MESH WALL TIE @ 16" O.C. MAX VERTICALLY. LOCATE AT ALL COURSES WITH HORIZONTAL REINFORCEMENT. SEE MASONRY WALL SCHEDULE FOR REINFORCING SIZE AND SPACING.

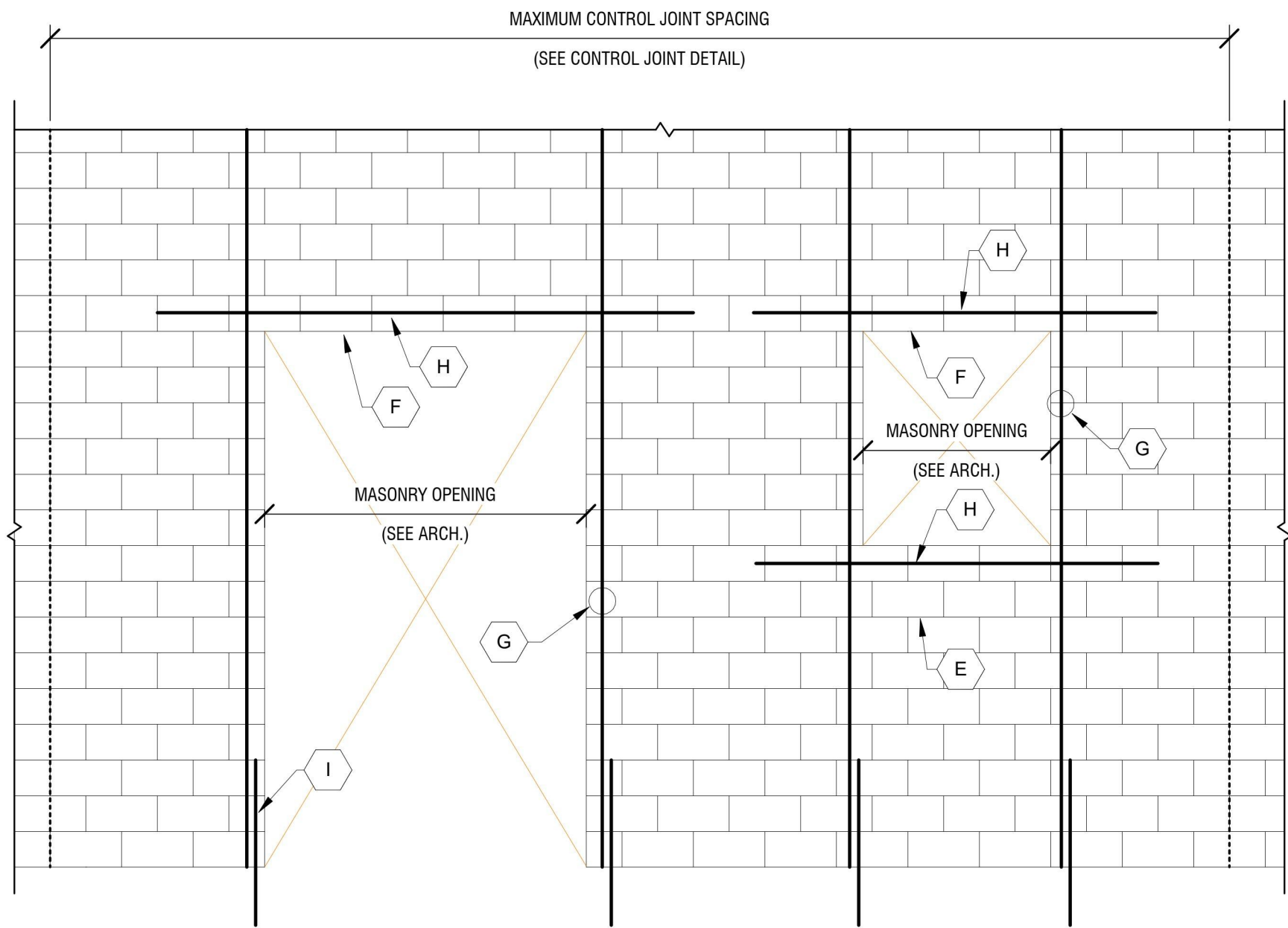
**5 TYPICAL NON-STRUCTURAL TO STRUCTURAL MASONRY WALL**  
3/4" = 1'-0"



**4 TYPICAL MASONRY WALL CORNER, INTERSECTION, & END**  
3/4" = 1'-0"

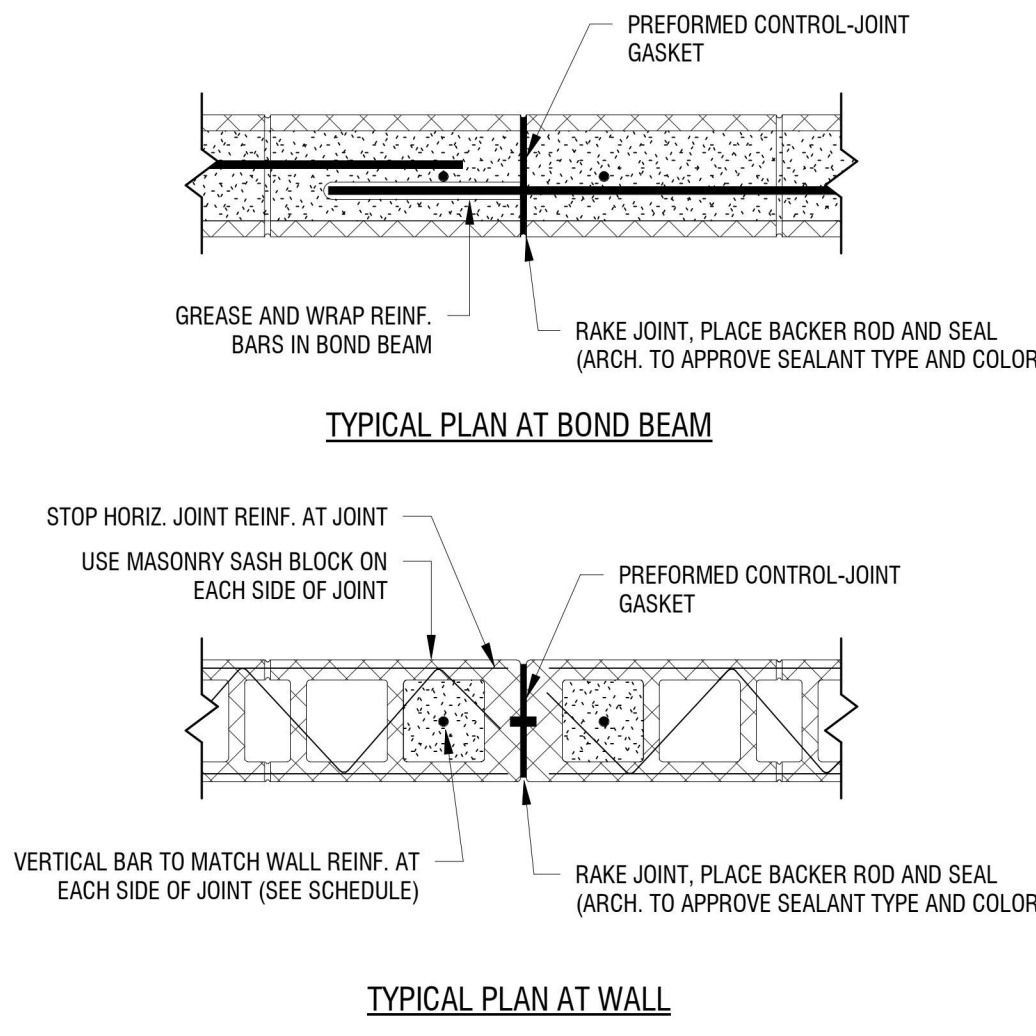


**3 TYPICAL MASONRY WALL REINF.**  
3/4" = 1'-0"



- NOTES:**
- SEE MASONRY WALL SCHEDULE FOR REINFORCEMENT SIZE & SPACING. REINFORCEMENT NOTED IN THIS DETAIL IS IN ADDITION TO THAT NOTED IN THE SCHEDULE.
  - GROUT REINFORCING SOLID IN BLOCK CORES.
  - PLACE CONTROL JOINTS AWAY FROM THE OPENING. SEE MASONRY CONTROL JOINT DETAIL.
  - COORDINATE HEIGHTS, OPENINGS, AND LENGTHS OF WALLS WITH ARCHITECTURAL DRAWINGS.
  - PROVIDE HORIZONTAL JOINT REINFORCEMENT IN FIRST OR SECOND MORTAR JOINT BELOW BOTTOM OF OPENING FROM CONTROL JOINT TO CONTROL JOINT.
  - USE ONLY LINTEL BLOCKS FOR BOTTOM COURSE OF LINTEL OVER OPENINGS. UNLESS OTHERWISE NOTED.
  - PROVIDE JAMB BARS FOR FULL HEIGHT TO MATCH VERT. REINFORCING. JAMB BARS NOT REQUIRED FOR OPENINGS SMALLER THAN 16 INCHES UNLESS DISTRIBUTED VERTICAL REINFORCEMENT IS INTERRUPTED BY SUCH OPENING.
  - EXTEND BOND BEAM AND/OR LINTEL WITH REINFORCEMENT A MINIMUM OF 2' - 0" BUT NO LESS THAN 40 BAR DIAMETERS BEYOND EACH SIDE OF OPENING.
  - AT ALL VERTICAL REINFORCEMENT PROVIDE DOWEL TO FOUNDATION. DOWEL TO MATCH VERTICAL REINFORCEMENT SIZE AND SPACING, UNLESS OTHERWISE NOTED.

**1 TYPICAL MASONRY WALL OPENINGS**  
3/8" = 1'-0"



- CONTROL JOINT SPACING CRITERIA:**
- USE THE LESSER OF THE FOLLOWING:
- 25' - 0" ON CENTER MAXIMUM.
  - 1.5 MAXIMUM LENGTH TO HEIGHT RATIO.
  - AT LOCATIONS INDICATED ON STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS.
- ADDITIONAL LOCATIONS:**
- AT CHANGES IN WALL HEIGHT.
  - AT CHANGES IN WALL THICKNESS.
  - LOCATED ABOVE MOVEMENT JOINTS IN FOUNDATIONS OR FLOORS.
  - LOCATED ABOVE AND BELOW MOVEMENT JOINTS IN ROOFS OR FLOORS THAT BEAR ON WALL.
  - ADJACENT TO CORNER OF INTERSECTIONS WITHIN A DISTANCE EQUAL TO HALF THE CONTROL JOINT SPACING.
  - 2' - 0" MINIMUM AWAY FROM FACE OF OPENINGS.
  - COORDINATE WITH VENEER LOCATIONS.

**2 TYPICAL MASONRY WALL CONTROL JOINT DETAILS**  
1" = 1'-0"

300 Pearl Street, Suite 130  
Buffalo, NY 14202  
716-551-6281  
labellapp.com



EXP: 03/31/2025

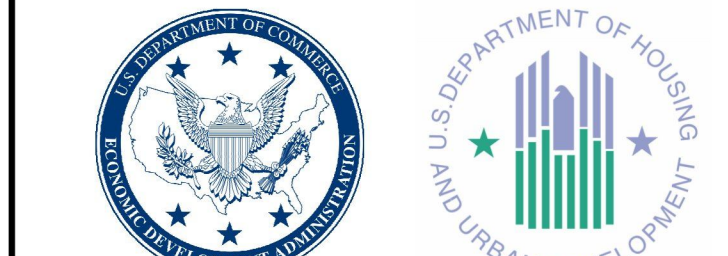
CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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5795 LEWISTON ROAD  
NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369 HUD PROJECT No. 8-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**  
822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**TYPICAL MASONRY DETAILS**

DRAWING NUMBER:



EXP: 03/31/2025

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369

HUB PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

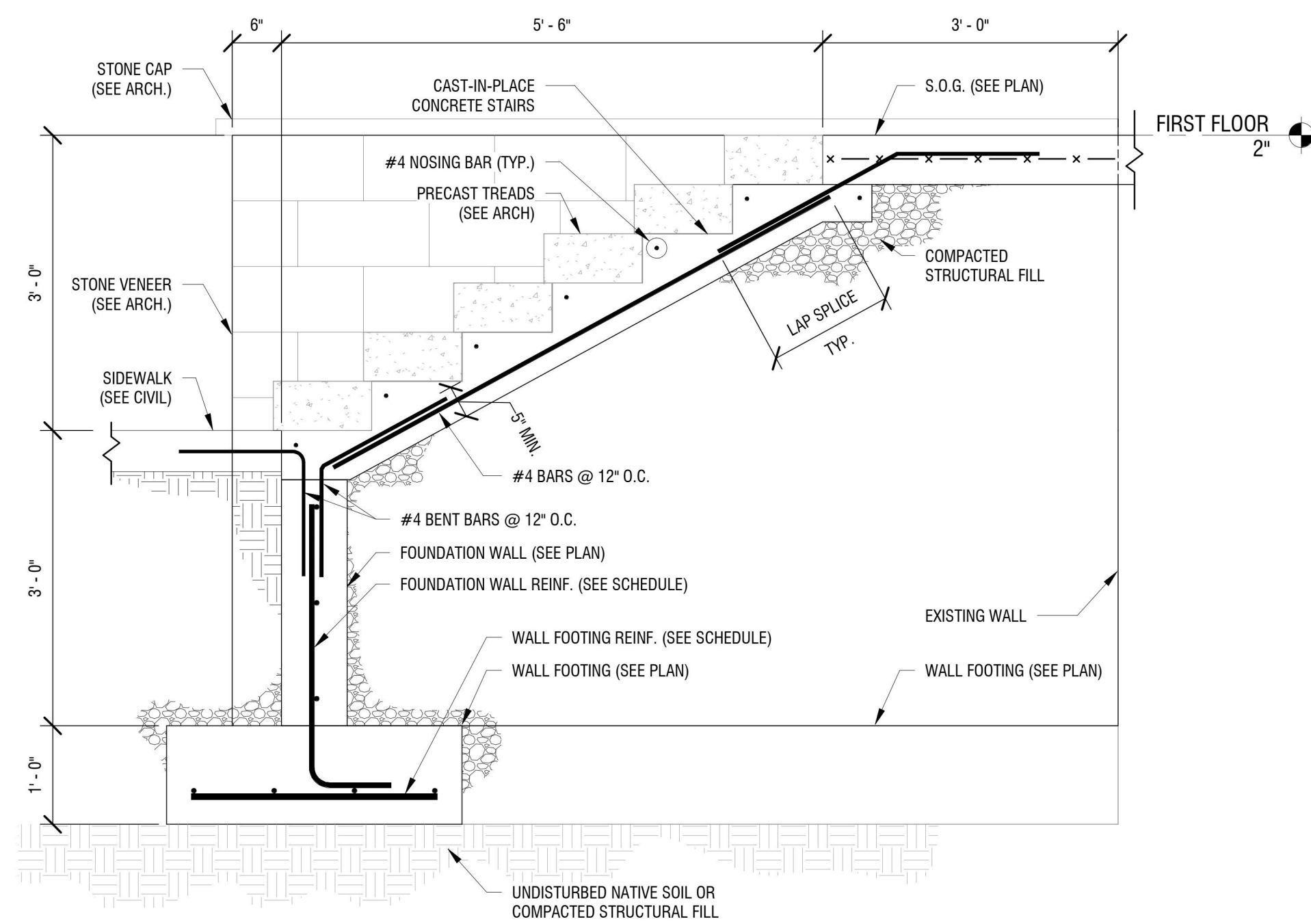
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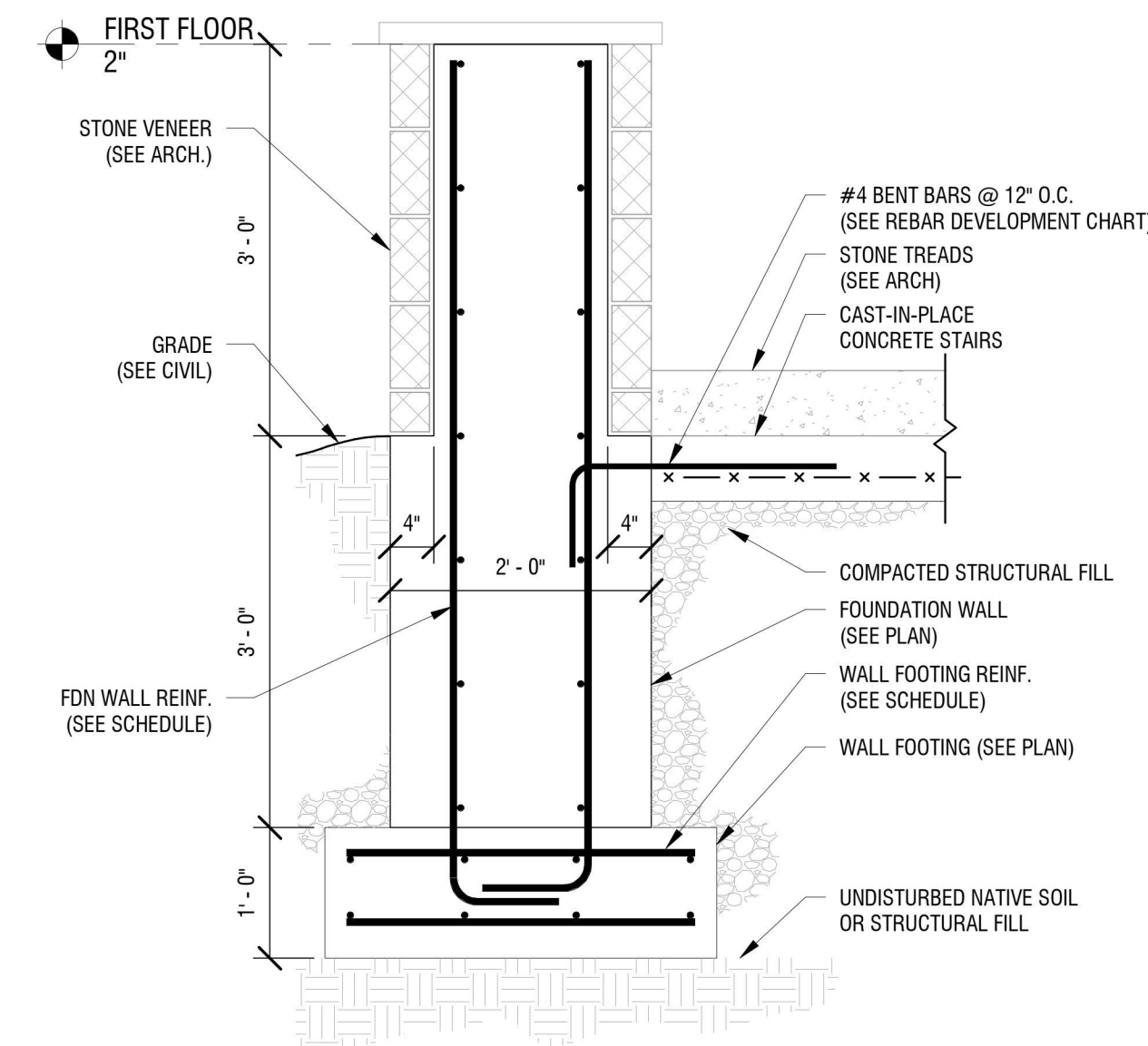
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DRAWING NUMBER:

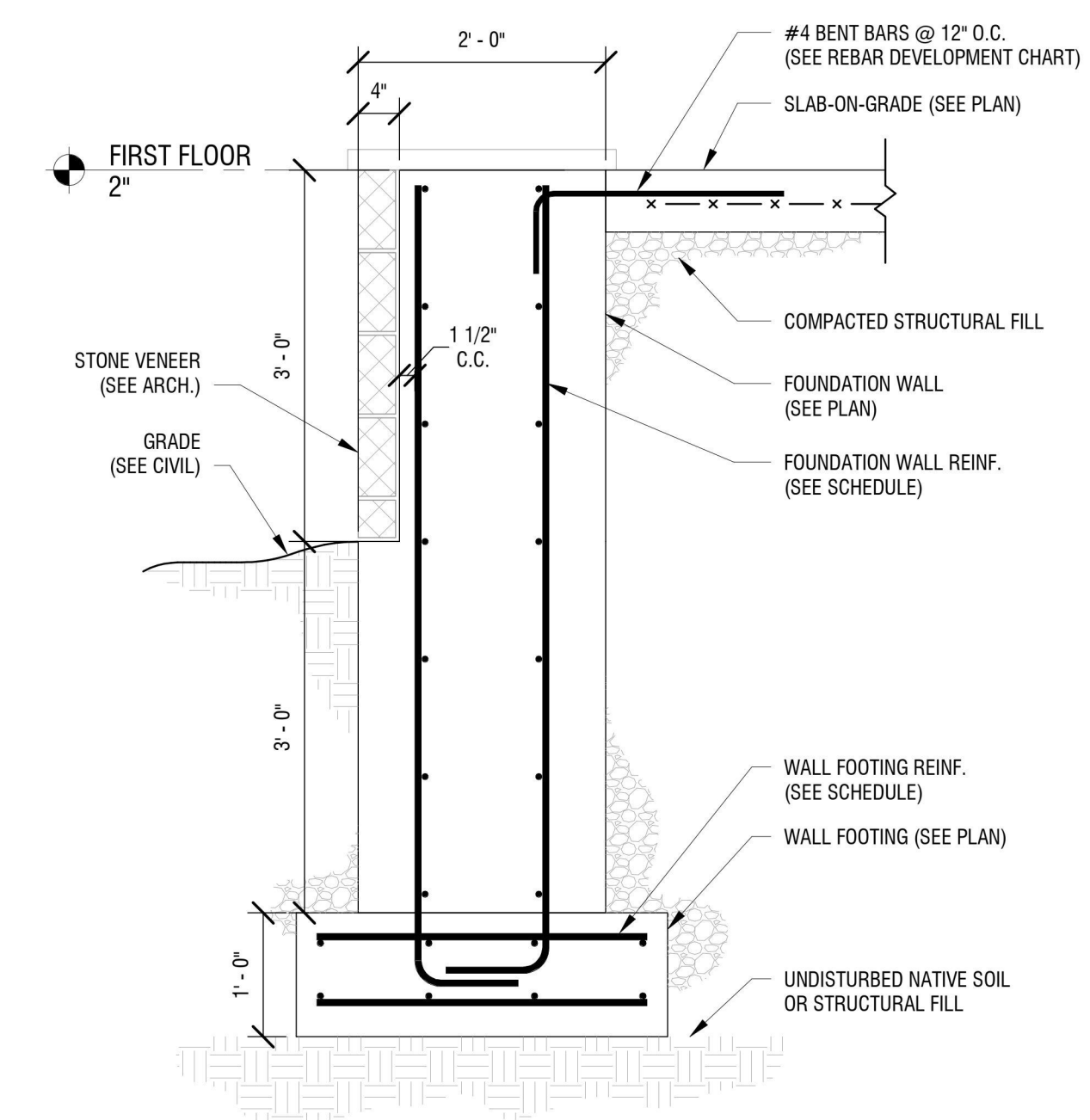
**S301**



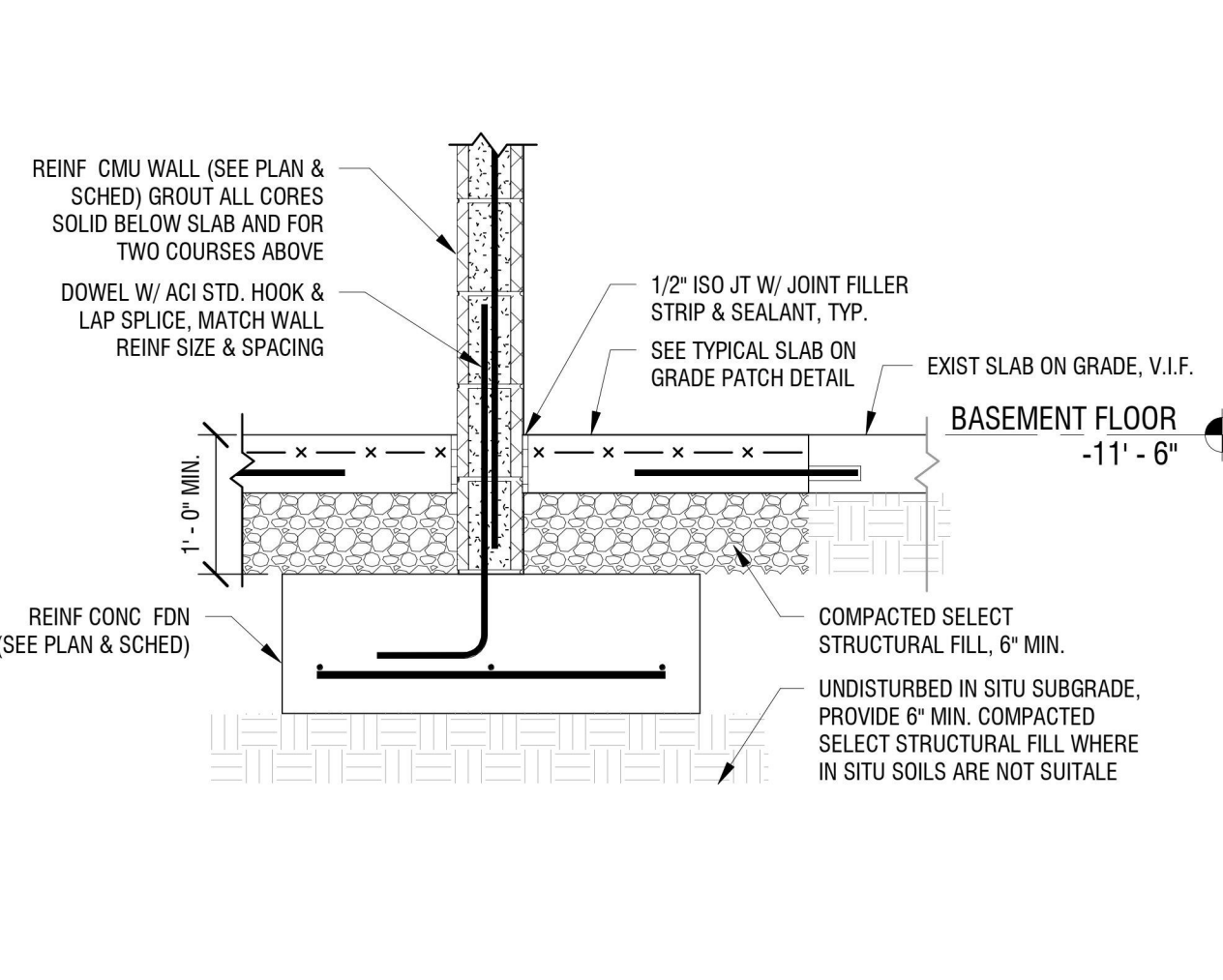
**7 SECTION THROUGH FRONT STAIRS**  
S301 3/4" = 1'-0"



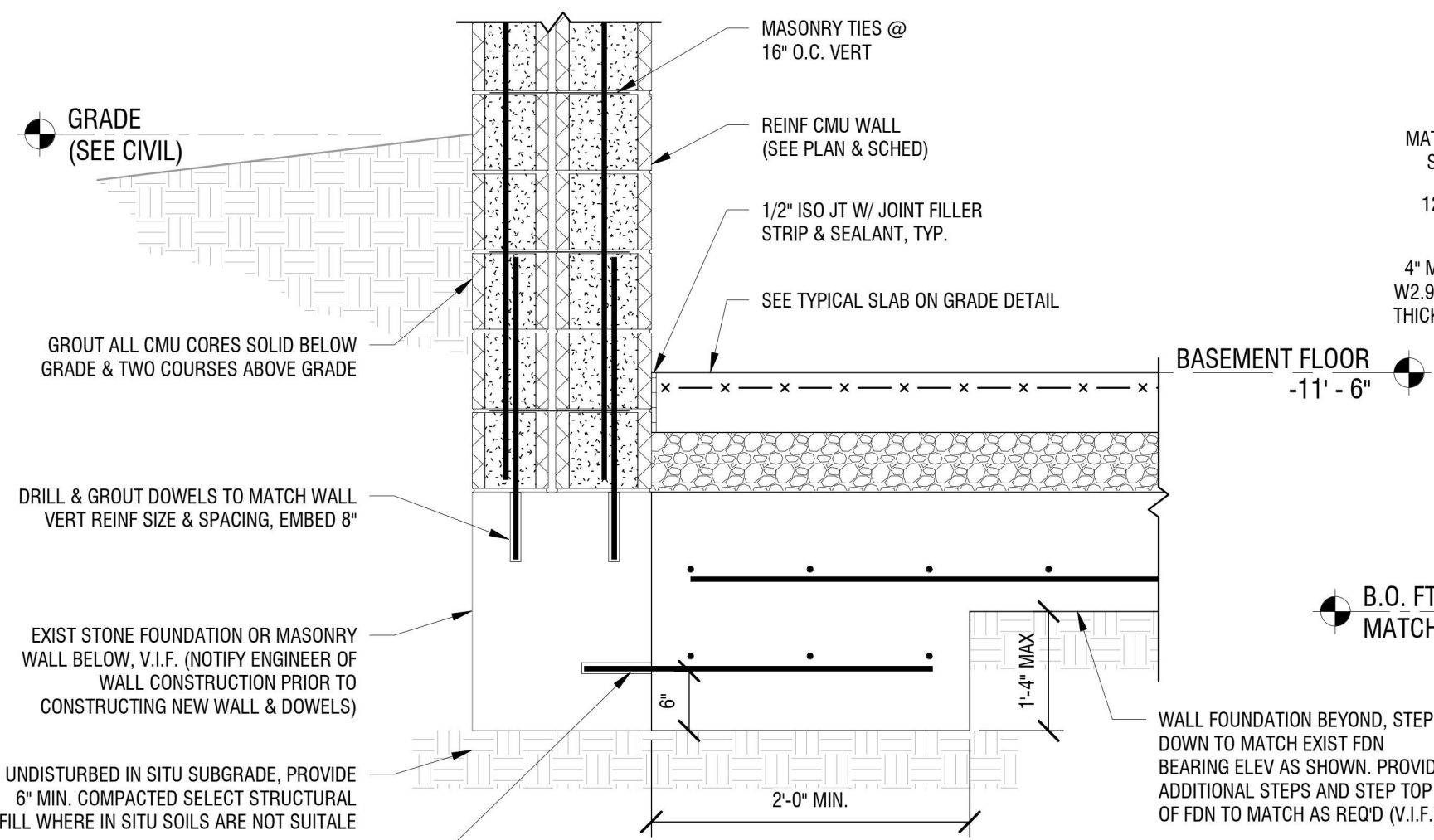
**6 STAIR WALL SECTION**  
S301 3/4" = 1'-0"



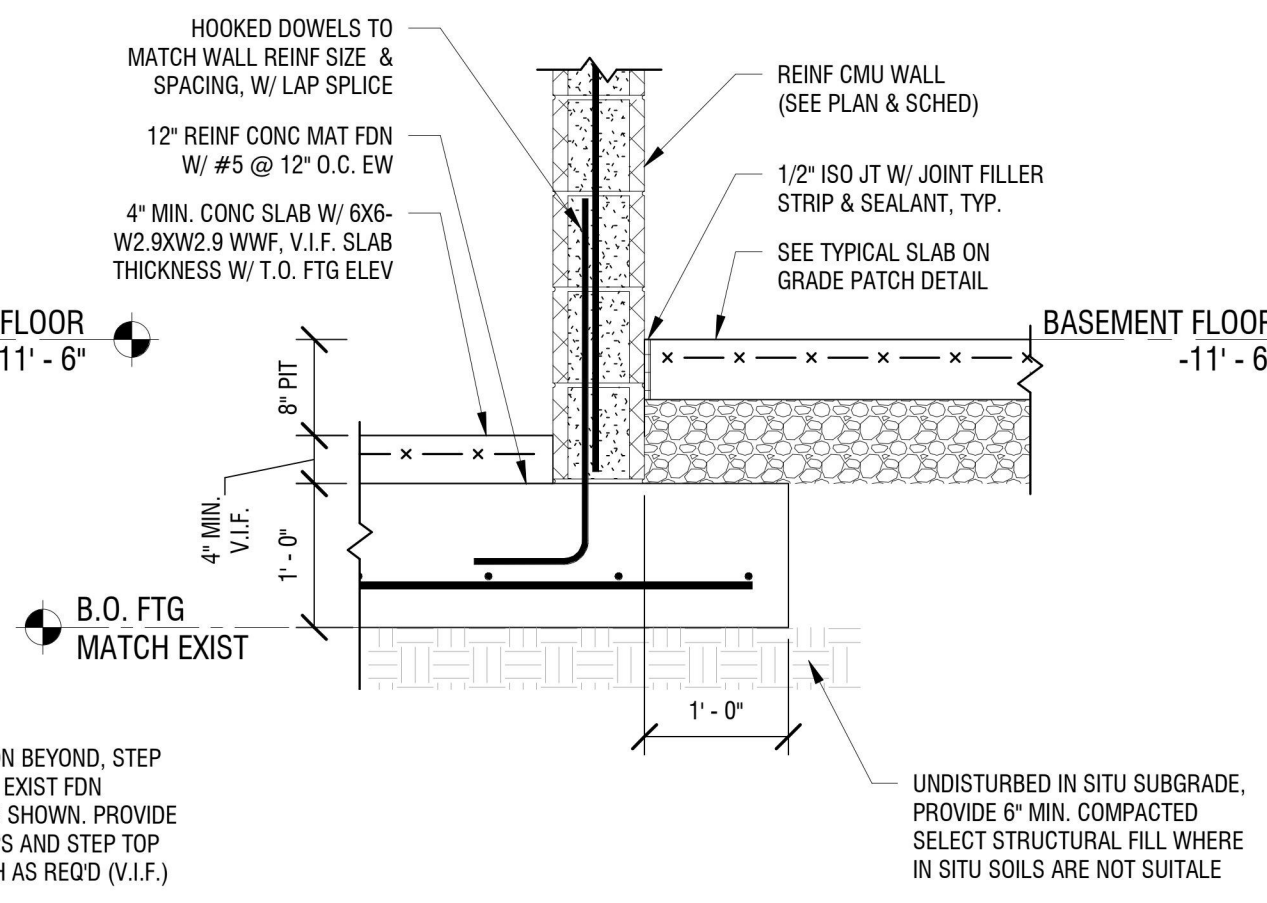
**5 STAIR WALL SECTION AT BUILDING**  
S301 3/4" = 1'-0"



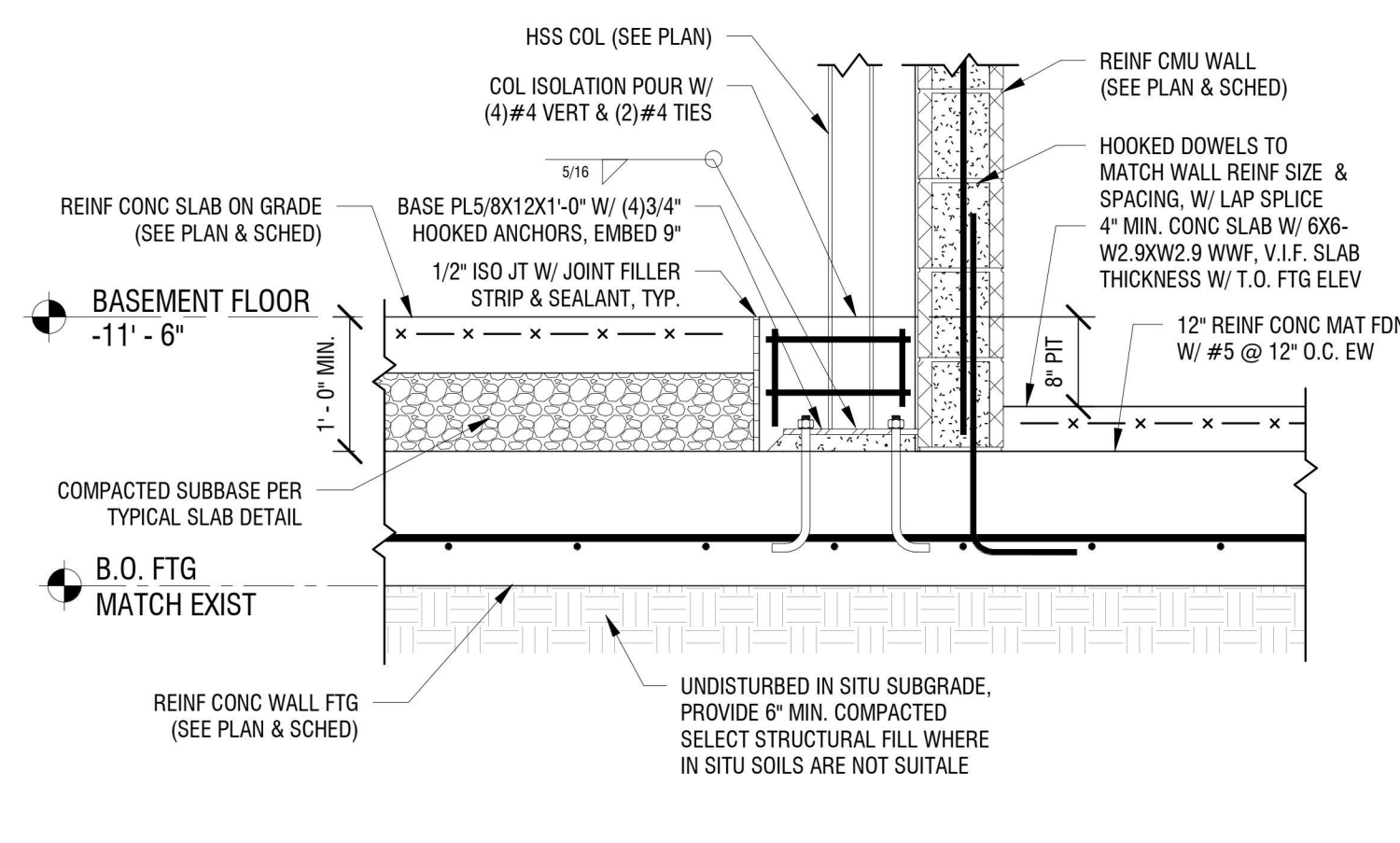
**4 CMU WALL FOOTING**  
S301 3/4" = 1'-0"



**3 EXTERIOR WALL REPLACEMENT**  
S301 3/4" = 1'-0"



**2 ELEVATOR PIT DETAIL**  
S301 3/4" = 1'-0"



**1 ENTRANCE COLUMN FOUNDATION**  
S301 3/4" = 1'-0"



CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369 HUD PROJECT No. 8-23-CP-NY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION HUB - WORK FORCE DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JTW

REVIEWED BY: SMM

ISSUED FOR: BID

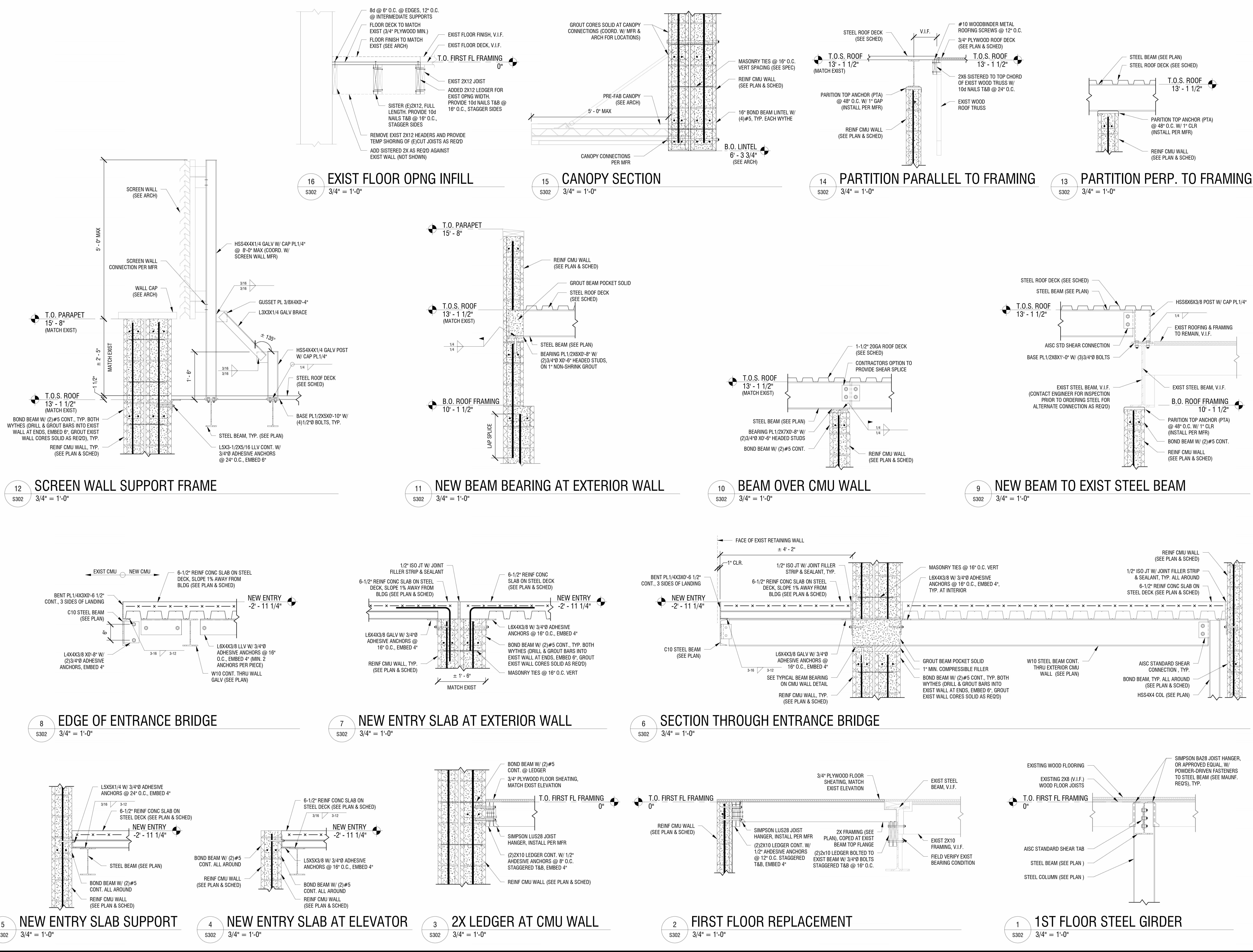
DATE: APRIL 11, 2024

DRAWING NAME:

**FRAMING DETAILS**

DRAWING NUMBER:

**S302**



4/2/2024 7:57:21 AM



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-WY-1083



ESD PROJECT No. 135.035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: TBD

REVIEWED BY: JMR

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**LOWER LEVEL  
DEMOLITION PLAN**

DRAWING NUMBER:

**AD101**

**REMOVAL LEGEND:**

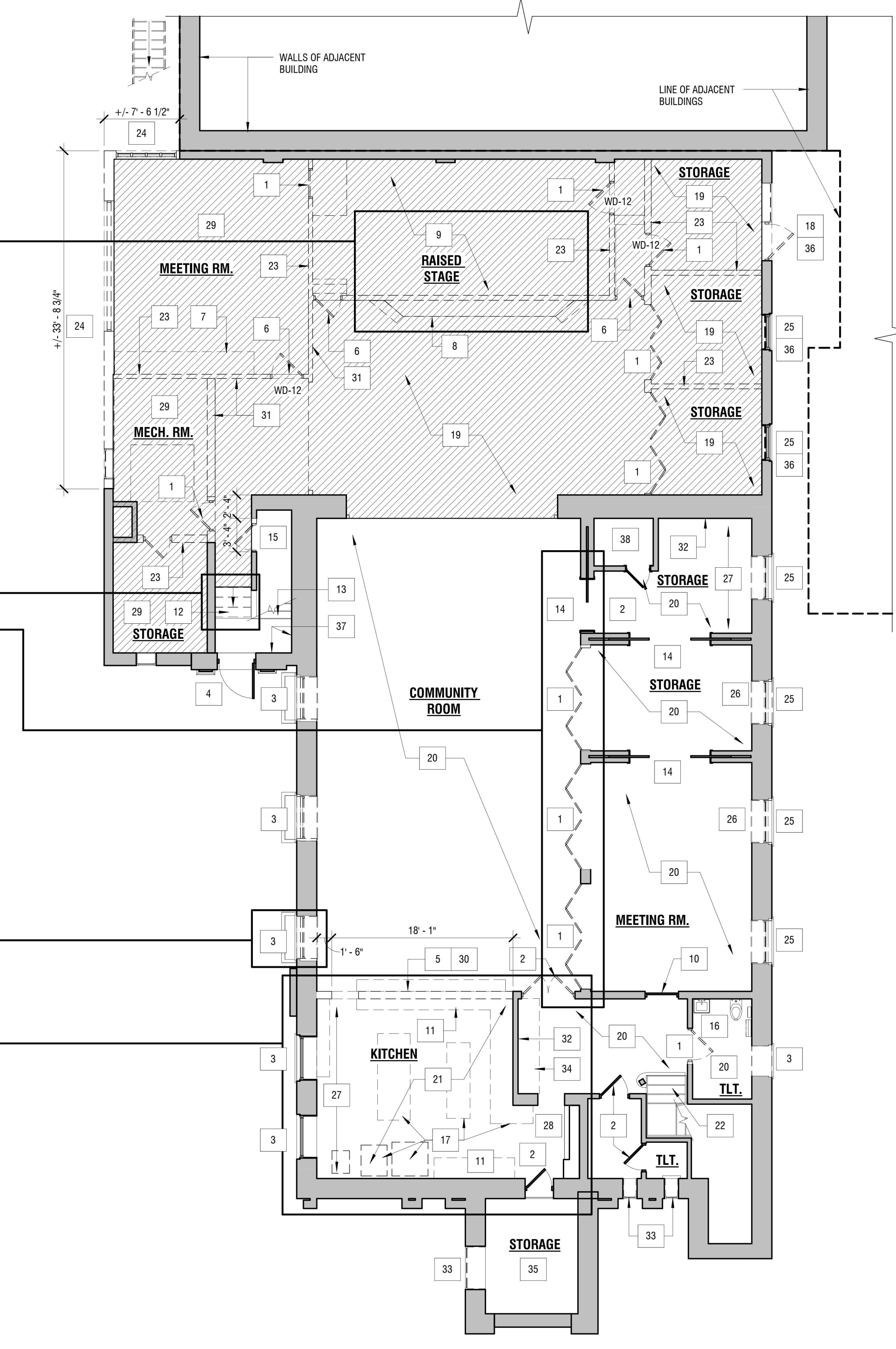
- AREA OF FLOOR, CEILING AND WALL FINISHES TO REMAIN
- AREA OF FLOOR, CEILING AND WALL FINISHES TO BE REMOVED TO EXISTING SUB-STRUCTURE, STUDS, AND JOISTS
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN

**GENERAL DEMOLITION NOTES:**

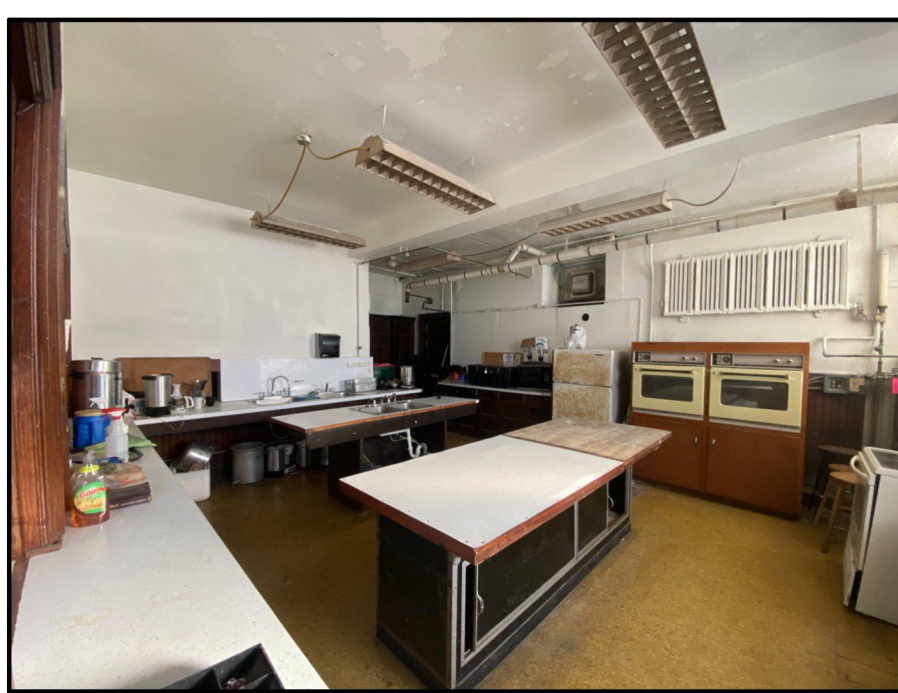
- A. IMPORTANT: THIS PROJECT IS A HISTORIC REHABILITATION PROJECT. ALL SHPO / NPS GUIDELINES MUST BE FOLLOWED. IF THERE ARE QUESTIONS REGARDING PROCEDURES OR HISTORIC NATURE OF AN ELEMENT, PLEASE CONSULT WITH ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- B. ALL WOOD DOORS CALLED TO BE SALVAGED AND NOT REUSED TO BE STORED ON SITE PER SHPO GUIDELINES.
- C. STOCKPILE ANY EXISTING UNDAMAGED WOOD MATERIAL (I.E. - WOOD FLOOR JOISTS, WOOD WALL FRAMING, ETC.) NOT CALLED TO BE SALVAGED FOR REUSE. REUSE AS PART OF THE NEW WORK (I.E. - IN-WALL BLOCKING, CONCRETE FORMWORK, ETC.).
- D. WHERE EXISTING WALLS ARE CALLED OUT TO BE REMOVED, SALVAGE ANY WOOD WALL BASE, WAINSCOTTING, CHAIR RAIL, DOOR CASING/FRAME/TRIM TO THE FULLEST EXTENT POSSIBLE FOR REUSE.
- E. REFER TO STRUCTURAL DRAWINGS FOR TEMPORARY SHORING OF EXISTING WALLS TO REMAIN WHERE THE FLOORING SYSTEM (CONCRETE SLAB-ON-GRADE AND ELEVATED WOOD FLOOR JOISTS) ARE TO BE REMOVE IN THEIR ENTIRETY.

**# DEMOLITION KEYNOTES:**

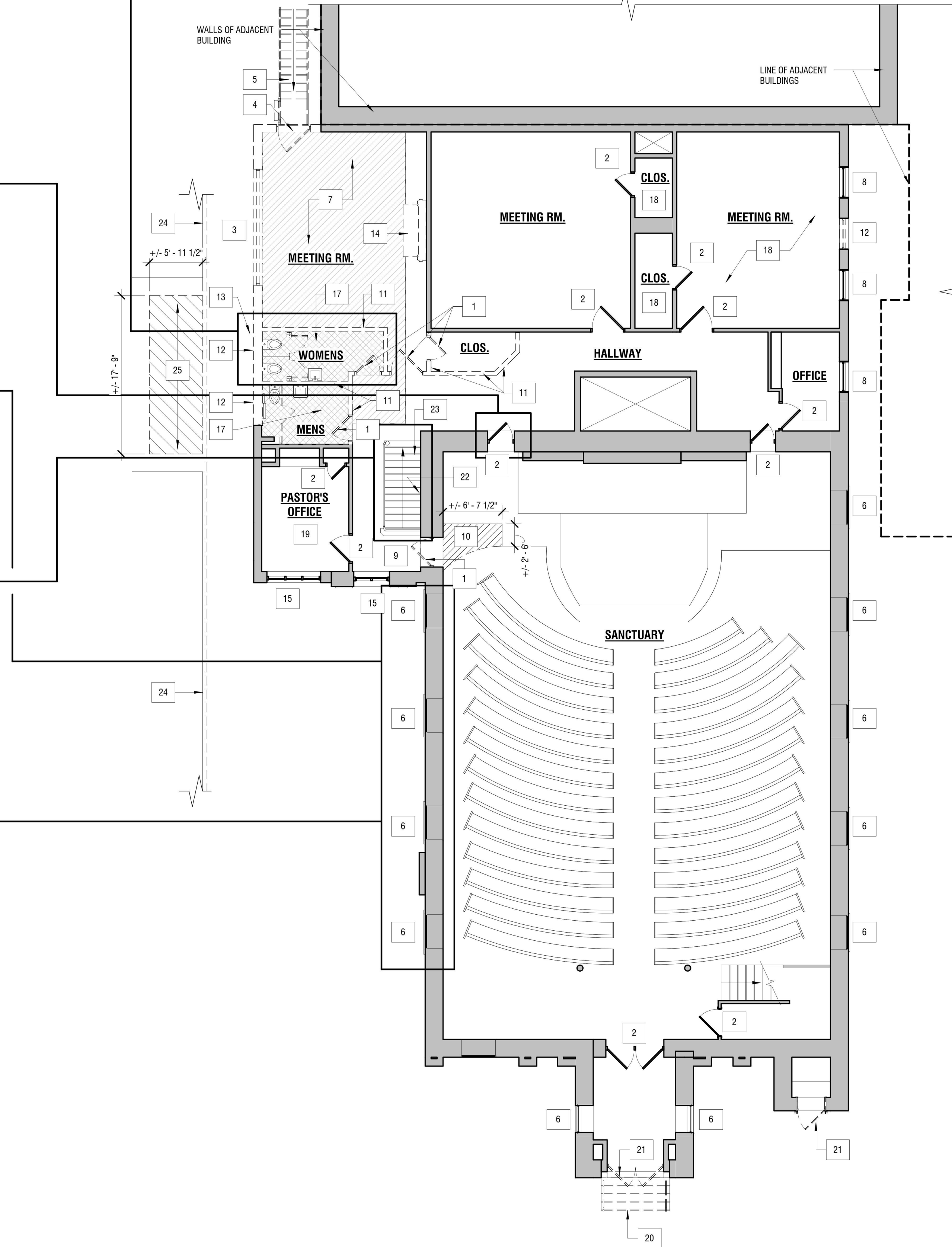
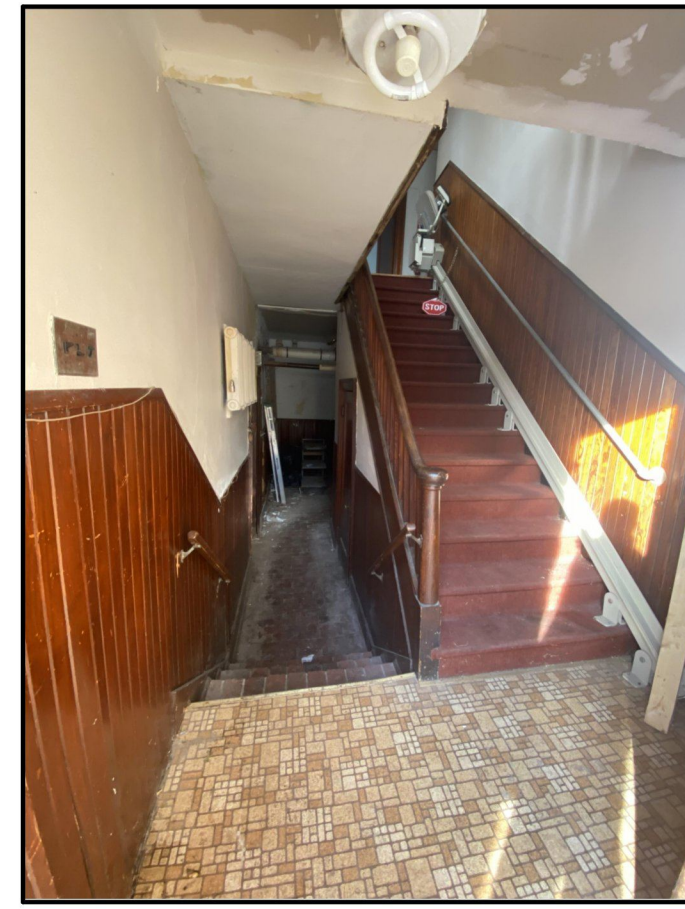
1. CAREFULLY REMOVE EXISTING DOOR, FRAME/TRIM, AND CASING (BOTH SIDES OF DOOR - IF APPLICABLE), SALVAGE, STORE, AND PROTECT. SEE NEW WORK FOR REPAIR, RESTORATION, AND IF SCHEDULED FOR REUSE.
2. CAREFULLY REMOVE DOOR AND DOOR FRAME FOR REINSTALLATION. SEE DOOR HARDWARE SCHEDULE FOR ANY HARDWARE MODIFICATIONS OR REPLACEMENTS AND MORE INFORMATION.
3. REMOVE EXISTING WINDOW AND PROPERLY DISPOSE OF IN ITS ENTIRETY. PREPARE OPENING FOR NEW WINDOW INSTALLATION. SEE WINDOW DETAILS FOR MORE INFORMATION.
4. REMOVE AND PROPERLY DISPOSE OF EXISTING EXTERIOR DOOR AND DOOR FRAME IN THEIR ENTIRETY. PREPARE OPENING FOR NEW DOOR AND FRAME INSTALLATION.
5. CAREFULLY REMOVE EXISTING ABOVE COUNTER DOOR PANELS, FRAME/TRIM, CASING (BOTH SIDES), WAINSCOTTING, AND SALVAGE, STORE AND PROTECT FOR REINSTALLATION. SEE INTERIOR ELEVATION FOR MORE INFORMATION.
6. CAREFULLY REMOVE EXISTING DOOR, FRAME/TRIM, AND CASING (BOTH SIDES OF DOOR), SALVAGE, STORE, AND PROTECT.
7. DEMOLISH AND PROPERLY DISPOSE OF EXISTING BUILT-IN CABINERY.
8. EXISTING WOOD STAGE PLATFORM AND SUPPORT FRAMING TO BE DEMOLISHED AND PROPERLY DISPOSED OF. SALVAGE WOOD FLOORING TO MAXIMUM EXTENT POSSIBLE. STORE, AND PROTECT.
9. AFTER REMOVAL OF WOOD STAGE, REMOVE EXISTING HARDWOOD FLOORING AND DEBRIS TO EXPOSE RECESSED CONCRETE SLAB.
10. DOOR TO REMAIN AND PERMANENTLY CLOSED.
11. SALVAGE EXISTING BASE CABINERY FOR REUSE. STORE AND PROTECT. COUNTERTOP TO BE CAREFULLY REMOVED AND PROPERLY DISPOSED OF IN ITS ENTIRETY.
12. EXISTING BRICK STAIRS TO BE DEMOLISHED AND DISPOSED OF IN THEIR ENTIRETY.
13. EXISTING METAL PIPE RAIL HANDRAIL TO BE REMOVED. PATCH AND REPAIR HOLES IN PLASTER FROM FASTENER REMOVALS.
14. EXISTING WOOD POCKET DOORS TO REMAIN AND REPAIRED TO MAKE OPERATIONAL.
15. CAREFULLY REMOVE AND SALVAGE EXISTING DOOR, FRAME/TRIM, AND CASING (BOTH SIDES OF DOOR - IF APPLICABLE), PORTION OF EXISTING PLASTER AND LATH WALL TO BE DEMOLISHED TO PROVIDE WIDER ROUGH OPENING FOR NEW DOOR AND FRAME CONSTRUCTION.
16. EXISTING TOILET AND SINK FIXTURES TO BE REMOVED. COORDINATE EXTENT OF REMOVALS WITH PLUMBING DRAWINGS.
17. DEMOLISH AND PROPERLY DISPOSE OF EXISTING APPLIANCES, BUILT-IN CABINERY, COUNTERTOPS, AND HARDWARE IN THEIR ENTIRETY UNLESS NOTED OTHERWISE TO BE SALVAGED FOR REUSE. COORDINATE REMOVALS WITH ELECTRICAL AND PLUMBING DRAWINGS.
18. REMOVE EXISTING DOOR AND WINDOW UNIT. SALVAGE ALL INTERIOR WOOD CASING/TRIM. PREPARE DOOR OPENING FOR NEW WINDOW INSTALLATION AND WINDOW OPENING TO BE INFILLED WITH LIKE CONSTRUCTION.
19. EXISTING FLOOR COVERING HAS BEEN IDENTIFIED AS AN ASBESTOS CONTAINING MATERIAL AND IS TO BE REMOVED BY A CERTIFIED ABATEMENT CONTRACTOR. SEE HAZARDOUS MATERIAL DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION. AFTER FLOOR COVERING ABATEMENT, THE EXISTING CONCRETE FLOOR SLAB AND STONE PAVER FLOOR TO BE REMOVED IN THEIR ENTIRETY. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVALS AND MORE INFORMATION.
20. REMOVE AND PROPERLY DISPOSE OF EXISTING VINYL TILE FLOOR COVERING IN ITS ENTIRETY THROUGHOUT THE SPACE. AFTER FLOOR COVERING REMOVALS, CAREFULLY REMOVE AND SALVAGE HARDWOOD FLOORING TO THE MAXIMUM EXTENT POSSIBLE. DEMOLISH AND PROPERLY DISPOSE OF WOOD SUBFLOOR IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WOOD FLOOR JOIST FRAMING REMOVALS AND TEMPORARY SHORING OF EXISTING WALLS TO REMAIN.
21. EXISTING VINYL TILE FLOOR COVERING HAS BEEN IDENTIFIED AS AN ASBESTOS CONTAINING MATERIAL AND IS TO BE REMOVED BY A CERTIFIED ABATEMENT CONTRACTOR. SEE HAZARDOUS MATERIAL DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION. AFTER FLOOR COVERING ABATEMENT, CAREFULLY REMOVE AND SALVAGE HARDWOOD FLOORING TO THE MAXIMUM EXTENT POSSIBLE. DEMOLISH AND PROPERLY DISPOSE OF WOOD SUBFLOOR IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS FOR EXTENT OF WOOD FLOOR JOIST FRAMING REMOVALS AND TEMPORARY SHORING OF EXISTING WALLS TO REMAIN.
22. TEMPORARILY SHORE BOTTOM OF EXISTING WOOD STAIRS AND PROTECT THROUGHOUT DEMOLITION.
23. DEMOLISH AND PROPERLY DISPOSE OF EXISTING WALL IN ITS ENTIRETY. REMOVE, SALVAGE, STORE, AND PROTECT ALL WOOD WALL BASE.
24. DEMOLISH EXISTING MASONRY EXTERIOR WALL FROM LOWER LEVEL TO TOP OF PARAPET. SALVAGE ENOUGH MASONRY FOR WINDOW INFILL ON EAST SIDE OF BUILDING AND PROPERLY DISPOSE OF ALL REMAINING PIECES OF WALL. CAREFULLY REMOVE AND SALVAGE CAMELBACK COPING FOR REUSE. SEE STRUCTURAL DRAWINGS FOR FULL EXTENT OF REMOVALS AND TEMPORARY SHORING DETAILS.
25. REMOVE EXISTING DETERIORATED WINDOW, INTERIOR GLASS BLOCK INFILL (IF PRESENT), EXTERIOR WIRE SCREENING AND PROPERLY DISPOSE OF IN THEIR ENTIRETY. PREPARE OPENING FOR NEW WINDOW INSTALLATION. REFER TO WINDOW DETAILS FOR MORE INFORMATION.
26. REMOVE EXISTING WINDOW AND DOOR AND PROPERLY DISPOSE OF IN THEIR ENTIRETY. PREPARE OPENING FOR NEW IN KIND INFILL CONSTRUCTION.
27. EXISTING FLOORING SYSTEM IN THIS AREA IS DAMAGED AND STRUCTURALLY UNSOUND. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVALS AND CORRECTIVE WORK.
28. EXISTING BUILT-IN CABINERY TO REMAIN. LAMINATE COUNTERTOP AND BACKSPLASH TO BE CAREFULLY REMOVED AND PROPERLY DISPOSED OF IN ITS ENTIRETY. PREPARE FOR NEW COUNTERTOP SPECIFIED.
29. EXISTING CONC. FLOOR SLAB TO BE REMOVED IN ITS ENTIRETY. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVALS AND MORE INFORMATION.
30. DEMOLISH AND PROPERLY DISPOSE OF PORTION OF LOAD BEARING WALL. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
31. CAREFULLY REMOVE AND SALVAGE WOOD WAINSCOT SLATS, TOP RAIL, AND BASE TO THE MAXIMUM EXTENTS POSSIBLE. STORE AND PROTECT FOR REUSE.
32. PREPARE PASS THRU OPENING FOR INFILL.
33. EXISTING WINDOW TO BE REMOVED AND INFILLED. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
34. DEMOLISH AND PROPERLY DISPOSE OF EXISTING COUNTERTOP AND ASSOCIATED WALL BRACKETS IN THEIR ENTIRETY.
35. DEMOLISH AND PROPERLY DISPOSE OF ALL SHELVING. SEE MEP DRAWINGS FOR EXTENT OF OTHER REMOVALS IN THIS SPACE/AREA.
36. SCRAP LOOSE PAINT FROM EXPOSED STEEL LINTEL FOR EXISTING MASONRY OPENING. PREPARE LINTEL FOR NEW PAINT SYSTEM. SEE NEW WORK DRAWINGS FOR MORE INFORMATION ON SPECIFIED PAINT SYSTEM.
37. AT THE EXISTING STAIR UP TO THE MAIN LEVEL, CAREFULLY REMOVE AND SALVAGE WOOD WAINSCOT SLATS, TOP RAIL, AND ANY BASE TRIM TO THE MAXIMUM EXTENTS POSSIBLE. STORE AND PROTECT FOR REINSTALLATION. AFTER REMOVAL WOOD WAINSCOT, REMOVE DAMAGED AND DETERIORATED PLASTER FINISH BEHIND AS REQUIRED TO EXPOSE WALL FRAMING AND MAKE READY FOR NEW WORK.
38. TEMPORARILY REMOVE OR SUPPORT ORGAN WIND SYSTEM (BLOWER, RESERVOIR, WIND TRUNK, ETC.) AS NEEDED PRIOR TO FLOOR REMOVAL EFFORTS. STORE AND PROTECT FOR REINSTALLATION.



1 LOWER LEVEL DEMOLITION PLAN  
AD101 1/8" = 1'-0"







**REMOVAL LEGEND:**

- AREA OF FLOOR, CEILING AND WALL FINISHES TO REMAIN
- AREA OF FLOOR, CEILING AND WALL FINISHES TO BE REMOVED TO EXISTING SUB-STRUCTURE, STUDS, AND JOISTS
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN

**GENERAL DEMOLITION NOTES:**

- A. IMPORTANT: THIS PROJECT IS A HISTORIC REHABILITATION PROJECT. ALL SHPO / NPS GUIDELINES MUST BE FOLLOWED. IF THERE ARE QUESTIONS REGARDING PROCEDURES OR HISTORIC NATURE OF AN ELEMENT, PLEASE CONSULT WITH ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- B. ALL WOOD DOORS CALLED TO BE SALVAGED AND NOT REUSED TO BE STORED ON SITE PER SHPO GUIDELINES.
- C. STOCKPILE ANY EXISTING UNDAMAGED WOOD MATERIAL (I.E. - WOOD FLOOR JOISTS, WOOD WALL FRAMING, ETC.) NOT CALLED TO BE SALVAGED FOR REUSE. REUSE AS PART OF THE NEW WORK (I.E. - IN-WALL BLOCKING, CONCRETE FORMWORK, ETC.)
- D. WHERE EXISTING WALLS ARE CALLED OUT TO BE REMOVED, SALVAGE ANY WOOD WALL BASE, WAINSCOTTING, CHAIR RAIL, DOOR CASING/FRAME/TRIM TO THE FULLEST EXTENT POSSIBLE FOR REUSE.
- E. REFER TO STRUCTURAL DRAWINGS FOR TEMPORARY SHORING OF EXISTING WALLS TO REMAIN WHERE THE FLOORING SYSTEM (CONCRETE SLAB-ON-GRADE AND ELEVATED WOOD FLOOR JOISTS) ARE TO BE REMOVED IN THEIR ENTIRETY.

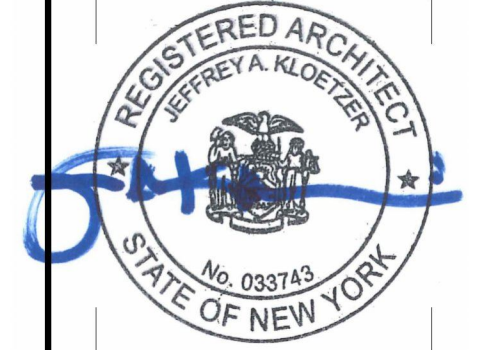
**# DEMOLITION KEYNOTES:**

1. CAREFULLY REMOVE EXISTING DOOR, FRAME/TRIM, AND CASING (BOTH SIDES OF DOOR - IF APPLICABLE). SALVAGE, STORE, AND PROTECT.
2. EXISTING DOOR TO REMAIN.
3. REMOVE EXISTING WINDOW AND PROPERLY DISPOSE. PREPARE OPENING FOR NEW WINDOW INSTALLATION. REFER TO WINDOW INFORMATION FOR MORE INFORMATION.
4. REMOVE AND PROPERLY DISPOSE OF EXISTING EXTERIOR DOOR AND DOOR FRAME IN THEIR ENTIRETY. PREPARE OPENING FOR NEW DOOR AND FRAME INSTALLATION.
5. DEMOLISH AND PROPERLY DISPOSE OF EXISTING METAL STAIRS AND ROOF ACCESS LADDER.
6. EXISTING STAIN GLASS WINDOWS TO REMAIN. REMOVE AND PROPERLY DISPOSE OF PLEXIGLASS AND PERIMETER FRAMING IN THEIR ENTIRETY.
7. REMOVE EXISTING FLOOR CONSTRUCTION IN AREA INDICATED. SALVAGE HARDWOOD FLOORING TO MAXIMUM EXTENT POSSIBLE. STORE AND PROTECT.
8. EXISTING WINDOW TO BE REMOVED AND OPENING PREPARED FOR NEW WINDOW INSTALLATION.
9. REMOVE AND PROPERLY DISPOSE OF WOOD RAMP IN ITS ENTIRETY.
10. REMOVE AND PROPERLY DISPOSE OF PORTION OF RAISED WOOD PLATFORM TO EXPOSE MAIN FLOOR LINE BELOW.
11. DEMOLISH AND PROPERLY DISPOSE OF EXISTING WALL IN ITS ENTIRETY. REMOVE, SALVAGE, STORE, AND PROTECT ALL WOOD WALL BASE. COORDINATE REMOVALS WITH ELECTRICAL AND PLUMBING DRAWINGS.
12. DEMOLISH AND REMOVE EXISTING WINDOW IN ITS ENTIRETY.
13. EXTERIOR WALL REMOVALS FOR NEW ENTRANCE. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION, EXTENT OF REMOVALS, AND SHORING REQUIREMENTS.
14. REMOVE AND PROPERLY DISPOSE OF EXISTING FIREPALCE AND HEARTH IN THEIR ENTIRETY.
15. EXISTING WINDOW TO REMAIN. SEE NEW WORK PLANS FOR RESTORATION AND REPAIR WORK.
16. EXISTING TOILET AND SINK FIXTURES TO BE REMOVED. COORDINATE EXTENT OF REMOVALS WITH PLUMBING DRAWINGS.
17. DEMOLISH AND PROPERLY DISPOSE OF CONCRETE FLOOR (+/- 2" THICK) AND SUBFLOOR FRAMING. SEE STRUCTURAL DRAWINGS FOR EXTENT OF REMOVALS IN THIS AREA.
18. REMOVE AND PROPERLY DISPOSE OF EXISTING FLOOR COVERING (LINOLEUM).
19. REMOVE AND PROPERLY DISPOSE OF EXISTING FLOOR COVERING (WOOD PLANK). REMOVALS OF FLOOR COVERING WILL EXPOSE EXISTING VAT THAT HAS BEEN IDENTIFIED AS AN ASBESTOS CONTAINING MATERIAL AND IS TO BE REMOVED BY A CERTIFIED ABATEMENT CONTRACTOR. SEE HAZARDOUS MATERIAL DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.
20. REMOVE AND SALVAGE STONE STEPS FOR REUSE. REMOVE AND PROPERLY DISPOSE OF ALL REMAINING MASONRY AND/OR CONCRETE MATERIAL.
21. REMOVE AND PROPERLY DISPOSE OF EXTERIOR DOOR PANELS. PREPARE AND REPAIR OPENING FOR NEW DOOR PANEL INSTALLATION.
22. CAREFULLY REMOVE AND PROPERLY DISPOSE OF METAL PIPE HANDRAIL AND WALL BRACKETS IN THEIR ENTIRETY.
23. CAREFULLY REMOVE AND PROPERLY DISPOSE OF CHAIR LIFT, GUIDE RAILS, SUPPORTS, ETC. SEE ELECTRICAL DEMOLITION DRAWINGS FOR EXTENT OF ELECTRICAL REMOVALS.
24. REMOVE ALL EXISTING PIPE GUARD RAILING SYSTEM. FULL LENGTH OF RETAINING WALL AND PROPERLY DISPOSE OF IN ITS ENTIRETY. REMOVE ALL FASTENERS FROM TOP OF RETAINING WALL.
25. REMOVAL OF EXISTING CONC. SIDEWALK FOR THE CONSTRUCTION OF NEW CONC. RAMP WITH LANDINGS. REFER TO NEW WORK DRAWINGS FOR MORE INFORMATION.

1 MAIN LEVEL DEMOLITION PLAN  
AD102 1/8" = 1'-0"



4/9/2024 5:10:40 PM



EXP: 07/31/2024

CERTIFICATE OF AUTHORIZATION NUMBER:  
PROFESSIONAL ENGINEERING: 018281  
LAND SURVEYING: 017976  
GEOLOGICAL: 018750

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NIAGARA UNIVERSITY, NEW YORK 14109



EDA PROJECT No. 01-01-15369

HUD PROJECT No. B-23-CP-NY-1083



ESD PROJECT No. 135,035

**ACADEMIC INNOVATION  
HUB - WORK FORCE  
DEVELOPMENT TRAINING**

822 CLEVELAND AVENUE  
NIAGARA FALLS, NEW YORK 14305

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2221723

DRAWN BY: JMR

REVIEWED BY: TBD

ISSUED FOR: BID

DATE: APRIL 11, 2024

DRAWING NAME:

**MAIN LEVEL DEMOLITION  
PLAN**

DRAWING NUMBER:

**AD102**