



August 18, 2023

**Request for Information (RFI) Responses – per Bidder’s questions**

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**Vocon Project No.** 220800.00

**Owner:** KeyBank  
**Project Name:** KB Corp-Larkin Buffalo, NY  
**Project Location:** Buffalo, NY

Owner	<input checked="" type="checkbox"/>	Contractor	<input checked="" type="checkbox"/>
Architect	<input checked="" type="checkbox"/>	Field	<input type="checkbox"/>
Consultant	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>

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**Issued To:** **Prospective Bidders**  
Address: 726 Exchange St. Suite 1020  
Buffalo, NY 14210

**Contact:** Marcus L. Wright

Provided by: Vocon Partners LLC

Date Issued: 8/18/2023

**Bid RFI Number: #1 (multiple bidder questions)**

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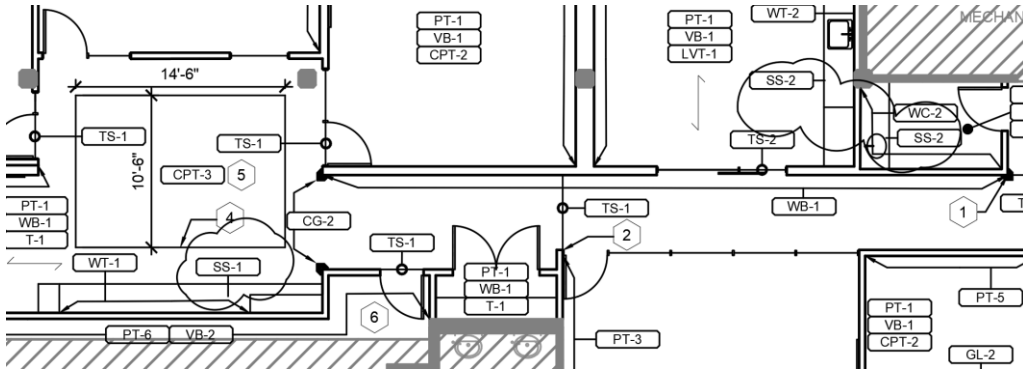
**Bid RFI Description Request:**

General Notes:

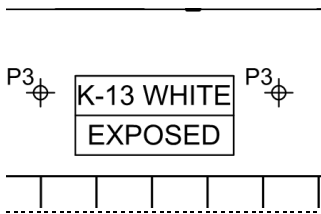
Do not provide any allowances or contingencies in your bid amount. KeyBank will work with the winning bidder in adding allowances and contingencies.

GC, who is awarded this work, might inherit balance of demo on 10<sup>th</sup> floor. Add demo number as add alternate.

1. Can you please state which countertops are to receive SS-1 vs SS-2? The Cambria selected has different price points. Based on drawing A-710, only the countertop in Room 10-200 is marked (as SS-2). No other countertops are labeled.



2. Drawing A-210 states to use K-13 in all exposed ceiling areas. Can you advise what color K-13 should be used and if the K-13 also needs to be painted?  
White and does not need to be painted.



3. Is the demo phase and scope of this project part of this bid package or direct to landlord?  
See General Notes on first page of responses. Additional minor demo may be required to provide final design.
4. Please confirm that all items noted to be supplied by **RCF** are not part of the GC bid package.  
Confirmed.
5. Please confirm if the interior storefront glazing is supplied by the furniture vendor?  
The front entry system shall be provided and installed by GC. All other systems provided and installed by RCF.
6. Are appliances part of the GC package?  
Yes, except for vending machines.
7. Please confirm door 100 is all Aluminum? or Door schedule calls out the door to be WD/GL?  
Front entry system is aluminum stick built. The double doors in this system are wood (stained to match KeyBank specification noted in drawings) and tempered glass. See RFI #8 below for additional information.

8. G901 – 084113 - Aluminum Storefront Framing (framing only at Door 100). The specifications note thermally broken framing and Low E insulated glass; this is an interior application. Is 1 ¾" x 4 ½" non-thermal framing with ¼" clear tempered glass acceptable?  
**Accepted.**
9. Please confirm Glass Whiteboards (GL-1 and GL-2) are supplied and installed by RCF and not part of the GC bid package. Per elevations.  
**These will be provided and installed by GC.**
10. Please confirm this project is able to be completed during normal working hours. (M-F 7a-3p)  
**Because space above and below 10<sup>th</sup> floor is occupied, any noise must be completed prior to 8:00 AM or after 5:00 PM.**
11. Are there any special requirements or for accessing the loading dock or service Elevator? Are we allowed to use any of the elevators to get material up to the 10<sup>th</sup> floor? If yes, which ones and what are the dimensions and weight limits for each?  
**Landlord can answer these questions during bid walk on August 25.**
12. Are there any Owner or Landlord requirements?  
**Landlord can answer these questions during bid walk on August 25.**
13. Are there any union requirements for trade labor?  
**No union requirements.**
14. What is the tax status of this project? Typically, Capital Improvement or Tax Exempt.  
**Capital Improvement.**
15. Please provide information on Note 21/F110 if the intent is for GC to provide. FLOOR MODEL PRINTER. COORDINATE WITH OWNER.  
**Printers will be provided and installed by KeyBank. GC to coordinate secure storage at time of delivery, prior to project completion.**
16. Please confirm Owner will be removing and storing all furniture noted to be reused and relocated.  
**There will be no furniture in the space to remove.**
17. Keynote 4/A110 states to provide new window treatment for all locations where treatments were removed. Please provide assumed quantity.  
**GC to provide line-item cost for the purchase and installation of window treatment(s) that may need to be replaced at completion of project. Each individual window treatment was not reviewed during field verification.**
18. E-001 Electrical and Tech division of scope – Please confirm the scope identified by the “Technology Contractor” is to be included by GC.  
**KeyBank will hold contract with Manchester CS Inc for all low volt communication wiring. GC will not provide communication number, but only manage their schedule.**
19. Has ground penetrating radar (GPRS) been conducted for the slab? If not, we would recommend in order to identify any inslab utilities. (ALLOWANCE)  
**X-ray of the existing slab will need to be provided and executed by GC.**

20. Are bathroom facilities available on the floor or within the building for use during construction?  
**Landlord can answer these questions during bid walk on August 25.**
21. G200- Dimensional Coordination of Drawings Note# 7 refers to floor level tolerance. Please advise if floor leveling is required. If required, provide spec, thickness and area to be applied. OR provide an allowance for all bidders to carry for leveling that may be required. (A110- Gen Note 6 also makes same reference)  
**This requirement is imperative at the location of the aluminum system provided by RCF. The tolerance noted must be adhered to at those locations. The winning bidder will work with KeyBank on adding allowances and contingency.**
22. G200- General Finish Note #9 – indicates to include an allowance for additional paint touch up after furniture installation. Provide allowance for all bidders to include. Bid drawings only. DO NOT provide allowances in your bid.  
**Do not provide allowance or contingency in your bid. The winning bidder will work with KeyBank on adding allowances and contingency.**
23. G200- General Finish Note #12- Indicates 10% attic stock on some items, it also notes to confirm stock required as it may differ per project. Attic stock is then noted on G902 which may differ from 10%. Please confirm/provide a list of all attic stock required.  
**Refer to sheet G200 for this requirement. As noted, provide baseline bid of 10% carpet, ceiling tile and wallcovering. Attic stock should be provided in full boxes and rolls. All other items (wall base, light bulbs, hard flooring) shall be determined by KeyBank. No paint attic stock shall be provided.**
24. A110 – General Note 7 indicates to carry an “allowance” for required floor tolerances at Hawthorn office fronts. Please provide allowance for all bidders to carry.  
**Bid the drawings only. Do not provide allowances in your bid. The winning bidder will work with KeyBank on adding allowances and contingency.**
25. A210- Note 9 indicates “GC TO COORDINATE COMMON CORRIDOR CEILING PATCH OR REDESIGN WITH LL”. Please define patching work. If redesign is required, please provide redesign to include vs. patch work.  
**This area is outside the scope of this project. However, the LL will need to provide direction/design per the building standards to accommodate the new corridor demising wall layout.**
26. A210 – Note indicates lighting by Graybar and provide a Cleveland Contact. Is this correct?  
**We ask you get pricing from Graybar and your electrical contractor. We find that Graybar sometimes is not competitive. Substitutions must be approved prior to submittal issuance.**
27. A210- Reflected Ceiling Plan Sheet Notes 14 – indicates to provide drywall expansion joint at all bulkhead transitions. Where is this to occur (not shown on details A310)? Provide specification if required.  
**At locations where full height partitions abut bulkheads leading into corridors, GC to provide vertical control joint in gyp. bd. between full height partition and bulkhead. The term ‘Expansion Joint’ is incorrect for this application.**
28. A402- Film by RCF. Is this furnished by RCF, installed by GC?  
**Per sheet F110, item #25, “Provided and installed (interior side) by RCF”.**

29. DA110 – Demo Note 3 references temporary walls where required. If temporary walls are required, please provide plan showing wall locations and temporary wall type. If temporary doors are required, please provide information and location of these as well.  
**This shall be the responsibility of the GC to determine requirements and locations of temporary barriers to provide safety/protection to other tenants on the floor from ongoing construction and to provide code required life safety and egress requirements.**
30. DA110 – Confirm that hatching indicates removal of doors and walls to be included in scope. Confirm all walls are gyp/metal stud that will be removed.  
**Overall demo of existing suite 1020 is being completed by LL. Additional minor demo may be required to provide final design.**
31. A401, A403 – Multiple items (marker boards, marker tray, lockers) noted “Provided” by RCF. Confirm “provided” means furnished and installed by RCF and scope is not by GC. General – Please provide a responsibility matrix of items OFCI, OFOI.  
**Elevation note is incorrect. Marker Boards and trays (MDC) purchased and installed by GC. Contact Sue Etheridge.  
Lockers will be provided and installed by RCF. Refer to sheet F110, equipment & accessories schedule for additional information regarding OFCI, OFOI.**
32. G901-Spec 083100- Ceiling Access Doors – Provide quantity and sizes required. Spec notes “wall and ceiling” – provide quantity and size of ceiling and wall doors required along with location.  
**Size and location to be determined by field conditions. Once above ceiling equipment is installed, GC to coordinate required access panels type, location, and finish in gyp ceiling with Vocon.**
33. G902 refers to STC. Confirm no STC ratings required, none indicate on wall types/door schedule.  
**No STC required.**
34. Piping: Is pro-press allowed for piping instead of soldered joints?  
**In review with the engineer and LL, winning bidder will be provided with direction.**
35. Is any of the new HVAC equipment pre-purchased already or does all equipment need to be provided by the HVAC contractor?  
**Equipment to be provided by the HVAC contractor.**
36. 230200-2-D states to refurbish any existing equipment before reinstallation. What type of work does this entail for these units?  
**Refurbish units with factory service that includes cleaning coils, cleaning drain pan, replacing filter, calibrating controls, cleaning fan and rebalancing the cfm supply air/return air as indicated on drawings, and providing a written report to the landlord and engineer.**
37. 230200-2-F states to remove all previously abandoned equipment, piping, and ductwork encountered above existing ceilings. There isn’t any way to accurately bid this without knowing what is existing.  
**Demolition is part of the landlord’s responsibility. See General Notes on first page of responses.  
Additional minor demo may be required to provide final design.**

38. 230200-2-G states, where required, re-support existing to remain piping and ductwork encountered above the existing ceilings. There isn't any way to accurately bid this without knowing what is where new supports are going to be required.  
**This is a general note to ensure that any existing to remain piping or ductwork that is observed to not be properly supported gets properly supported during this renovation. Winning bidder to work with KeyBank and landlord if there is any occurrence of this during field verification process.**
39. 230200-2-K states to replace any valves that are failing. There isn't any way to accurately bid this without knowing how many, what kind and what size valves might be failing.  
**Provide unit pricing per specification 23 01 01, 1.2.**
40. Division 1 is mentioned for the Mechanical contractor to reference a few times throughout the Mechanical spec sections. Can you please provide this spec section?  
**This division is on sheet G900.**
41. The current roof is under warranty. Do you know who installed the roof so that the warranty can be maintained when the demo of the existing unit and installing of the new unit is done?  
**Do not provide allowance or contingency in your bid for this item. The winning bidder will work with KeyBank on adding allowances and contingency.**
42. 232000-13-3.7-A: has us providing cleaning for piping systems. Is this required since the system is existing?  
**Yes, provide cleaning for new piping only.**
43. 230548-8-3.5 A&B: Piping system is existing, is vibration isolation required on any new piping or equipment?  
**Yes, this is required for new piping and equipment.**
44. 230400-1: Since this system is existing, where would firestopping be required?  
**Firestopping is required for all new penetrations. Please also reference the Firestopping Detail in each discipline's drawing set.**
45. E110 – Dwg notes #3 & #4 – notes to refer to architectural details for installation details of lighting into millwork and signage (same with E210, note 2). Please provide these details.  
**Plan Notes on both sheets are referencing architectural elevations shown on A401.**
46. E110 – Dwg note #6 refers to work “after standard hours” – please advise on time frame required for this work.  
**Before 8 am and after 5 pm.**
47. E210 - Floor Devices are shown throughout renovation. Please confirm area below renovation space and requirements on getting access to the space below/work hours.  
**KeyBank will work with LL for access to floor below.**
48. General - confirm no hazardous materials/provide clean letter for space including exterior walls (impacted per note 3/E210). H001 note F suggests potential for mercury. Please confirm/advise on specifics if required.  
**LL to provide clean letter prior to construction start.**

49. E310 – Provide info on building fire alarm vendor.  
Provide sf cost in your bid for this line item.
50. E310 – Confirm no temporary fire alarm required during construction. If required, provide information.  
Code requires fire alarm system to remain active during construction.
51. E702- Note 4 indicates to provide a meter and connect to BAS. Notes to coordinate with Owner on connection requirements to BAS. Please provide info.  
Landlord to provide connection requirements for new electronic meter associated with IDF room electrical panel.
52. ED110 – Note 2 and HD310-Note 3: HD310 Note 3 indicates three (3) FCU to be refurbished and turned over to Owner. ED110- Note 2 indicates two. Confirm which note is correct/confirm quantity for refurbish/turn over. Define “refurbish” work and confirm how unit is to be turned over to Owner. Where should these be delivered for Owner?  
Note 3 on HD310 is correct. ED110 Note 2 shall be updated in future submission.
53. FPD110 – General Note B indicates to cap/plug as needed to maintain sprinkler in surrounding spaces. Plan Note 1 indicates sprinkler to be maintained during construction in work area. Please confirm requirements for sprinkler in work area. Advise on work required to keep adjacent spaces active/how existing system is zoned.  
Sprinkler demolition typically occurs during installation of new system. Refer to Plan Note #1 and Plan Note #4 on FPD110.
54. H001 – Note N – indicates seismic restraints for HVAC equipment. Please advise on seismic classification.  
No seismic requirements per previous study performed on building. Landlord has copy of report.
55. H001- Note O – Please provide information on existing roof warranty and on roofing composition/details.  
Winning bidder will work with KeyBank and LL on this item.
56. H001- Note AB – Note indicates pressure testing. Is this for all new duct work? Would you like this as an Add Alternate?  
Ductwork pressure testing is not required. However, ductwork shall be constructed per SMACNA Standards as described in spec section 23 30 00, 3.2, A.
57. HD111/H111 –Confirm no steel/misc. metals required for new CUA-01 or for removal of existing condensing unit.  
CUA-01 shall be properly supported per detail on H602.
58. Is there a phasing schedule?  
No phasing scheduled at this time.
59. Is there a specific contact or preferred contact for the Haworth demountable systems? The drawings outline approx. 35 systems.  
RCF – Laure Crowder. After project is awarded, KeyBank will coordinate all contacts with consultants.

60. Drawing G200: Power & Communications  
Note #39 states that x-ray of the existing slab is required before any penetrations. Is x-ray of the slab really required?  
**See BID RFI #19 response.**
61. If a note states that the work is by the "furniture vendor", does that mean that we can exclude the furnish and install of the materials?  
**Yes**
62. If a note states that the work is by the "signage vendor", does that mean that we can exclude the furnish and install of the materials?  
**Yes**
63. If a note states that the work is by the "RCF", does that mean that we can exclude the furnish and install of the materials?  
**Yes**
64. If a note states that the work is by the "A/V vendor", does that mean that we can exclude the furnish and install of the materials?  
**Refer to AV drawings from RJC for requirements.**
65. In regard to millwork: Need counter top material selection for counter at elev. 4/A401; and counter at elev. 7/A401.  
**See RFI #1 above for additional information.**
66. In regard to millwork: Need glass shelf thickness at elev. 4/A401.  
**1/4" tempered.**
67. Drawings indicate that the concrete ceiling in certain areas will be painted. IN the Power Point that was sent there are photos showing the current concrete deck and it looks to be in rough shape. Will we need to carry a patching allowance for this?  
**The PowerPoint presentation should be strictly used for a visual understanding of the design and not actual final construction conditions. No additional patching or repair will be needed beyond what is needed for new construction. The deck will be finished with white K13 to help with sound and to bring to a like-new finish. See RFI #2 for additional information.**
68. Also in the Power point, the pictures show a metal deck. Will this metal deck need to be fireproofed? I am not seeing any there unless they used a certain type of paint to achieve.  
**There are no requirements for fireproofing.**



## Landlord review comments.

### **General Design Notes**

1. References to project participants in the drawings ie. Owner, Landlord, Tenant, Client, Property Manager, etc.
  - a. Can the terminology be changed to Landlord or Larkin Development, Tenant or KeyBank, and Contractor, along with Tenant Vendor (outside GC contract) to avoid confusion between the parties and respective scope  
**All attempts have been made to revise responsibilities as noted in this comment. Winning GC to contact Vocon in the event responsibilities noted are incorrect or need clarification.**
2. OCC- Owner Controls Contractor A210\_Note 4.
  - a. Please state the Landlord controls contractor (Stark Tech) must be used for HVAC and FA controls.
3. Owners Security Vendor A010
  - a. Presume this is KeyBank's access control vendor and not LL.
4. Please note temporary poly walls required when constructing in the common corridor, along with poly floor coating and Masonite where materials are be moved and dust or other work could effect the space. Common corridor area where not impacted by buildout must be left in the same condition as prior to when work began- this likely to be covered in base building rules which you state-thank you!
5. As-Built drawings to be provided by MEP contractor's.

### **Architectural**

1. A 901- cam locks to be keyed similar throughout campus.
  - a. Presume this refers to KeyBank's keying.  
**This is an accurate understanding. Cam lock locations noted on elevations.**
2. Door hardware system should be compatible with Sargent system. Landlord will provide actual Core and Keys
  - a. Sargent SFIC Cores 65-7P-7300B
  - b. Sargent 7285B 4A Keyway

### **Mechanical/HVAC**

1. Please note that no condensate pumps permitted- must be gravity drained.
  - a. Is there a condensate drain location for MDF rm 10-310 associated with unit WMU-10-1
2. Need to clarify scope of FCU 40- what if any demolition is required and what rework. Corridor FCU
3. Danforth is the preferred vendor for HVAC within the LCo Building- need not make note in drawings, simply an FYI.

### **Plumbing**

1. Provide slab infill details at areas of piping removals to include painting if applicable.

### **Electrical**

1. Newly installed conduit should hug ceiling and beams- not run level across entire space. Where exposed it should be painted white  
**Ceiling will be finished in White colored K13.**
2. Where conduit penetrations are required from below- please include notes referring to the coordination of the space below and where exposed it should be painted white

### **Data & Comm**

1. Are offices and cubicles fed data and power from above or below? Presume all conference room areas are from below.
2. Any data run within wall cavity should have a 1" EMT raceway from wall box to cable tray. No exposed cabling and any above plenum cabling should be suspended from ceiling.



**Fire Protection**

1. Must maintain full functionality of Fire Alarm system in adjacent tenant space while construction is in process- it appears to be in the same zone as the construction area.

**Permit review comments. These items will be updated on the Issue for Construction set.**

**Fire & Life Safety**

**General Issues**

**1. Shop drawings**

Buffalo Fire Department Charlie Graver 8/7/23 2:28 PM IPS - Interior Build-Out - 1	Please submit stamped & signed shop drawings of fire alarm & sprinkler systems for approval before work begins.
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**Keith Ogden**

KeyBank Corp Larkin Buffalo NY Issue for Permit 20230721 - (full).pdf [21 redlines] (Page 55) P601 - PLUMBING DETAILS AND DIAGRAMS

**2. Text Box B**

Permit Office Keith Ogden 8/8/23 8:11 AM IPS - Interior Build-Out - 1	Water temperature limiting device required per section 607.1.1 & 607.1.2 of 2020 PCNYS.
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**3. Text Box B**

Permit Office Keith Ogden 8/8/23 8:13 AM IPS - Interior Build-Out - 1	Overhead sanitary clean outs on the 9th floor prohibited, wall or floor clean outs on 10th floor required.
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References or Attachments:  
Drawings or other documents.

Answered By: Client, Architect, Engineer and Consultants Date: 8/18/2023

**Note:** These replies are intended for assistance to prospective bidders in providing comparable estimates for the completion of this project. If any reply requires a change to the Contract Documents, the changes will be reflected in a forthcoming Issue for Construction set (date of issuance to be determined).

**End of Bid RFI #1.**