

ADDENDUM NO. 2

PROJECT: Edgewater Art House
The Resource Center
Jamestown, New York

LOCATION: 712 W. 8th Street
Jamestown, New York 14701

LABELLA PROJECT NO.: 2192683.01

DATE: August 27, 2021

FROM: LaBella Associates, D.P.C.
500 East Sixth Street
Jamestown, New York 14701

TO: Prospective Bidders

All Bidders submitting proposals for the above-named project shall take note of the following additions and changes which modify the original bidding documents. The instructions included in this Addendum have precedence over anything contrarily shown on the Drawings or described in the Specifications, and all such shall be taken into consideration and be included in the Proposal. Receipt of this Addendum shall be acknowledged by the Bidder in the space provided on the proposal form.

This Addendum No. 2 consists of 3 pages plus attachments.

CHANGES TO THE PROJECT MANUAL/SPECIFICATIONS

~~1.1 SECTION 001010 - INVITATION TO BID~~

- ~~A. Bid forms may be emailed along with a copy of the Bid Bond by the required Bid Due Date, provided that duplicate originals follow as soon as possible thereafter. If emailing, please send to suzette.smith@resourcecenter.org and eschober@labellapc.com.~~

N/A

1.2 SECTION 011000 - SUMMARY

- A. 1.7 PROJECT SEQUENCE AND COMPLETION, paragraph B: The date of substantial completion is noted as November 30, 2021. However, we are aware of issues with material availability, lead times, etc., which have been very unpredictable. This date is a target, but we understand it could be impacted by issues beyond anyone's control.



1.3 SECTION 012300 – ALLOWANCES

A. 1.05 Allowances Schedule, add the following:

“F. Allowance No. 6: The Contractor is to include in the Base Bid proposal an Allowance for hazardous materials abatement.

1. Allow \$3,000 (three thousand dollars)
2. Include overhead and profit in the Allowance

CHANGES TO THE DRAWINGS

1.1 DRAWING G002 – NOTES, SYMBOLS AND ABBREVIATIONS

A. General Construction Note 16 states the Contractor is responsible for obtaining and paying for all permits associated with their contract. To this note, add the following: “The Contractor is responsible for filing the application and submitting drawings and specifications as required for the permit.”

1.2 DRAWING C101 – SITE PLAN AND DETAILS

A. Change the width of the stamped concrete terrace from 16'-5 ½" +/- indicated, to 25'-0" +/- . Stamped concrete shall also cover sills/thresholds at existing overhead doors scheduled for removal.

1.3 DRAWING A001 – DEMOLITION PLAN

A. To Demolition Key Note D4, add the following:

“Remove existing horizontal 1” diameter steel pipe rails and mounting plates within masonry opening of windows, approximately 4 per window.”

B. Assign Demolition Key Note D5 to all three overhead doors and add the following to the note:

“Remove approximately 4” of concrete wall/apron at the sill of each overhead door opening and top with new concrete. Removal shall be by jackhammer or as required, to remove top portion of deteriorated and cracked concrete.”

C. From the existing steel column in the middle of the garage, remove the U-shaped steel hook, spot welded to the column.

D. Extend the width of the existing asphalt pavement indicated to be removed in Demolition Key Note D7, from 16'-8" +/- to approximately 25'-0". (Coordinate with work shown on Drawing C101 as addressed in this Addendum.)

1.4 DRAWING A101 – FIRST FLOOR PLAN

A. Floor Plan Key Note A4 references the new reception desk. Refer to attached casework sketches A1 of 2 and A2 of 2 in this Addendum for more information.



1.5 DRAWING A102 – ROOF PLAN AND DETAILS

- A. The existing EPDM roof is under warranty. All roofing related work, including but not limited to, curbs, flashing, penetrations, patching, etc., must be performed by an authorized Carlisle installer in order to maintain the warranty.

1.6 DRAWING A201 – EXTERIOR ELEVATIONS

- A. Revise Elevation Key Note E1 to read as follows: “Kebony 1 x 6 Character 90 Degree Shiplap #2216, installed vertically.” (CLARIFICATION: This change pertains to all Kebony vertical wood siding references on the drawings that had indicated 1 x 8 Character Square.)

1.7 DRAWING A501 – STAIR PLAN, SECTIONS AND DETAILS

- A. At the stair framing plan and details for the stair, change the C12x10.6 designation of the stringers to MC12x10.6, and change the M67x17.6 designation of the channels to C6x8.2. Paint all steel components of the stair.

1.8 DRAWING A601 – SCHEDULES, WINDOW ELEVATIONS AND DETAILS

- A. To Room Finish Schedule Comment #1, add the following:

“Preparation will also include application of an oil stop primer to the garage floor, removal of floor paint at Passage 04, Kiln 05 and Storage 05A and application of vapor/moisture barrier throughout. Approximately 25% of the garage floor area is exceptionally rough and will require Apollo CPR concrete patch to attain the appropriate surface texture and adhesion for the finish floor.

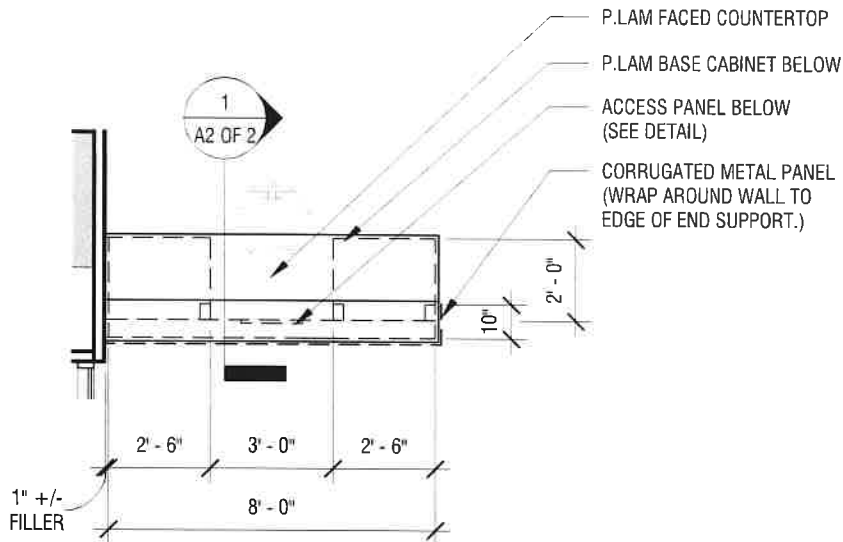
- B. Only polyurea concrete coating/refinishing systems and processes identical to Apollo Concrete Coatings will be considered.
- C. At Door Schedule, add electronic card reader/swipe access to the exterior of Door 01-1.
- D. To Note 4 of the Room Finish Schedule, add the following to the preparation of the exposed wood structure:

“Primer coat for the exposed wood structure to be Sherwin Williams White Shellac, pigmented as required for top coat color selected. “
- E. To Note 4 of the Room Finish Schedule, substitute Sherwin Williams Industrial Enamel HS for the exposed structural steel columns and beams to be painted.

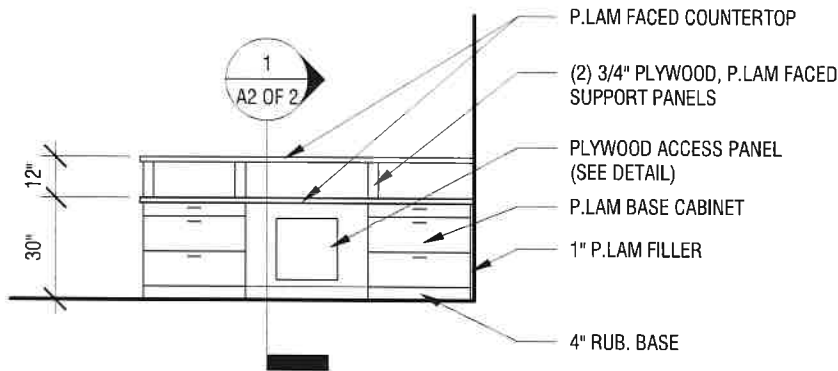
1.9 DRAWING E101 – LEVEL 01 – REMOVAL, LIGHTING, POWER & SYSTEMS FLOOR PLAN

- A. At 1st Floor Power & Systems Plan, add notation for Contractor to provide and install electronic card reader/swipe access at exterior of main entrance door (Door 01-1), including all associated conduit, wiring, junction box, etc.

Attachments: Sketches A1 of 2 and A2 of 2
END OF ADDENDUM NO. 2



1 PLAN @ CASEWORK
A1 OF 2 SCALE: 1/4" = 1'-0"



2 ELEVATION @ CASEWORK
A1 OF 2 SCALE: 1/4" = 1'-0"



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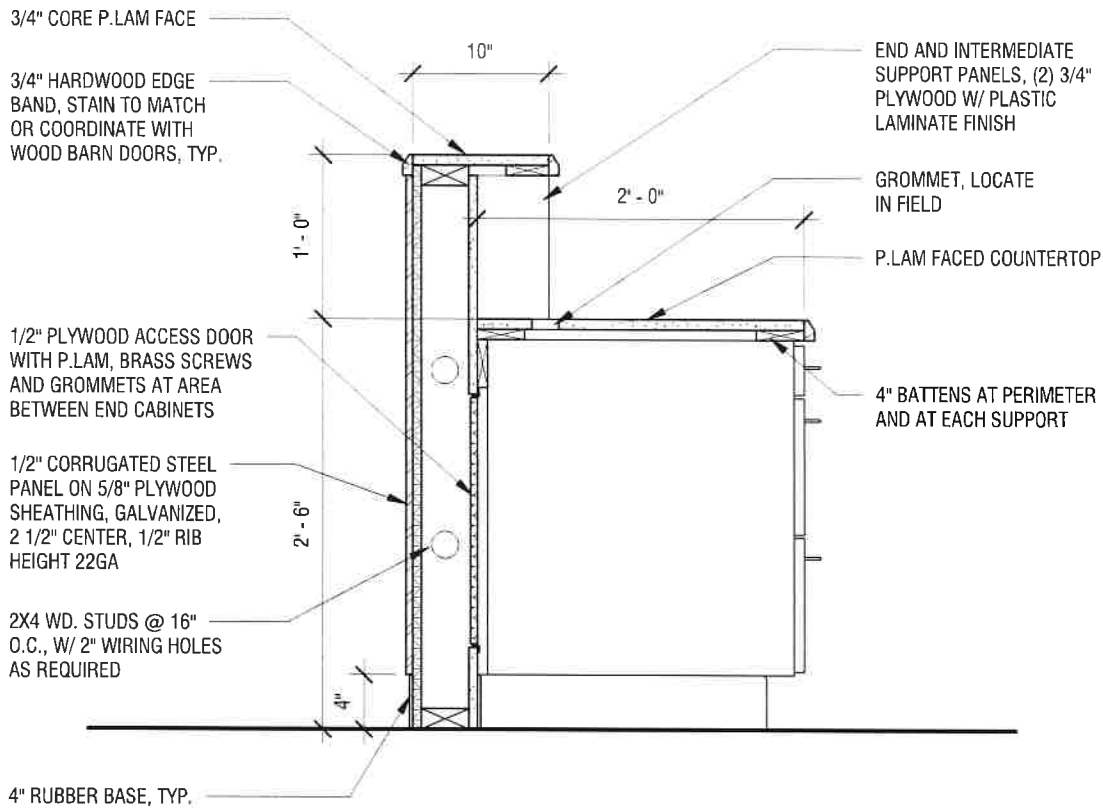
It is a violation of New York Education Law Article 143, Sec. 2709, for any person, acting under the direction of a licensed technical, professional engineer, or fabric contractor, to alter in any way, or in any bearing the name of an architect, engineer, or fabric contractor or alter the drawing, or fabric, equipment, or form, or design, or any other thing, or to make any alteration, followed by the signature and date of such alteration, and a specific description of the alteration.

DRAWING NAME: **PLAN AND ELEVATION**

PROJECT NAME: **EDGEWATER ART HOUSE**
712 W. EIGHTH STREET
JAMESTOWN, NY 14701

REVISION: ADDENDUM NO.2		
DRAWN BY: TEE	DATE: 8/27/2021	PROJECT NO.: 2192683.01
DETAIL NO./REVISED SHEET:	SHEET NUMBER: A1 OF 2	

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1 SECTION @ CASEWORK
 A2 OF 2 SCALE: 1" = 1'-0"



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DRAWING NAME: SECTION		DRAWN BY: TEE	DATE: 8/27/2021	PROJECT NO. 2192683.01
PROJECT NAME: EDGEWATER ART HOUSE 712 W. EIGHTH STREET JAMESTOWN, NY 14701		DETAIL NO./REVISED SHEET: 		SHEET NUMBER: A2 OF 2