

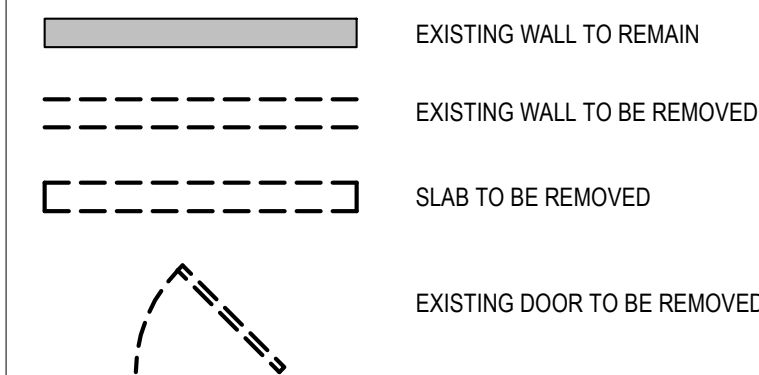


2 ANTIQUE SCALE TO BE SALVAGED NOT TO SCALE

**SPECIFIC DEMOLITION NOTES:** (X)

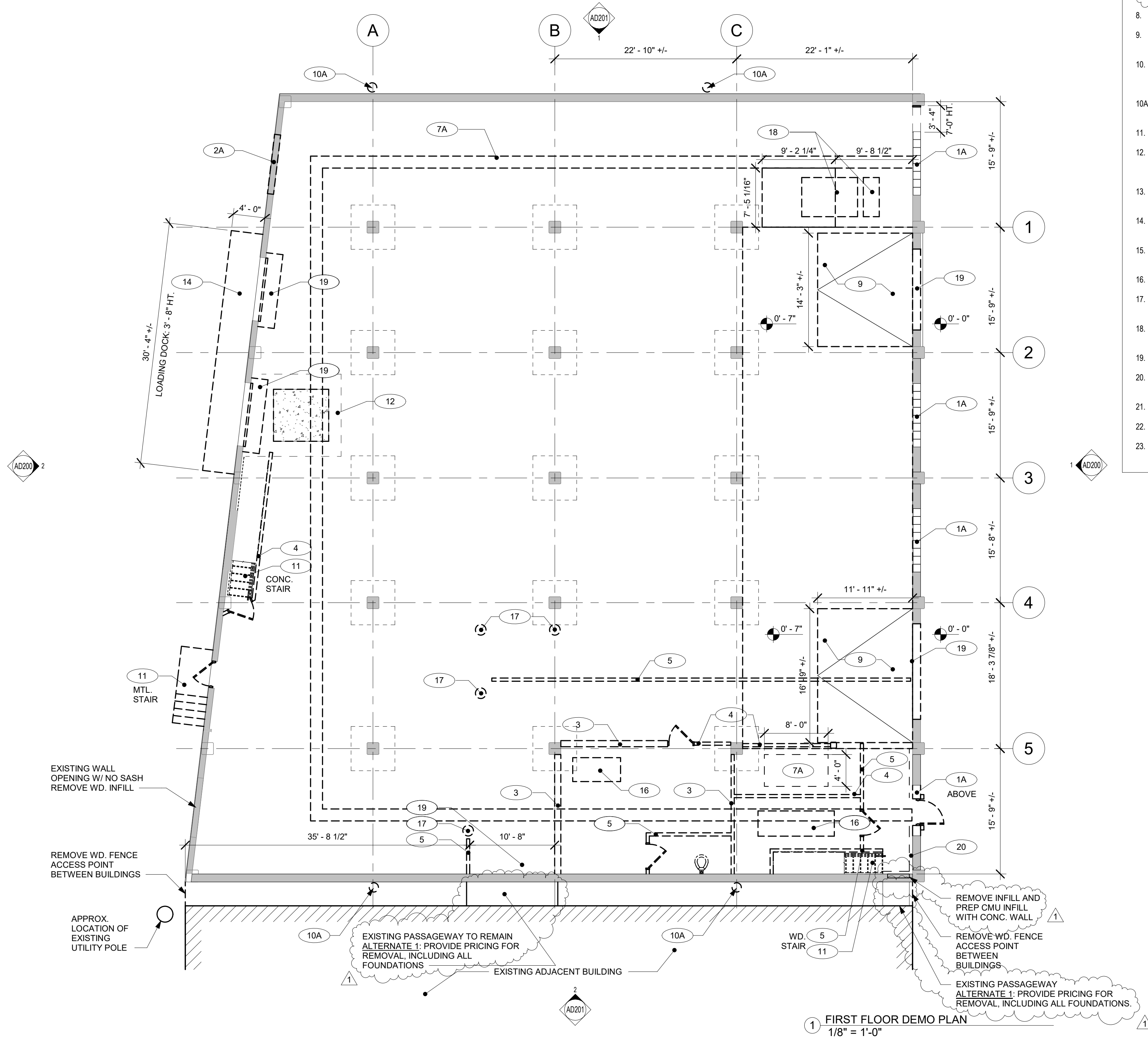
1. REMOVE EXISTING GLASS BLOCK WINDOW ASSEMBLY SALVAGE UNITS FOR RESTORATION AT OTHER OPENINGS PER WINDOW SCHEDULE
- 1A. EXISTING GLASS BLOCK WINDOW TO REMAIN. PROTECT WITH RIGID BOARD FOR DURATION OF WORK
2. REMOVE EXISTING VINYL WINDOW ASSEMBLY
- 2A. REMOVE METAL WINDOW GRILLE + ASSOC. WINDOW
3. REMOVE EXISTING CMU BLOCK WALL
4. REMOVE EXISTING CONCRETE WALL
- 4A. SAW CUT NEW OPENING IN EXISTING CAST CONCRETE & BLOCK WALL. PREP FOR NEW WINDOW. SEE AD200'S.
5. REMOVE EXISTING STUD & G.W.B. WALL & ALL ASSOC. DOORS IN ASSEMBLY
6. REMOVE EXISTING METAL SAFE & ALL ASSOCIATED WALLS
7. SAWCUT EXISTING SLAB & REMOVE. SEE DETAILS.
- 7A. SAWCUT EXISTING SLAB ON GRADE. PREP FOR UTILITY TRENCH. COORDINATE EXACT SIZES AND LOCATION WITH MEP'S.
- 7B. SAWCUT EXISTING SLAB FOR MECH. PENETRATIONS. COORDINATE EXACT SIZES AND LOCATIONS WITH MEP SERIES AND CONTRACTORS. REFER TO STRUC. DWGS FOR REMOVAL INSTRUCTIONS.
8. REMOVE ADDITIONAL 7" HIGH FLOOR FRAMING
9. EXISTING RAMP TO BE SAWCUT AND REMOVE TO NEAREST LEVEL POINT TO PREPARE FOR NEW SLAB TO LEVEL FLOOR.
10. REMOVE EXISTING TAR ROOF ASSEMBLY INCLUDING ALL BALLAST DOWN TO CONCRETE DECK/SUBSTRATE. INCLUDE REMOVALS AT ALL PARAPET AND PENTHOUSE LOCATIONS. COORDINATE W/ AA DWGS.
- 10A. REMOVE EXISTING SCUPPER AND DOWNLEADER ASSEMBLY TO GRADE/BOOT CONNECTION.
11. REMOVE EXISTING STAIR IN ITS ENTIRETY.
12. REMOVE EXISTING ELEVATOR SHAFT FROM FIRST FLOOR TO UNDERSIDE OF ROOF DECK. REMOVE FREIGHT ELEVATOR & ALL ASSOCIATED COMPONENTS
13. REMOVE EXISTING A.C.T. GRID AND ALL ACCESSORIES AND FASTENERS TO EXPOSE CONCRETE DECK ABOVE
14. REMOVE EXISTING CONCRETE LOADING DOCK IN ITS ENTIRETY TO FOUNDATIONS
15. REMOVE EXISTING METAL TRAP DOOR & FRAMING, REGARDLESS OF ALT. 1.
16. REMOVE EXISTING BOILER & ALL RELATED EQUIPMENT. SEE AA SERIES.
17. REMOVE ALL EXISTING BOLLARDS TO SLAB. PREPARE FOR FLOOR RESTORATION.
18. EXISTING SCALE CAST IN SLAB TO BE SALVAGED. RETURN TO OWNER. SEE 2/AD101.
19. REMOVE OVERHEAD DOOR.
20. CAREFULLY REMOVE WALL FURING TO EXPOSE ORIGINAL WALL AND/OR WINDOW(S) BEHIND.
21. REMOVE EXISTING SIGNAGE.
22. REMOVE WOOD INFILL & PREP FOR BRICK INFILL.
23. REMOVE EXISTING PARAPET TO EXISTING ROOF DECK

**DEMOLITION PLAN LEGEND**



**GENERAL DEMOLITION NOTES**

- A. CORRODINATE WITH CONSTRUCTION MANAGER & DIVISION 1 FOR GENERAL DEMOLITION PROCEDURES.
- B. THIS PROJECT IS SEEKING HISTORIC TAX CREDITS. ALL WORK TO BE COMPLETED TO THE SECRETARY OF THE INTERIOR STANDARDS AND APPROVED PART 2 APPLICATION.
- C. A HAZARDOUS MATERIALS SURVEY HAS BEEN PERFORMED ON THE BUILDING. PRIOR TO START OF GENERAL DEMOLITION ALL MATERIALS CONTAINING HAZARDOUS MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY ALL FEDERAL, STATE, & LOCAL REGULATIONS. COORD. W/ AA DWGS. NOTIFY CM OF ANY ADDITIONAL MATERIAL FOUND NOT INDICATED IN DWGS.
- D. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & CONSTRUCTION MANAGER TO IDENTIFY AREAS WHICH CAN BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
- E. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & UTILITY COMPANY WHEN WORKING ON WEST ELEVATION AND AROUND POWER LINES.
- F. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER TO RECEIVE ACCESS TO ADJACENT NEIGHBORS' PROPERTY.
- G. CONTRACTOR SHALL REMOVE ALL ITEMS AS INDICATED ON THESE DRAWINGS. DISPOSAL (IMPLIED BY REMOVAL) OR RECYCLING OF MATERIALS IS AT THE DISCRETION OF THE CONTRACTOR & SHOULD BE PERFORMED IN ACCORDANCE WITH LEGAL PROCEDURES AND REQUIREMENTS.
- H. ALL DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED, WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS TO BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
- I. ALL EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD PRIOR TO THE BID. WHERE DISCREPANCIES EXIST BETWEEN THESE DRAWINGS & FIELD CONDITIONS CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO BID & PRIOR TO PERFORMING ANY DEMOLITION WORK TO ENSURE INTENDED SCOPE OF DEMOLITION & THAT THE STRUCTURAL INTEGRITY OF THE BUILDING IS NOT COMPROMISED.
- J. CONTRACTOR SHALL DISPLAY CAUTION IN AN EFFORT TO MINIMIZE DAMAGE TO EXISTING WALLS, CEILINGS, TRIM WORK, ETC. IDENTIFIED AS 'EXISTING' OR 'TO REMAIN' WHEN REMOVING ADJACENT WALLS, FIXTURES, FINISHES, CONDUIT, ETC. BY PROVIDING RIGID BOARD PROTECTION.
- K. THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
- L. THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION AS REQUIRED TO CONTAIN DUST, MAINTAIN BUILDING SECURITY AND WEATHER TIGHTNESS. SEAL PARTITIONS AT FLOOR, ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
- M. AT COMPLETION OF DEMOLITION WORK, THE DEMOLITION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS & MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- N. ALL WINDOWS, DOORS, HATCHES, EQUIPMENT, FRAMES, PIPING, CONDUIT, ETC. SCHEDULED FOR DEMOLITION ARE TO BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL ANCHORS, FRAMES, CALLING, GLAZING, TRIM, ETC. THAT IS PART OF AND INCLUDED IN EXISTING ASSEMBLIES AND THOSE THAT WOULD INTERFERE WITH INSTALLATION OF ANY NEW WALL, GLAZING, WINDOW, DOOR, HATCH, OR OTHER FINISH TYPE MATERIALS.
- P. ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FIXTURES AND THEIR FASTENERS, HANGERS ETC. TO BE REMOVED IN THEIR ENTIRETY. TAKE GREAT CARE WHERE THESE INTERSECT ORIGINAL BUILDING FABRIC.



1 FIRST FLOOR DEMO PLAN  
1/8" = 1'-0"



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BID PACKAGE 1  
DEMOLITION AND ABATEMENT

REV. #	DESCRIPTION	DATE
1		1-5-22

JOB NO.	1946
SCALE	As indicated
ISSUE DATE	12/22/2021
DRAWN BY	MG
CHECKED BY	CCC

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DRAWING TITLE

**FIRST FLOOR  
DEMO PLAN**

**AD101**

BID PACKAGE 1 - DEMOLITION

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**SECOND FLOOR  
DEMO PLAN**

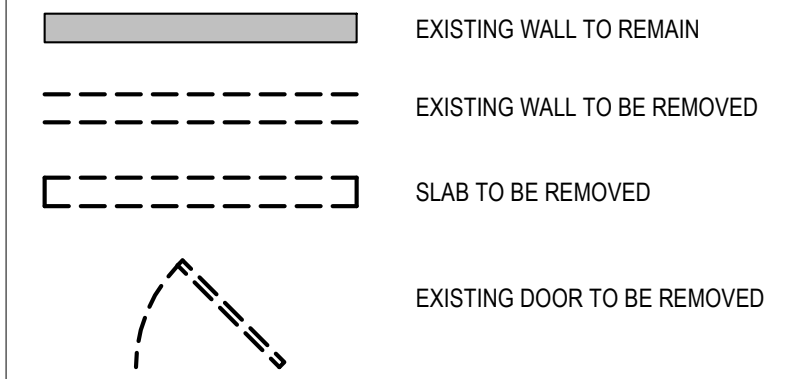
**AD102**

BID PACKAGE 1 - DEMOLITION

**SPECIFIC DEMOLITION NOTES:** (X)

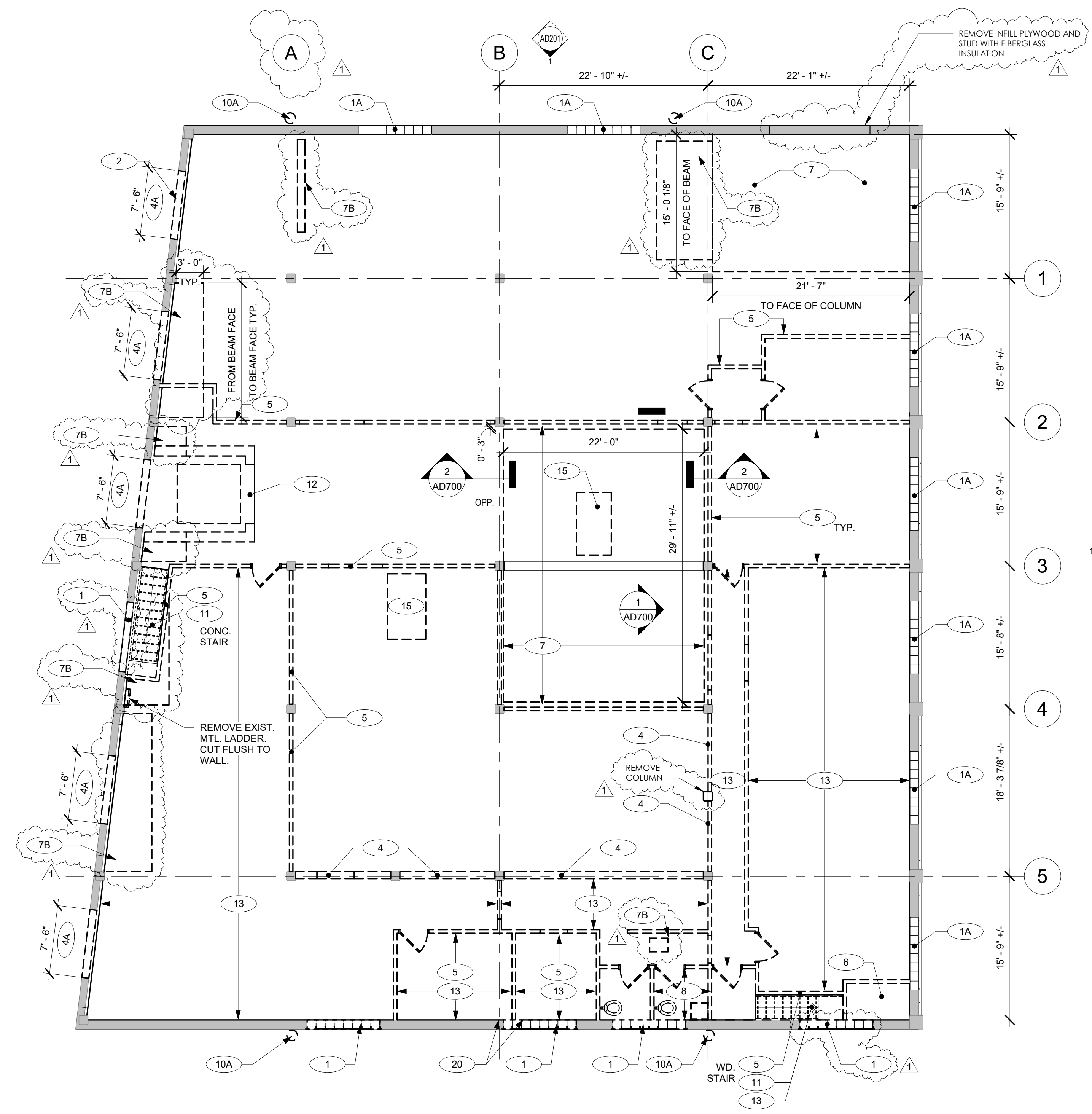
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1 SECOND FLOOR DEMO PLANS  
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DRAWING TITLE

## ROOF DEMO PLAN

# AD103

BID PACKAGE 1 - DEMOLITION

### SPECIFIC DEMOLITION NOTES: (X)

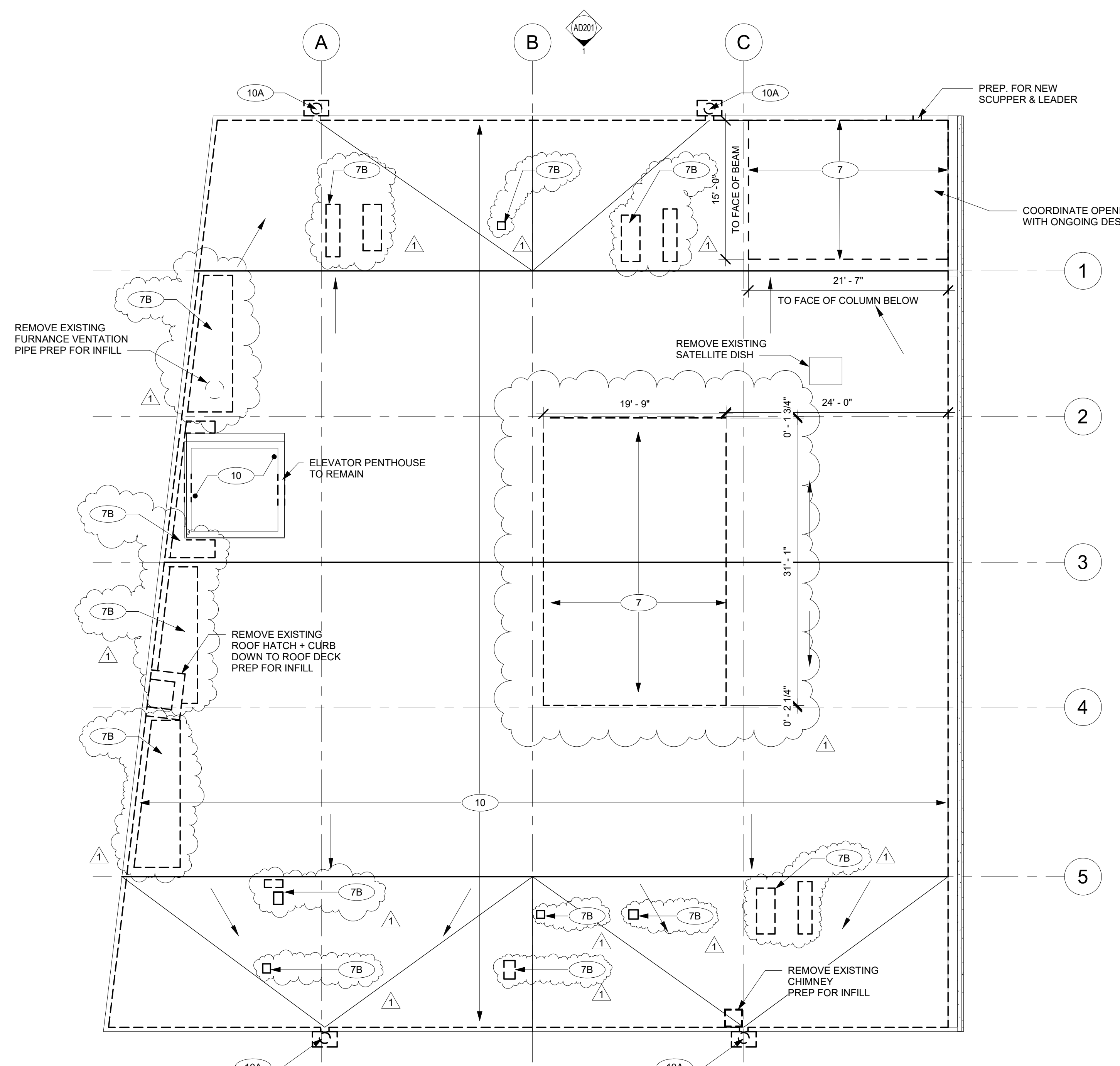
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- REMOVE EXISTING PARAPET TO EXISTING ROOF DECK

### DEMOLITION PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SLAB TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

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1 ROOFTOP PATIO/GARDEN DEMO PLAN  
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WESTMINSTER ECONOMIC  
DEVELOPMENT INITIATIVE

**WEST SIDE  
BAZAAR**

1432 NIAGARA STREET  
BUFFALO, NY 14213

BID PACKAGE 1  
DEMOLITION AND ABATEMENT

REV. #	DESCRIPTION	DATE
1		1-5-22

JOB NO.	1946
SCALE	As indicated
ISSUE DATE	12/22/2021
DRAWN BY	MG
CHECKED BY	CCC

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

**EXTERIOR DEMO  
ELEVATIONS**

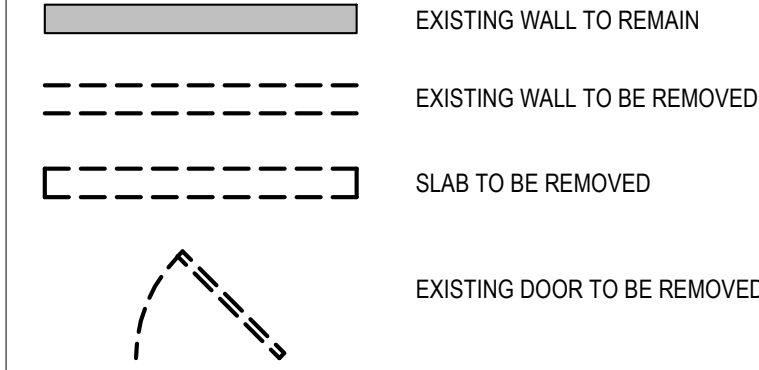
**AD200**

BID PACKAGE 1 - DEMOLITION

**SPECIFIC DEMOLITION NOTES:** (X)

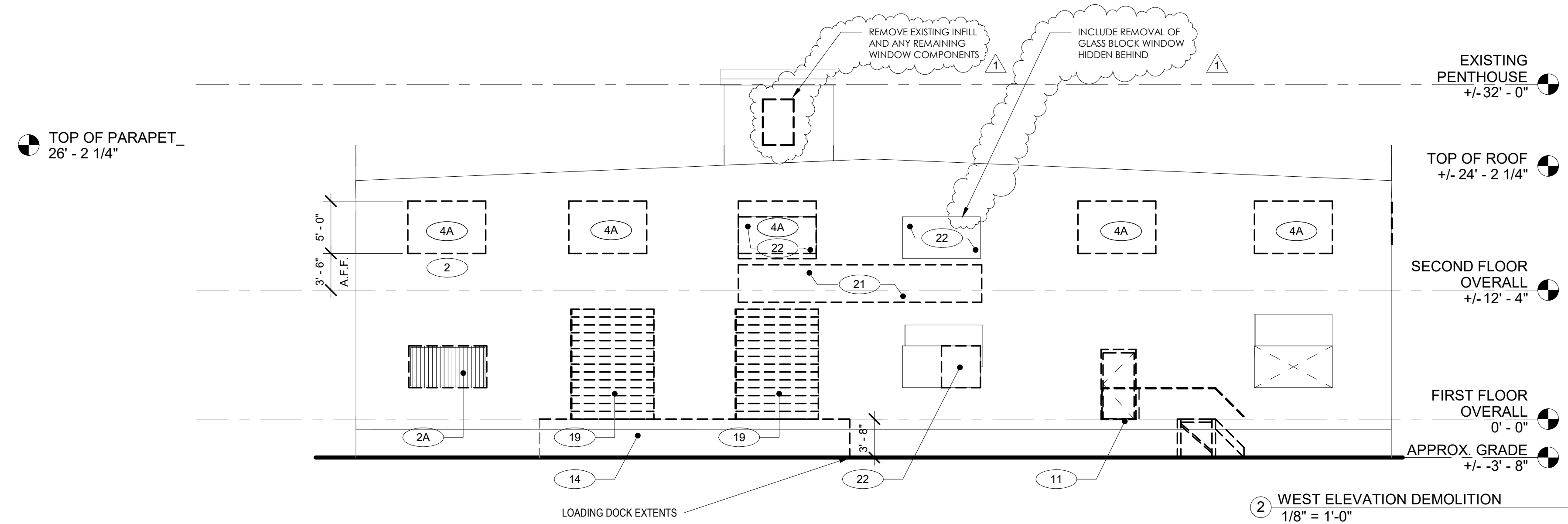
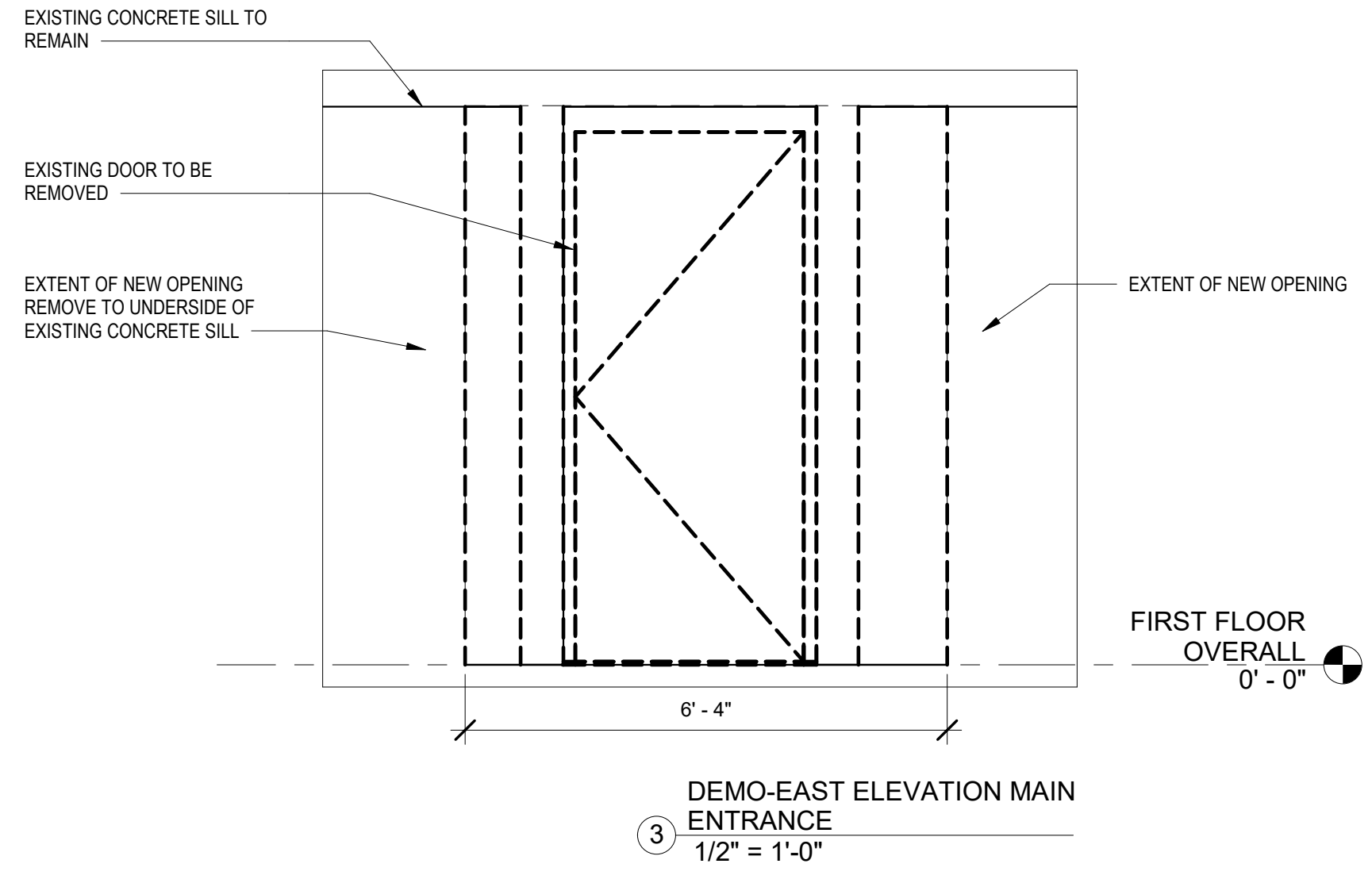
- REMOVE EXISTING GLASS BLOCK WINDOW ASSEMBLY SALVAGE UNITS FOR RESTORATION AT OTHER OPENINGS PER WINDOW SCHEDULE
- EXISTING GLASS BLOCK WINDOW TO REMAIN. PROTECT WITH RIGID BOARD FOR DURATION OF WORK
- REMOVE EXISTING VINYL WINDOW ASSEMBLY
- REMOVE METAL WINDOW GRILLE + ASSOC. WINDOW
- REMOVE EXISTING CMU BLOCK WALL
- REMOVE EXISTING CONCRETE WALL
- SAW CUT NEW OPENING IN EXISTING CAST CONCRETE & BLOCK WALL. PREP FOR NEW WINDOW. SEE AD200'S.
- REMOVE EXISTING STUD & G.W.B. WALL & ALL ASSOC. DOORS IN ASSEMBLY
- REMOVE EXISTING METAL SAFE & ALL ASSOCIATED WALLS
- SAWCUT EXISTING SLAB & REMOVE. SEE DETAILS.
- SAWCUT EXISTING SLAB ON GRADE. PREP FOR UTILITY TRENCH. COORDINATE EXACT SIZES AND LOCATION WITH MEPS.
- SAWCUT EXISTING SLAB FOR MECH. PENETRATIONS. COORDINATE EXACT SIZES AND LOCATIONS WITH MEP SERIES AND CONTRACTORS. REFER TO STRUC. DWGS FOR REMOVAL INSTRUCTIONS.
- REMOVE ADDITIONAL 7" HIGH FLOOR FRAMING
- EXISTING RAMP TO BE SAWCUT AND REMOVE TO NEAREST LEVEL POINT TO PREPARE FOR NEW SLAB TO LEVEL FLOOR.
- REMOVE EXISTING TAR ROOF ASSEMBLY INCLUDING ALL BALLAST DOWN TO CONCRETE DECK/SUBSTRATE. INCLUDE REMOVALS AT ALL PARAPET AND PENTHOUSE LOCATIONS. COORDINATE W/ AA DWGS.
- REMOVE EXISTING SCUPPER AND DOWNLEADER ASSEMBLY TO GRADE/BOOT CONNECTION.
- REMOVE EXISTING STAIR IN ITS ENTIRETY.
- REMOVE EXISTING ELEVATOR SHAFT FROM FIRST FLOOR TO UNDERSIDE OF ROOF DECK. REMOVE FREIGHT ELEVATOR & ALL ASSOCIATED COMPONENTS
- REMOVE EXISTING A.C.T. GRID AND ALL ACCESSORIES AND FASTENERS TO EXPOSE CONCRETE DECK ABOVE
- REMOVE EXISTING CONCRETE LOADING DOCK IN ITS ENTIRETY TO FOUNDATIONS
- REMOVE EXISTING METAL TRAP DOOR & FRAMING, REGARDLESS OF ALT. 1.
- REMOVE EXISTING BOILER & ALL RELATED EQUIPMENT. SEE AA SERIES.
- REMOVE ALL EXISTING BOLLARDS TO SLAB. PREPARE FOR FLOOR RESTORATION.
- EXISTING SCALE CAST IN SLAB TO BE SALVAGED. RETURN TO OWNER. SEE 2/AD101.
- REMOVE OVERHEAD DOOR.
- CAREFULLY REMOVE WALL FURING TO EXPOSE ORIGINAL WALL AND/OR WINDOW(S) BEHIND.
- REMOVE EXISTING SIGNAGE.
- REMOVE WOOD INFILL & PREP FOR BRICK INFILL.
- REMOVE EXISTING PARAPET TO EXISTING ROOF DECK

**DEMOLITION PLAN LEGEND**



**GENERAL DEMOLITION NOTES**

- CORRODINATE WITH CONSTRUCTION MANAGER & DIVISION 1 FOR GENERAL DEMOLITION PROCEDURES.
- THIS PROJECT IS SEEKING HISTORIC TAX CREDITS. ALL WORK TO BE COMPLETED TO THE SECRETARY OF THE INTERIOR STANDARDS AND APPROVED PART 2 APPLICATION.
- A HAZARDOUS MATERIALS SURVEY HAS BEEN PERFORMED ON THE BUILDING. PRIOR TO START OF GENERAL DEMOLITION ALL MATERIALS CONTAINING HAZARDOUS MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY ALL FEDERAL, STATE, & LOCAL REGULATIONS. COORD. W/ AA DWGS. NOTIFY CM OF ANY ADDITIONAL MATERIAL FOUND NOT INDICATED IN DWGS.
- CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & CONSTRUCTION MANAGER TO IDENTIFY AREAS WHICH CAN BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & UTILITY COMPANY WHEN WORKING ON WEST ELEVATION AND AROUND POWER LINES.
- CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER TO RECEIVE ACCESS TO ADJACENT NEIGHBORS' PROPERTY.
- CONTRACTOR SHALL REMOVE ALL ITEMS AS INDICATED ON THESE DRAWINGS. DISPOSAL (IMPLIED BY REMOVAL) OR RECYCLING OF MATERIALS IS AT THE DISCRETION OF THE CONTRACTOR & SHOULD BE PERFORMED IN ACCORDANCE WITH LEGAL PROCEDURES AND REQUIREMENTS.
- ALL DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED. WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS TO BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
- ALL EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD PRIOR TO THE BID. WHERE DISCREPANCIES EXIST BETWEEN THESE DRAWINGS & FIELD CONDITIONS CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO BID & PRIOR TO PERFORMING ANY DEMOLITION WORK TO ENSURE INTENDED SCOPE OF DEMOLITION & THAT THE STRUCTURAL INTEGRITY OF THE BUILDING IS NOT COMPROMISED.
- CONTRACTOR SHALL DISPLAY CAUTION IN AN EFFORT TO MINIMIZE DAMAGE TO EXISTING WALLS, CEILINGS, TRIM WORK, ETC. IDENTIFIED AS 'EXISTING' OR 'TO REMAIN' WHEN REMOVING ADJACENT WALLS, FIXTURES, FINISHES, CONDUIT, ETC BY PROVIDING RIGID BOARD PROTECTION.
- THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
- THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION AS REQUIRED TO CONTAIN DUST, MAINTAIN BUILDING SECURITY AND WEATHER TIGHTNESS. SEAL PARTITIONS AT FLOOR, ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
- AT COMPLETION OF DEMOLITION WORK, THE DEMOLITION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS & MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- ALL WINDOWS, DOORS, HATCHES, EQUIPMENT, FRAMES, PIPING, CONDUIT, ETC., SCHEDULED FOR DEMOLITION ARE TO BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL ANCHORS, FRAMES, CALKING, GLAZING, TRIM, ETC., THAT IS PART OF AND INCLUDED IN EXISTING ASSEMBLIES AND THOSE THAT WOULD INTERFERE WITH INSTALLATION OF ANY NEW WALL, GLAZING, WINDOW, DOOR, HATCH, OR OTHER FINISH TYPE MATERIALS.
- ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FIXTURES AND THEIR FASTENERS, HANGERS ETC. TO BE REMOVED IN THEIR ENTIRETY. TAKE GREAT CARE WHERE THESE INTERSECT ORIGINAL BUILDING FABRIC.



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SIRACUSE ENGINEERS PC  
960 BUSTI AVE #120, BUFFALO NY 14213  
(716) 856-1894

**MEP/FP ENGINEER**  
EBS ENGINEERING  
2568 WALDEN AVE SUITE 107,  
CHEEKTOWAGA NY 14225  
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**KITCHEN DESIGNER**  
TALLINGER ASSOCIATES LLC  
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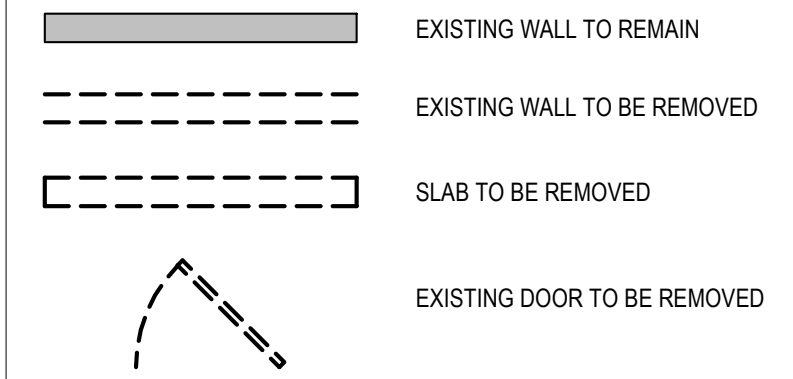
**AD201**

BID PACKAGE 1 - DEMOLITION

**SPECIFIC DEMOLITION NOTES:** (X)

1. REMOVE EXISTING GLASS BLOCK WINDOW ASSEMBLY SALVAGE UNITS FOR RESTORATION AT OTHER OPENINGS PER WINDOW SCHEDULE
- 1A. EXISTING GLASS BLOCK WINDOW TO REMAIN. PROTECT WITH RIGID BOARD FOR DURATION OF WORK
2. REMOVE EXISTING VINYL WINDOW ASSEMBLY
- 2A. REMOVE METAL WINDOW GRILLE + ASSOC. WINDOW
3. REMOVE EXISTING CMU BLOCK WALL
4. REMOVE EXISTING CONCRETE WALL
- 4A. SAW CUT NEW OPENING IN EXISTING CAST CONCRETE & BLOCK WALL. PREP FOR NEW WINDOW. SEE AD200'S.
5. REMOVE EXISTING STUD & G.W.B. WALL & ALL ASSOC. DOORS IN ASSEMBLY
6. REMOVE EXISTING METAL SAFE & ALL ASSOCIATED WALLS
7. SAWCUT EXISTING SLAB & REMOVE. SEE DETAILS.
- 7A. SAWCUT EXISTING SLAB ON GRADE. PREP FOR UTILITY TRENCH. COORDINATE EXACT SIZES AND LOCATION WITH MEPS
- 7B. SAWCUT EXISTING SLAB FOR MECH. PENETRATIONS. COORDINATE EXACT SIZES AND LOCATIONS WITH MEP SERIES AND CONTRACTORS. REFER TO STRUC. DWGS FOR REMOVAL INSTRUCTIONS.
8. REMOVE ADDITIONAL 7" HIGH FLOOR FRAMING
9. EXISTING RAMP TO BE SAWCUT AND REMOVE TO NEAREST LEVEL POINT TO PREPARE FOR NEW SLAB TO LEVEL FLOOR.
10. REMOVE EXISTING TAR ROOF ASSEMBLY INCLUDING ALL BALLAST DOWN TO CONCRETE DECK/SUBSTRATE. INCLUDE REMOVALS AT ALL PARAPET AND PENTHOUSE LOCATIONS. COORDINATE W/ AA DWGS.
- 10A. REMOVE EXISTING SCUPPER AND DOWNSPOUT ASSEMBLY TO GRADE/BOOT CONNECTION.
11. REMOVE EXISTING STAIR IN ITS ENTIRETY.
12. REMOVE EXISTING ELEVATOR SHAFT FROM FIRST FLOOR TO UNDERSIDE OF ROOF DECK. REMOVE FREIGHT ELEVATOR & ALL ASSOCIATED COMPONENTS
13. REMOVE EXISTING A.C.T. GRID AND ALL ACCESSORIES AND FASTENERS TO EXPOSE CONCRETE DECK ABOVE
14. REMOVE EXISTING CONCRETE LOADING DOCK IN ITS ENTIRETY TO FOUNDATIONS
15. REMOVE EXISTING METAL TRAP DOOR & FRAMING, REGARDLESS OF ALT. 1.
16. REMOVE EXISTING BOILER & ALL RELATED EQUIPMENT. SEE AA SERIES.
17. REMOVE ALL EXISTING BOLLARDS TO SLAB. PREPARE FOR FLOOR RESTORATION.
18. EXISTING SCALE CAST IN SLAB TO BE SALVAGED. RETURN TO OWNER. SEE 2/AD101.
19. REMOVE OVERHEAD DOOR.
20. CAREFULLY REMOVE WALL FURING TO EXPOSE ORIGINAL WALL AND/OR WINDOW(S) BEHIND.
21. REMOVE EXISTING SIGNAGE.
22. REMOVE WOOD INFILL & PREP FOR BRICK INFILL.
23. REMOVE EXISTING PARAPET TO EXISTING ROOF DECK

**DEMOLITION PLAN LEGEND**



**GENERAL DEMOLITION NOTES**

- A. CORRODATE WITH CONSTRUCTION MANAGER & DIVISION 1 FOR GENERAL DEMOLITION PROCEDURES.
- B. THIS PROJECT IS SEEKING HISTORIC TAX CREDITS. ALL WORK TO BE COMPLETED TO THE SECRETARY OF THE INTERIOR STANDARDS AND APPROVED PART 2 APPLICATION.
- C. A HAZARDOUS MATERIALS SURVEY HAS BEEN PERFORMED ON THE BUILDING. PRIOR TO START OF GENERAL DEMOLITION ALL MATERIALS CONTAINING HAZARDOUS MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY ALL FEDERAL, STATE, & LOCAL REGULATIONS. COORD. W/ AA DWGS. NOTIFY CM OF ANY ADDITIONAL MATERIAL FOUND NOT INDICATED IN DWGS.
- D. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & CONSTRUCTION MANAGER TO IDENTIFY AREAS WHICH CAN BE USED FOR STAGING, MATERIAL DELIVERY, DEBRIS REMOVAL, ETC. PRIOR TO START OF DEMOLITION.
- E. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER & UTILITY COMPANY WHEN WORKING ON WEST ELEVATION AND AROUND POWER LINES.
- F. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER TO RECEIVE ACCESS TO ADJACENT NEIGHBORS' PROPERTY.
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- H. ALL DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE SALVAGED, WHEREIN IT REMAINS THE PROPERTY OF THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUEST ITEMS TO BE SALVAGED DURING THE DURATION OF THE WORK OF THIS PROJECT.
- I. ALL EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD PRIOR TO THE BID. WHERE DISCREPANCIES EXIST BETWEEN THESE DRAWINGS & FIELD CONDITIONS CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO BID & PRIOR TO PERFORMING ANY DEMOLITION WORK TO ENSURE INTENDED SCOPE OF DEMOLITION & THAT THE STRUCTURAL INTEGRITY OF THE BUILDING IS NOT COMPROMISED.
- J. CONTRACTOR SHALL DISPLAY CAUTION IN AN EFFORT TO MINIMIZE DAMAGE TO EXISTING WALLS, CEILINGS, TRIM WORK, ETC. IDENTIFIED AS 'EXISTING' OR 'TO REMAIN' WHEN REMOVING ADJACENT WALLS, FIXTURES, FINISHES, CONDUIT, ETC BY PROVIDING RIGID BOARD PROTECTION.
- K. THE CONTRACTOR SHALL MAINTAIN THE AREA IN A SAFE MANNER TO ENSURE THE SAFETY OF STAFF AND CONSTRUCTION PERSONNEL AND NOT ALLOW INTERRUPTION OF TRAFFIC FLOW.
- L. THE CONTRACTOR SHALL PROVIDE BARRIER PARTITION CONSTRUCTION AS REQUIRED TO CONTAIN DUST, MAINTAIN BUILDING SECURITY AND WEATHER TIGHTNESS. SEAL PARTITIONS AT FLOOR, ADJACENT WALLS AND TO DECK ABOVE. PROVIDE NECESSARY EGRESS DOORS AND HARDWARE PER EGRESS REQUIREMENTS.
- M. AT COMPLETION OF DEMOLITION WORK, THE DEMOLITION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS & MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- N. ALL WINDOWS, DOORS, HATCHES, EQUIPMENT, FRAMES, PIPING, CONDUIT, ETC. SCHEDULED FOR DEMOLITION ARE TO BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL ANCHORS, FRAMES, CALKING, GLAZING, TRIM, ETC. THAT IS PART OF AND INCLUDED IN EXISTING ASSEMBLIES AND THOSE THAT WOULD INTERFERE WITH INSTALLATION OF ANY NEW WALL, GLAZING, WINDOW, DOOR, HATCH, OR OTHER FINISH TYPE MATERIALS.
- P. ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION FIXTURES AND THEIR FASTENERS, HANGERS ETC. TO BE REMOVED IN THEIR ENTIRETY. TAKE GREAT CARE WHERE THESE INTERSECT ORIGINAL BUILDING FABRIC.

