



November 10, 2020

Renovations to existing for 8-Unit Apartments

387 Crescent Ave.

Buffalo, New York

Bid Document: Scopes of Work

Reference the Drawings by DRF Architecture, dated 10-19-20:

- **Site Plan & Notes – 1 of 4**
- **Basement Plan, Door & Window Schedule – 2 of 4**
- **1st Floor Plan & 2nd Floor Plan – 3 of 4**
- **Plumbing, Electrical & Life Safety – 4 of 4**

Contract 2410: Interior Selective Demolition:

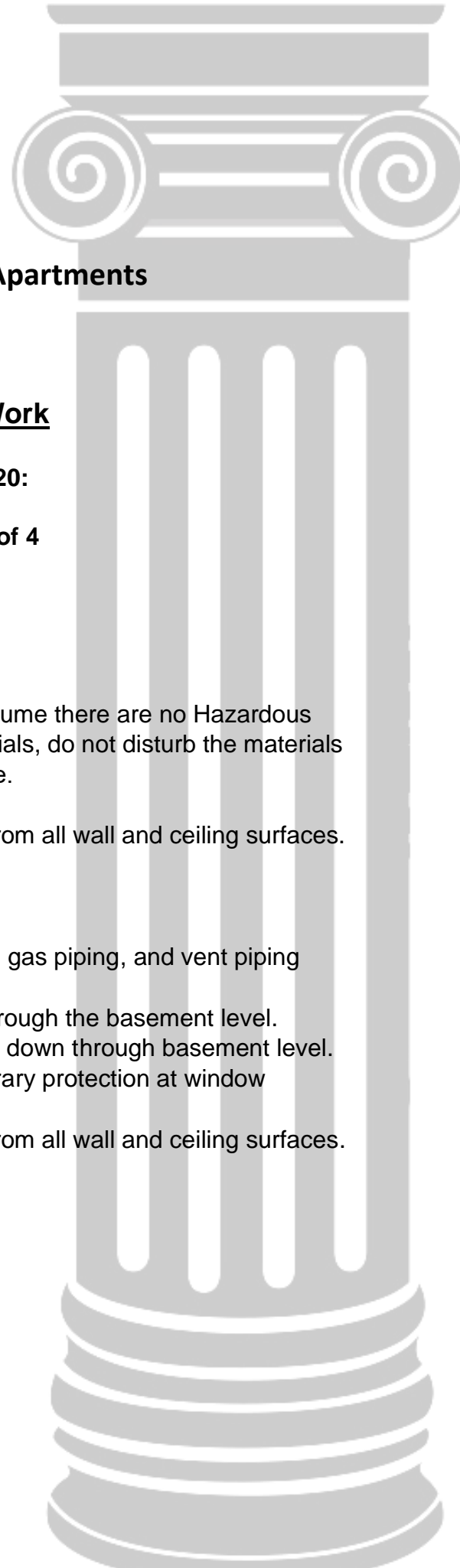
1. Selective Demo Contractor to supply their own dumpsters.
2. Owner has not provided a Hazardous Materials Survey. Assume there are no Hazardous materials present. However, if you encounter suspect materials, do not disturb the materials and promptly notify the Architect and Owner's representative.
3. Include Demolition Notes 1 through 9:
 - a. Include the complete removal of all drywall / plaster from all wall and ceiling surfaces.
 - b. Remove cabinetry and counter tops
 - c. Remove ceramic wall tile in bathrooms.
 - d. Remove balance of gypsum board.
 - e. Remove all plumbing: fixtures, water and waste lines, gas piping, and vent piping down to basement level.
 - f. Remove all heating and ventilation ductwork down through the basement level.
 - g. Remove all electrical: fixtures, receptacles and wiring down through basement level.
 - h. Window removal as noted. Furnish and install temporary protection at window openings, after window removal.
 - i. Include the complete removal of all drywall / plaster from all wall and ceiling surfaces.

Contract 3310: Cast in Place Concrete:

1. No Work

Contract 4020: Masonry:

1. No Work





Contract 5510: Misc. Metals & Ornamental Metal:

1. No Work

Contract 6100: Carpentry – Materials:

1. Furnish framing lumber for new interior partitions.
2. Furnish stair system at stairwell D109.
3. Furnish 1200 LF Colonial profile pine paint grade wood casing for windows.
4. Furnish 120 LF of pine handrail with brackets.
5. Furnish 2300 LF base material. Product to be 3/4" x 5" MDF with standard profile.

Contract 6150 Rough Carpentry – Labor:

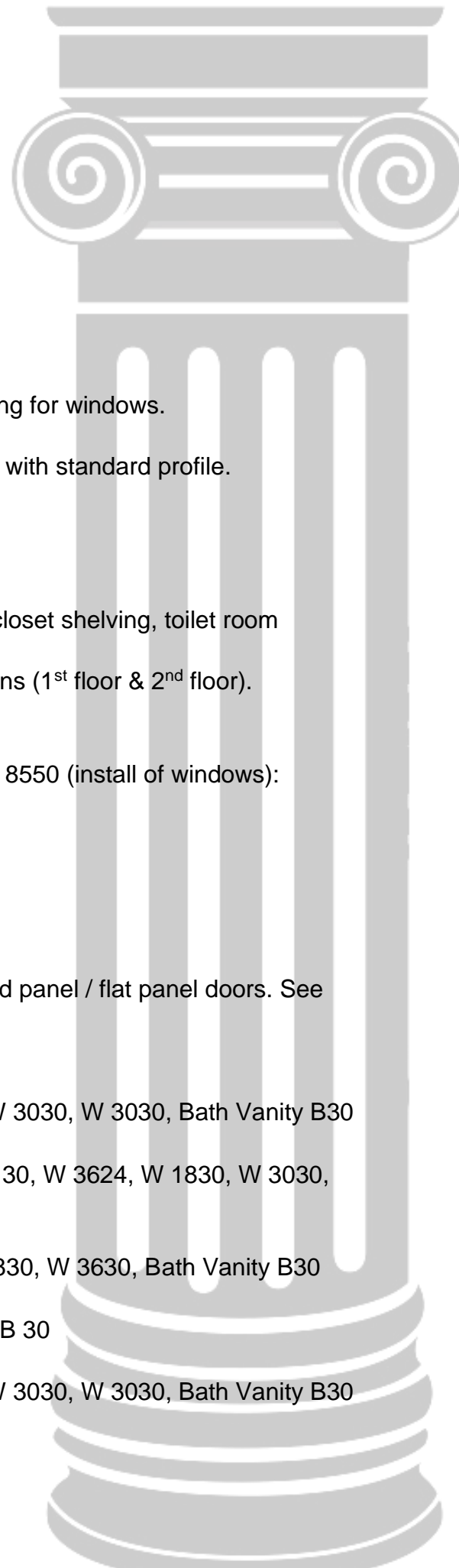
1. All interior partitions are existing.
2. Install stair system at stairwell D109.
3. Furnish and install fire treated wood blocking for cabinetry, closet shelving, toilet room accessories and grab bars.
4. Furnish and install fire blocking at perimeter / floor separations (1st floor & 2nd floor).

Contract 6210: Finish Carpentry-Labor:

1. Install new windows and interior trim. Also noted in Contract 8550 (install of windows):
2. Install all frames, doors, hardware.
3. Install toilet room accessories.
4. Install cabinetry and plastic laminate counter tops.
5. Install wood base.

Contract 6220: Millwork & Cabinetry:

1. Cabinetry for all (8) units: Basis of design: standard recessed panel / flat panel doors. See attached photo of typical cabinets requested by owner.
2. There are no kitchen elevations. Estimated cabinet boxes:
 - a. Unit # 1:
 - SB 36, B 27, DB 30, B 30, W 3624, W 2730, W 3030, W 3030, Bath Vanity B30
 - b. Unit # 2:
 - SB 36, DB 18, B 30, Corner Cab 30, DB 12, B 30, W 3624, W 1830, W 3030, W 2430, W 3030, Bath Vanity B30
 - c. Unit # 3:
 - SB 36, B 18, DB 12, B 24, B 24, W 3624, W 1830, W 3630, Bath Vanity B30
 - d. Unit # 4:
 - SB 36, B 24, B 24, B 30, W 3030, Bath Vanity B 30
 - e. Unit # 5 (same as unit 1):
 - SB 36, B 27, DB 30, B 30, W 3624, W 2730, W 3030, W 3030, Bath Vanity B30





- f. Unit # 6 (same as unit 2):
 - SB 36, DB 18, B 30, Corner Cab 30, DB 12, B 30, W 3624, W 1830, W 3030, W 2430, W 3030, Bath Vanity B30
- g. Unit # 7 (same as unit 3):
 - SB 36, B 18, DB 12, B 24, B 24, W 3624, W 1830, W 3630, Bath Vanity B30
- h. Unit # 8 (same as unit 4):
 - SB 36, B 24, B 24, B 30, W 3030, Bath Vanity B 30

3. Include supply of cabinet door and drawer handles from your standard selection.
4. Furnish shop drawings for owner approval prior to order.

Contract 6415: Counter Tops:

1. Furnish counter tops. Basis of design is Wilson Art Plastic Laminate (standard colors). An “or equal” may be substituted, final approval by owner.
2. Include all kitchen countertops and bath vanity countertops.

Contract 6430: Stairs & Railings:

1. Existing stairs to remain in place.
2. Any repairs to be reviewed with Architect and cost to be determined at future date.
3. New hand railings to be furnished and installed under carpentry bid packages.

Contract 7200 Insulation:

1. Furnish and install insulation:
 - a. Exterior walls R- 19 with vapor barrier.
 - b. All Interior non-rated walls R-13 sound batt insulation.
 - c. Mineral wool fire batt insulation at apartment separation walls.
 - d. Mineral wood fire batt insulation Rockwell R-23 Comfort Batt at 1st floor and 2nd floor ceiling cavity.
 - e. Closed cell spray polyurethane foam insulation at 3rd floor roof.

Contract 7720: Roof Work:

1. No roof work included.

Contract 7810: Spray Fireproofing:

1. Apply a 1 Hr. spray fire proofing system to the wood joist and deck of the basement that separates the basement from the 1st floor. Submit UL design for final approval by Architect.
2. Installer to be certified, licensed, or otherwise qualified by fireproofing manufacturer.
3. Submit product data and shop drawing with UL Design, showing application method and product thickness necessary to achieve 1-hr rating.



Contract 8210: Supply and Deliver Frames-Doors-Hardware:

1. See drawing 2 of 4 for door schedule:
 - a. Interior non-rated doors to be pre-hung, 2-panel square solid core smooth primed composite by Masonite or equal. Bored for hardware.
 - b. Interior rated doors to be 45-minute rated frame and door assembly, 2-panel smooth primed by Masonite or equal. Bored for hardware.
 - b. Door handles to be lever style: medium duty Falcon, Kwikset, or equal.
 - c. Hardware Finish: Satin Nickel.
 - d. All frames and doors will be paint grade.
 - e. Exterior doors #101, #128 and # 201 to be flush steel prehung doors with brickmold by Masonite, JELD-WEN, Stanley or equal.
 - f. Include additional doors not noted on Door Schedule:
 - i. # 104. # 105, # 204 and # 205 - to be 45 min. fire rated.

Contract 8510 Windows - Materials:

1. Basis of design: Pella 250 Series Replacement Vinyl Windows or Pella ProLine Replacement Window. An "or equal" may be substituted, final approval by owner. Vendor option:
 - a. Vinyl windows to be color white
 - b. Wood windows to be factory finished color white
2. Include extension jambs.
3. Include screens.
4. No grilles.

Contract 8550 Windows – Removal & New Installation:

1. Carpentry and misc. materials necessary to remove existing windows and install replacement windows.
2. Include necessary break metal exterior trim, insulation, caulking, etc. for complete installation.

Contract 9010: Wood Framing and Gypsum Wallboard:

1. Furnish and install GWB at partitions and ceilings for 1st and 2nd floors.
2. Follow detail A-2 on drawing A-5 for 1st floor and 3rd floor ceilings. See Construction note B, per Addendum # 1.
3. Follow SK-1, dated 7-19-20 for 2nd floor ceiling. See Construction note B, per Addendum # 1.
4. Misc. infill framing, GWB, tape and finish all GWB surfaces, ready for paint.
5. Minimum of Level 4 finish.



Contract 9610: Flooring:

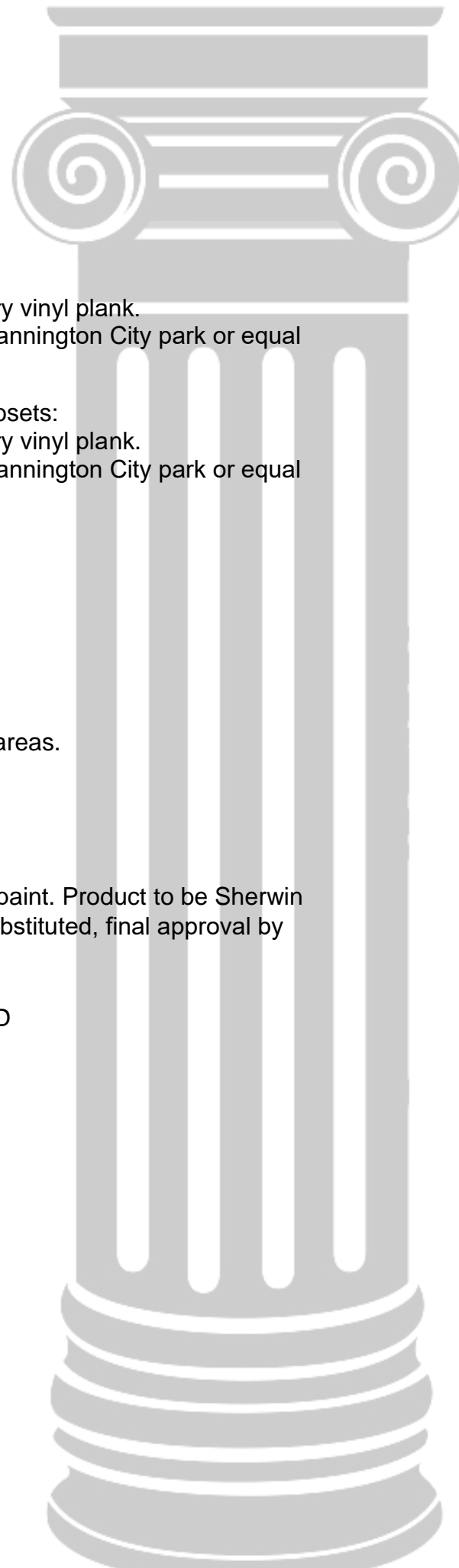
1. Common Areas:
 - a. Include all common corridors. No work in the stairs
 - b. Furnish and install ¼" luan over all areas to receive luxury vinyl plank.
 - c. Furnish and install luxury vinyl plank "floating floor" by Mannington City park or equal
 - d. Include necessary prep work.
2. All Apartments: All living rooms, bedrooms, kitchens, and closets:
 - a. Furnish and install ¼" luan over all areas to receive luxury vinyl plank.
 - b. Furnish and install luxury vinyl plank "floating floor" by Mannington City park or equal
 - c. Include necessary prep work.
3. All bathrooms:
 - a. Furnish and install ceramic tile floor.
 - b. Furnish and install ceramic wall tile at showers.
 - c. Install proper sub flooring.
4. Kitchen Backsplashes:
 - a. Install owner supplied mosaic tile at kitchen backsplash areas.
5. No work in the basement or 3rd floor.

Contract 9910: Painting:

1. All walls and ceilings: (1) primer coat and (2) finish coats of paint. Product to be Sherwin Williams ProMar 200. An "or equal" paint product may be substituted, final approval by owner. Colors TBD.
2. Include both stairwells.
3. All door frames, casings, and doors to be painted: Color TBD
4. Window casing and sill to be painted: Color TBD
5. Window units will be factory finished.
6. Hand railings to be painted: Color TBD
7. Wood base to be painted: Color TBD

Contract 10820: Specialties:

1. Furnish only:
 - a. USPS regulation Postal box. Minimum 8 units.
 - b. Bathroom accessories
 - c. Wire closet shelving.
 - d. (4) 10 lb. type ABC fire extinguishers (wall mount).





Contract 11450 Appliances:

1. All appliances by owner.

Contract 13900: Fire Protection:

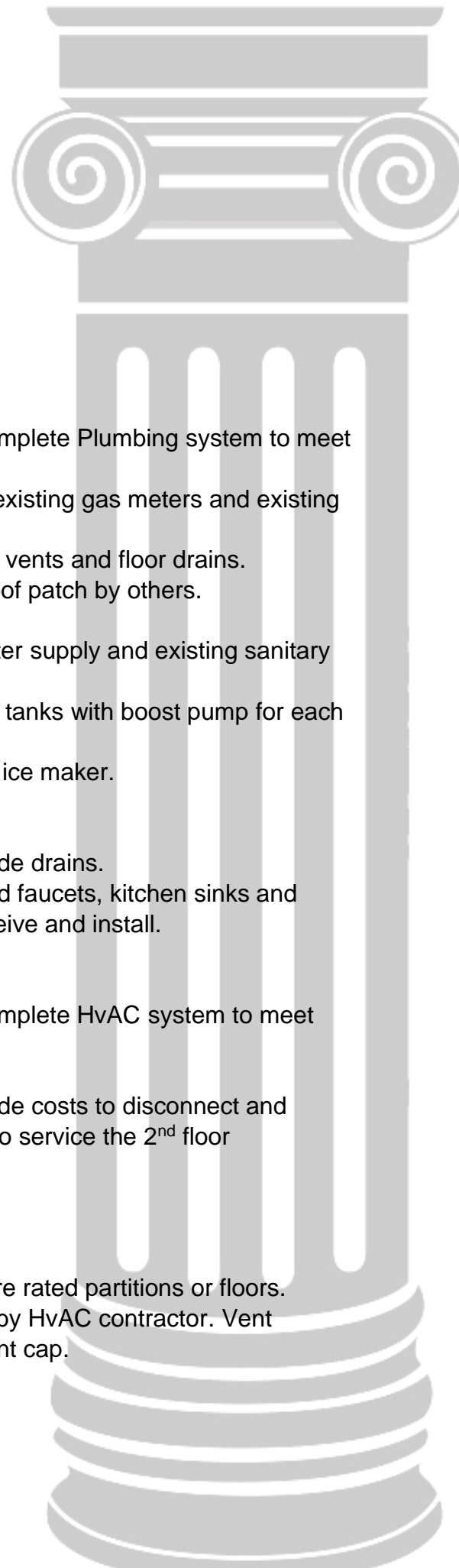
1. Not Included

Contract 15100: Plumbing:

1. This is a design / build proposal. Contractor to propose a complete Plumbing system to meet City of Buffalo code.
2. Investigate and verify existing conditions. Note locations of existing gas meters and existing water service.
3. Furnish and install new water lines, gas lines, sanitary lines, vents and floor drains.
4. Include any roofing penetrations by Plumbing contractor. Roof patch by others.
5. Existing Storm piping is to remain in place.
6. Route lines down into basement and connect to existing water supply and existing sanitary service.
7. Furnish and install (8) Hot water tanks: 40-gal gas hot water tanks with boost pump for each apartment. Location to be in Basement.
8. Furnish and install water line and connection for refrigerator ice maker.
9. Furnish and install gas line to each range.
10. No dishwashers.
11. Furnish and install fiberglass shower pans at showers. Include drains.
12. Owner to furnish all plumbing fixtures. Toilets, bath sinks and faucets, kitchen sinks and faucets, shower fixtures and mixing valve. Contractor to receive and install.

Contract 15700: HVAC:

1. This is a design / build proposal. Contractor to propose a complete HVAC system to meet City of Buffalo code.
2. Investigate and verify existing conditions.
3. Currently, there are (8) new furnaces in the basement. Include costs to disconnect and relocate (4) of the furnaces up into the 3rd floor attic space, to service the 2nd floor apartments.
4. Also include to furnish and install:
 - a. All supply and return ductwork.
 - b. Programmable thermostats
 - c. Fire dampers on ductwork that passes through any fire rated partitions or floors.
 - d. Combo fan/ light fixtures at Baths: furnish and install by HVAC contractor. Vent through exterior wall. Include wall penetration and vent cap.
 - e. Include comfort balance.





Contract 16100 Electrical & Fire Alarm:

1. This is a design / build proposal. Contractor to propose a complete Electrical and Fire Alarm system to meet City of Buffalo code.
2. Investigate and verify existing conditions.
3. Include the complete removal of wiring and electrical devices.
4. Utility costs paid by owner.
5. Specific details:
 - a. The existing electrical service gear to be modified. Remove circuit panel boards from the basement and either reinstall existing in each apartment unit or install new circuit panels into each unit. Contractor option, as allowed by City of Buffalo.
 - b. Install House panel for common area lighting and power (corridors, stairwells, exterior lighting).
 - c. Follow Drawing 4 of 4 for general intent power and lighting plan.
 - d. Include light switches (not shown of plans).
 - e. Include rough-in and light fixture install in the common corridors and stairwells (not shown on plans).
 - f. Contractor to furnish and install any exit lighting, emergency lighting, and exterior egress lighting. To comply with City of Buffalo code.
 - g. Owner to furnish all light fixtures. Contractor to receive and install.
 - h. Install power, disconnect and circuit to the (8) furnaces.
 - i. Install power, disconnect and circuit to the (8) hot water tanks.
 - j. Install power to bathroom fan/ light combo units at each bathroom.
 - k. Switches and receptacles to be Leviton Decora Style – Color White.

END OF SCOPE OF WORK

