



**PROJECT: West Side Bazaar  
1432 Niagara St.  
Buffalo, New York**

**DATE: October 29, 2020**

**SUBCONTRACTOR SCOPE OF WORK DETAILS - WORK ITEMS:**

**1. SCOPE OF WORK – Contract 193 – HAZARDOUS MATERIALS ABATEMENT & REMOVAL**

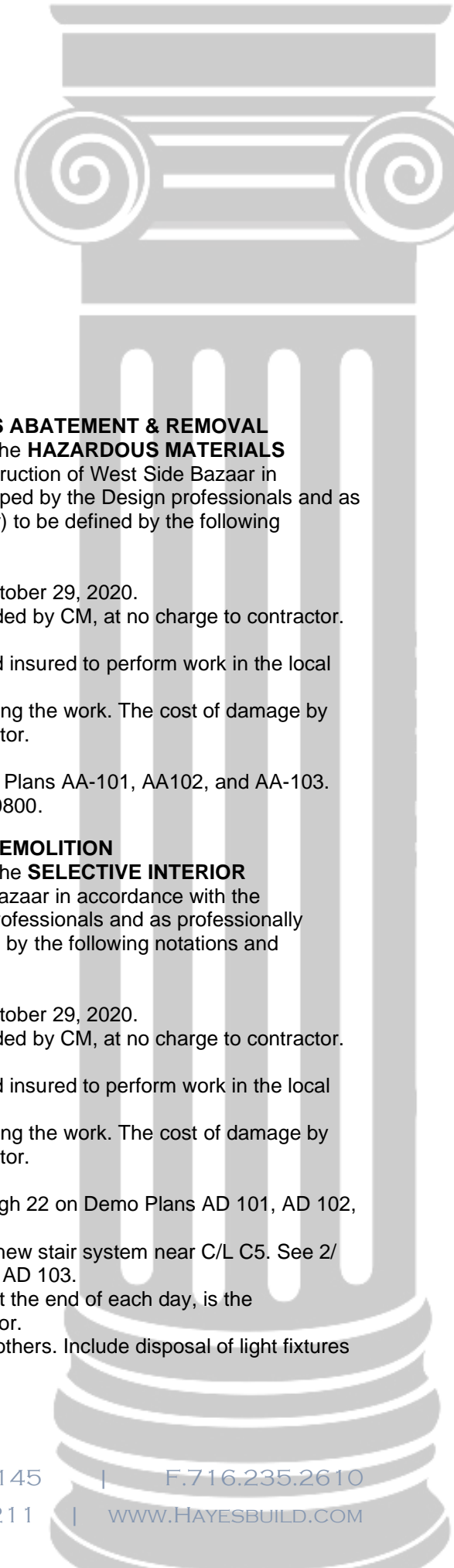
Furnish all materials, labor, equipment, plant and supervision for the **HAZARDOUS MATERIALS ABATEMENT & REMOVAL WORK** necessary for the new construction of West Side Bazaar in accordance with the construction details and requirements developed by the Design professionals and as professionally deducible by the construction subcontractor (bidder) to be defined by the following notations and clarifications.

- A. Construction Documents:
  - a. Refer to drawing and specifications log, dated October 29, 2020.
  - b. Temporary water, power, heat, and lighting provided by CM, at no charge to contractor.
- B. Permitting and Inspections:
  - a. Subcontractor must be appropriately licensed and insured to perform work in the local municipality.
  - b. Protect the property from damage and abuse during the work. The cost of damage by same shall be the responsibility of the subcontractor.
- C. Items included, but not necessarily limited to:
  - a. All removals per notes 1 through 6 on Abatement Plans AA-101, AA102, and AA-103.
  - b. All removals per CJS Architects Spec section 020800.

**2. SCOPE OF WORK – Contract 241 – SELECTIVE INTERIOR DEMOLITION**

Furnish all materials, labor, equipment, plant and supervision for the **SELECTIVE INTERIOR DEMOLITION** necessary for the new construction of West Side Bazaar in accordance with the construction details and requirements developed by the Design professionals and as professionally deducible by the construction subcontractor (bidder) to be defined by the following notations and clarifications.

- A. Construction Documents:
  - a. Refer to drawing and specifications log, dated October 29, 2020.
  - b. Temporary water, power, heat, and lighting provided by CM, at no charge to contractor.
- B. Permitting and Inspections:
  - a. Subcontractor must be appropriately licensed and insured to perform work in the local municipality.
  - b. Protect the property from damage and abuse during the work. The cost of damage by same shall be the responsibility of the subcontractor.
- C. Items included, but not necessarily limited to:
  - a. All removals per specific demolition notes 1 through 22 on Demo Plans AD 101, AD 102, AD 103, AD 200, AD 201, and AD 700.
  - b. NOTE: Include concrete sawcut and removal for new stair system near C/L C5. See 2/AD102. Location also shown on Roof Demo Plan AD 103.
  - c. Securing of the man doors and sectional doors, at the end of each day, is the responsibility of the Selective Demolition contractor.
  - d. Power will be disconnected from light fixtures by others. Include disposal of light fixtures and proper disposal of ballasts and lamps.





- e. Water service will be disconnected by others.
  - f. Include removal of toilets, sinks and waste and water piping.
  - g. All removals per CJS Architects Spec section 024100.
  - h. Scaffold system for access to the roof by others.
  - i. Include temporary protection where noted (window and door openings, OSHA guardrail and planking, etc.) Include protection at alternates in the alternate section.
  - j. Include temporary shoring at floor slab removals in base bid unless a part of an alternate.
  - k. Build, install and maintain OSHA compliant barrier / railings at all floor and stair removals. Some examples: Demo Items # 7, # 9, # 11, # 12, # 15, and roof hatch removal shown on AD 103.
  - l. Include protection of the new exterior sidewalk and curbs along Niagara Street, in front of the building.
  - m. Include all dumpsters necessary for your work. It is allowable to set the dumpsters within the 1<sup>st</sup> floor, at your option.
- D. Alternates to be listed separately, see Bid Form:
- a. **Alternate # 1:** sawcut, carefully remove and dispose of section of existing 2<sup>nd</sup> floor slab. Build, install and maintain OSHA compliant barrier / railings. Include temporary shoring. Assume shoring to remain until the end of March 2021.
  - b. **Alternate # 2:** sawcut, carefully remove and dispose of section of existing roof slab. Build, install and maintain OSHA compliant barrier / railings. Include OSHA planking and temporary cover. Include temporary shoring. Assume shoring to remain until the end of March 2021.
  - c. **Alternate # 3:** remove existing concrete stair assembly and enclosure wall. Build, erect and maintain OSHA compliant barriers, railings, and stairs. Include temporary shoring if necessary. Assume shoring will remain in place until the end of March 2021.
  - d. **Alternate # 4:** remove and dispose of (3) glass block windows as shown (item 1 per demo notes). Build and install plywood enclosures at openings.
  - e. **Alternate # 5:** not shown on documents—sand blast entire interior space after demo and abatement is complete. 1<sup>st</sup> & 2<sup>nd</sup> floors: walls, columns, concrete ceiling deck, floors, etc. Assume lead paint. Contractor will be responsible for verifying quantities.
  - f. **Alternate #6:** not shown on documents—remove foliage/ vines on the exterior of the building per EPA and OSHA guidelines. Quantities to be field verified by contractor.
- E. Carpentry: include the following items in your base bid:
- a. Item 19: Build and install plywood wall with pair of doors after removal of the (3) overhead door locations.
  - b. Protect glass block windows per Demolition Note 1A. Maintain for the duration of this scope of work. Post-demo maintenance by others.
  - c. Item 12: Build, erect and maintain OSHA compliant temporary doors, opening enclosures, guardrails, stairs, railings, planking, temporary roof covers etc. See the attached logistics plan for locations.
  - d. Provide, maintain, and inspect until permanent structural steel is installed: temporary shoring under all openings created through the 2<sup>nd</sup> floor slab and roof deck. Assume shoring is in place until the end of March 2021.
  - e. Enclosures shall be built and maintained such that the building is “locked-down” at all times from mobilization to completion of demo/abatement. Maintenance of enclosures and perimeter security will be maintained by others after completion of demo/abatement.

END OF DOCUMENT



CONTACT US | P.716.768.0145 | F.716.235.2610  
656 GENESEE ST | BUFFALO NY 14211 | WWW.HAYESBUILD.COM