



**August 6, 2020**

**Residential Renovation of 3 Story Building  
311 Walnut Street  
Buffalo, New York**

**Bid Document: Scopes of Work**

**Reference the Drawings and Attachments:**

- **D-1: Demolition Plan-Notes & Schedules, Dated 6-7-20**
- **A-1: Project Information-Notes-Legends & Specifications, Dated 6-7-20**
- **A-2: Specifications & Notes, Dated 6-7-20**
- **A-3: Code Review Summary & Code Plans, Dated 6-7-20**
- **A-4: Floor Plans & Notes, Dated 6-7-20**
- **A-5: Schedules & Interior Elevations, Dated 6-7-20**
- **MEP-1: MEP Plans-Notes & Schedules, Dated 6-7-20**
- **Architect Bid Addendum 1, dated 7-20-20**
  - **Attachment A: SK-1: One Hr. rated ceiling detail**
  - **Attachment B: UL Design U905**
  - **Attachment C: Legacy Cabinets**
  - **Attachment D: Bath fan and light**
  - **Attachment E: Building Elevations**
  - **Attachment F: Elevator Shaft Section**
  - **Attachment G: Elevator Preliminary Power Data 208v 3-phase**

**Contract 2410: Interior Selective Demolition:**

**See Drawing D-1:**

1. Selective Demo Contractor to supply their own dumpsters.
2. Owner has not provided a Hazardous Materials Survey. Assume there are no Hazardous materials present.
3. A Hazardous Materials Survey will be provided prior to contract award.
4. Include General Demolition Notes A through G
  - a. **Regarding General Demolition Note E:** It is selective demolition contractor's responsibility to identify suspected load bearing walls during the demolition process. Suspected load bearing walls are to be identified and remain in place until further investigation and direction by Architect / Engineer.
  - b. **Delete Note H. This does not apply.**



5. 1<sup>st</sup> Floor Area: Remove balance of existing concrete floor and approx. 6" of earth for future concrete floor, per Demolition Note D, on Addendum # 1. Field verify the extent of concrete removals. New Concrete floor by others.
6. Include Demolition Notes 1 through 9:
  - a. Remove cabinetry and counter tops
  - b. Remove all plumbing: fixtures, water and waste lines, gas piping, and vent piping down to basement level.
  - c. Remove all heating and ventilation: all equipment and all ductwork down through the basement level.
  - d. Remove all electrical: fixtures, receptacles and wiring down through basement level.
  - e. Remove all flooring in all areas
  - f. Window removal as noted. Furnish and install temporary protection at window openings, after window removal.
  - g. Remove (14) additional windows at 1<sup>st</sup> floor, per Demolition Item H, on Addendum # 1 and install temporary protection.
  - h. Include the complete removal of all drywall / plaster from all wall and ceiling surfaces, per drawings and Demolition notes A, B, and C, on Addendum # 1.
  - i. Remove (4) garage doors, per Demolition notes E and F, on Addendum # 1. Temporary protection by others.
  - j. Remove all interior doors, frames, and hardware. See Demolition note G, on Addendum # 1.
7. Anticipated Completion Schedule for Interior Selective Demo: 4 weeks.

**Contract 3310: Cast in Place Concrete:**

1. Form and place foundation for new masonry elevator shaft. Foundation to be 48" deep x 12" thick with # 5 rebar. Excavation and backfill by others. Slab at base of pit to be 8" thick.
2. Furnish and place 4" new concrete slab with fiber mesh at entire first floor. Stone subbase by others.
3. Coordinate with in-slab hydronic heating system, provided and installed by HVAC contractor.
4. Work per General Concrete Notes C, E, F, and H on drawing A-2.

**Contract 4020: Masonry:**

1. Furnish and install masonry work:
  - a. Wall Type 1: Masonry wall and infills at 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> floors.
  - b. Wall Type 2: Elevator shaft. Continuous from elevator pit to roof. See Attachment F: Elevator Shaft Section.
  - c. Saw cut, remove masonry, furnish and install lintel, and prepare opening for new exterior door 104A.
2. New work to be fully grouted with # 5 rebar at 24" o.c. and horizontal reinforcing 16" o.c. vertical, per General Conditions item D, on Addendum # 1.



3. Architect has Issued UL Design U905 for reference. See attachment B.
4. **Masonry Alternate # 1:** Provide separate pricing for exterior masonry pointing. Assume work to be 20% of each elevation, per General Conditions Item F, on Addendum # 1.

**Contract 5510: Misc. Metals & Ornamental Metal:**

1. Furnish and erect galvanized exterior metal stair, landing, continuous railing and posts, as noted on A-4. Concrete foundation by others.
2. Furnish and erect galvanized exterior metal guard rail at 2<sup>nd</sup> floor deck.

**Contract 6100: Carpentry – Materials:**

1. Furnish framing lumber for new interior partitions.
2. Furnish Colonial profile wood casing and sill material for windows.
3. Furnish approx. 240 LF of handrail with brackets.
4. Furnish approx. 2000 LF wood base. 3/4" x 5" poplar with Colonial profile.

**Contract 6150 Rough Carpentry – Labor:**

1. Construct new interior wood partitions per plans.
2. Furnish and install wood blocking for cabinetry, closet shelving, toilet room accessories and grab bars.

**Contract 6210: Finish Carpentry-Labor:**

1. Install new windows and interior trim. Include the additional (14) windows on the 1<sup>st</sup> floor, per Construction item E, on Addendum # 1.
2. Install new frames, doors, hardware.
3. Install toilet room accessories.
4. Install cabinetry.
5. Install wood base.

**Contract 6220: Millwork & Cabinetry:**

1. Cabinetry for all (4) units: Basis of design is Legacy Cabinets, Millan Series European Cabinetry Matte Finish. See Attachment C, for selection. An "or equal" may be substituted, final approval by owner.

**Contract 6415: Counter Tops:**

1. Furnish and install counter tops. Basis of design is Wilson Art Solid Surface – Frosty White Mirage. An "or equal" may be substituted, final approval by owner.

**Contract 6430: Stairs & Railings:**

1. Existing stairs to remain in place.
2. Any repairs to be reviewed with Architect and cost to be determined at future date.



3. New hand railings to be furnished and installed under carpentry bid packages.
4. New wood decorative guard rail.

**Contract 7200 Insulation:**

1. Furnish and install insulation:
  - a. Exterior walls R- 19 with vapor barrier.
  - b. All Interior walls R-13 sound batt insulation.
  - c. Mineral wool fire batt insulation at apartment separation walls (see Construction item H, on Addendum # 1.
  - d. Mineral wood fire batt insulation Rockwell R-23 Comfort Batt at 1<sup>st</sup> floor and 2<sup>nd</sup> floor ceiling cavity (see General Conditions item C, on Addendum # 1).
  - e. Closed cell spray polyurethane foam insulation at 3<sup>rd</sup> floor roof and under area of roof at 2<sup>nd</sup> floor (see Construction item B, on Addendum # 1).

**Contract 7720: Roof Accessories – Pavers:**

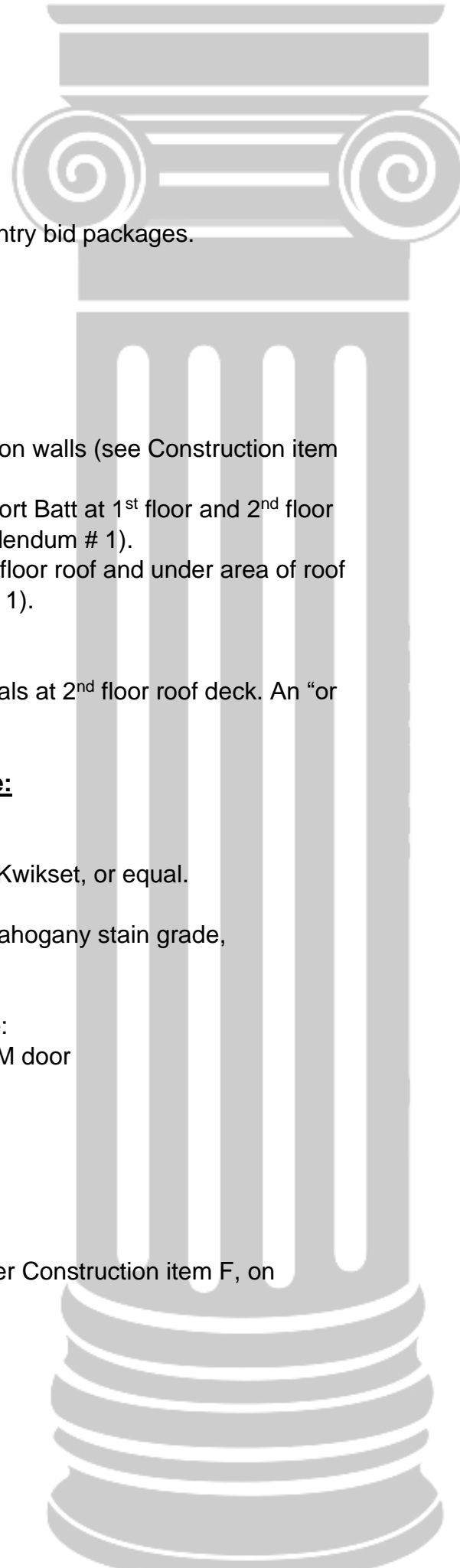
1. Furnish and install teak wood pavers with adjustable pedestals at 2<sup>nd</sup> floor roof deck. An “or equal” may be substituted, final approval by owner.

**Contract 8210: Supply and Deliver Frames-Doors-Hardware:**

1. See drawing A-5 for Door Types.
  - a. Hardware Finish: Satin Nickel.
  - b. Door handles to be lever style: medium duty Falcon, Kwikset, or equal.
2. Rated frames to be HM.
3. All apartment Entry doors and doors in Apartment 3 to be Mahogany stain grade, prefinished. Frames to be painted.
4. All other frames and doors to be wood. Paint grade.
5. Please include additional doors not noted on Door Schedule:
  - a. # 106 - to be 90 min. frame, hardware and 2-panel HM door
  - b. # 107 – same as opening # 104
  - c. # 206 – same as opening # 203
  - d. # 207 – same as opening # 204
  - e. (2) fiberglass entry doors – same as # 104A

**Contract 8360 Garage Doors:**

1. Furnish and install (2) rollup doors with electric operators, per Construction item F, on Addendum # 1.





### **Contract 8510 Windows:**

1. Basis of design: Pella Architect Series Traditional Windows. An “or equal” may be substituted, final approval by owner.
2. Include the additional (14) windows on the first floor, per Construction Item E, on Addendum # 1.
3. Windows to be factory finished. Standard color selection.
4. Include extension jambs.
5. Include screens

### **Contract 9010: Wood Framing and Gypsum Wallboard:**

**NOTE: This contract may be divided between wood framing contractor under Contract 6150 and GWB supply-hang & finish contractor under Contract 9010. If you wish to bid both please note on your quotation.**

1. Furnish and install GWB at partitions and ceilings for 2<sup>nd</sup> and 3<sup>rd</sup> floors, see Construction note A, per Addendum # 1.
2. Follow detail A-2 on drawing A-5 for 1<sup>st</sup> floor and 3<sup>rd</sup> floor ceilings. See Construction note B, per Addendum # 1.
3. Follow SK-1, dated 7-19-20 for 2<sup>nd</sup> floor ceiling. See Construction note B, per Addendum # 1.
4. Include the furnish and install of fireblocking at perimeter framing, per Construction item C, on Addendum # 1.
5. Misc. infill framing, GWB, tape and finish all GWB surfaces, ready for paint.

### **Contract 9610: Flooring:**

1. Furnish and install ¼” luan plywood subfloor at 2<sup>nd</sup> and 3<sup>rd</sup> floor areas. See Construction Item G, per Addendum # 1.
2. Include necessary prep work.
3. Include tile backsplash work.
4. Refer to Finish Notes & Schedule and Finish Materials as noted on drawing A-5.
5. Where necessary, state an allowance for floorings or rooms that are not specified.

### **Contract 9910: Painting:**

1. All walls and ceilings: (1) primer coat and (2) finish coats of paint. Product per Finish Materials on A-5. An “or equal” paint product may be substituted, final approval by owner. Colors TBD.
2. Include 1<sup>st</sup> floor walls and ceilings
3. Include 2<sup>nd</sup> and 3<sup>rd</sup> floor walls and ceilings.
4. All apartment entry doors to be Mahogany factory finished. Frames to be painted.
5. All doors in Apartment 3 to be Mahogany factory finished. Frames to be painted.
6. All other new door frames, casings, and doors to be painted: Color TBD



7. Any existing door frames, casings, and doors to be painted: Color TBD
8. Window casing and sill to be painted: Color TBD
9. Window units to be factory finished.
10. Hand railings to be painted: Color TBD
11. Wood base to be painted: Color TBD

**Contract 10820: Specialties:**

1. Furnish only:
  - a. Postal box
  - b. Bathroom accessories
  - c. Not Included: Closet shelving and storage shelving, per General Conditions item E, on Addendum # 1.

**Contract 11450 Appliances:**

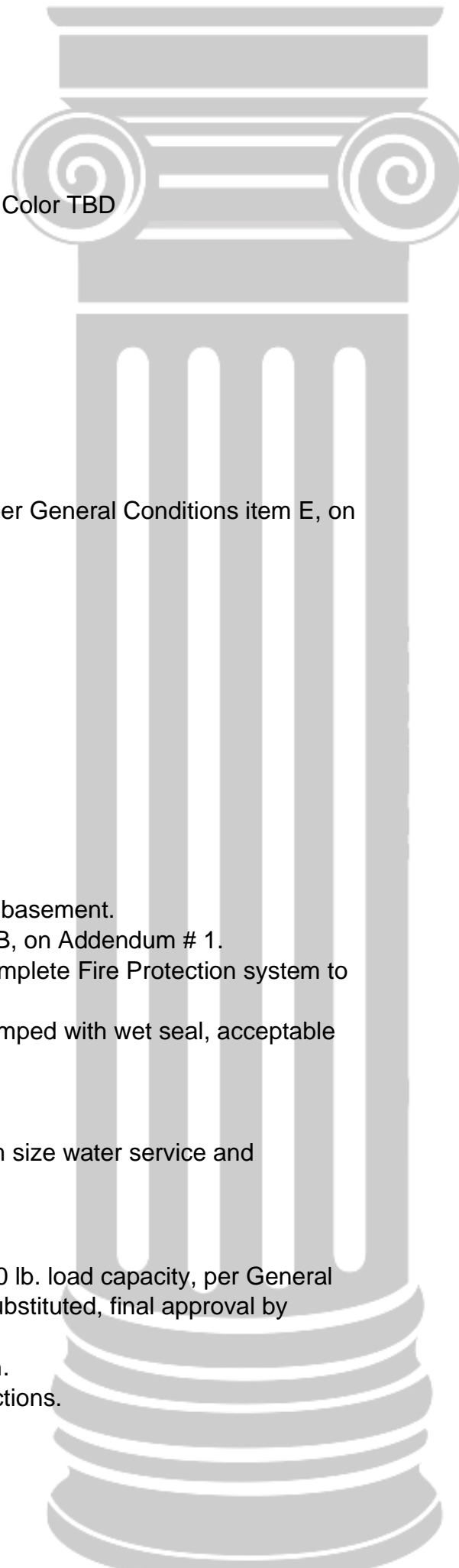
1. Furnish, deliver, set in place and level for each apartment:
  - a. Refrigerators
  - b. Gas Ranges
  - c. Microwaves
  - d. Dishwashers
  - e. Clothes Washer
  - f. Gas Dryer Units

**Contract 13900: Fire Protection:**

1. Wet sprinkler protection for the entire building, including the basement.
2. Basis of Design is NFPA 13R, per General Conditions item B, on Addendum # 1.
3. This is a design / build proposal. Contractor to propose a complete Fire Protection system to meet City of Buffalo code.
4. Include Engineering costs and provide design drawings, stamped with wet seal, acceptable to City of Buffalo.
5. See Fire Protection notes on drawing MEP-1.
6. Investigate and verify existing conditions
7. Identify and state your water service requirements: minimum size water service and pressure.

**Contract 14100: Traction Elevator:**

1. Basis of Design is Schindler 3100 traction elevator with 2100 lb. load capacity, per General Conditions item A, on Addendum 1. An "or equal" may be substituted, final approval by owner.
2. Combination of front and front/ rear openings. See floor plan.
3. Assume plastic laminate interior panels, from standard selections.





4. Assume landing doors and frames to be powder coat painted with standard color.

**Contract 15100: Plumbing:**

1. This is a design / build proposal. Contractor to propose a complete Plumbing system to meet City of Buffalo code.
2. Investigate and verify existing conditions
3. Include cut and cap of water lines, prior to interior selective demolition.
4. Comply with notes and details pertaining to your work.
5. Include Engineering costs and provide design drawings, stamped with wet seal, acceptable to City of Buffalo.
6. Furnish and install new water lines, gas lines, sanitary lines, vents and floor drains.
7. Any roofing penetrations by Plumbing contractor. Roof patch by others.
8. Existing Storm piping is to remain in place.
9. Route lines down into basement and connect to existing water supply and existing sanitary service.
10. Hot water tanks: 40-gal gas hot water tanks for each apartment. Location to be Mech Room 106.
11. Fixtures per drawing MEP-1. An "or equal" may be substituted, final approval by owner.
12. Showers to be ceramic tile floors and walls. Provide floor drains, mixing valve, and shower fixtures.
13. Where necessary, state an allowance for fixtures that are not specified.

**Contract 15700: HVAC:**

1. This is a design / build proposal. Contractor to propose a complete HVAC system to meet City of Buffalo code.
2. Investigate and verify existing conditions.
3. Include Engineering costs and provide design drawings, stamped with wet seal, acceptable to City of Buffalo.
4. Suggested design:
  - a. Apartment # 1: Mitsubishi Ductless System or equal – Heating & Cooling.
  - b. Apartment # 2: Mitsubishi Ductless System or equal – Heating & Cooling.
  - c. Apartment # 4: Mitsubishi Ductless System or equal – Heating & Cooling.
  - d. Apartment # 3: Owner requests hot water boiler perimeter hydronic heating system with air conditioning. Boiler can be installed in Mechanical Room 106.
5. Pad-mount compressor locations at grade. Assumed to be North side of building.
6. Combo fan/ light fixtures at Baths: furnish and install by HVAC contractor, powered by Electrical contractor. See Attachment D, for selection. An "or equal" may be substituted, final approval by owner. Include wall penetration and water-tight vent.
7. Furnish and install in-wall box / vent kit and piping for residential dryers.



8. Furnish & Install in floor radiant heating system at 1<sup>st</sup> floor. Zone1 to be Garage 103. Zone 2 to be Garage 105. Boiler and controls to be installed in Mechanical Room 106.
9. Any roofing penetrations and curbs by HVAC contractor. Roof patch by others.

**Contract 16100 Electrical & Fire Alarm:**

1. This is a design / build proposal. Contractor to propose a complete Electrical and Fire Alarm system to meet City of Buffalo code.
2. Investigate and verify existing conditions.
3. Include Engineering costs and provide design drawings, stamped with wet seal, acceptable to City of Buffalo.
4. Include make safe / terminate power to lighting and receptacles prior to interior selective demolition.
5. Utility costs paid by owner.
6. Specific details:
  - a. It is anticipated a new 3-phase service will be brought into the building. Owner is working with National Grid for service upgrade.
  - b. Review existing service, meter centers, and panel boards. Determine if the existing service will support the new power load. Metering to be: (1) house service, (4) apartments, (2) future.
  - c. Power requirements to new elevator: See Bid Attachment G.
  - d. Contractor to furnish and install fixtures Type C, Type E (see Addendum 1 for selection), and Type R.
  - e. Contractor to furnish and install any exit lighting, emergency lighting, and exterior egress lighting.
  - f. Owner to furnish Bedroom Fan / Light units, Type D, Type W-2, and Type P fixtures and lamps. Contractor to receive and install.
  - g. Power and circuit to Mitsubishi Ductless units for apartments # 1, # 2, & # 4. Assume dedicated 30 A circuit to each.
  - h. Power and disconnect to Hot water tanks and boilers at Mechanical Room 106.
  - i. Power and disconnect to pad mount A/C condensing units.
  - j. Switches and receptacles to be Leviton Decora Style – Color White.
  - k. Combo fan/ light fixtures at Baths: furnish and install by HVAC contractor, powered by Electrical contractor.
7. Follow Drawing MEP-1 for general intent power and lighting plan.

**END OF SCOPE OF WORK**