



**Bid Doc Scope of Work**  
**Restaurant – Interior Build-Out**  
**8611 Main St.**  
**Clarence, New York**  
**June 16, 2020**

**Bid Documents:**

- Cover Sheet CO, dated 6-12-20
- A-1: Floor Plan-Reflected Ceiling Plan & Notes, Revision dated 6-16-20
- A-2: Enlarged Floor Plan-Interior Elevations & Notes, Revision dated 6-16-20
- P-1: Plumbing Notes & Specifications, Revision dated 6-16-20
- P-2: Plumbing Plan-Trenching-Isometric & Notes, dated 6-12-20
- M-1: Mechanical Notes & specifications, dated 6-12-20
- M-2: Mechanical Notes-Design & HVAC Plan, dated 6-12-20
- E-1: Electrical Notes & Specifications, dated 6-12-20
- E-2: Electrical Power Plan-Lighting Plan & Notes, dated 6-12-20

**1. Interior Concrete repairs:**

- a. Saw cut, removal and repair of concrete floor is included in Plumbing work.

**2. Masonry:**

- a. No masonry work included

**3. Structural Steel:**

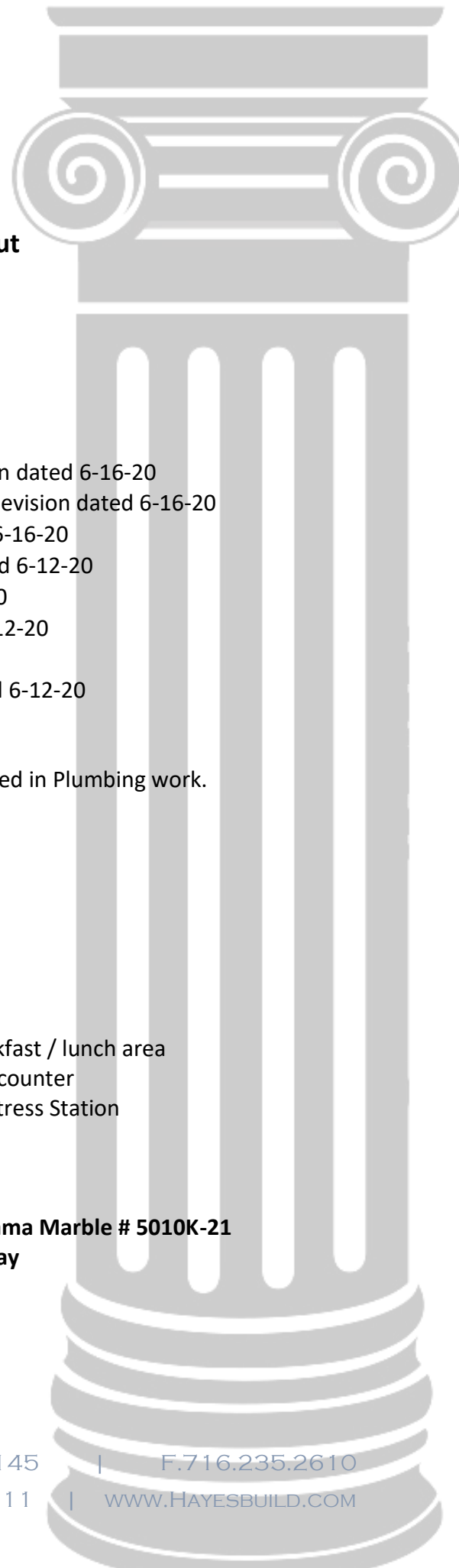
- a. No structural steel included

**4. Millwork, Cabinetry, Interior trim:**

- a. L-shape plastic laminate countertop at customer breakfast / lunch area
- b. Open cabinets with one fixed shelf under the L-shape counter
- c. Plastic laminate countertop with base cabinets at Waitress Station
- d. Plastic laminate pass through at Kitchen
- e. Plastic laminate cap at 48" wall
- f. Window sill (approx. 25 LF)
- g. **Laminate Selection: Wilsonart premium laminate Drama Marble # 5010K-21**
- h. **Window sill: Solid surface product: color White or Gray**

**5. Insulation:**

- a. Sound bat insulation at all new walls.





**6. Roof Flashing & Roof Repairs:**

- a. Roof work by owner

**7. Fireproofing:**

- a. No fireproofing included

**8. Doors:**

- a. New flush HM doors, KD frames and hardware for (2) restrooms, (1) office, (1) utility room:
  - i. 3-0 x 7-0 for Unisex Hdcp Restroom
  - ii. 2-6 x 7-0 for office
  - iii. 3-0 x 7-0 for Utility Room
  - iv. 2-6 x 7-0 for Private Restroom
- b. Remove and replace rear exterior frame and door, and install new panic bar, closer, threshold and weatherstripping.

**9. Windows at existing building:**

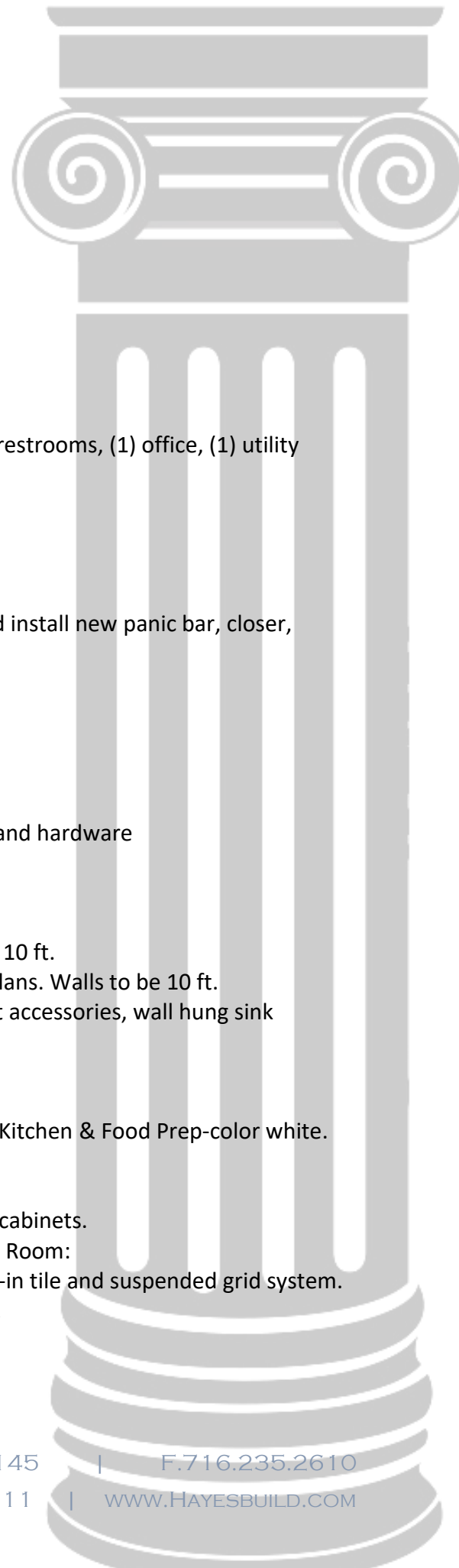
- a. Existing windows to remain

**10. Exterior doors / storefront:**

- a. Remove and replace aluminum entrance door, frame and hardware
- b. Interior vestibule door and frame to remain

**11. Carpentry, Framing, GWB, Acoustic & misc.:**

- a. New drywall partitions as shown on plans. Walls to be 10 ft.
- b. Framing and drywall at perimeter walls as shown on plans. Walls to be 10 ft.
- c. Furnish and install fire treated wood blocking for toilet accessories, wall hung sink carriers, service window pass-thru and half wall.
- d. All interior walls to include sound batt insulation.
- e. Rear wall to include insulation (R-15 minimum).
- f. Furnish and install Class A textured FRP wall panels at Kitchen & Food Prep-color white. Product to be Kemlite or equal.
- g. Install of frames, doors, and hardware
- h. Install of toilet room accessories and fire extinguisher cabinets.
- i. New Acoustic ceilings throughout space, except Utility Room:
  - i. Dining Room, (2) Restrooms, (1) Office. 2x4 lay-in tile and suspended grid system. Product to be Armstrong Cortega 769 or equal.





- ii. Kitchen & Food Prep. Washable surface acoustic ceiling suspended system. Product to be Gold Bond Gridstone CleanRoom ceiling tiles or equal.
- iii. No ceiling at Utility Room

#### 12. Flooring:

- a. Kitchen and Food Prep: Sand floor and prep floor for ceramic tile
- b. Kitchen and Food Prep: 12" x 12" or 6" x 6" ceramic tile with ceramic cove base
- c. Utility Room: no flooring
- d. Restroom at Food Prep area: ceramic tile with 4" vinyl cove base to match Kitchen.
- e. Dining Area, Unisex Hdcp. Restroom and Office: 12" x 12" ceramic tile with 4" vinyl cove base.
- f. Vestibule: Walk-Off carpet tile (Mannington or equal) with 4" vinyl cove base.

#### 13. Painting:

- a. No exterior painting
- b. Paint all interior walls – Eggshell Finish
- c. Paint doors and door frames – Semi-Gloss Finish
- d. Paint metal window divisions at storefront glazing system.
- e. All drywall surfaces to receive (1) coat primer and (2) coats of finish paint
- f. Colors to be determined.

#### 14. Accessories:

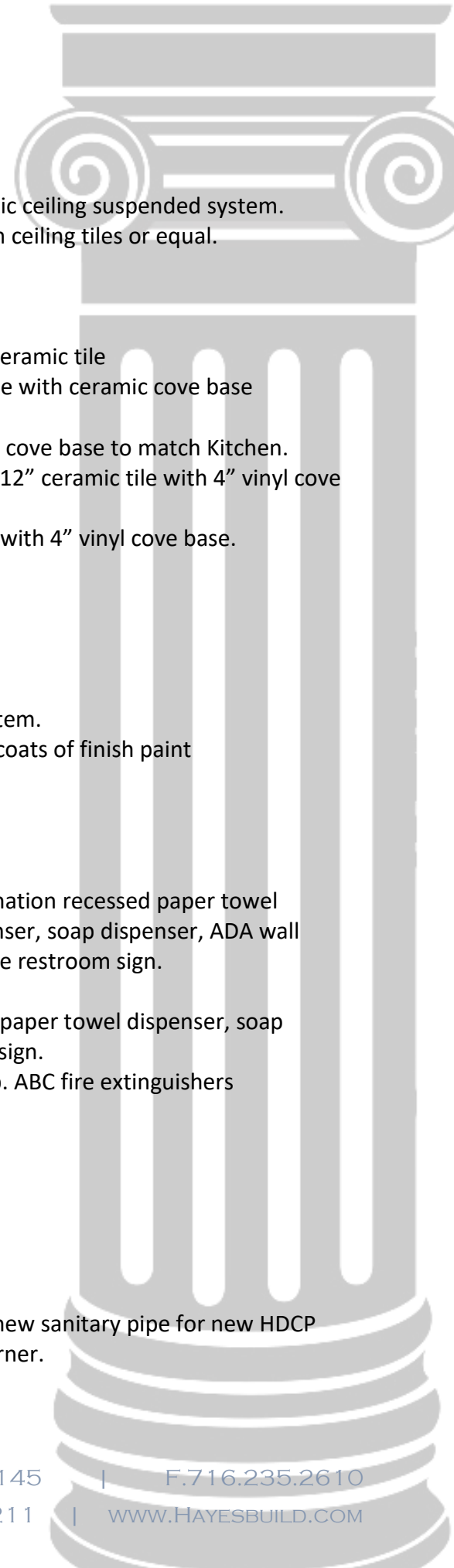
- a. At Unisex HDCP Restroom:
  - i. Grab bars, dual roll toilet paper holder, combination recessed paper towel dispenser and trash bin, sanitary napkin dispenser, soap dispenser, ADA wall mounted mirror and unisex handicap accessible restroom sign.
- b. At private Restroom:
  - i. Dual roll toilet paper holder, surface mounted paper towel dispenser, soap dispenser, wall mounted mirror and restroom sign.
- c. Furnish & install (2) Fire extinguisher cabinets and 5 lb. ABC fire extinguishers

#### 15. Window treatments:

- a. No window treatments included

#### 16. Plumbing:

- a. Assume existing gas service is adequate.
- b. Remove exist sanitary line (on the floor slab)
- c. Saw cut, bust out, remove concrete, excavate, install new sanitary pipe for new HDCP restroom, new kitchen sinks, new restroom at rear corner.





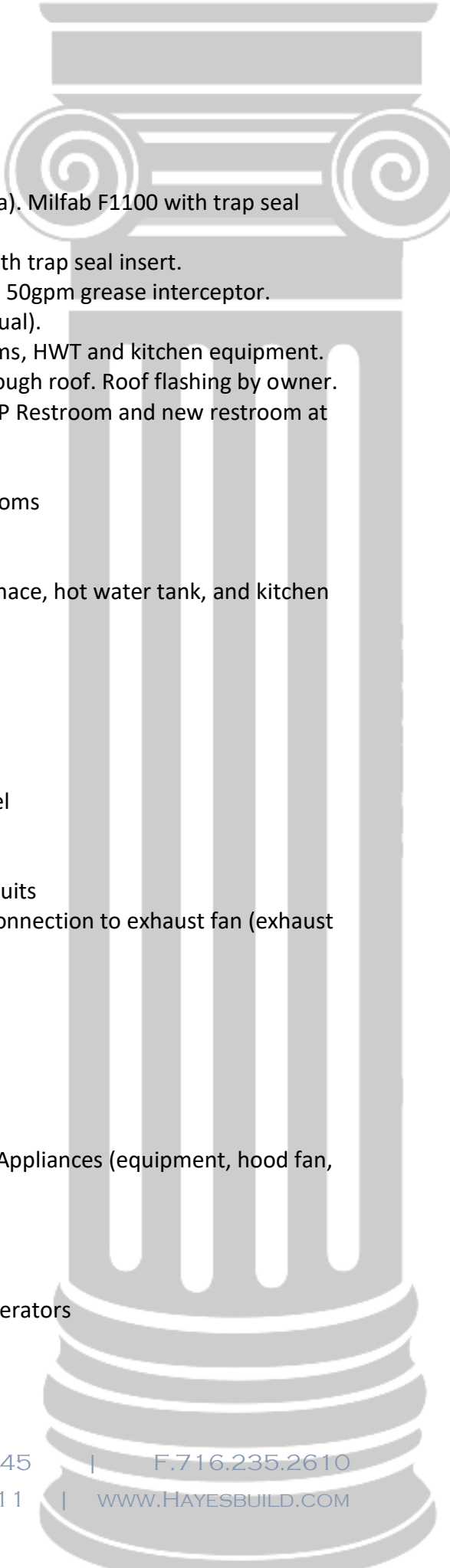
- d. Install (2) floor drains (Kitchen Area and Food Prep Area). Milfab F1100 with trap seal insert.
- e. Install (1) floor drain in Furnace Room. Milfab F1100 with trap seal insert.
- f. Furnish and install (1) grease interceptor. Milfab MIG-7 50gpm grease interceptor.
- g. Furnish and install (1) floor sink (Milfab FS1523-1 or equal).
- h. Add water line from existing meter location to restrooms, HWT and kitchen equipment.
- i. Furnish and install 50 gal. gas Hot water tank. Vent through roof. Roof flashing by owner.
- j. New plumbing fixtures, water lines, vent piping at HDCP Restroom and new restroom at rear corner:
  - i. Toilets
  - ii. Wall hung sinks with faucet at Men/ Women rooms
- k. Install water sub-meter
- l. All kitchen equipment by others.
- m. An allowance of 150 LF of gas piping from meter to furnace, hot water tank, and kitchen equipment.

**17. HVAC:**

- a. All work by owner

**18. Electrical:**

- a. Remove and replace circuit panel with new circuit panel
- b. New receptacles/ power connections:
  - i. Dining Area: (6) general purpose receptacles
  - ii. Waitress Station: (2) quad receptacles & (2) circuits
  - iii. HDCP Restroom: (1) GFIC receptacle & power connection to exhaust fan (exhaust fan by others).
  - iv. Office: (3) receptacles
  - v. Utility Room:
    - 1. power connection to furnace
    - 2. power connection to hot water tank
  - vi. Kitchen:
    - 1. (1) general purpose receptacle
    - 2. (4) 20 A circuits at Commercial Cooking Appliances (equipment, hood fan, Ansul system)
  - vii. Food Prep:
    - 1. (3) general purpose receptacles
    - 2. (1) 40 A circuit for cooler/ freezer
    - 3. (2) 20A receptacles to commercial refrigerators
    - 4. (1) 20A circuit above prep table





- viii. Private Restroom: (1) GFIC receptacle & power connection to exhaust fan (exhaust fan by others).
- c. Power connections to:
  - i. Furnace
  - ii. Hot water tank
  - iii. Kitchen equipment
- d. Furnish and install new LED light fixtures (refer to lighting plan):
  - i. Dining, Vestibule, HDCP Restroom, Office: Lay-in light fixtures:
    - 1. Lithonia 2GTL 2' x 4' LED recessed troffer
    - 2. Lithonia 2GTL 2' x 2' LED recessed troffer
    - 3. GE LED RS Can Downlights LED8DRS6/830-120.
  - ii. Kitchen and Food Prep: Lay-in light fixtures (refer to lighting plan):
    - 1. Lithonia 2GTL 2' x 4' LED recessed troffer with door frame gasketing.
  - iii. Furnace Room:
    - 1. Lithonia SB LED Square Basket Wraparound Flush Mount fixture # SBL4LP840 (CL-254RKU).
- e. Furnish and install new exit signage: Eaton Sure-Lites APXH7 or equal, color white.
- f. Furnish and install new emergency lighting: 2-Head Eaton APEL Series, color white.
- g. ADD: 110 v. Smoke detectors & CO detectors per plan.

**19. Kitchen Equipment:**

- i. All Kitchen equipment by owner
- ii. Any hoods, fire suppression, make-up air and exhaust fan by owner

**END of SCOPE of WORK**

