



**March 4, 2020**  
**The Vegan Center**  
**60 Broad Street**  
**Tonawanda, New York**

**Scope of Work Items:**

**a. Reference the Drawings, ACM Report and Kitchen Equipment information:**

- A-1 dated 1-15-20
- A-2 dated 1-15-20
- A-3 dated 1-15-20
- AMD Environmental asbestos and lead paint inspection report, dated 12-3-19
- Food Service Equipment FSE-1 dated 1-15-20
- BHS list of equipment, 12 pages, dated 2-4-20
- BHS equipment submittals, dated 1-30-20

**Contract 241: Abatement & Selective Demolition:**

**a. BASE BID:**

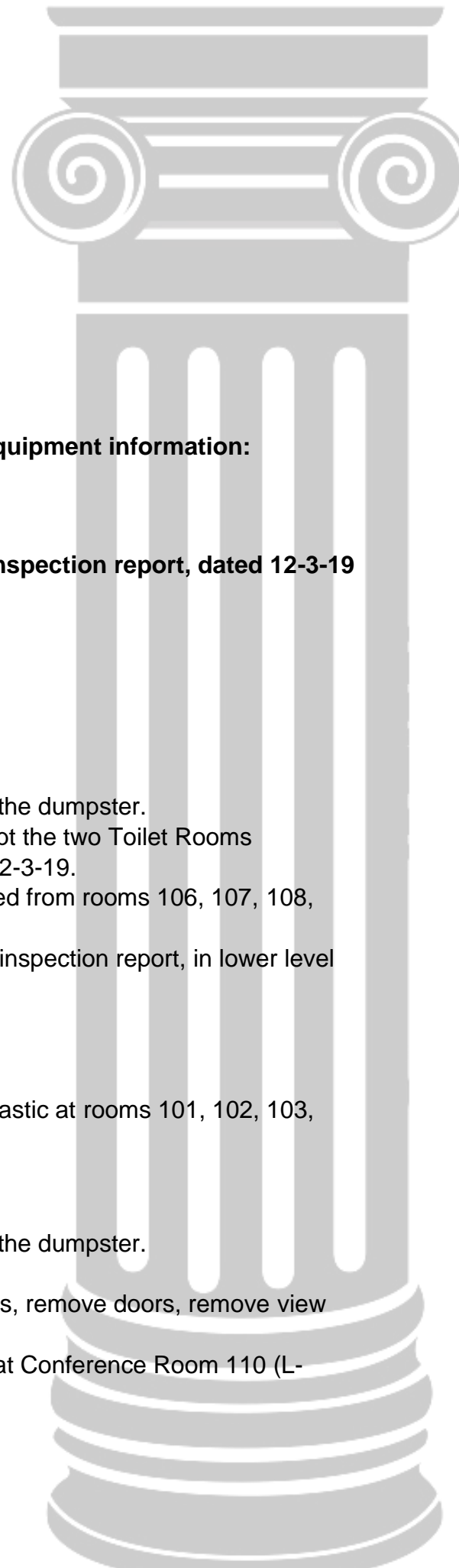
- a. Contractor to supply their own dumpsters
- b. Protect parking lot as necessary. Set plywood below the dumpster.
- c. Remove all carpet and VCT flooring in all areas except the two Toilet Rooms
- d. Abatement per the survey prepared by AMD, dated 12-3-19.
- e. Assume that VAT floor tile and mastic is to be removed from rooms 106, 107, 108, 110, 111, 112 117 and 118.
- f. Include additional abatement: pipe wrap noted in the inspection report, in lower level (page 36).
- g. Wall and ceiling removals by others.
- h. Completion schedule: 2 weeks.

**b. ADD ALT BID:**

- a. Remove and properly dispose of VAT floor tile and mastic at rooms 101, 102, 103, 104 and 105.

**Contract 271: General Interior Demolition:**

- a. Contractor to supply their own dumpsters
- b. Protect parking lot as necessary. Set plywood below the dumpster.
- c. Remove walls as noted
- d. At the new (2) Type 1 partitions, strip (2) existing walls, remove doors, remove view windows and prepare for new 2Hr rated assembly.
- e. Remove fiberboard ceiling and wood ceiling framing at Conference Room 110 (L-shape room).





- f. **NOTE:** The private office (approx. 16' x 7') in Conference 110 to remain: walls, ceiling, door at corridor to remain.
- g. Demo acoustic ceilings at Office 104, Packaging 108, Toilet Room 114, Toilet Room 115 and Kitchen 118. Salvage full size tile when possible.
- h. Remove and dispose laminate counter at Office 104.
- i. Remove door from Storage 109 and store it in the basement.
- j. Remove and dispose toilet partitions.

**Contract 804: Supply and Deliver Frames-Doors-Hardware:**

- a. (3) new rated openings (at Type 1 partitions):
  - (3) "B" label KD 3-0x7-0 HM frames
  - (3) 3-0 x 7-0 flush "B" label HM doors with 5" x 20" view window with wire glass.
  - (2) Lever handle locksets
  - (1) Lever handle passage set
  - (3) Door closers
  - Hinges
  - Wall bumpers
    - Finish 26D
    - Door handles to be medium duty Falcon, Kwikset, Sargent or equal.
- b. (1) new replacement for Kitchen 118:
  - (1) 3-0 x 6-8 KD HM frame
  - (1) HM flush HM door with 5" x 20" view window with wire glass.
  - (1) Lever handle lockset
  - Hinges
    - Finish 26D
    - Door handles to be medium duty Falcon, Kwikset, Sargent or equal.
- c. (2) Toilet Rooms:
  - (2) Paint grade 3-0 x 6-8 x 3/4" wood frame with modern casing
  - (2) 3-0 x 6-8 flush solid core paint grade door
  - Hinges
  - (2) Lever handles privacy set
    - Finish 26D
    - Door handles to be medium duty Falcon, Kwikset, Sargent or equal.

**Contract 901: Framing-GWB-Acoustic Ceilings:**

- a. New partitions as noted. Misc. infill framing, furnish and install insulation, GWB, tape and finish ready for paint.
- b. At Kitchen 118 infill framing and insulation at existing window openings.



- c. At Kitchen 118, laminate existing walls with (1) layer ½" GWB, tape, coat and sand ready for FRP.
- d. Remove frame and door at Toilet Room 114. Cut, frame and prepare wall 3-0 x 6-8 door opening.
- e. Install new frames, doors, hardware.
- f. Install toilet room accessories per Drawing A-3.
- g. Furnish and install FRP panel system at Kitchen 118 walls.
  - i. FRP to be Class A, NUDO FiberLite FRP or equal.
  - ii. FRP to be full height, install vertical
  - iii. FRP to be textured panel, color white.
- h. New Standard acoustic ceilings at following areas:
  - iv. Office 104
  - v. Packaging 108
  - vi. Conference Room 110
  - vii. Rentable Office 111
  - viii. Open Space 112
  - ix. Corridor 113
  - x. Toilet Room 114
  - xi. Toilet Room 115
  - xii. Patch in ceilings at both sides of the two new Type 1 demising walls
    - a. Acoustic ceiling product to be Armstrong # 933 Random Textured 24" x 48" or equal
- i. Moisture resistant ceilings at following areas:
  - xiii. Kitchen 118
    - a. Product to be Class A, Armstrong Kitchen Zone # 672 24" x 48" or equal.

**Contract 902: Flooring:**

- a. Reception Area 101: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- b. Resource Area 102: Mannington LTV City Park "floating floor" or equal with 4' cove base.
- c. Product Storage 103: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- d. Rentable Office 104: 24" x 24" Carpet Squares
- e. Meeting Area 105: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- f. Conference Room 110: Mannington LTV City Park "floating floor" or equal with 4" cove base.



- g. (4) Offices 106, 107, Office next to Conf Room (unnumbered) and 111: 24" x 24" Carpet Squares
- h. Packaging 108: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- i. Storage 109: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- j. Open Space 112: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- k. Corridor 113: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- l. Toilet Rooms 114 & 115: patch VCT floor: Armstrong Excellon 101.
- m. Utility 116: No flooring or base
- n. Hallway 117: Mannington LTV City Park "floating floor" or equal with 4" cove base.
- o. Kitchen 118: Product options:
  - Commercial Resilient Vinyl Flooring with integral 6" cove base by Protect-All or equal.
  - Resinous Epoxy floor system with integral 6" cove base by Stonhard, Laticrete or equal.
    - Include trim, drain rings and seal at (2) floor drains.

**Contract 903: Painting:**

- a. All walls: Sherwin Williams ProMar 200 Latex eggshell or equal. Color TBD.
  - i. Kitchen 118: Prime paint new GWB before FRP installation.
  - ii. HDCP Toilet Rooms:
  - iii. Reception Area:
  - iv. Rentable Office
  - v. Meeting Area:
  - vi. Conference Room:
  - vii. (3) Rentable Offices:
  - viii. Corridor:
  - ix. Packaging:
  - x. Hallway:
- b. New frames and doors: Color TBD
- c. Existing frames and doors: Color TBD

**Contract 1001: Supply and Deliver Toilet Room Accessories:**

- a. Furnish only per drawing A-3.

**Contract 1542: Plumbing:**

- a. Investigate and verify existing conditions
- b. Drawing A-3: Comply with notes and details pertaining to your work.
- c. Include Engineering costs to provide design drawings, stamped with wet seal, acceptable to City of Tonawanda



- d. Coordinate with BHS drawing and BHS equipment spec to include isometric, risers, waters, vents, gas lines.
- e. Excavate, saw cut & remove floor area for underground sanitary & grease trap at Kitchen. Place and finish new stone / concrete after inspections.
- f. Furnish and install water lines, gas lines, sanitary drains, floor drains in new Kitchen 118.
- g. Include final plumbing connections to owner supplied equipment (see BHS equipment and plan).
- h. Furnish and install grease trap:
  - xi. Include design and cut sheets
- i. If you believe a dedicated HWT is necessary, include as an add to the bid.
- j. Fixtures:
  - xii. ADA toilets at (2) Toilet Rooms.
  - xiii. Wall hung sink with carrier, and ADA faucet at (2) Toilet Rooms.
  - xiv. Dual level drinking fountain

**Contract 1572: HVAC:**

- a. Toilet Rooms 114 and 115: disconnect ceiling mount exhaust fans and reconnect after new acoustic ceiling install.
- b. Kitchen 118: Install ductwork and connections from (2) Kitchen hoods, up through the roof and connect to roof fans.
- c. Furnish and Install fire dampers in the main ductwork that passes through the two new rated Type 1 partitions. Field verify.
- d. Roof fans by Kitchen vendor (BHS).
- e. Roofing patch by others.
- f. Existing HVAC system to remain.

**Contract 1602 Electrical & Fire Alarm:**

- a. Investigate and verify existing conditions.
- b. Drawing A-3: Comply with notes and details pertaining to your work.
- c. Include Engineering costs to provide design drawings, stamped with wet seal acceptable to City of Tonawanda.
- d. Verify existing panel boards will support additional power load.
- e. Demo work at walls to be removed
  - i. Power / receptacles removed and wiring set in junction box
  - ii. Lighting removed at demo areas and reinstalled in new acoustic ceiling
  - iii. Remove and properly terminate floor receptacles in Meeting Area 105.
- f. Install new Circuits / Receptacles:
  - iv. (2) receptacles in new partition at Reception 101.
  - v. (2) receptacles in new partition at Meeting Area 105



- vi. (2) receptacles in new partition at Meeting Area 105 / Conference Room 110.
- vii. Dedicated receptacle and circuit for vending (Meeting Area 105)
- viii. (2) receptacles in new partition at Rentable Office 111.
- g. Other new work: The existing lighting is controlled by circuit breakers. Furnish and install motion sensor light switches and rewire fixtures for all rooms.
- h. New LED lighting:
  - ix. Kitchen 118: Moisture resistant fixtures (submit cut sheet for approval).
  - x. Meeting Area 105: Remove existing lighting and install 2 x 4 dimmable LED lighting with motion sensor dimming switch.
  - xi. Exterior egress lighting at front and rear entrances, if required by code.
- i. Coordinate with BHS drawing and product spec to include power and connections to Kitchen equipment and Hoods.
- j. Smoke & CO detectors:
  - xii. Verify operation of existing devices
  - xiii. Add new Smoke Detectors & CO detectors as shown
- k. Exit lighting & EM lighting:
  - xiv. Verify operation of existing devices
  - xv. Add new Exits & EM fixtures as shown
- l. Provide dedicated power for ADA operator at front entrance
- m. Include an allowance of \$ 500.00 to clean up electrical and control wiring above ceilings.
- n. **Electrical ALT # 1:**
  - xvi. Remove and replace existing fluorescent lighting with LED lay-in lighting and replace light switches with LED compatible motion switches (Leviton Decora or equal).

**END OF SCOPE OF WORK**

