

# R.F. Willson Building Mechanical & Electrical Upgrade Project Invitation to Bid Inquiries and Responses

Issued: 5/14/2019

Q#1) Is there a final hazardous materials inspection report? During the walk-thru it was mentioned that the Authority had completed some or all of the abatement items noted in the Stohl report dated 11-14-07. We are trying to qualify items that may or may not need to be abated.

A#1) A final hazardous materials inspection report is not available. See Addendum No.1 – Item 18 for information on asbestos abatement and PCB removals.

Q#2) Confirming: removal and disposal of the existing Grasso Building is to be included in the base bid.

A#2) Yes.

Q#3) A. Please let us know the roofing contractor that is under contract for the facility? We wish to verify warranties and the roofing products that are being used.

B. What is the manufacturer of the existing roof system identified in Specification 070150 Modifications to Existing Warranted Roof System.

A#3) Jameson Roofing was the contractor for the last roofing project (2013). The products were SBS (Styrene-butadiene-styrene) modified bituminous membrane (Firestone Poly Torch Base or SBS Premium Torch), and it has a Firestone Red Shield Roofing System 20-year warranty. This work did not include the section of the building known as the bus terminal. The bus terminal roof was put on in the 1980s, consisting of single-ply EPDM roofing membrane, and is not under warranty.

Contractor shall patch all roofing areas and install and flash all mechanical equipment as indicated on contract documents as per manufacturer's instructions and recommendations. All completed work shall be inspected by manufacturer's representative in order to issue a letter that the work was completed satisfactorily and will not modify or void the existing warranty. Refer to specifications for applicator's qualifications, material and warranty certification. See Addendum No.1 – Item 1.

Q#4) Can there be a designated area or designated room within the building for the staging of materials and tools / gang boxes?

A#4) There will not be a designated staging area within the building.

Q#5) Please confirm what portion of the bid form must be submitted as the BID as I believe there are 3 different statements referenced in the Specifications:

- Section 1 Instruction to Bidders Item 13.8 states 4 items
- Item 14.1 says ALL BID DOCUMENTS excluding Drawings

- and somewhere in the Specification it says the entire Invitation To Bid or Instructions To Bidders document must be returned

A#5) Section I - Instructions to Bidders, Article 14.1 shall be replaced in its entirety with the following:

14.1 Bids shall be submitted at the time and place indicated in the Invitation for Bids. All Bid Documents, excluding drawings, specifications and any addenda, shall be submitted at this time.

Q#6) Please confirm what Asbestos or PCB abatement is to be included in our Bids as there are Reports indicating items that exist ( or existed as the Report is over 11 years old ) and there is no Specification indicating specifically what or how it is to be removed . Also there is a Note on Drawing G-001 that says " all asbestos abatement is to be done by others under separate contract except 9" x 9" asbestos containing floor tiles (didn't see any at walkthrough in expanded boiler room area Second Floor). No mention of PCB removals, vapor barrier tar which may be encountered when making openings in the exterior walls etc.

A#6) See Addendum No.1 – Item 18 for information on asbestos abatement and PCB removals.

Q#7) There is a note that says to scan the existing concrete slab with X Ray type machine to locate existing rebar prior to making any slab penetrations on the following drawings

- E300 Site Plan
- E001: General Note I
- Drawing P-200: Plumbing Note 4
- Drawing M-001: General Note G

Please confirm this requirement as it is the first time we have ever run across it ( other than for post tensioned slabs which I wouldn't "think" these are) and assuming one of the local concrete testing Labs owns one it is assumed to be very expensive process. What is the definition of where it is required as a "penetration" could be the anchor that supports conduits, ductwork, pipe hangers etc. and / or a core hole for piping, conduits, ductwork etc.

A#7) Contractor shall scan existing concrete slabs to locate rebar prior to making any slab penetrations as per contract documents.

Q#8) Note 18 on drawing C100 says to protect existing trees to remain. Access for concrete trucks, dump trucks, cranes etc needs to happen to construct the addition and it appears that at best there is 10' from the tree to 3 rectangular boxes shown adjacent to existing building which in itself isn't going to allow access of the mentioned equipment. In our opinion the trees must be removed and replaced to facilitate construction and reduce the cost associated with leaving them.

A#8) Existing trees shall remain. If the limbs are deemed to be an obstruction to large equipment, limb trimming may be permitted on a case-by-case basis as approved by the Authority.

Q#9) A. Can Sheridan Terrace be temporarily closed to allow crane to be placed there to hoist mechanical equipment, erect building steel, stage materials, etc. Plan G-100 indicates areas of lifting access but there is no way to get to that area with lifting equipment ( cranes) as there is 5' access between fenced " patio " area and retaining wall. It is possible that the equipment is larger than this 5' opening as well.

B. There are very limited options to get equipment up to the 2nd floor Mechanical Electrical Room & onto the roof. During the walk through it was stated that staging and crane location would have to be from the West side of the building. We would not be able to use the East side of the building due to all the traffic. Because there is only 63" clearance on the west side of the building we will not be able to place a crane on the west side of the building. Placing the crane at the North or South end of the building would create some very long reaches for the crane. The North end has a lot of trees in the way of crane placement and would interfere with rigging. Both the North & South end crane placements would force the equipment to be swung over the off ramp of the 190 (Sheridan Terrace connecting to Niagara St?) or over the parking area on the East end of the building. What is the Owner / Architect's plan to get RTU-1 onto the roof & the boilers into the 2nd floor Mechanical Electrical Room given the impossible access?

A#9) Sheridan Terrace may be closed for short durations (maximum 4 hours) to allow for lifting operations from the West side of the building. Closures will need to be coordinated with the PBA and will be required to be performed during night/early morning hours.

The Willson Building secondary inspection area may be closed for short durations (maximum 2 hours) to allow for lifting operations from the East side of the building. However, access must be maintained at all times for pedestrians to Door #2 (exterior entrance to Lobby room 136). Closures will need to be coordinated with the PBA and will be required to be performed during night/early morning hours.

Q#10) Specification 232123 hydronic pumps - Can we have TACO added as an acceptable manufacturer for the pumps & pump accessories?

A#10) Yes, Taco is an acceptable Manufacturer.

Q#11) Specification 235216 Condensing Boilers – This section does not list any manufacturers as basis of design or as acceptable alternates. Can we get the basis of design make & model & some acceptable alternates?

A#11) Section 2.2A of the Supplemental Specification 235216 addresses the basis of design products for both types of condensing boilers. The basis of design products are also shown on the schedule. Alternate manufacturers are acceptable should they satisfy the performance and efficiency metrics identified in §2.1 through §2.6.

Q#12) Roof Top Unit # RTU-1 is shown on the schedule and on the roof plan view, but I could not find it in the specifications.

A#12) Please refer to specification 237213.

Q#13) Unit Heater # UH-1 is shown on the schedule but I could not find it in the specifications.

A#13) Please see Addendum#1 – Item 11 for specification.

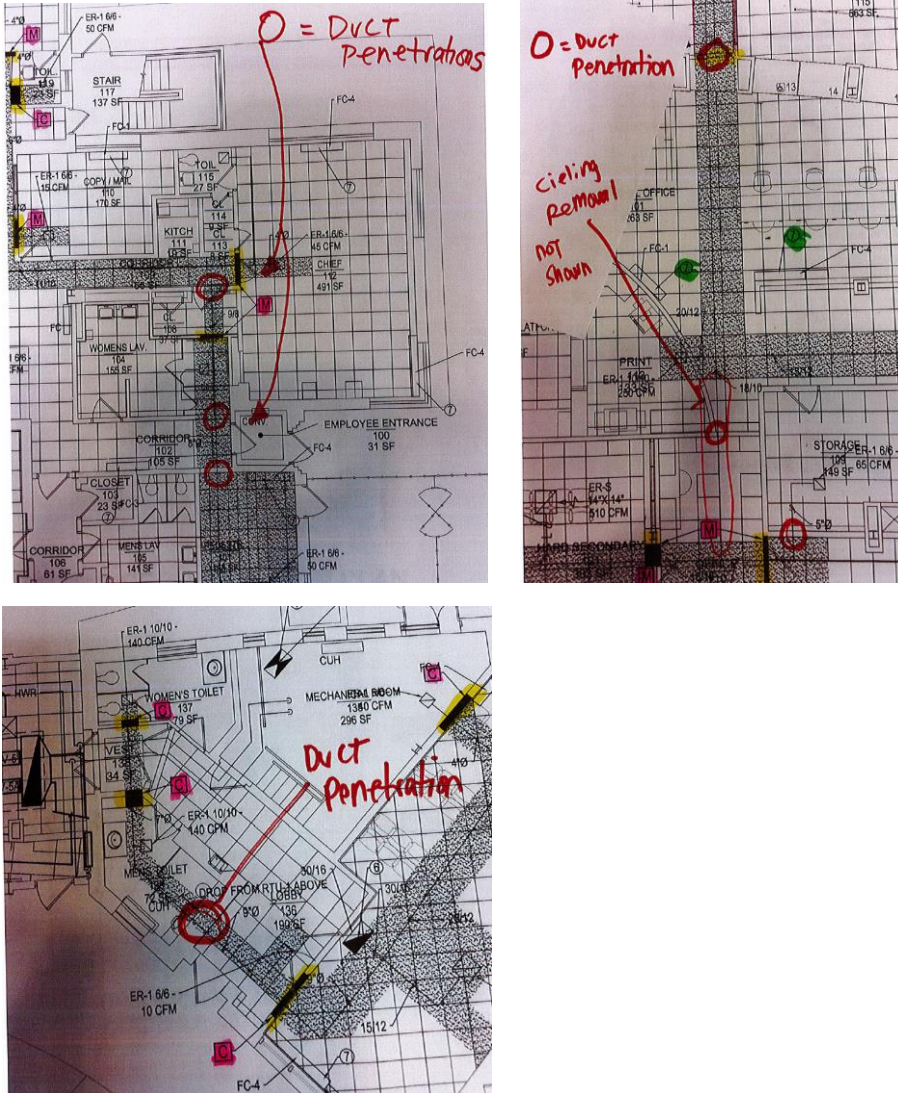
Q#14) Specification 238123.13 only shows Liebert as the basis of design. Please confirm alternate manufacturers will not be accepted for this item. If that is not true what manufacturers are acceptable?

A#14) As per §2.1A of the specification, the Contractor may submit alternative manufacturer for approval. Alternates must satisfy the performance and efficiency metrics identified in §2.2 through §2.4.

- Q#15) Specification 236313 Air cooled refrigerant condensers - only lists Liebert as the basis of design, yet the schedule on M-001 shows Liebert & Mitsubishi. Can we get Mitsubishi and other manufacturers listed in the spec as acceptable alternates?  
A#15) As per §2.1A of the specification, the Contractor may submit alternative manufacturer for approval. Alternates must satisfy the performance and efficiency metrics identified in §2.2 through §2.5.
- Q#16) Please issue finish plan showing the rooms/ areas to receive flooring, base, paint, ceilings, etc.  
A#16) Corrections to first floor and second floor finishes are included in Addendum No.1 – Item 4 and Item 5.
- Q#17) Which room(s) are to receive the waterproof flooring system?  
A#17) Please refer to detail number 2 on drawing A-201; the entire Boiler Room 230 is to receive the waterproofing system.
- Q#18) Is there an approximate lin. footage for the roof edge protection rail system?  
A#18) Please see Addendum No. 1 – Item 8 for roof edge protection rail systems clarification.
- Q#19) Is the roof edge protection rail system to be installed onto the 2nd floor roof only?  
A#19) Please see Addendum No. 1 – Item 8 for roof edge protection rail systems clarification.
- Q#20) Please verify construction of existing roof decks at 1st floor and 2nd floor.  
A#20) Please see Addendum No. 1 – Item 8 for roof deck construction clarification.
- Q#21) Are there new roof walkway pads to be installed? Please provide locations / quantities.  
A#21) Please see Addendum No.1 – Item 9 for new roof walkway pad locations and quantities.
- Q#22) Why is delegated design required for acoustic ceiling re-installation?  
A#22) Delegated design is not required for ceiling re-installation. See Addendum No.1 – Item 2 for modifications to specification 095113.
- Q#23) Is delegated design required as noted in the mechanical spec?  
A#23) Delegated design is required per §230548. This Specification relates to all mechanical and plumbing equipment to be installed.
- Q#24) We would like to request the 25 items of the Bid Form be condensed (maybe just value of General Construction, Plumbing, HVAC and Electrical) or eliminated as it will be extremely difficult to fill in all the requested items given the reality of a bid deadline, tardy bids and the fact that there will be subjective interpretation of what bidders put costs for what items where. The true accuracy will be marginal as well. As the bid form states this is purely for informational purposes. We would propose that after awarded a contract this breakdown could be provided and even expanded further to define the components of each Item price. At that point you could use it as a Billing Breakdown if you so wanted. We feel at the bid stage it is cumbersome to put together and would rather concentrate on an accurate and competitive overall Base Bid rather than be distracted on such an elaborate “ informational ” bid form that appears to have no bearing on basis of bid /award.  
A#24) To accommodate more time for the Bidder to break down the bid as requested, Attachment A – Itemized Bid Form – of the Bid shall be due before 9:00 AM (EST) on May 23rd, 2019. The due date of the Bid as otherwise described in the Invitation to Bid will remain 11:00 AM (EST) on May 21st, 2019.

Q#25) The 3 attached [see below, Fig. 1] photos come from drawing A102 and show ductwork penetrations through walls that are not notated on drawings (as all others are). Would be nice to know though if information is easily available whether they are masonry or drywall openings.

Figure 1: Q#25 - Duct Penetrations



A#25) See Addendum No.1 – Item 6 for missing wall identifications.

Q#26) I cannot find what the Retention or the warranty time is on this project. Could you let me know so I can order bid bond?

A#26) Please refer to Article 7 of the Form of Agreement regarding retainage on payments (10%), and GC-15.1(b) for warranties (1 year after Substantial Completion).

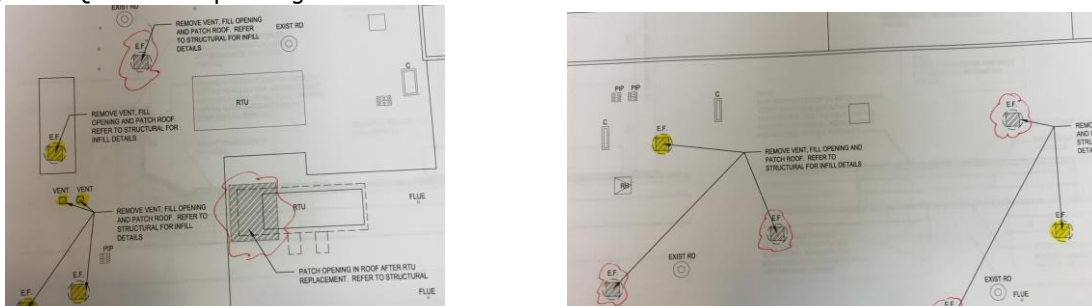
Q#27) Given the probability that access to the West side of the building for exterior access to Mechanical Room, and roof will be required through the Fall / Winter Months the site restoration of site concrete and landscape will not be able to be completed until weather permits in Spring 2020. With specified Completion date of 3/1/20 and Liquidated Damages of \$6,000 a day we are requesting clarification as to how to account in our bid or revision to the Contract allowing just the site restoration work to happen after 3/1/20 without assessment of Liquidated Damages

for the site restoration which we feel will have to happen no sooner than April depending on the weather. This last April wasn't very conducive to landscaping given the wet and cold weather so an exact start or finish date probably isn't able to be established. Fortunately there is not a lot of work to be done so it will not take a long time to complete.

A#27) Any outstanding site restoration work can be noted as an exception on the certificate of Substantial Completion, but must be completed by the date of Total Completion. Article 5 – Contract Time – of the Form of Agreement shall be modified to reflect Total Completion as the 15th day of May in the year 2020 to accommodate this weather-sensitive work.

Q#28) The items circled in red specifying patching of roof deck and roofing from Drawing A401 are not shown on either drawing MD-103 or M203. Therefore we assume we are only patching the roof as coordinated with the HVAC drawings. Please confirm. (The items colored in yellow do agree with the HVAC drawings).

Figure 2: Q#28 - Roof patching



A#28) See Addendum No.1 – Item 8 regarding corrections to sheet M-203.

Q#29) It also appears that there is no A-500 drawing. Many details state to reference that drawing and I do not have it.

A#29) Drawing A-500 is not part of these Bid Documents. References to A-500 are corrected to A-501 in Addendum No.1 – Item 7.

Q#30) Drawing M-300 shows a continuous housekeeping pad under all equipment yet the equipment is not all on the same wall so the pad almost becomes an entire "floor slab". Can a sketch be provided for the layout of the housekeeping pad as this will also affect the cost of the epoxy flooring in this room. No pads are shown for water heaters on Drawing P 201. Are any required?

A#30) No equipment in the 2nd floor boiler room will be located on pads. This change is reflected in Addendum No. 1 – Item 14.