All wall tile in bathroom to remain,

plaster.

patch areas where

wall is removed with

Assumed Masonry wall Assumed Masonry Existing Computer Lab 15) [Al t. No. 5] 15) [Al t. No. 5] i ______ Existing Storage #1 Existing Storage #2 All wall tile in

[Al t. No. 1]

Existing Hallway

11) [Al t. No. 2]

15) [Al t. No. 5]

- Assumed Masonry wall

Existing Hallway is removed with plaster. Remove water Masonry wal N fountain and Tile Surround -Existing Storage #3 Existing Storage #4 All wall tile in bathroom to remain Remove all wall Remove all wall tilein bathroom tilein bathroom,patch areas where wall is removed with plaster. Existing Classroom #3 Existing Classroom #4 Existing Hallway 4) [Al t. No. 4]

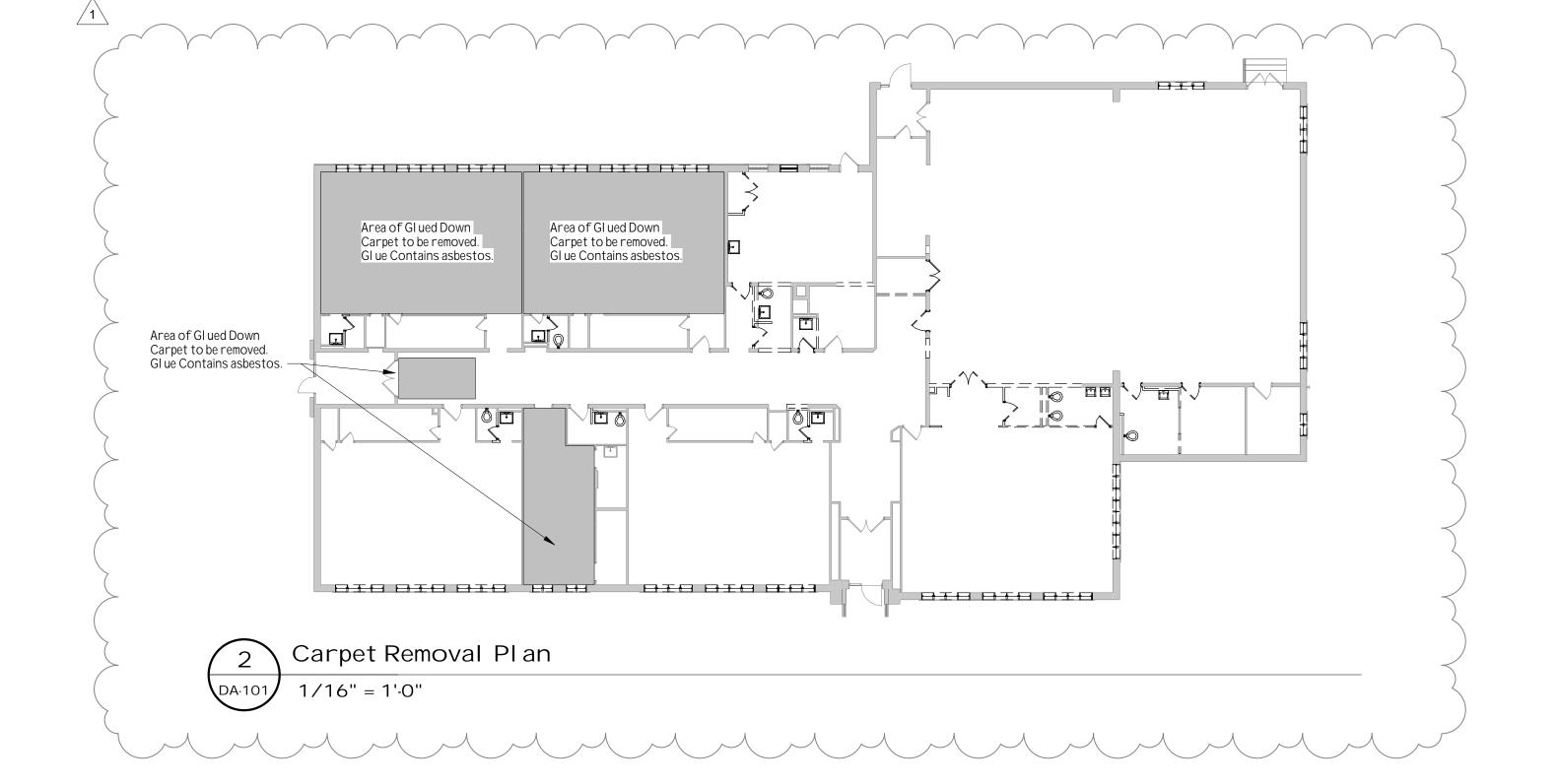
bathroom to remain,

patch areas where wall

First Floor Demolition Plan

5) [Al t. No. 5]

[Al t. No. 1]



ALTERNATES

 Existing Cl assroom #1 • Existing Classroom #2

ALTERNATE NO. 1

	Existing Classroom #3
	Existing Classroom #4
	[Chalkboard in Existing Community Room #3 is part of the base bid.]
	ALTERNATE NO. 2 Y
	Encapsul ation of old flooring and installation of new flooring:
(• Existing Classroom #1
1	Existing Classroom #2
	Existing Classi oom#3
	• Existing Classroom #4
	Existing Computer Lab
	Existing Weight Room
	[Flooring in Existing Community Room #1, #2 & #3 are part of the base bid.]
	ALTERNATE NO. 3
	Removal of radiators and radiator covers located under windows. Interior GWB Walls to be
	patched and exterior vents to be infil l ed with brick:
	Existing Cl assroom #1
	Existing Cl assroom #2
	Existing Classroom #3
	Existing Classroom #4
	Existing Weight Room
	• Existing Community Room #3
	ALTERNATE NO. 4
	ALTERNATE NO. 4
	Removal and replacement of ceiling tiles:
	• Existing Classroom #2
	• Existing Classroom #3
	Existing Cl assroom #4

Removal of mirrors and chalkboards. Repair of resulting damage to walls:

Existing Community Room #2

Cabinet to be

removed and

reinstalled if necessary during

floor repair —

Existing Community Room #1

500 sf of asbestos

beremoved -

25'-9" Verify with Shop Drawings

Existing Community Room #3

14 [Al t. No. 3]

containing floor tiles and

mastic to be removed in

order to level heaving

— Assumed Mason⊤ry wal I

floor. Notify architect if more floor tiles need to

> ALTERNATE NO. 5 Removal and replacement of florescent light lenses:

• Existing Cl assroom #2 • Existing Classroom #3

Existing Computer Lab

 Existing Classroom #4 Existing Computer Lab [Light Lenses in Existing Community Room #1, #2 & #3 are part of the base bid.]

[Ceiling Tiles in Existing Community Room #1, #2 & #3 are part of the base bid.]

Demolition Plan Legend

Existing Wall to be removed followinstruction for removal as outlined in the demolition notes. Existing Door to be removed follow instruction for removal as outlined in the demolition notes. Existing Window to be removed followinstruction for removal as

outlined in the demolition notes.

Existing Wall to Remain

Existing Door to Remain

General Demolition Notes

These General Demolition notes apply to all demolition dwgs in this set of documents:

A. Care **MUST** be taken during demolition to protect elements to remain and to expose the structure. notify architect and structural engineer of any suspect/unsafe conditions as they are discovered.

B. <u>DO NOT SCALE dwgs.</u> If there is a dimension that is not shown on the construction documents that requires clarification, request that clarification of the Architect.

C. The Contractor shall verify all dimensions in the field & in these construction documents & immediately report any discrepancies to the architect.

D. All work shall conform to the requirements of all Local, State & Federal codes. Local, State & Federal Codes are to take precedence over the dwgs & specifications. If discrepancy is noted, inform the Architect immediately & before proceeding w/ the work.

E. All dimensions are to face of said construction, unless otherwise noted.

F. Contractor is to dispose of demolition refuse dail y & anything that cannot be removed dail y is to be stored in an secure area on site. the work site is to be broom cleaned at the end of each day.

G. All removal fees & related demolition permits are the responsibility of the demolition contractor

H. Note Removed.

I. The demolition contractor shall make every effort to protect existing items to remain during demolition; any damage caused to items that are to remain shall be repaired to the original condition or better at no additional cost to owner.

J. The entire Building is to be cleaned of all Refuse/Debris Including the Proper Removal of Dead Birds, Moss, & Avian Droppings. Coordinate w/ Asbestos Abatement Survey & Associated dwgs.

K. Following demolition, remaining exposed walls, ceilings, floors, & Columns shall be patched to match existing adjacent surfaces.

L. In pl an areas of demolition, ALL existing lighting, pl umbing, sprinklers, radiators, ductwork and associated wiring, piping, etc. to be removed back to main connection

M. Hazardous Material's have been found by owner's testing agency. <u>WARNING:</u>
Coordinate all removal efforts with Hazardous Material Reports prepared by: Stohl Environmental, Pre-Renovation Asbestos Inspection Interior materials

only, Conditions as of: August 24, 2017 Stohl Environmental, Pre-Renovation Asbestos Inspection - Exterior Windows & Main Roof Section Only, Conditions as of: August 10, 2018

Demolition Callouts

dispose of all removed material & debris from the site, all in accordance w/ current regulations. Interior partition wal I to be removed and discarded. Assumed PI aster/Stud

Construction unless otherwise noted on plan. Remove existing door and frame. Store in a secure I ocation. Sal vage may be intended for reuse in new construction, coordinate with new construction

Plumbing fixtures such as sinks, toil ets and piping to be removed entirely back to behind wall or floor. Patch wall of floor to match adjacent surfaces.

Remove ACT ceil ing til es and discard. Ceil ing grid system to remain in pl ace and be repaired as necessary.

12x12 Spl ine and all wiring to be removed completely and discarded.

Pl umbing fixtures such as sinks and toil ets to be removed and discarded. Fixture will be replaced in kind with new fixture. Piping to be reused if possible.

Lighting to be removed and discarded.

Chalkboard to be removed and discarded.

Firepl ace and Adjacent Shel ving to be removed and discarded.

Windows to be removed and discarded. Plywood encl osures to be provided during construction.

Existing FI ooring to be encapsul ated. FI ooring system is assumed to contain asbestos. Repair as necessary for new fl ooring.

Cabinetry to be removed and discarded. Patch walls as necessary. Metal Louver to be removed entirely from masonry opening. See A-200 for

Radiator Cover and radiators to be removed entirely from under window. Cap piping to behind wall. Drywall to be patched to match existing adjacent drywall wall.

Remove Light Lens only from florescent lights and discard.

Remove boil er and all associated piping.

Carmina Wood Morris 487 Main Street Suite 500 Buffalo, New York 14203 P 716.842.3165 F 716.816.8143

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Issued for Bidding: 01.11.2019 XX.XX.XX Municipality Submission:

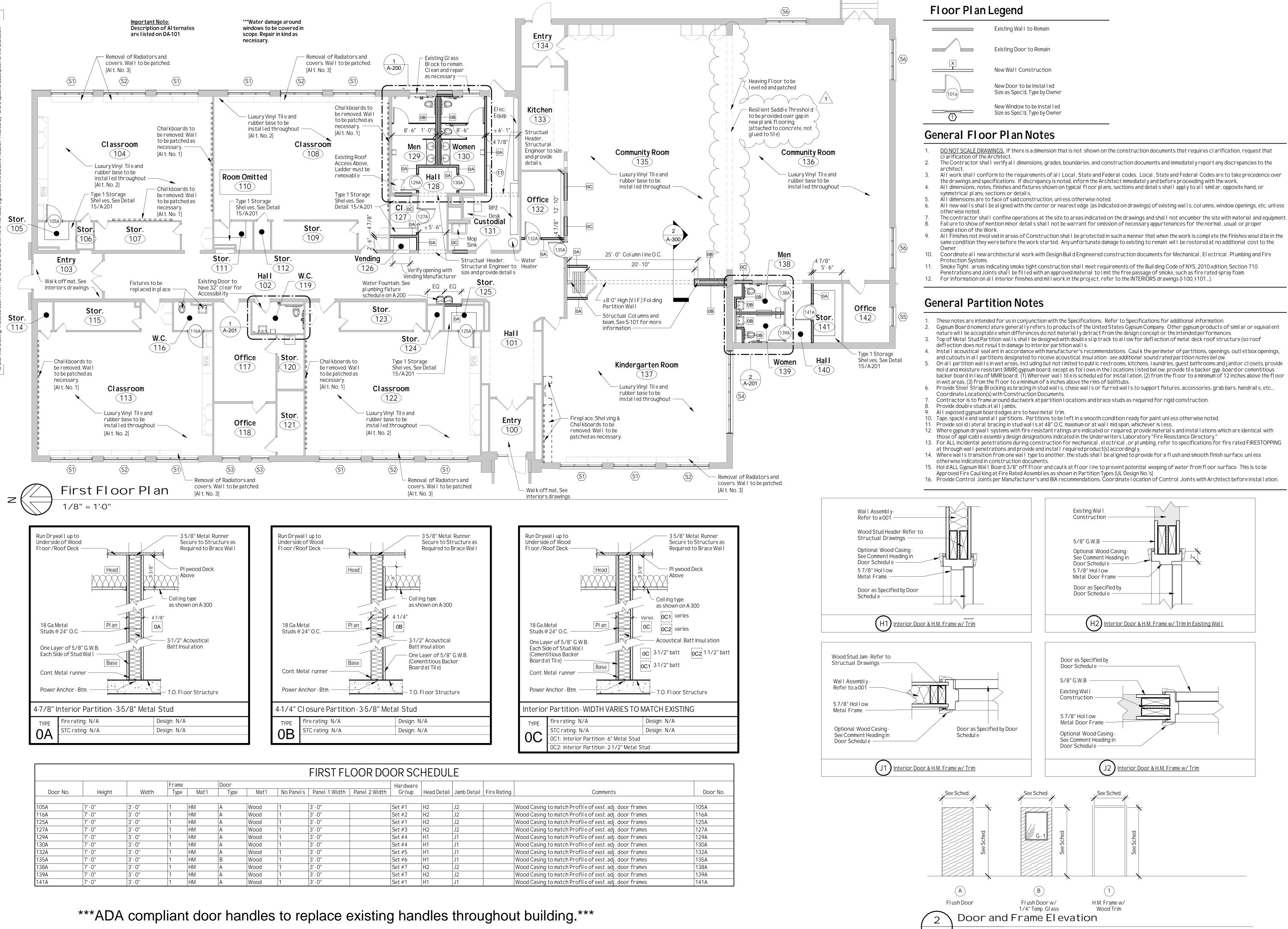
Drawn By: **DRAWING NAME:** First Floor

enovation

Demolition Plan

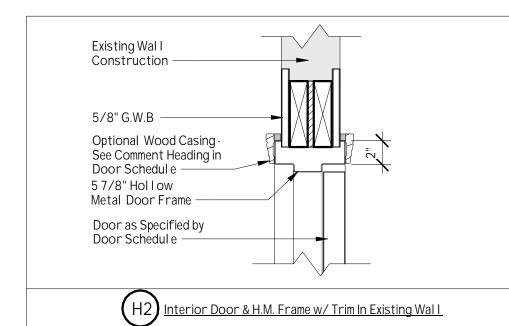
DRAWING NO.

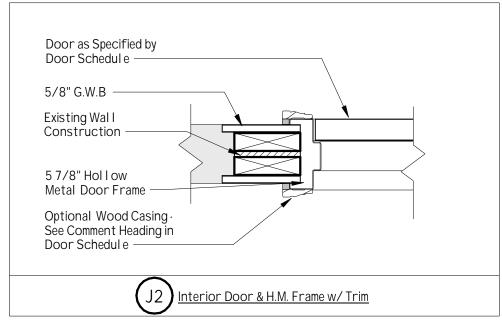
Project No:

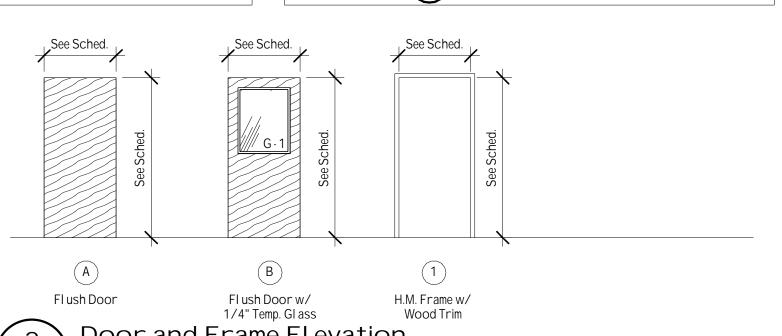


- the drawings and specifications. If discrepancy is noted, inform the Architect immediately and before proceeding with the work.
- All dimensions, notes, finishes and fixtures shown on typical floor plans, sections and details shall apply to all similar, opposite hand, or
- The contractor shall confine operations at the site to areas indicated on the drawings and shall not encumber the site with material and equipment.
- All Finishes not involved in areas of Construction shall be protected in such a manner that when the work is complete the finishes would be in the
- Smoke Tight: areas indicating smoke tight construction shall meet requirements of the Building Code of NYS, 2010 edition, Section 710.
- For information on all interior finishes and mill work in the project, refer to the INTERIORS drawings (I-100, I-101...).
- These notes are intended for us in conjunction with the Specifications. Refer to Specifications for additional information
- Gypsum Board nomenclature generally refers to products of the United States Gypsum Company. Other gypsum products of similar or equivalent
- and cutouts in all partitions designated to receive acoustical insulation see additional sound rated partition notes below. On all partition walls in wet areas, including but not limited to public restrooms, kitchens, laundries, guest bathrooms and janitor closets, provide mold and moisture resistant (MMR) gypsum board, except as follows in the locations listed below, provide tile backer gyp. board or cementitious
- 6. Provide Steel Strap Blocking as bracing in stud walls, chase walls or furred walls to support fixtures, accessories, grab bars, handrails, etc...

- 10. Tape, spackle and sand all partitions. Partitions to be left in a smooth condition ready for paint unless otherwise noted.
- 12. Where gypsum drywall systems with fire resistant ratings are indicated or required, provide materials and installations which are identical with
- 13. For ALL incidental penetrations during construction for mechanical, electrical, or plumbing, refer to specifications for fire rated FIRESTOPPING
- 14. Where walls transition from one wall type to another, the study shall be aligned to provide for a flush and smooth finish surface, unless
- 15. Hold ALL Gypsum Wall Board 3/8" off Floor and caulk at floor line to prevent potential weeping of water from floor surface. This is to be
- 16. Provide Control Joints per Manufacturer's and BIA recommendations. Coordinate Location of Control Joints with Architect before instal Lation.







DRAWING NO.

Wood

Morris

487 Main Street Suite 500 Buffalo, New York 14203

P 716.842.3165 F 716.816.8143

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Issued for Bidding:

Drawn By:

Municipality Submission:

DRAWING NAME:

First Floor Plan

Project No:

Existing Open Web Metal

Hung Ceil ing

Stud @ 16" O.C. -

1/2" GWB Soffit -

Aluminum Track and Soffit

Fol ding Panel

Bottom Seals —

A-300

Partition as

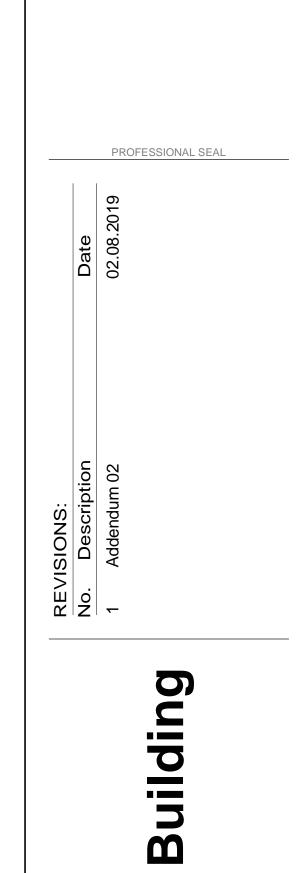
Specified —

Trusses -

Renovation

DRAWING NO.

<u>Project No:</u> 18.088



Carmina

Wood

Morris

487 Main Street Suite 500 Buffalo, New York 14203 P 716.842.3165 F 716.816.8143

Ceil ing Pl an Legend ACT1 2x4 Acoustical Ceiling Tile and Grid ACT2 2x2 Acoustical Ceiling Tile and Grid 2x2 LED Recessed Troffer 2x4 LED Recessed Troffer

Removal and Replacement of Ceiling Tiles

of Light Lenses -

- Removal and Replacement

- Water Damage to be investigated

Removal and Replacement of Ceil ing Til es

Removal and Replacement

of Light Lenses -

ACT1

- Removal and Replacement of Ceil ing Til es —

Removal and Replacement –

of Light Lenses —

New Portion of Ceil ing Grid to be seeml essly integrated with existing ceil ing grid

1x4 Surface Mounted LED Light

Semi-Recessed LED Downlight

Recessed LED Can Light

Small LED Wall/Bath Sconce Sea Gull Lighting 4435591S-962

Existing Ceil ing Pl an Legend Existing PI aster Ceiling Existing 1x1 Acoustical Ceil ing Til e and Grid Existing 2x2 Acoustical Ceiling Tile and Grid Existing 2x4 Acoustical Ceil ing Til e and Grid Existing 2x4 Fluorescent Light Existing Surface Mounted 1x4 FI uorescent Light Existing Ceil ing Fan

Existing Surface Mounted Light Existing Surface Mounted Light

Existing Pendant Light

Existing Recessed Downlight Existing Vanity Sconce

Existing 2x4 Suppl y Vent

Existing 1x1 Supply Vent Existing Bathroom Fan

— Hung Ceil ing Grid System Guide Rail

GWB column

wrap beyond

Existing Brick

Parapet

Structural

Existing OpenWeb Metal

Trusses

Beam Section 3/4" = 1'-0"

Reflected Ceiling Plan

1/8" = 1'-0"

A-300

Removal and Replacement

of Ceiling Tiles [Alt. No. 4]

Removal and Replacement

of Light Lenses [Al t. No. 5]

LF-2

LF-2

LF-2

LF-2

LF-2

LF-2

LF-1

LF-2

(LF-2

∠ LF-2

ACT2 LF-1

LF-1 ACT2

LF-2

LF-2

LF-2

ACT2 LF-1

LF-2

LF-2

LF-2

LF-2

LF-2

LF-2

ACT2

Roof Hatch

Ceil ing to be instal led as high as possible

Removal and Replacement of Ceiling Tiles [Alt. No. 4]

Removal and Replacement of Light Lenses [Alt. No. 5]

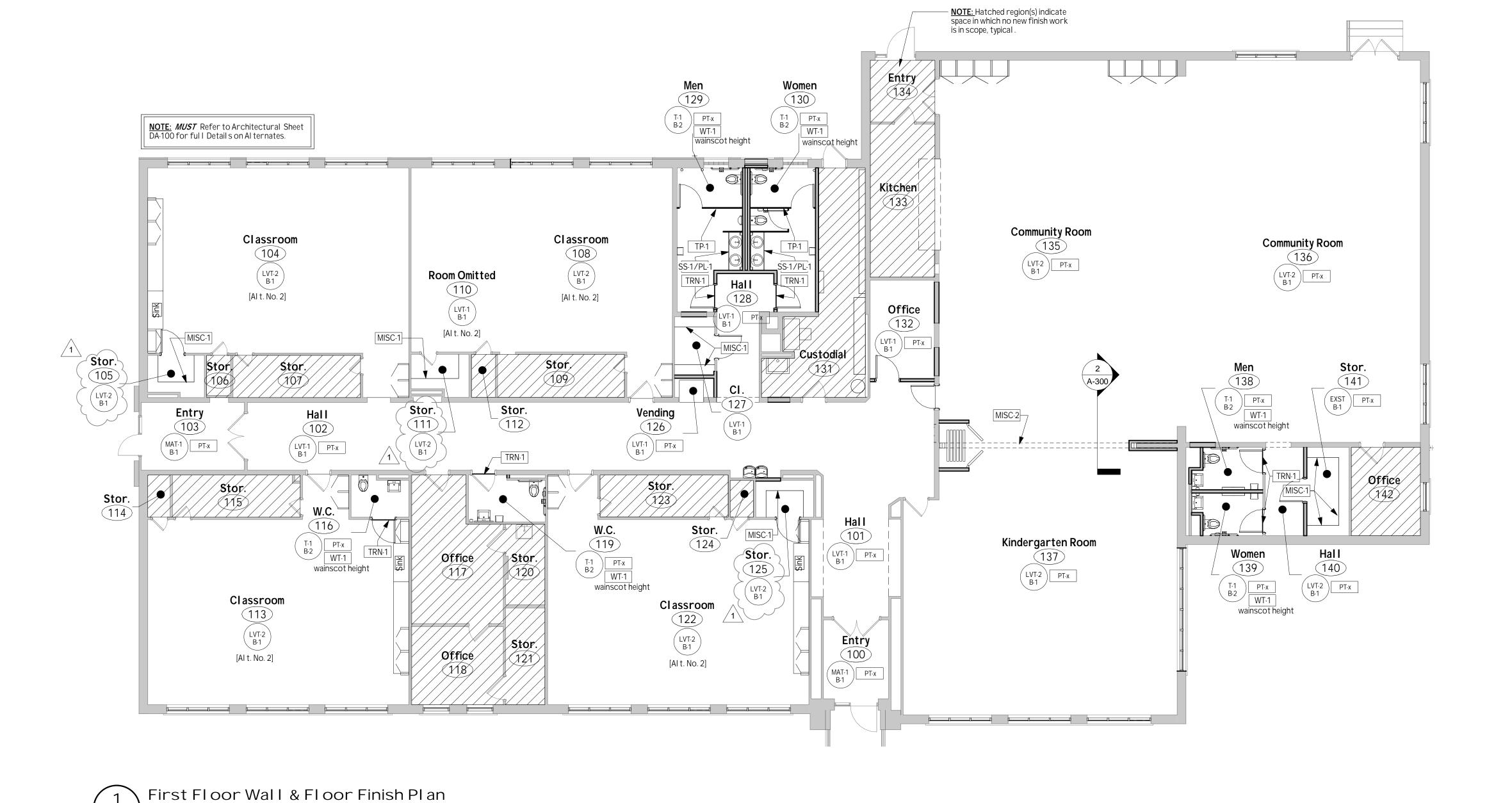
—w∕removable ladder ——— ○ L5

ACT2

LF-1

1/8" = 1'-0"

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Issued for Bidding:

Municipality Submission: Drawn By:

Buildi

XX.XX.XX DRAWING NAME: Wall & Floor Finish Plan

DRAWING NO.

INTERIOR FINISH SCHEDULE

Room Name & Number	Sign Image / Copy	Sign Type	Mounting
Unisex	(Unisex HC Pictogram) restroom	(A)	1
Men	(Male HC Pictogram) restroom	(A)	1
Women	(FemaleHCPictogram) restroom	(A)	1
Custodial	Custodial	(B)	1

<u>Instal I ation Note:</u>

1.) Confirm / verify all sign verbage w/ owner proior to production.

2.) signage vendor to submit detail ed room by room signage schedul e for owner & architect review for required text/copy. confirmation of additional sign types per owner request may be applicable at that time.

<u>Location Types:</u>

1.) Side of door as indicated @ 48" a.f.f. and 8" to sign center from edge of frame. 2.) Wall adjacent @ 4'-6" a.f.f. & 3'-0" from corner to sign center.

3.) Refer to el evations & Consul t designer/architect in fiel d.

Signage Information

Manufacturer: Holl and Engraving

Styl e: 100 Series Material: Single ply, modified acrylic; 1/16" thick backer, 1/32" thick lettering Backer Col or: Sil ver, 304

Font: Marine Bl ue, 502 Note: Face plate will have tactile lettering, brailledots and 2 tamperproof mounting screws

Type A type B Standard Unisex Restroom Size: 4" W x 3" H Pictogram Size: 6" W x 8" H

INTERIOR FINISH SCHEDULE

WALK OFF MAT

Manufacturer: Patcraft Commercial Collection: Beyond the Door Pattern: Prado Color: Lapis Size: 24" x 24" modul ar til e

LUXURY VINYL TILE

LVT-1 Manufacturer: Mannington Commercial Collection: Walkway 20 Pattern: Wood-WW103 Color: Spalted Maple Size: 4" x 36" Plank

LVT-2 Manufacturer: Mannington Commercial Coll ection: Walkway 20 Pattern: Abstract WW131 Color: Forsyth Size: 18" x 18" til e

PORCELAIN TILE

Manufacturer: Olympia Dobkin Til e Series: Penny Round Color: Snow White Finish: GI oss Size: 1" x 1" mosaic (12" x 12" sheet) Grout: Flextile; Navy Blue 107

FLOORING TRANSITIONS

Description: Porcel ain Til e to Vinyl Flooring Manufacturer: Schluter Systems Product: RENO-U

Finish: Satin Anodized Al uminum (AE)

Description: Existing Wood Base to remain, existing shoe moul ding to be removed and replaced with new quarter round trim (after new flooring is installed). Note: Any I ocations requiring new base shall match existing

base profile (where possible existing sal vaged material to be

Description: Til e Cove Base Manufacturer: Ol ympia Dobkin Til e Series: Color & Dimension Color: Artic White Finish: Bright (GI oss)

Grout: Fl extil e; TBD

used as patch material) Color: painted TBD

WALL TILE

WT-1 Manufacturer: Ol ympia Dobkin Til e

Series: Color & Dimension Col or: Artic White Finish: Bright (Gloss) Size: 4" x 16" Grout: Fl extil e; Navy Bl ue 107 Instal Lation: 1/3 Brick Pattern Note: 5' high wainscot. Use Metal edge trim at top course. Schl uter Schiene, Satin Andozied Al uminum (AE), UNO.

Note: All 3 colors in pattern; each color to be 1/3, random mix

Manufacturer: Ol ympia Dobkin Til e Series: Color & Dimension Color: Taupe Finish: Matte Size: 4" x 16" Grout: Flextile; Navy Blue 107 Instal Lation: 1/3 Brick Pattern Note: 5' high wainscot. Use Metal edge trim at top course. Schl uter Schiene, Satin Andozied Al uminum (AE), UNO.

Note: All 3 colors in pattern; each color to be 1/3, random mix

Manufacturer: Ol ympia Dobkin Til e Series: Color & Dimension Color: Tender Grey Finish: Bright (Gloss) Size: 4" x 16" Grout: Fl extil e; Navy Bl ue 107 Instal I ation: 1/3 Brick Pattern Note: 5' high wainscot. Use Metal edge trim at top course. Schl uter Schiene, Satin Andozied Al uminum (AE), UNO.

Note: All 3 colors in pattern; each color to be 1/3, random mix

Manufacturer: Sherwin Williams Company Color: TBD

Finish: Scrubbabl e Eg-Shel I Location: General Walls

Manufacturer: Sherwin Williams Company Color: TBD

Product: Pro Industrial Pre-Catal yzed Waterbased Epoxy Finish: Semi-Gloss Location: Trim (existing base & door casings, trims)

Manufacturer: Sherwin Williams Company Col or: Ceil ing Bright White SW7007 Finish: Fl at Location: ALL Drywal I Ceil ing or Soffits, UNO

SOLID SURFACE Manufacturer: Wil sonart Contract Pattern: Kimberlite 9215 CE Finish: Matte Gauge: 1/2" Edge: Eased, Square Profil e

PLASTIC LAMINATE

Manufacturer: Wil sonart Contract Pattern: Classic Linen 4943-38 Finish: Matte Edge: Sel f Edge, Square Profil e

TOILET PARTITIONS

Manufacturer: Hadrian or Equal Product: Sol id Plastic Partitions (HDPE) Color: Blueberry Mounting Type: FÍ oor to Ceil ing

ACOUSTICAL CEILING TILE

Manufacturer: USG Product: OI ympia Micro (4411) Color: White Edge: Square Size: 24" x 48" Grid: EXISTING, to be reused and repainted (White). Manufacturer: USG Product: OI ympia Micro (4752)

Color: White Edge: Reveal SLT Size: 24" x 24"

Grid: DX/DXL 15/16", fl at white (050)

MISCELLANEOUS

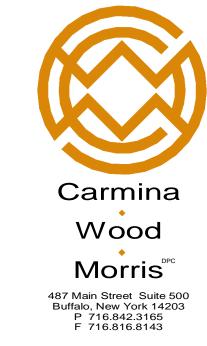
MISC-1 Description: Adjustable, Ventil ated, Epoxy Coated, Steel Wire Shelving Manufacturer: Organized Living or Equal Product: FreedomRail

Color: White Size: 16" Depth, 78" height Uprights Note: See Section detail on A-201

MISC-2 Description: Operable Partitions Manufacturer: Moduflex Product: Series 400-Paired Panels Model : 420 Panel Finish: Acoustical Fabric-Pattern TBD Seal Finish: TBD Note: Refer to A-101 for detail s.

***** NOTE: FINISHES LISTED ABOVE ARE PRELIMINARY AND FOR BUDGET PURPOSES ONLY !!!

ALL MATERIALS/FINISHES MUST BE REVIEWED AND APPROVED BY OWNER & ARCHITECT/DESIGNER PRIOR TO ORDERING.



PROFESSIONAL SEAL

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Issued for Bidding: Municipality Submission: Drawn By:

XX.XX.XX **DRAWING NAME:** Finish Schedule

DRAWING NO.

<u>Project No:</u> 18.088